629-631 CONGRESS STREET #1

(1911-1953)

FILL IN AND SIGN WITH INK

PERMIT ISSUED
018724
OCT 19 1953
CITY of PORTLAND

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine October 19, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 629½ Congress St. Use of Building stores & apartments No. Stories 3 New Building Existing "

Name and address of owner of appliance Paul Lunt, 489 Preble St. South Portland

Installer's name and address Fels Company, 42 Union St. Telephone 2-1939

General Description of Work

To install oil-fired steam boiler (replacement)

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no

If so, how protected? Kind of fuel? oil

Minimum distance to burnable material, from top of appliance or casing top of furnace 5'

From top of smoke pipe 15" From front of appliance over 4' From sides or back of appliance over 3'

Size of chimney flue 20x20 Other connections to same flue none

If gas fired, how vented? Rated maximum demand per hour

Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Labelled by underwriter's laboratories?

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?

Type of floor beneath burner

Location of oil storage Number and capacity of tanks

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?

If so, how protected? Kind of fuel?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented? Forced or gravity?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

oil burner to be installed by Sebago Ice Co.

low water cut off to be provided McDonald-Miller #67

Amount of fee enclosed? 2.00 ($2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: OK 10-17-53

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fels Company

Signature of Installer By: Clerk H Nelson

INSPECTION COPY

Permit No. 53/1979

Location 629 1/2 Congress St.

Owner Paul Lhuf

Date of permit 10/19/53

Approved 12-3-53 [illegible]

NOTES

112 [illegible]

CITY OF PORTLAND, MAINE

APPLICATION FOR A VICTUALER'S LICENSE

The Undersigned applies for a Victualer's License for period ending

June 30 19 50

1. Firm Name. Splendid Rest. Inc.

2. Name (under which license be granted) same

3. Location. 631 Congress St., Portland, Me.

4. Name and Address of Applicant. Elvie G. Trouvalis, 32 Ludlow St.

5. Name and Address of Manager. Arthur Hawkes, 103 Grant St.

6. If other than individual, give names and addresses of partners or principal officers of corporation.

same

7. Name and Address of Owner of Building. Paul C. Lunt, So. Portland

8. Location in Building of Restaurant. Capacity Persons Employed

1st. floor. 60-70 35

Name of Room, if any

9. Will malt beverages be served on the premises? yes

10. Will Vinous and Spirituous Liquors be served on premises? no

11. Time of opening and closing of Restaurant. 6:30 AM. to 12 PM.

12. Have either the applicants or the managers been convicted of a crime? no

13. If so, when and where?

I agree to abide by all laws, orders, ordinances, rules and regulations governing restaurants in the City of Portland, Maine.

Elvie G. Trouvalis, Treas.

Arthur H. Hawkes

REPORT OF HEALTH OFFICER

Recommendation: Approved Disapproved

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Health Officer

REPORT OF INSPECTOR OF BUILDINGS

Recommendation: Approved ~~Disapproved~~

..Total number of patrons and employees gives a total of about 86. - less than 100 so place is not one of public assemblage and application does not ..require approval of enforcing officers.....

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REPORT OF CHIEF OF POLICE

Recommendation: Approved Disapproved

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Chief of Police

REPORT OF CHIEF OF FIRE DEPARTMENT

Recommendation: Approved Disapproved

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Chief of Fire Department

CITY OF PORTLAND, MAINE

Application for a Victualer's License

The undersigned applies for a Victualer's License for period ending

.....June 30, ...19.48.....

1. Firm Name ...Splendid Restaurant, Inc.....

2. Name (under which license be granted)..Splendid Restaurant, Inc.....

3. Location ..631 Congress Street, Portland, Maine.....

4. Name and Address of Applicant ...Elvie G. Trouvalis.....

5. Name and Address of Manager .....Elvie G. Trouvalis.....

6. If other than individual, give names and addresses of partners or principal officers of corporation.....
Elvie G. Trouvalis, President & Treasurer
Raymond E. Jensen, Clerk, Portland, Maine

7. Name and Address of Owner of Building .Paul G. Lunt, 492 Preble Street

8. Location in Building of Restaurant. Capacity Persons Employed

...Dining Room and Kitchen..1st floor.....70.....35.....

...Bakery.....2nd floor.....1.....

Name of Room, if any .....

9. Will malt beverages be served on the premises?.....Yes.....

10. Will Vinous and Spirituous Liquors be served on premises?....No.....

11. Time of opening and closing of Restaurant...6:00 A.M. to 10:30 P.M..

12. Have either the applicants or the managers been convicted of a crime? No.

13. If so, when and where?.....

.....

.....

I agree to abide by all laws, orders, ordinances, rules and regulations governing restaurants in the City of Portland, Maine.

.....Splendid Restaurant, Inc.....

.....Elvie G. Trouvalis, Treas.....

.....631 Congress St., Portland, Me.

REPORT OF HEALTH OFFICER

Recommendation:

Approved

Disapproved

RJR

Albert D. Foster, M.D.
Health Officer

REPORT OF INSPECTOR OF BUILDINGS

Recommendation:

~~Approved~~

~~Disapproved~~

This proprietor gave incorrect figures as to employees under a misunderstanding. Maximum number of employees on premises at one time is 18 which added to maximum number of patrons of 76 gives a total of 94-- less than 100 so place is not one of public assemblage and application does not require approval or enforcing officers.

WCP 6/25/47
Building Inspector

REPORT OF CHIEF OF POLICE

Recommendation:

Approved

Disapproved

John F. Merrill
Chief of Police

REPORT OF CHIEF OF FIRE DEPARTMENT

Recommendation:

Approved

Disapproved

Oliver T. Sanborn
Chief of Fire Department

CITY OF PORTLAND, MAINE

Application for a Victualer's License

The undersigned applies for a Victualer's License for period ending

July 30 ..... 19 49

1. Firm Name Splendid Restaurant, Inc.

2. Name (under which license be granted) same

3. Location 631 Congress Street

4. Name and Address of Applicant Elvie G. Trouvalis, 32 Ludlow St.

5. Name and Address of Manager Shirley C. Hawkes, 143 Grant St.

6. If other than individual, give names and addresses of partners or principal officers of corporation. Elvie G. Trouvalis, Pres. & Treas.
32 Ludlow Street

7. Name and Address of Owner of Building Paul C. Lunt, 492 Preble St., So. Port.

8. Location in Building of Restaurant. 1st floor

Capacity	Persons Employed
74	35

Name of Room, if any .....

9. Will malt beverages be served on the premises? yes

10. Will Vinous and Spirituous Liquors be served on premises? no

11. Time of opening and closing of Restaurant. 6:30 A.M. to 11:30 P.M.

12. Have either the applicants or the managers been convicted of a crime? no

13. If so, when and where? .....

I agree to abide by all laws, orders, ordinances, rules and regulations governing restaurants in the City of Portland, Maine.

Elvie G. Trouvalis, Pres. & Treas

RECEIVED
JUL 22 1948
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

REPORT OF HEALTH OFFICER

Recommendation: Approved Disapproved

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Health Officer

REPORT OF INSPECTOR OF BUILDINGS

Recommendation: Approved Disapproved

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REPORT OF CHIEF OF POLICE

Recommendation: Approved Disapproved

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Chief of Police

REPORT OF CHIEF OF FIRE DEPARTMENT

Recommendation: Approved Disapproved

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Chief of Fire Department

(C) GENERAL BUSINESS ZONE

PERMIT ISSUED
00182
FEB 14 1949

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. _____

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. *Portland, Maine,* February 9, 1949

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 631 Congress Street Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached _____

Name and address of owner of sign Splendid Restaurant, 631 Congress Street

Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695

When does contractor's bond expire? Dec. 31, 1949

Permit Issued with Memo

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached wood

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of Sign and Connections

Electric? yes Vertical dimension after erection 13' 1" Horizontal 6'

Weight 350 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material galvanized iron

No. rigid connections 3 Are they fastened directly to frame of sign? yes

No. through bolts 1, Size 3/4", Location, top or bottom top

No. guys 7, material cable, Size 1/4"

Minimum clear height above sidewalk or street 14' 6"

Maximum projection into street 6'

Permit Issued with Memo

Fee $ 1.00

ORIGINAL

Signature of contractor United Neon Display by: R. Mills

Permit No. 49152

Location 631 Congress St

Owner Helen's Restaurant

Date of permit 2/14/49

Sign Contractor

Final Inspn. 5-1-50 [illegible]

NOTES

2/15/49 Shop insp.

OK [illegible]

5-1-50 Through [illegible]

[illegible]

BJ FORM 52

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES AT 631 Congress Street IN PORTLAND, MAINE

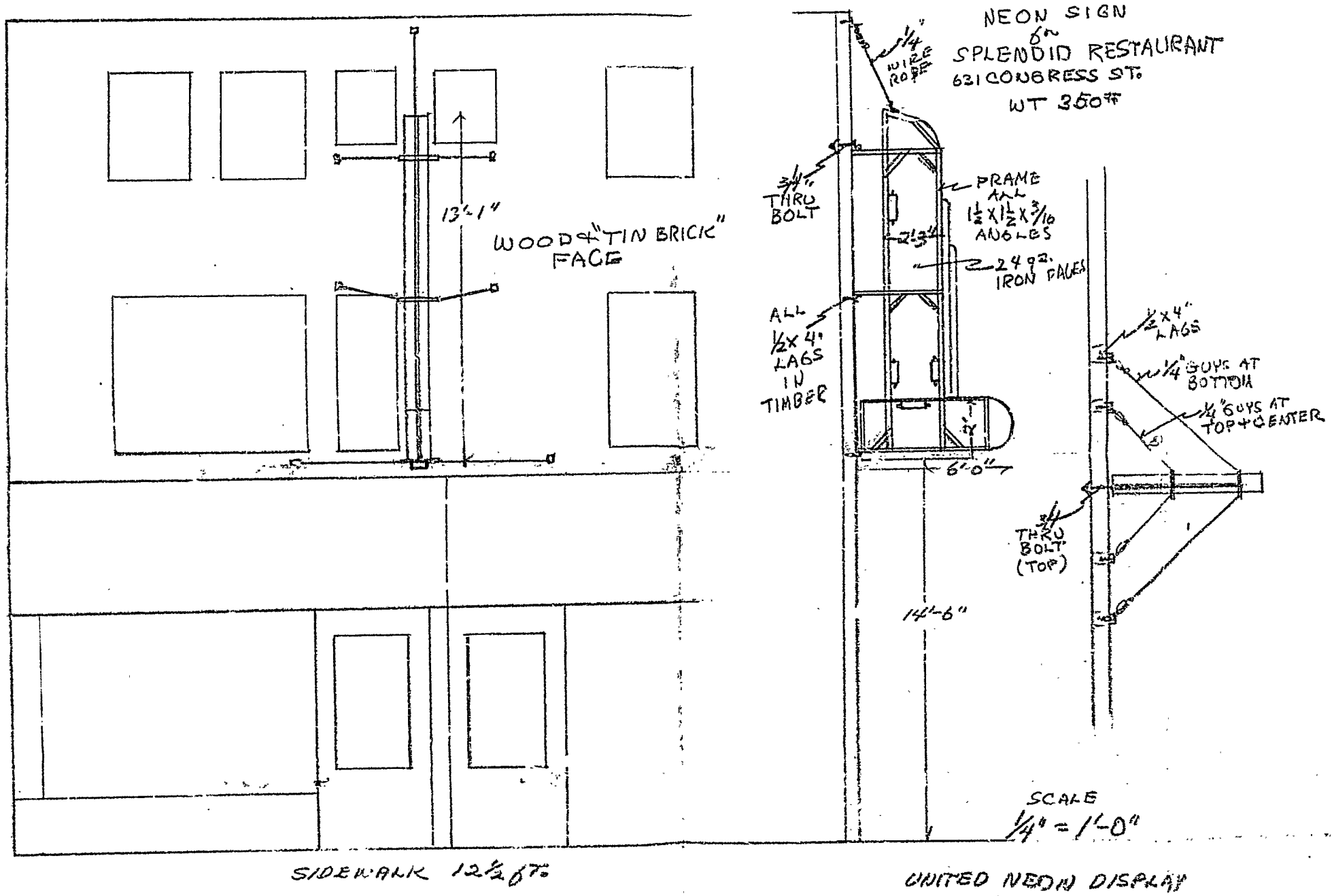
Paul C. Lunt, being the owner of the premises at 631 Congress Street in Portland, Maine hereby gives consent to the erection of a certain sign owned by Splendid Restaurant projecting over the public sidewalk from said premises as described in application to the Inspector of Buildings of Portland, Maine for a permit to cover erection of said sign;

And in consideration of the issuance of said permit _____ Paul C. Lunt, owner of said premises, in event said sign shall cease to serve the purpose for which it was erected or shall become dangerous and in event the owner of said sign shall fail to remove said sign or make it permanently safe in case the sign still serves the purpose for which it was erected, hereby agrees for himself or itself, for his heirs, its successors, and his or its assigns, to completely remove said sign within ten days of notice from said Inspector of Buildings that said sign is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this and agreement this 10th day of February, 1949.

Carl L. Coyne
Witness

Paul C. Lunt
Owner



Memorandum from Department of Building Inspection, Portland, Maine

631 Congress Street— Erection of projecting sign for Splendid Restaurant by United Neon Display--2/12/49

To Owner & Contractor:

The sketch filed with the application for the permit leaves some doubt as to whether or not the location of the proposed sign or braces or guys would not interfere with Fire Department access to the windows at second and third floor level. Such interference with access by the Fire Department in case of fire should be avoided for the benefit of efficient action by the Fire Department and for the benefit of the owner of the building in case of fire in it.

Should substantial change in location of the sign or its guys or bracing become necessary, installer should first apply for amendment to the permit now issued and with the application file a revised plan showing the true location.

ATH/G

CC: Splendid Restaurant
631 Congress Street

Mr. Paul C. Lunt
329½ Congress Street—Room 2

Oliver T. Sanborn
Chief of the Fire Department

(Signed) Warren McDonald
Inspector of Buildings

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

03339
DEC 12 1947

Portland, Maine, November 14, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE Plan 12/8/47

The undersigned hereby applies for a permit to erect alter repair demolish move the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 629 Congress Street

Owner's name and address Paul Lunt, 629 Congress Street Within Fire Limits? yes Dist. No. 1

Lessee's name and address Telephone

Contractor's name and address Donald Currie, 1695 Broadway, So Portland Telephone

Architect Specifications Plans yes No of sheets 1 Telephone 3-7928

Proposed use of building Stores & Apartment house

Last use " " " No. families

Material wood No. stories 3 Heat Style of roof No. families

Other buildings on same lot Roofing

Estimated cost $ 250

Fee $ 1.00

General Description of New Work

To construct 8' partition on third floor to form hall.
2x4 studs, 16" on centers,
To cut in new door at third floor level to provide access to outside stairway.
30" wide. 6' 4" high.
To construct outside stairway from third floor to land on second floor roof of theater.
2' 6" width of stairway, handrail both sides.
To construct 3' platform, 4x4 posts for foundation, landing on flat roof.
2x6 floor joists, 12" on centers, 3' span.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board?

Girders Size Columns under girders Size

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

INSPECTION COPY

Signature of owner Donald Currie

Permit No. 4/3337

Location 629 Congress St.

Owner Paul Lunt

Date of permit 12/12/47

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 11/18/48

Cert. of Occupancy issued none

NOTES

11/18/48 - Work done

LBS

AP 629 Congress Street-I

December 12, 1947

Mr. Donald Currie
1695 Broadway
So. Portland, Maine
Mr. Albert R. Farrington
178 Dartmouth Street

Subject: Permit for construction of fire escape from third story of apartment house to roof of one story store ad-joining - 629 Congress Street

Gentlemen:

Permit for the above work is issued herewith subject to the following:

1. It is necessary that the stairs be framed so as to eliminate the platform with a single step down at the bottom. Assuming that the height of the parapet wall above the roof of the store is about the same as the rise of the stairs, there seems to be no reason why the stairs may not land on the parapet wall in such a way that the top of the wall may be used as one of the treads with the side of the wall forming the first riser of the stairs.

2. Since a fire door is being provided in the opening, any glass panel in it should, of course, be wire glass.

3. Issuance of this permit is to be taken in no way as approval of adequacy of the fire escape to provide a second means of egress in compliance with law. Such matters are under the control of the Chief of the Fire Department, who should be consulted concerning them if that has not already been done.

4. The new partition to be erected to provide a hallway to fire escape is required to be plastered on both sides with Gypsum lath, but this lath need not be perforated unless desired.

Very truly yours,

Inspector of Buildings

AJS/S

CC: Mr. Paul Lunt
629 Congress Street

AP 629 Congress Street-I

December 12, 1947

Mr. Donald Currie
1695 Broadway
So. Portland, Maine
Mr. Albert R. Farrington
173 Dartmouth Street

Subject: Permit for construction of fire escape from third story of apartment house to roof of one story store adjoining - 629 Congress Street

Gentlemen:

Permit for the above work is issued herewith subject to the following:

1. It is necessary that the stairs be framed so as to eliminate the platform with a single step down at the bottom. Assuming that the height of the parapet wall above the roof of the store is about the same as the rise of the stairs, there seems to be no reason why the stairs may not land on the parapet wall in such a way that the top of the wall may be used as one of the treads with the side of the wall forming the first riser of the stairs.

2. Since a fire door is being provided in the opening, any glass panel in it should, of course, be wire glass.

3. Issuance of this permit is to be taken in no way as approval of adequacy of the fire escape to provide a second means of egress in compliance with law. Such matters are under the control of the Chief of the Fire Department, who should be consulted concerning them if that has not already been done.

4. The new partition to be erected to provide a hallway to fire escape is required to be plastered on both sides with Gypsum lath, but this lath need not be perforated unless desired.

Very truly yours,

Inspector of Buildings

AJS/S

CC: Mr. Paul Lunt
629 Congress Street

AP 629 Congress Street-I

November 17, 1947

Mr. Donald Currie
1695 Broadway
So. Portland, Maine

Subject: Application for building permit to make alterations in the combined store and apartment house building at 629 Congress Street to provide an emergency means of egress

Dear Mr. Currie:

I take it that the new partition on third floor to form the hall would form a public hall and therefore the Building Code requires that the partition be covered on both sides with plaster on non-burnable lath. This answers your question as to the use of Cypsum wallboard only.

I have talked this matter over with Mr. Lunt, who at the time was entertaining the idea of using a former fire escape from the theater to serve as this fire escape, but it was the idea that someone with the application for the permit was to furnish a plan of the fire escape or outside stairway so that we could check the details against the requirements of the Building Code as we are required to do before a building permit can be issued. It is realized that this fire escape has been ordered by the Chief of the Fire Department, and all matters as to access to it and relative location of the outside stairway are for him to determine. I understand Mr. Lunt has settled these matters with Chief Sanborn, but there are quite a few details of strength, pitch, arrangement of landings and railings etc. that come under the Building Code, and these can hardly be shown up so that they could be understood without a plan to scale.

Mr. Lunt is receiving a copy of this letter. Will either he or you furnish this competent plan?

Incidentally you left the office in such a hurry that you did not sign the application for the permit. Will you do that when the plan is filed?

Brackets to support such a platform or stairway as you propose are to be used sparingly, and there ought to be some good reason why firm vertical supports cannot be used to carry the loads safely and permanently down to the ground. If such a good reason for using brackets is present in this case, the details of the 3-piece bracket required should be shown, including the detail that a bolt through the wall of the building is to be provided no less than 3/4 of an inch in diameter through the top of the vertical member of the bracket as well as the wall of the building, and this bolt of course has to be well supported on the frame of the building as well as being fastened on the inside to keep the bracket from pulling away.

If vertical supports for the platform and stairway are decided upon, and they do not go clear to a foundation in the ground, the framing of any structural part intended to support these posts should also be indicated.

Very truly yours,

Inspector of Buildings

WMcD/3

CC: Mr. Paul Lunt, 629 Congress Street

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT No. 031722 NOV 21 1947

Class of Building or Type of Structure Installation

Portland, Maine, November 10, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect alter repair demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 629½ Congress Street Within Fire Limits? yes Dist. No. 1

Owner's name and address Paul Lunt, 629½ Congress Street Telephone

Lessee's name and address Telephone

Contractor's name and address W. H. Anderson, 85 Mitchell Rd., So. Portland Telephone 3-3328

Architect Specifications Plans no No of sheets

Proposed use of building Stores and apartments No. families

Last use " No. families

Material frame No. stories 3 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $

Fee $ 1.00

Memo Sent to Fire Chief

General Description of New Work

To install automatic fire alarm using Protectowire lines of fire-detecting wire (made by The Protectowire Co.) not more than 15' apart nor more than 7'6" from any wall or partition extending to ceiling; to cover basement; restaurant, cosmetic store, bakery for restaurant and halls upstairs and alarm bell in each hall; gongs of such tone, strength of signal, number and location as to arouse all persons for whose protection intended--current by dry batteries of capacity to ring all gongs simultaneously at full signal strength, to operate system for at least one year, installed in substantial cabinet of no less than 14 gauge steel or well-seasoned wood at least 3/4" thick with hinged door and catch and located not less than 6" nor more than 6' above floor in dry, clean place where temperature will not go below 40 degrees F. nor above 100 degrees--test button rigidly fastened in place, conveniantly located to permit and capable of testing entire system frequently. Alarm silencing switch, if provided, will be so arranged that alarm will sound if switch is thrown to "silent" position when alarm is not sounding. Installer will fasten to control box full instructions as to operation and testing of system and where and how to secure servicing if system gets out of order.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO W. H. Anderson

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Owner Paul Lunt by W. H. Anderson

Permit No. 47/3172

Location 629½ Congress St.

Owner. Paul Lunt

Date of permit 11/21/47

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 12-22-47 Final

Cert. of Occupancy issued

NOTES

12-11-47 Work started
1 Fine

AP 629 Congress St.-I

BS
ATH
RMT
PH
AJS
HL

Mr. Donald Currie
1695 Broadway, So. Portland
Mr. Paul Lunt
629½ Congress Street
Eastern Cosmetics Stores
629 Congress Street

September 25, 1945

Subject: Building permit for cutting hatchway in first floor of store occupied by Eastern Cosmetics Stores at 629 Congress Street.

Gentlemen:

Above permit is herewith subject to the following:

1. Mr. Lunt has been in the office and said that there would be no steps beneath this opening, the application providing there would be hinged steps. When I examined the situation on August 28, the gentlemen in charge of the store was not certain just where the hatchway was proposed in such a part of the store floor that the door could not be left open because it would interfere with the operation of the store when open, it is my belief that there would be no harm in hinged steps or hinged ladder, to save the obvious difficulty of providing a portable ladder in place each time, provided the steps or ladder were not so heavy and so awkward that they would not be normally in the raised position, and provided the arrangements of the hatchway and hatchway doors were as required by the Building Code, as follows:

2. Section 213a provides "No trap door to a stair or other opening shall be so located or constructed in any floor or sidewalk as to give access to the opening from more than one side, except where the Inspector may, because of the nature of the occupancy, permit such construction. All trap doors shall be so constructed that, when opened, such doors shall be held rigidly upright and all unprotected sides, except sides of access, shall have rigid rails. Chain rails shall not be permitted.

3. Section 213f2 provides that where such an opening occurs only in one floor of a Business and Industrial Establishment the opening shall be equipped with standard fire resistant hatch doors so equipped with heat-actuated devices that, if left open, they will close automatically if exposed to the heat of a fire in the building. The term standard fire resistant door is described in Section 30f2d of the Ordinance as a door with a wooden core covered with tin or galvanized iron all over so as to exclude air from the core, joints in the metal lapped and locked, covering all nailing, and no solder permitted, the net thickness from face to face of metal covering to be no less than 1 3/8 inches. The same section provides that the frame of the opening shall be metal covered in much the same manner as the door. In view of the fact that this door or doors will be in the floor, and the metal covering would be likely to cause accident to persons walking on it, it will be satisfactory to cover this door as described on the under side only, and all edges; also to cover the frame of the opening including the face of the headers and trammers and the rabbets that the door will shut down into. This reference to a heat-actuated device is usually satisfied by having the hatchway adjacent with wall, if possible, and arranging it so that the door will be hooked up when in the open position, leaning slightly toward the opening and the fusible link provided in such a manner that should a

fire take place, especially below the opening, the link would melt, the hook be released and the door would shut off itself by gravity. This sounds kind of complicated, but it is quite a common procedure, and I am sure Mr. Currie will understand it.

4. I am still "in the dark" as to just where the hatch door is to be located in the store floor, but Mr. Lunt assured me that it is to be in such a location that it could not possibly be left open in such a way that persons could fall into the opening. I cannot imagine an opening in such a location that it might not be forgotten, and some person, employee or other person receive a severe injury unless the opening is protected at all times when the door is open. However, I think it is the intent of the above Section 313a that should be observed rather than the letter. If these safety provisions are omitted because some one thinks they are unnecessary, that would be no recompense for a person who might be permanently injured.

5. Mr. Lunt has assured me that the full size doorway between the heater room under the theatre and the cosmetics store cellar, made larger temporarily to serve the purposes of carrying construction materials in and out, will be restored to its original size immediately and a fire door provided. There was an opening at about this location for many years before the recent substantial improvements were made in the cellars by the owner, with a metal clad door in the opening which was always supposed to be closed. Had there been no opening there between the heater room or the small room off of it and the space under the cosmetics store, none could be provided as the Building Code requires an unpierced fire wall of four hour fire resistance between the theatre occupancy and the business occupancy.

I am issuing the permit for the hatch doorway, herewith, as agreed with Mr. Lunt, but, since the cellar under the cosmetics' store was never a real cellar before or usable as such, and the recent work done without a building permit and the hatchway cut in with this building permit clearly established the cellar as for mercantile use, the Building Code requires that this opening between the heater room and the cellar under the cosmetics' store be completely closed with masonry no less than eight inches thick. The owner should have his contractor apply for the belated permit to cover the low walls, excavations and other alterations requiring a permit which have taken place in the cellars, and include in the application the matter of closing this opening between the small room off the heater room under the theatre and the cellar under the cosmetics' store now to be used for business purposes in real fashion.

If the owner is unwilling to comply with the latter requirements, then this permit for the hatchway in the floor should be returned immediately and all concerned should refrain from starting that work.

Very truly yours,

Inspector of Buildings

WHcD/L

629 Congress St.-I

ATH
RMT
PH
AJS
HL
BS

September 1, 1945

Mr. Frank Currie
1695 Broadway, So. Portland

Subject: Application for building permit to provide hatchway and cellar stairs at 629 Congress Street

Mr. Currie:

Gentlemen:

Examination of Section 1052 of the Building Code relating to mercantile buildings will show that this proposed cellar stairway, even though hinged, is required to be enclosed by fire resistive partitions in the cellar and with an automatic or self-closing fire door in the enclosure at the foot of the stairs or where the stairs would be when they are in the "down" position. These partitions are required to have one hour fire resistance and the fire door to be a standard Class C (labelled) fire door.

There is no information whatever on the application to show just what part of the store the hatchway and hinged stairway is proposed, and the proprietor did not know either. This information is, of course, necessary.

With relation to this job, examination of the cellar and the heater room of the theater next door shows that some fairly extensive work, requiring a building permit, has been done without one--notably cutting a full sized doorway between a room off the theater heater room into cellar under the cosmetics store. These details will be the subject of a letter to the owner later on.

Very truly yours,

Inspector of Buildings

WMcD/S

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

1217

Class of Building or Type of Structure Second Class

Portland, Maine, August 28, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~XXX~~ *alter* ~~XXXXXXXXXXXXXXXX~~ *the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Permit Issued with Letter

Location 629 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner's name and address Paul Lunt, 629½ Congress Street Telephone

Lessee's name and address Webber's Telephone

Contractor's name and address Donald Currie, 1695 Broadway, So. Portland Telephone 3-7928

Architect Specifications Plans no No. of sheets

Proposed use of building store and office No. families

Last use No. families

Material brick No. stories 3 Heat Style of roof Roofing

Other buildings on same lot Fee $ .50

Estimated cost $ 50.

General Description of New Work

To cut in 4'x4' opening in floor at rear of store to provide hatchway to basement.
(basement space not to be used for public)
Hinged steps to be provided.

Completed 9-21-45

NOTIFICATION BEFORE LATH OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size? Size

Corner posts Sills Girt or ledger board?

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? Height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Paul Lunt

Signature of owner By: Donald Currie

INSPECTION COPY

Permit No. 45/1217

Location 629 Congress St

Owner Paul Lunt

Date of permit 9/25/45

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4/17/46. OK.

Cert. of Occupancy issued Entered

NOTES

Inspr. Millikin of Engineering
Construction said trap door
not here when later
Within the Dept. OK
12/12/45 Work not
started OK
4/17/46 Work not
to be done etc.

APPLICATION FOR PERMIT

Permit No. 1999

Class of Building or Type of Structure Third Class

Portland, Maine October 25, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 631 Congress Street Within Fire Limits? Dist. No.

Owner's or Lessee's name and address Splendid Restaurant, 631 Congress St. Telephone

Contractor's name and address Burnham-McLellan, 491½ Congress St. Telephone 2-5951

Architect Plans filed No. of sheets

Proposed use of building Restaurant, vacant No. families

Other buildings on same lot

Estimated cost $ 300. Fee $ 1.50

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine

631 Congress Street - Provide tile floor with sanitary base in two toilet rooms at Splendid Restaurant by Burnham-McLellan, contractors - 10/30/44

To Owner & Contractor:

I presume these tile floors on a concrete base are to be laid on an existing wooden floor. There is no information to show whether or not the existing floor framing is strong enough to take the added load which will run to at least 25 pounds per square foot. If it turns out that the floor framing is not strong enough, then it will have to be made so.

CC: Splendid Restaurant
631 Congress Street

(*Signed*) Warren McDonald
Inspector of Buildings

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated?

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner By: Splendid Restaurant

ORIGINAL

T. D. Burroughs M.D. DAVID P. BURROUGHS CITY HEALTH OFFICER

Insp.

5379 B.H.

Permit No. 44/1099

Location 631 Cesena St.

Owner Splendid Restaurant

Date of permit 10/30/44

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4/26/45. CPB.

Cert. of Occupancy issued None

NOTES

FILL IN COMPLETELY AND SIGN WITH INK

GENERAL BUSINESS ZONE

PERMIT ISSUED

Permit No. 0723

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 13, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 631 Congress Street Use of Building Restaurant & Lodging No. Stories 3 New Building / Existing "

Name and address of owner of appliance Splendid Restaurant, Mrs. Elvie Trouvalis, Mgr.

Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install gas-fired four burner range (no oven)

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? If not, which story 2nd Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) wood

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 8'

from top of smoke pipe from front of appliance Over 4' from sides or back of appliance Over 4'

Size of chimney flue Other connections to same flue

BTU 40,000 (no enclosed burners)
Hood to be provided over range

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer By: Portland Gas Light Co.

INSPECTION COPY

4876 D.H.

Permit No. 44/723

Location 631 Cypress St.

Owner Splendid Restaurant

Date of Permit 7/24/44

Post Card sent

Notif. for inspn. None

Approval tag issued 4/26/45. 6/26

Comp C-30-122

~~Oil Burner Check List (date)~~

1. ~~Kind of heat~~ Gas Range
2. Label
3. Anti-siphon
4. Oil storage
5. Tank Distance
6. Vent Pipe
7. Fill Pipe
8. Guage
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

Memorandum from Department of Building Inspection, Portland, Maine

631 Congress St.--Installation of Gas-Fired Range on Second floor of Restautant (Splendid)
7/24/44

To Owner of Appliance and Installer:

This new hood is required to be vented as provided by law and to the approval of the Health Officer. I understand it is plan to connect vent to existing masonry flue to which hood in first story is also vented and nothing else. We have no objection to both hoods venting into same flue if precautions are taken so that raw gas from one appliance is not likely to enter flue and be iguited by the other appliance. I suggest, however, that owner of appliance secure approval of Health Dept. to this method of venting before going ahead with it.

CC: Mrs. Elvie Trouvalis, 631 Congress St.
Dr. Burroughs

(*Signed*) Warren McDonald
Inspector of Buildings

FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 0147

MAR 3 1944

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

Portland, Maine, March 1, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 629½ Congress Street Use of Building Stores and apartment No. Stories 3 New Building Existing "

Name and address of owner of appliance Paul C. Lunt, 629½ Congress St.

Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8291

General Description of Work

To install gas fired heater for hot water (in place of existing coal fired heater) CERTIFICATE OF COMPLIANCE IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story Kind of Fuel CERTIFICATE OF COMPLIANCE IS WAIVED

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 10'

from top of smoke pipe 5' from front of appliance over 1' from sides or back of appliance over 3'

Size of chimney flue 8x12 Other connections to same flue none

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Portland Gas Light Co.

Signature of Installer [signature]

INSPECTION COPY

Permit No. 44/147

Location 629½ Congress St.

Owner Paul C. Grant

Date of Permit 3/3/44

Post Card sent

Notif. for inspn.

Approval Tag issued 3-12-45 (Mr. S

Oil Burner Check List (date)

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage
5. Tank Distance
6. Vent Pipe
7. Fill Pipe
8. Guage
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

5/19/44. Not installed. ok.

Rept. 9315C-I
Capitol Theatre

August 1, 1941

Mr. Paul C. Hunt,
629½ Congress Street,
Portland, Maine

Dear Sir:

Referring to the application for a building permit which Mr. Currie has filed in your name to cover changing an existing window in the men's toilet room on the second floor of the Capitol Theatre at 629 Congress Street to a door, it will be satisfactory to provide this door with a bolt or catch on the inside covered with a box with a glass face if some instrument which may be used to break the glass and give opportunity to turn the bolt is hung beside the box, thus making it possible for a person in the toilet room in case of emergency to open the door and get out on the roof and thence go to the fire escape.

Your attention is called to the fact, however, that since this location is in the Fire District and the opening in the outside wall of the theatre involved is directly above the roof of the first story, if the existing window opening is to be enlarged in any way to provide the doorway, then the Building Code requires that the door be a standard fire door bearing the label of the Underwriters' Laboratories, Inc. as a Class B fire door and set in a structural metal frame. Since there is already an existing window at this location, if you prefer to provide in the existing opening, without enlarging it in any direction, an ordinary door or a casement sash, the fire door will not be required. It is allowable to decrease any dimension of the existing opening but not to increase.

Will you be kind enough to advise which course you intend to pursue and enter the correct information on the application for the permit or have Mr. Currie do so?

There is an Inspection Board letter to be written concerning minor details about the Capitol Theatre which require correction, but there has not been time to write it as yet. Two of these details are that an exit sign be provided over this window or door from the toilet room and that another exit sign be provided over the door in the grille cage on the roof at the top of the fire escape.

Very truly yours,

Inspector of Buildings

WicD/H
CC: Donald Currie
1635 Broadway
So. Portland, Maine

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 1199

Class of Building or Type of Structure

Portland, Maine, July 29, 1941 AUG 5 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 629 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Paul C. Lunt, 629½ Congress St. Telephone

Contractor's name and address Donald Currie, 1695 Broadway, So. Portland Telephone 3-7928

Architect Plans filed no No. of sheets

Proposed use of building Theatre No. families

Other buildings on same lot

Estimated cost $ 50. Fee $ .50

Description of Present Building to be Altered

Material brick No. stories 2 Heat Style of roof Roofing

Last use Theatre No. families

General Description of New Work

To change an existing window in men's toilet room, front of building, to door. There is to be no change in the size or location of the present window opening, but the door and frame is merely to be inserted. This door is to have only no lock or bolt accessible from the inside and the bolting knob or device is to be covered with a box with a thin glass space so arranged that the glass may be broken and the bolt thrown. On the glass or on a permit sign will be lettered "BREAK GLASS AND TURN KNOB TO REACH FIRE ESCAPE." A suitable device such as a hammer will be hung near the box for breaking the glass in case of emergency.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Paul C. Lunt

Signature of owner

By D. Currie

INSPECTION COPY

Permit No. 41/1109

Location 129 Congress St.

Owner Paul C. Lizzt

Date of permit 8/5/41.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 3/3/42 Accepted

Cert. of Occupancy issued None

NOTES

12/12/41 Exits done from inside
stairway, did not have
opening. Directed that
fire breaking glass and
exit light put in place.
Prosecution against the
case pending right away.
C.E.

3/3/42. Matter called for
attached letter have been
taken care of. M.C.

DATE March 7, 1941

Permission is hereby granted to Webber's Eastern Cosmetic

a tenant of the building located at 629 Congress Street

to erect an outside Neon sign over the public sidewalk.

R. L. Grant

(owner of building)

PERMIT ISSUED
0830

( ) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

MAR 10 1941

Permit No.

Portland, Maine, March 8, 1941 *19*

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 629 Congress Street Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached Paul Lunt

Name and address of owner of sign Webber's Eastern Cosmetic Store

Contractor's name and address United Neon Display 27 Monument Sq. Telephone 2-0695

When does contractor's bond expire? October, 1941

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached wood

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of Sign and Connections

Electric? yes Vertical dimension after erection 2' Horizontal 15"

Weight 45 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material metal

No. rigid connections 3 Are they fastened directly to frame of sign? yes

No. through bolts no, Size, Location, top or bottom

No. guys 3, material cable, Size ¼"

Minimum clear height above sidewalk or street 8'

Maximum projection into street 2'

Fee $ 1.00

Alice V. Gulbrow

United Neon Display

CHIEF OF FIRE DEPT. *Signature of contractor*

By M. Leighton

INSPECTION COPY

Permit No. 41/280

Location 629 Congress St.

Owner Wilbur Eastin Carmel Store

Date of permit 3/10/41

Sign Contractor

Final Inspn. 3/14/41 O.K.

NOTES

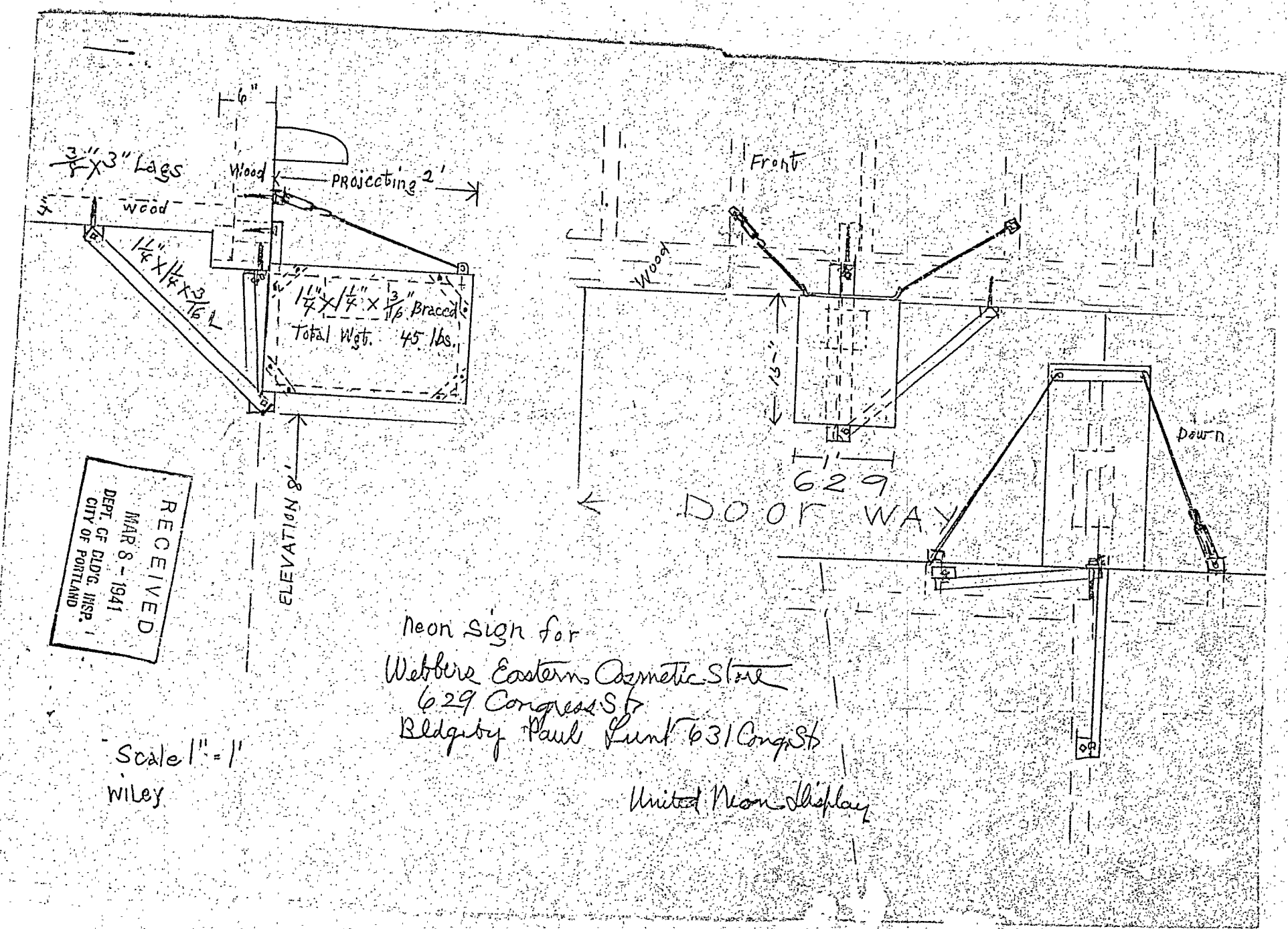
Stickers

Shop Insp. 3/11/41

Permit Issued 3/10/41

Permit Expired

Final Insp. 3/14/41



Neon Sign for
Webbers Eastern Cosmetic Store
629 Congress St
Bldg by Paul Lunt 631 Cong St

Scale 1" = 1'
WILEY

United Neon Display

Original Permit No. 10/1906

Amendment No. 1

PERMIT ISSUED

JUL 30 1940

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, July 30, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 10/1906 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 627½ Congress Street Within Fire Limits? Yes Dist. No. 1

Owner's ~~address~~ name and address Paul C. Lint, et al 629 Congress St.

Lessee L. A. Loew, Inc., 216 Tremont St. Boston

Contractor's name and address Antonio Leo, 117 Oxford St.

Plans filed as part of this Amendment Yes No. of Sheets 1

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Increased cost of work 75. Additional fee .25

Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work

To reinforce first floor of building as shown on plan submitted

Approved:

Chief of Fire Department.

Paul C. Lint, et al
by L. A. Loew, Inc.
Signature of Owner Frederick C. Stone
By

INSPECTION COPY

Commissioner of Pu[illegible] Works.

Approved: 7/30/40

Inspector of Buildings.

PERMIT ISSUED

Original Permit No. 39/1906

Amendment No. 3

JAN 16 1940

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, January 10, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 39/1906 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 627½ Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's ~~or Lessee~~'s name and address Paul C. Lunt, et al

Contractor's name and address F. H. Loew, Inc.

Plans filed as part of this Amendment no No. of Sheets

Increased cost of work Additional fee .25

Description of Proposed Work

Instead of using metal lath and plaster ceiling on non-burning furringand hangers in that part of the lobby which is between the entrence doors of the theatre and the sidewalk of Congress street, to use an all metal ceiling on metal hangers and furring eliminating all woodwork and other combustible material except that in the roof which is mill construction.

Paul C. Lunt, et al
By F. H. Loew, Inc.
By Fred B. Plaisted
Signature of Owner

Approved: 1/10/40
Inspector of Buildings

Approved:
Chief of Fire Department

Commissioner of Public Works

INSPECTION COPY

P.39/1206-I
Amend. No. 2

December 19, 1939

C.I. Brink, Inc.
147 West Fourth Street,
South Boston, Mass.

Attention Mr. Tibbetts

Gentlemen:

We are issuing the amendment to building permit to E. M. Loew's, Inc. covering erection of marquee at 627½ Congress Street in this city today.

In going over the larger scale drawings which Mr. Tibbett's left here this afternoon, I note that the cantilever I-beams are to get the support of the cantilever arm by bolting to the bottom flange of the outside 10 inch wide flange beam. We shall be rather particular about this connection, and I hope you will not only use ample bolts but that you will either put special bolts at this location of the type where the nut cannot work off or else use double nuts, as these fastening bolts will, of course, be in tension.

Very truly yours,

Inspector of Buildings

WMcD/H

CC: Frederick Stone, Mgr.
Portland Theatre
Preble Street

December 15, 1939

P.S. These signs are required to be inspected on the interior of them before erection by our inspector and the electrical inspector.

E. M. Loew's Theatres,
c/o Frederick Stone, Mgr.
Portland Theatre
Preble Street
Portland, Maine

Gentlemen:

With relation to the marquee and signs proposed to project over the sidewalk at 627½ Congress Street (former Casco Theatre) we have application from United Neon Displays for the erection of the signs, but there is necessary a separate permit (or this may be an amendment to the existing permit covering alterations in the theatre) to cover the construction and erection of the marquee. In order to get the matter straightened out I am phoning Mr. Stone so that he may come and file application for the amendment to cover the marquee. This amendment will be issued with this letter as soon as we can secure the approval of it by the Commissioner of Public Works and the Chief of the Fire Department, these approvals being required by the Building Code.

Relating to the marquee there is a note on the design sheet: "it has been assumed that the building contractor will frame lobby ceiling and roof upon 10" WF 21# beams and they have been calculated accordingly to assume this extra load."

These beams shown in the plan of the lobby roof are 8" beams and the lintel over the entrance to the lobby shows a different arrangement on the building plans than on the marquee plan. I am assuming that the owner or his contractor will clear up this confusion.

United Neon have filed with their application the structural plans of the marquee, but there are no structural plans of the signs. We will file the marquee plans with the amendment that Mr. Stone is to file. Brink, Inc. should file at once framing and fastening details of the signs, showing all members, fastenings, location of transformers, etc. We are accustom to require an outline angle frame for such signs and bar or angle 45 degree braces at every corner.

It is understood that Brink is manufacturing the signs. They are to be erected under the United Neon bond. We shall conclude that all concerned are in violation of the Building Code unless the signs are actually erected by United Neon's regular and permanent employees.

C. I. Brink, Inc. and United Neon Displays are receiving copies of this letter.

Very truly yours,

Inspector of Buildings

WMcD/H
CC: C. I. Brink, Inc.
147 W. Fourth St., So. Boston, Mass.
United Neon Displays
27 Monument Square

BOSTON PROVIDENCE SPRINGFIELD WORCESTER

C. I. BRINK
INCORPORATED
ELECTRIC SIGNS

Claude Neon Tubes ESTABLISHED 1866 Outdoor Advertising

147 WEST FOURTH STREET
SO. BOSTON, MASS.

Dec. 14,1939.

Mr. Warren McDonald,
Ibspectors of Buildings,
Portland, Maine.

Dear Mr. McDonald:-

Rec'd 12/15/39

I understand from the copy of your letter to the United Displays of December 7th that permission has been granted the E. M. Loew Theatres to erect the marquee.

In accordance with the criticism and statement outlined in your letter I have corrected these plans and returned them to the United Neon Displays for them to apply for a permit. According to a letter just received from them we understand that they have not received a permit to proceed with the work and as the weather is getting colder and this season of the year will become more stormy and the theatre people have kept this section of the lobby open for us, thereby delaying their work, I am going to ask you if we may proceed with setting of our steel beams and the roof of the marquee, drainage etc. so that they may finish their front and roof over this section.

The signs, of course, are not yet ready and in fact they have not got out of the pattern stage.

Hoping to hear favorably from you at your earliest convenience, I am

Yours very respectfully,

FPT:S C. I. BRINK, INCORPORATED.

F. P. Tibbetts

Original Permit No. PERMIT ISSUED

Amendment No. 1

NOV 24 1939

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, November 17, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 39/1905 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 627½ Congress Street 629-631 Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's or lessee's name and address Paul C. Lunt, et al 629 Congress St.

Contractor's name and address Meguier & Jones Co., 33 Pearl St. 3-6471

Plans filed as part of this Amendment yes No. of Sheets 4

Additional fee .25

Increased cost of work 700.

Description of Proposed Work

To erect four metal fire escapes on theatre as per plans submitted

Paul C. Lunt, et al
By Meguier & Jones Co.
Signature of Owner By G H Barbour

Approved: 11/24/39
Inspector of Buildings

Approved:
Chief of Fire Department

Commissioner of Public Works

COPY

015C

P.39/1906-I

December 8, 1939

Paul C. Lunt, et al
432 Preble Street,
South Portland, Maine

Dear Sir:

At your request and because the alterations in the former Casco Theatre at 527 Congress Street are making such a definite improvement in the means of egress from the theatre, this Board is willing to approve using a fire escape four feet wide instead of six feet wide as shown on the original plan on the easterly side of the theatre to reach the ground from the exit door at the auditorium floor level.

In order that the record may be straight, the contractor or other agent of the owner should apply for an amendment to the permit now in effect stating the reduction of the width of this fire escape.

Please see that that is done without delay.

INSPECTION BOARD

Chief of the Fire Department

Inspector of Buildings

Chief of the Police Department

CC: Robert Barbour
c/o Megquier & Jones
31 Pearl Street

E. M. Loew's Theatres
c/o Frederick Stone, Mgr.
Portland Theatre

P.39/1906-I

October 30, 1939

E. M. Loew Corp.,
c/o Mr. Frederick Stone,
43 Preble Street,
Portland, Maine

Gentlemen:

In connection with the alterations in the Casco Theatre, an item which perhaps was overlooked in all of our conferences and not fully taken care of on the plans, but which, nevertheless, is a requirement of the Building Code and must be observed, is the fact that the exit doors in the side wall of the auditorium and of the balcony are required to be fire doors set in fire door frames. There may be kalamein doors if a good looking door is desired, but they must be set in structural metal frames.

Very truly yours,

Inspector of Buildings.

WcD/ll

CC: Robert Barbour,
c/o Megquier & Jones Co.
31 Pearl Street

Paul L. Lunt, et al
432 Preble St.
So. Portland, Maine

P.39/1306-I

October 30, 1939

B. M. Loew Corp.,
c/o Mr. Fredorick Stone,
13 Preble Street,
Portland, Maine

Gentlemen:

In connection with the alterations in the Casco Theatre, an item which perhaps has overlooked in all of our conferences and not fully taken care of in the plans, but which, nevertheless, is a requirement of the Building Code and must be observed, is the fact that the exit doors in the side wall of the auditorium and of the balcony are required to be fire doors set in fire door frames. There may be Kalamein doors if a good looking door is desired, but they must be set in structural metal frames.

Very truly yours,

Inspector of Buildings.

HcD/H

CC: Robert Barbour
c/o Megquier & Jones Co.
31 Pearl Street

Paul L. Lunt, et al
492 Preble St.
So. Portland, Maine

October 24, 1939

E. M. Loew Corp.
c/o Mr. Frederick Stone,
13 Preble Street,
Portland, Maine

Gentlemen:

Enclosed is the building permit covering alterations in the Casco Theatre at 647½ Congress Street. Please note the following conditions:

1. We have been given to understand that the theatre is to be used for nothing but the showing of moving pictures.

2. The question of using carpet on the floor of the main lobby just outside of the auditorium and on the floor of the auditorium aisles is still to be settled and will be referred to the Inspection Board and you will be notified of the decision.

3. The mechanical ventilation system of the women's toilet room is required to be separate and distinct from any other ventilation system in the building.

4. Plastering is not allowable as fireproofing of structural steel where required.

5. Where dados and rail panels are indicated to be "pressed wood" it is understood that this material is to be of the grade called "tempered".

6. All wooden lathnow exposed in the auditorium, the plaster having been removed, will be themselves removed before the new furring and wall covering is applied.

7. All panels to be formed in the wall covering or rail covering are to be formed by metal mouldings without the use of wood strips or other combustible material.

8. No change will be made in the levels or grades of the auditorium floor, unless all flooring is removed, the existing floor joists filled in or new floor joists supplied to make the new grade and new flooring applied.

9. Handrails are to supplied on both sides of the six foot wide fire escape on the east side of the building and on the new four foot wide fire escape on the west side of the building.

10. The question of the marquee and the entrance construction facing on Congress Street is to be settled later, and when you have reached the decision details should be supplied and an amendment to this permit applied for.

11. There is a stairway from back stage to the basement, which, years ago caused considerable trouble. For several years the door at the foot of the stairs has been kept locked and the theatre management has used no part of the

basement. If that condition is now to be changed, or if the theatre management is to use any part of the basement for storage or otherwise, the closet beneath these stairs is to be permanently sealed up or otherwise eliminated, the present enclosure of the stairs in the basement to be made tight with fire resistive material and a self-closing fire door provided in the enclosure at the foot of the stairs.

12. On the west side of the theatre a six foot wide court has been set out, but the proposed fire escape from the auditorium occupies this full width. Another fire escape from the balcony is proposed, and there apparently will be no difficulty in the way of users of this latter fire escape getting out to Deering Place by the six foot wide fire escape as long as the owner of the property does not use the land beside the six foot wide fire escape for a building, for parking or other purposes. If the owner ever does use the land for such purposes, the passage of the users of the balcony fire escape to Deering Place will be obstructed and some other arrangement will be necessary.

Very truly yours,

WMcD/H Inspector of Buildings

CC: Chief Sanborn:
Chief Brooks:

The Building Code is silent about the floor covering required in theatres. Will you let me know how you feel about the use of combustible carpet on the floor areas indicated above?

Warren McDonald

CC: Robert Barbour
c/o Megquire & Jones

Paul C. Lunt, et al
492 Preble St., So. Portland

PS: It is understood that you will provide a permanent railing on the roof of the one story lobby and the roof of the new Lunt building so as to mark out a pathway to reach the fire escape on the east side from the window of the men's toilet room on the second floor, thus providing an emergency means of egress from the toilet room.

Rept. 54310-E

September 30, 1930

This letter purported to be completely old plans rec'd 10/15/30 - remarks same letter & by letter key mail terminal

E. M. Loew Corp.
16 Tremont Street,
Boston, Mass.

Gentlemen:

In checking over the plans for alterations at the Casco Theatre at 627½ Congress Street, I am assuming that no stage performances but only pictures will be shown at the theatre in the future; that no changes are contemplated on or about the stage other than renovation; and that change is contemplated in the structure or levels of the auditorium floor; and that the approximate total number of seats is proposed at 560, with 160 in the balcony and 400 in the orchestra.

In such a building as this housing a licensed activity where the safety of the public is paramount, it is always difficult to know how far the requirements of the Building Code for such a classification ought to be applied when substantial alterations are being made. This case is no exception, and the only way we will arrive at a fair adjustment of these questions will be in my opinion by having your representatives sit down in a conference with the Inspection Board to work out fair requirements, especially for the means of egress, arrangement of aisles, etc. The arrangement of these details which are shown on the plans do not satisfy the Building Code requirements for new theatres, and I do not think you should be required to comply fully with those requirements, but I think some of the arrangements shown on the plans are not good, and these matters can best be straightened out in such a conference, since the Inspection Board must pass upon the safety of the theatre before a new license is issued by the Municipal Officers. If you concur in this idea will you notify me so that arrangements may be made, but before we have such a conference, I suggest that you supply in writing or on the plans the deficiencies indicated here and show how the other questions raised below will be solved.

We appear to be short the following information which will be necessary and ought to be furnished before our conference. In these cases the originals of the plans should either be revised and new prints furnished or if you want to change the prints which we have here in the office in a clear and workmanlike manner, that may be done provided you bring in another set of prints, change the two sets identically and let me have both sets to check them over before the permit is issued:

1. Show exit court from the new exit on the east side of the auditorium floor, the width of it which must be at least six feet and where it will lead to; also whether or not the orchestra floor will be at the same level as the exit courts on both sides, and, if not, stone, concrete or iron steps at least six feet wide between handrails on both sides leading from the orchestra floor level to the level of the courts.

2. Height of the new exit doors - they must be at least six feet four inches high; anti-panic hardware; exit lights with letters at least six inches high, to show red on the inside of all exit doors with white lights on the outside adequate to illuminate the exit courts, fire escapes, etc., all of these lights to be as far as possible on a single circuit and controlled by a separate switch which should be located in the lobby with access to it only by authorized persons; emergency lighting in case the electricity should fail, especially for the exit lights.

3. The fireproof or mill construction of the new lobby passageway roof as indicated to you in my letter of September last. Mill construction means heavy timbered construction with no timber less than five and five-eighths inches in least dimension with roof planks no less than nominal thickness of two inches, tongued and grooved, and non-burnable furring for the ceiling lath. The question of the wall between the new lobby and the store on the property of the same ownership next door on the west will have to be settled. We have had difficulties with this partition before. Perhaps unless you want to make the walls fully fireproof, we can settle the status of it in our conference.

4. Are any changes in the toilet rooms proposed?

5. Is there to be a new switchboard back stage or any other place?

6. Are there not pilasters in the side walls of the auditorium clear down to the auditorium floor? If so, should they not be shown as they effect the aisles?

7. The fact that the plans show a "standee rail" at the rear of the auditorium, does not mean that the Fire Department will allow any standing there.

The following matters are called to your attention as being either contrary to the Building Code or questionable as to compliance:

1. Where the steps in the lobby are to be widened to a total width of 12 feet, the maximum width between handrails will be exceeded, unless you provide a rail running clear from the center mullion between the double doors to the foot of the stairs, and another rail not more than six feet from it running from the end wall of the lobby to the foot of the steps. These rails must be clearly shown.

2. We shall expect the fire extinguisher equipment in the building to be brought up to present Building Code standards for theatres.

3. What about radiators in aisles and the lobby and the question of their cutting down the width of the means of egress?

4. The new stairs to the balcony are required to be at least three feet and six inches wide; risers not more than seven and one-half inches; treads not less than ten and one-half inches; handrails on both sides; treads with non-slip surfaces. No closets will be permitted beneath stairs but the space under them should preferably be left open to view. I believe the Code requires that these new stairs be either of fireproof construction completely or of mill construction. Mill construction would be heavy timbers such as indicated for the roof of the lobby, at least two inch treads, and if closed underneath metal lath and plaster should be used on non-burnable furring.

5. The Building Code seems to require handrails in the side aisles in the balcony against the outer walls of the balcony.

6. The Building Code provides that no combustible lath, combustible doors or trims and no combustible coverings on walls or ceilings of the auditorium shall be permitted. The existing theatre does not comply with this requirement, and some fair adjustment will have to be made as to the new work. This can be taken care of at the conference.

Rept. 54510-D

September 20, 1939

This letter supplemented a conference of plans recd 10/18/39 - remarks were entered & applicant informed.

E. M. Love Corp.
10 Tremont Street,
Boston, Mass.

Gentlemen:

In checking over the plans for alterations at the Casco Theatre at 627½ Congress Street, I am assuming that no stage performances but only pictures will be shown at the theatre in the future; that no changes are contemplated on or about the stage other than renovation; and that change is contemplated in the structure or levels of the auditorium floor; and that the approximate total number of seats is proposed at 560, with 160 in the balcony and 400 in the orchestra.

In such a building as this housing a licensed activity where the safety of the public is paramount, it is always difficult to know how far the requirements of the Building Code for such a classification ought to be applied when substantial alterations are being made. This case is no exception, and the only way we will arrive at a fair adjustment of these questions will be in my opinion by having your representatives sit down in a conference with the Inspection Board to work out fair requirements, especially for the means of egress, arrangement of aisles, etc. The arrangement of these details which are shown on the plans do not satisfy the Building Code requirements for new theatres, and I do not think you should be required to comply fully with those requirements, but I think some of the arrangements shown on the plans are not good, and these matters can best be straightened out in such a conference, since the Inspection Board must pass upon the safety of the theatre before a new license is issued by the Municipal Officers. If you concur in this idea will you notify me so that arrangements may be made, but before we have such a conference, I suggest that you supply in writing or on the plans the deficiencies indicated here and show how the other questions raised below will be solved.

We appear to be short the following information which will be necessary and ought to be furnished before our conference. In these cases the originals of the plans should either be revised and new prints furnished or if you want to change the prints which we have here in the office in a clear and workmanlike manner, that may be done provided you bring in another set of prints, change the two sets identically and let me have both sets to check them over before the permit is issued:

1. Show exit court from the new exit on the east side of the auditorium floor, the width of it which must be at least six feet and where it will lead to; also whether or not the orchestra floor will be at the same level as the exit courts on both sides, and, if not, stone, concrete or iron steps at least six feet wide between handrails on both sides leading from the orchestra floor level to the level of the courts.

2. Height of the new exit doors - they must be at least six feet four inches high; anti-panic hardware; exit lights with letters at least six inches high, to show red on the inside of all exit doors with white lights on the outside adequate to illuminate the exit courts, fire escapes, etc., all of these lights to be as far as possible on a single circuit and controlled by a separate switch which should be located in the lobby with access to it only by authorized persons; emergency lighting in case the electricity should fail, especially for the exit lights.

September 30, 1939

7. I think it will be necessary to eliminate the pocket in the balcony floor where one would enter from the stairs and have to step up in all directions in order to reach the seats.

8. The aisles of the balcony ought to be designed for 100 pounds per square foot live load. Apparently they are not and unless you propose to double up the joists under the aisles. If so, it should be clearly indicated. I have not had any chance to check the steel but have accepted it so far on Mr. Barbour's statement of design.

9. There are several questions about the front on Congress Street,-the question of so much wood ornamentation in the Fire District; fireproofing the structural steel lintel which would support the brick backing wall of the wood facade; the projecting sign which looks quite a lot like a marquee and in any event would have to be covered by a separate permit secured by a bonded sign hanger; the question of the ticket booth narrowing down the entrance at Congress Street to three feet and eight inches on either side; the question of rubber flooring, wooden furring and combustible finish on the walls of the lobby.

Very truly yours,

Inspector of Buildings

MMcD/il

CC: Paul C. Lunt, et al
492 Preble Street
So. Portland, Maine

Chief Sanborn

Chief Brooks

Robert Barbour
c/o Mequier & Jones
31 Pearl Street

Rcpt. 5431C-I

none

September 21, 1939

E. M. Loew Corp.,
c/o Frederick C. Stone,
11 Preble St.,
Portland, Maine

Gentlemen:

At the request of Mr. Stone, enclosed is a preliminary permit covering tearing out ONLY on the Casco Theatre job at 627½ Congress St. Issuance of this temporary or preliminary permit gives no assurance that the present plans comply with the requirements of the Building Code or those of the Inspection Board of the City, but is only for your convenience to get the job started while the plans are being checked.

We have examined the plans far enough to know that the construction of the roof of the new lobby does not comply with the Code, since this is new work in a theatre and therefore must be of first class or fireproof construction.

Also, it is certain that the Inspection Board will require a definite improvement of the means of egress over that now existing, and will need a detailed arrangement proposed for seats, longitudinal aisles and cross aisles to scale, both in balcony and main floor before a conclusion is reached and the permit issued.

Please furnish this additional information promptly so that there may be no delay in issuing the construction permit.

Very truly yours,

Inspector of Buildings.

CC Paul C. Lunt, et al, 492 Preble St., So. Portland
R. E. Barbour, 33 Pearl St.

P. S. If the total seating capacity of the theatre is to be less than 750, the lobby roof may be of mill construction, but the ceiling must be plaster on metal lath and supported on incombustible furring.

Original Permit No. 39/190

Amendment No. 1

PERMIT ISSUED

DEC 15 1939

AMENDMENT TO APPLICATION FOR PERMIT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Dec. 15, 1939

The undersigned hereby applies for an amendment to Permit No. 39/1906 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 627½ Congress St. Ward 5 Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Paul C. Lunt et al 629 Congress St.
K. M. Loew's, Inc. Lessee

Contractor's name and address O. Y. Brink, Inc. 147 West Fourth St., So. Boston, Mass.

Plans filed as part of this Amendment No. of Sheets

Increased cost of work 1800.

Additional fee 3.50

Description of Proposed Work

To construct and erect Marquee over Congress St. sidewalk in front of theatre entrance as per plans attached.

Paul C. Lunt, et al
By K. M. Loew's, Inc.
Signature of Owner By [illegible]

Approved [illegible]
Chief of Fire Department

Approved 12/18/39
Commissioner of Public Works.

INSPECTION COPY

Inspector

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. PERMIT ISSUED 1906 OCT 24 1939

Class of Building or Type of Structure Second Class

Portland, Maine, September 19, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ~~629~~ 627½ Congress Street Within Fire Limits? yes Dist. No. 1

Owner's ~~or lessee's~~ name and address Paul C. Lunt, et al, 492 Preble St. So.Port Telephone Hancock

Contractor's name and address F. M. Loew Corp. Lessee 216 Tremont St. Boston, Mass. Telephone 3-473

Architect Plans filed yes No. of sheets 3

Proposed use of building Theatre No. families

Other buildings on same lot

Estimated cost $ 10,000. Fee $ 7.50

Description of Present Building to be Altered

Material brick No. stories 1 Heat steam Style of roof Roofing

Last use Theatre No. families

General Description of New Work

To provide new balcony, lobby, etc. as per plans submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Paul C. Lunt

INSTRUCTION COPY Signature of owner by Joel P. Barton

CITY

Permit No. 39/1906

Location 523½ Congress St

Jacob C Blunt et al

Date Permit 10/24/39

Notif. Closing-in

Insp. Closing-in

Final Notif.

Final 8/24/40 - wmf

Cert. of Occupancy issued None

NOTES

11/20/39 - P

1/30/40 - Greenlag & Co to close balance of ceiling & lobby lint marquee - AJB

8/24/40 - See letter in Insp. Board file - wmf

CENTRAL BUSINESS ZONE

PERMIT 20

Permit No.

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

DEC 10 1930

Portland, Maine, _____ *19*

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 627½ Congress St. Portland, Maine Within Fire Limits? Yes Dist. No. 5

Owner of building to which sign is to be attached Paul G. Lund et al

Name and address of owner of sign E. M. Loew's Theatres, 216 Tremont St. Boston, Mass.

Contractor's name and address United Neon Displays, 27 Monument Sq. Telephone _____

When does contractor's bond expire? _____

Information Concerning Building

No. stories 1 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? Yes Vertical dimension after erection 6'8" Horizontal 11'0"

Weight 2670 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame Structural steel No. advertising faces 2, material Sheet metal

No. rigid connections 2 Cant. beams Are they fastened directly to frame of sign? Yes.

No. through bolts 8, Size 3/4" Location, top or bottom On Cantilever beams.

No. guys 0, material All construction of str. steel which fasten to 10" beams across lobby. Size as noted in B/P

Minimum clear height above sidewalk or street to bottom of ornament on nose 8'10"

Maximum projection into street 11'0"

Fee $ _____

Chas. O. Thurlow

CHIEF OF FIRE DEPT. *Signature of contractor* _____

INSPECTION COPY

12-30