

653 CONGRESS STREET



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date April 28, 19 78
Receipt and Permit number A 10643

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 653 Congress St.
OWNER'S NAME: Geoffrey Rice ADDRESS: same

OUTLETS: (number of)
Lights _____ FEES
Receptacles _____
Switches _____
Plugmold _____ (number of feet)
TOTAL _____

FIXTURES: (number of)
Incandescent _____
Fluorescent _____ (Do not include strip fluorescent)
TOTAL _____
Strip Fluorescent, in feet _____

SERVICES:
Permanent, total amperes _____
Temporary _____

METERS: (number of) _____

MOTORS: (number of)
Fractional _____
1 HP or over _____

RESIDENTIAL HEATING:
Oil or Gas (number of units) _____
Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
Oil or Gas (by a main boiler) _____
Oil or Gas (by separate units) _____
Electric (total number of kws) _____

APPLIANCES: (number of)
Ranges _____ Water Heaters _____
Cook Tops _____ Disposals _____
Wall Ovens _____ Dishwashers _____
Dryers _____ Compactors _____
Fans _____ Others (denote) _____
TOTAL _____

MISCELLANEOUS: (number of)
Branch Panels _____
Transformers _____
Air Conditioners _____
Signs _____
Fire/Burglar Alarms Commercial 5.00
Circus, Fairs, etc. _____
Alterations to wires _____
Repairs after fire _____
Heavy Duty, 220v outlets _____
Emergency Lights, battery _____
Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT
FOR REMOVAL OF A "STOP ORDER" (304-16.b)
FOR PERFORMING WORK WITHOUT A PERMIT (304-9)
INSTALLATION FEE DUE: _____
DOUBLE FEE DUE: _____
TOTAL AMOUNT DUE: 5.00

INSPECTION:
Will be ready on _____, 19____; or Will Call xx

CONTRACTOR'S NAME: Eger Electric
ADDRESS: 22 Devon St.
TEL.: _____

MASTER LICENSE NO.: 2708
LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: Eger Electric RE
INSPECTOR'S COPY

Permit Number 1-2-345678

Location Bozeman

OWNER *J. A. ...*
11-28-28

Date of Permit 1-20-72

Final Inspection 7.10.01

By Inspector 134

Permit Application Register

INSPECTIONS: Service _____ by _____
Service called in _____
Closing-in 7 _____ by _____

PROGRESS INSPECTIONS: 0 - 1 - 1

CODE
COMPLIANCE
COMPLETED
DATE _____

DATE _____

TRAFFIC

REMARKS: This was inspected before permit taken



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 0303
B.O.C.A. TYPE OF CONSTRUCTION

APR 28 1978

ZONING LOCATION PORTLAND, MAINE, April 28, 1978

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 653 Congress St. ... Fire District #1 ☐ #2 ☐
1. Owner's name and address ... Geoffrey Rice - same ... Telephone
2. Lessee's name and address ... Telephone
3. Contractor's name and address Eger Electric 22 Devon St. ... Telephone 774-2825
4. Architect ... Specifications ... Plans ... No. of sheets ...
Proposed use of building ... apartment bldg. ... No. families ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ Fee \$ 15.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other ... fire alarm.
To install fire alarm, Simplex model # 4207, smoke detector and fire alarm all one unit, 21 bells 10 in. 3 each to serve 7 floor of bldg, Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☐ 2 ☐ 3 ☒ 4 ☐

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street? ..

ZONING:

BUILDING CODE: 0.15. P.A. 4/27/78

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant C. Eger Electric (RE) Phone # same

Type Name of above Eger Electric 1 ☐ 2 ☐ 3 ☒ 4 ☐

Other
and Address

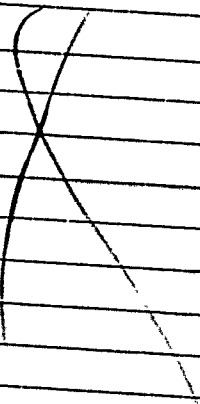
FIELD INSPECTOR'S COPY

NOTES

6-1-78 Doesn't Appear to have installed
yet - C. S.
03-8-77 installed - Fire Dept
was supposed to have checked -

Permit No. 78/0303
Location 653 Longview St.
Owner [Signature]
Date of permit 04-08-78

Approved 1-28-78 [Signature]
[Signature] since October



10860

PERMIT NUMBER

**PORTLAND PLUMBING
INSPECTOR**

APPROVED FIRST INSPECTION

By: L. H. Lind

APPROVED FINAL INSPECTION

JOSEPH E. WELCH

By _____

TYPE OF BUILDING

☐ COMMERCIAL☐ RESIDENTIAL☐ SINGLE☐ SINGLE
☐ MULTI FAMILY☐ NEW CONSTRUCTION☐ REMODELING

Address 653 Congress Street

Installation For: **Soules Candy Kitchen**

Owner of Bldg. Soule Candy Kitchen

Owner's Address: 653 Congress Street.

Plumber: Portland Gas Light Company Date: 11-1-61

NEW	REP L	PROPOSED INSTALLATIONS	NUMBER	FEE
-----	-------	------------------------	--------	-----

[illegible]

		TICKETS		
		TICKETS		

	BATH TUBS	
--	-----------	--

		SHOWERS		
		DRAINS		

		DRAINS		
1		HOT WATER TANKS		

	TANKLESS WATER HEATERS	1	\$ 2.00
--	------------------------	---	---------

	GARBAGE GRINDERS		
--	------------------	--	--

	SEPTIC TANKS		
	HOUSE SEWERS		

	HOUSE SEWERS	
	ROOF LEADERS (Conn. to house drain)	

[illegible][illegible][illegible]

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL	▶	\$ 2.00
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PERMIT
NUMBER

1903

PERMIT TO INSTALL PLUMBING

Address: 653 Cambridge Street

Date Issued: May 21, 1961

Installation For: Donald E. Bodin

PORTLAND PLUMBING
INSPECTOR

Owner of Bldg.: Donald E. Bodin

Owner's Address: 19 Kings Street

By: J. P. Welch

Plumber: Donald E. Bodin

Date: 5-27-61

APPROVED FINAL INSPECTION

Date: Apr 10-1961

By: JOSEPH P. WELCH

APPROVED FINAL INSPECTION

Date: May 22, 1961

By: JOSEPH P. WELCH

TYPE OF BUILDING

☐ COMMERCIAL

☐ RESIDENTIAL

☒ SINGLE

☐ MULTI FAMILY

☐ NEW CONSTRUCTION

☐ REMODELING

NEW	REP'L	PROPOSED INSTALLATIONS	NUMBER	FEE
	2	SINKS	2	4.00
		WAVATCRIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
	1	HOT WATER TANKS	1	2.00
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn. to house drain)		
	1	Trap	1	2.00
Total				8.00

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION

SM 12-53 ☐

PERMIT
NUMBER

10233

Date
Issued

6/9/61

PORTLAND PLUMBING
INSPECTOR

By

J. P. Welch

APPROVED FIRST INSPECTION

Date

June 9, 1961

By

JOSEPH P. WELCH

APPROVED FINAL INSPECTION

Date

June 19, 1961

By

JOSEPH P. WELCH

TYPE OF BUILDING

- ☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

SM 12-53 ☐

Address:

PERMIT TO INSTALL PLUMBING

653 Congress Street

Installation For:

Donald E. Bodin

Owner of Bldg.:

Donald E. Bodin

Owner's Address:

19 Kinco Street

For OWNER:

Donald E. Bodin

Date: 6/9/61

NEW	EXIST.	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn. to house drain)		
1		Cooling Slab	1	\$ 2.00
			1	\$ 2.00
			Total	

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, September 15, 1961

PERMIT ISSUED
01191
SEP 18 1961
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 653 Congress St. Use of Building Store & Apts No. Stories 2 New Building
Name and address of owner of appliance Donald Fodor, 653 Congress St. Existing "Existing"
Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone _____

General Description of Work

To install (1)-gas-fired #7-S-233 Bryant steam boiler in place of central heating system.
~~for~~ (this building was formerly heated with several other bldgs.-central heating system) now individually heated.

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? none
If so, how protected? _____ Kind of fuel? gas
Minimum distance to burnable material, from top of appliance or casing top of furnace 6"
From top of smoke pipe 4" From front of appliance 18" From sides or back of appliance 6"
Size of chimney flue 10x10 Other connections to same flue gas-fired water heater.
If gas fired, how vented? thru chimney. Rated maximum demand per hour _____
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner _____ Labelled by underwriters' laboratories? _____
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? _____
Type of floor beneath burner _____ Size of vent pipe _____
Location of oil storage _____ Number and capacity of tanks _____
Low water shut off _____ Make _____ No. _____
Will all tanks be more than five feet from any flame? _____ How many tanks enclosed? _____
Total capacity of any existing storage tanks for furnace burners _____

IF COOKING APPLIANCE

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Height of Legs, if any _____
Skirting at bottom of appliance? _____ Distance to combustible material from top of appliance? _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____ Forced or gravity? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Gas-fired appliance will be equipped with automatic device which will shut off all gas supply in case pilot flame is extinguished.

Listed A.G.A. 1969 P.M.T.

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

9-18-61 JFM

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Gas Light Company

CS 300

INSPECTION COPY

Signature of Installer

by:

Guy H. Spaulding Jr.

7M

[illegible]



APPLICATION FOR PERMIT

B3 BUSINESS ZONE

Second Class

Class of Building or Type of Structure

Portland, Maine

May 24, 1961

PERMIT ISSUED
MAY 29 1961
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 653 Congress St. Within Fire Limits? Dist. No.
Owner's name and address Soules Candy Kitchen, 653 Congress St. Telephone
Lessee's name and address Telephone
Contractor's name and address Charles J. Crandon, 25 Florida Ave Telephone 2-7738
Architect Specifications Plans No. of sheets
Proposed use of building candy store -(apt.) No. families 1
Last use restaurant Style of roof Roofing
Material No. stories 2 Heat No. families
Other buildings on same lot Fee \$ 2.00
Estimated cost \$

General Description of New Work

To install refrigeration system as per plan- Compressor in basement (Freon 12)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering Kind of heat fuel
No. of chimneys Material of chimneys of lining Corner posts Sills
Framing Lumber-Kind Dressed or full size? Max. on centers
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , right?

If one story building with masonry walls, thickness of walls?
If a Garage
No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Charles J. Crandon

APPROVED:

Carl P. Johnson
H. E. Mayberry

CP 301

INSPECTION COPY

Signature of owner

By:

Charles J. Crandon

2 Mac

NOTES

6/1/54

Location: 613 Avenue D

Owner: Charles W. H. H. H.

Date of permit: 7/1/54

Notif. closing in: _____

Inspr. closing in: _____

Final Notif. _____

Final Inspr. _____

Cert. of Occupancy issued _____

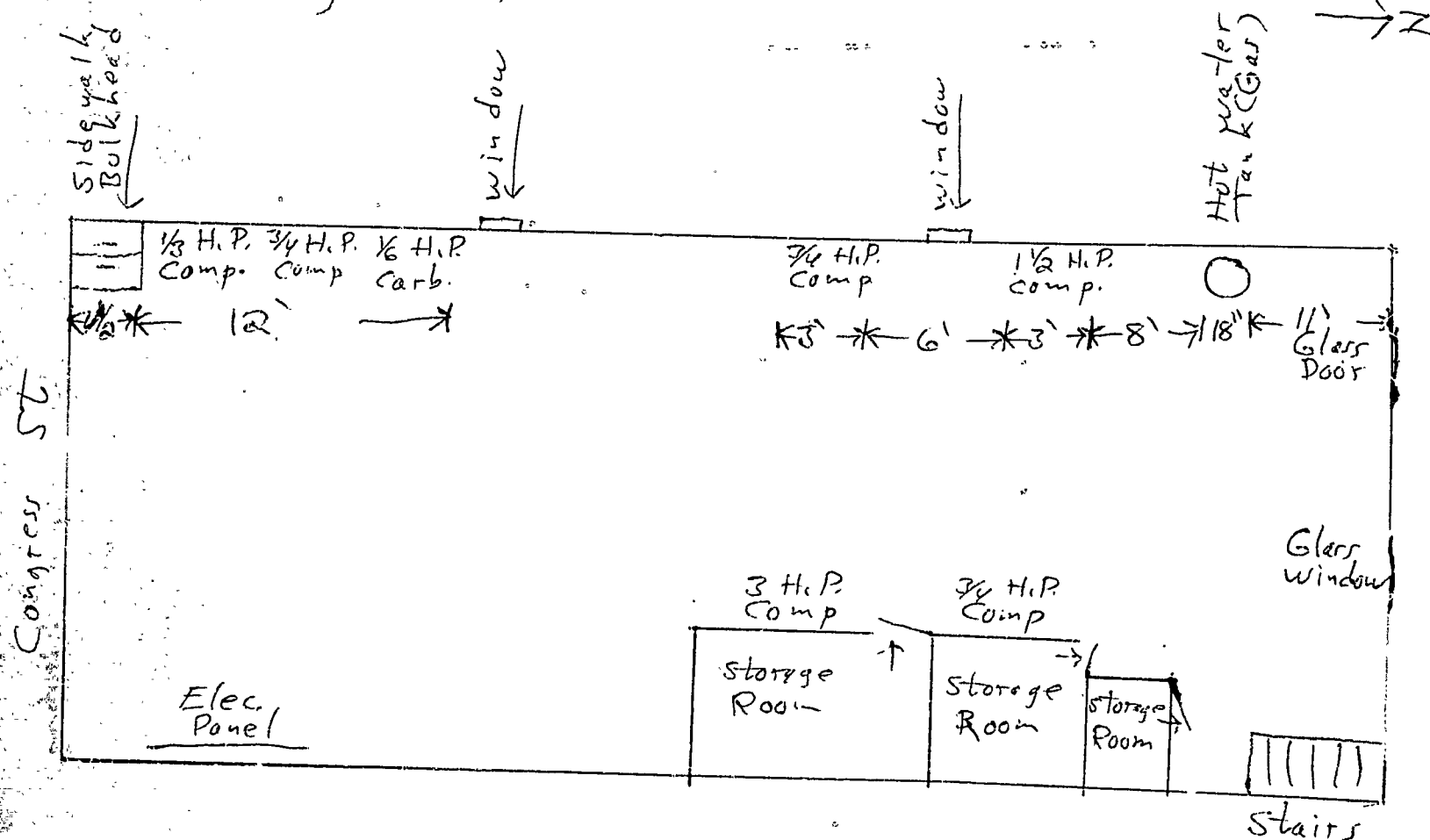
Setting Out Notice _____

Form Check Notice _____

Notes section with multiple lines for handwritten text. A large 'X' is drawn across the middle of the section.

Additional form section with multiple lines for handwritten text, including a signature line at the bottom.

Basement sketch Soules Candy 653 Congress St
 For Re-frigeration Compressors (Freon)
 Building is Sprinkled



AP-653 Congress Street

March 25, 1959

Pierre's School of Beauty Culture
76 Main Street
Brunswick, Maine

Gentlemen:

Examination of application for permit for providing school for beauty culture in first story of sprinklered building at above named location indicates that such a use would be allowable under the Building Code under the following conditions:

1. All pupils would have to be more than 18 years of age.
2. Capacity of first story in people would be limited to fifty persons.
3. Padlock and bolt on gate at foot of fire escape stairs must be removed and replaced with a locking device, if one is desired, which can always be opened from the fire escape side without the use of a key or any special knowledge.
4. If not already existing, a white light would be needed outside rear exit door on same circuit as exit lights.

It would not be allowable to establish a school use in any part of the second story of this building, because there are wood frame walls in this story that make it necessary to rate it as Third Class Construction in which the school use is not allowable. Issuance of any permit for this change of use of the building is being withheld pending receipt of word from you that you will comply with these conditions and are to go ahead with the project.

Very truly yours,

Albert E. Sears
Inspector of Buildings

ASJ/jg

Change of Use to School for Beauty Culture - 653 Congress St
3/23/59

1- Zoning:- B-3 Zone:- Use O.K.

2- Special + General Use Requirements:-

Building is
sprinklered

SECTION 210

a - Type B - For
students 18 years of
age and older.

b - Are openings in
any walls closer than
5' to lot lines metal
sash and wire glass?

c - O.K.

d - O.K.

e - 7-Will fire alarm
be needed? No

f - O.K.

g - O.K.

h - 1- Steam heat

i - O.K.

j - Chance for approval
by Mun. Off.

SECTION 212

a - O.K.

b - O.K.

c - O.K.

d - O.K.

e - O.K.

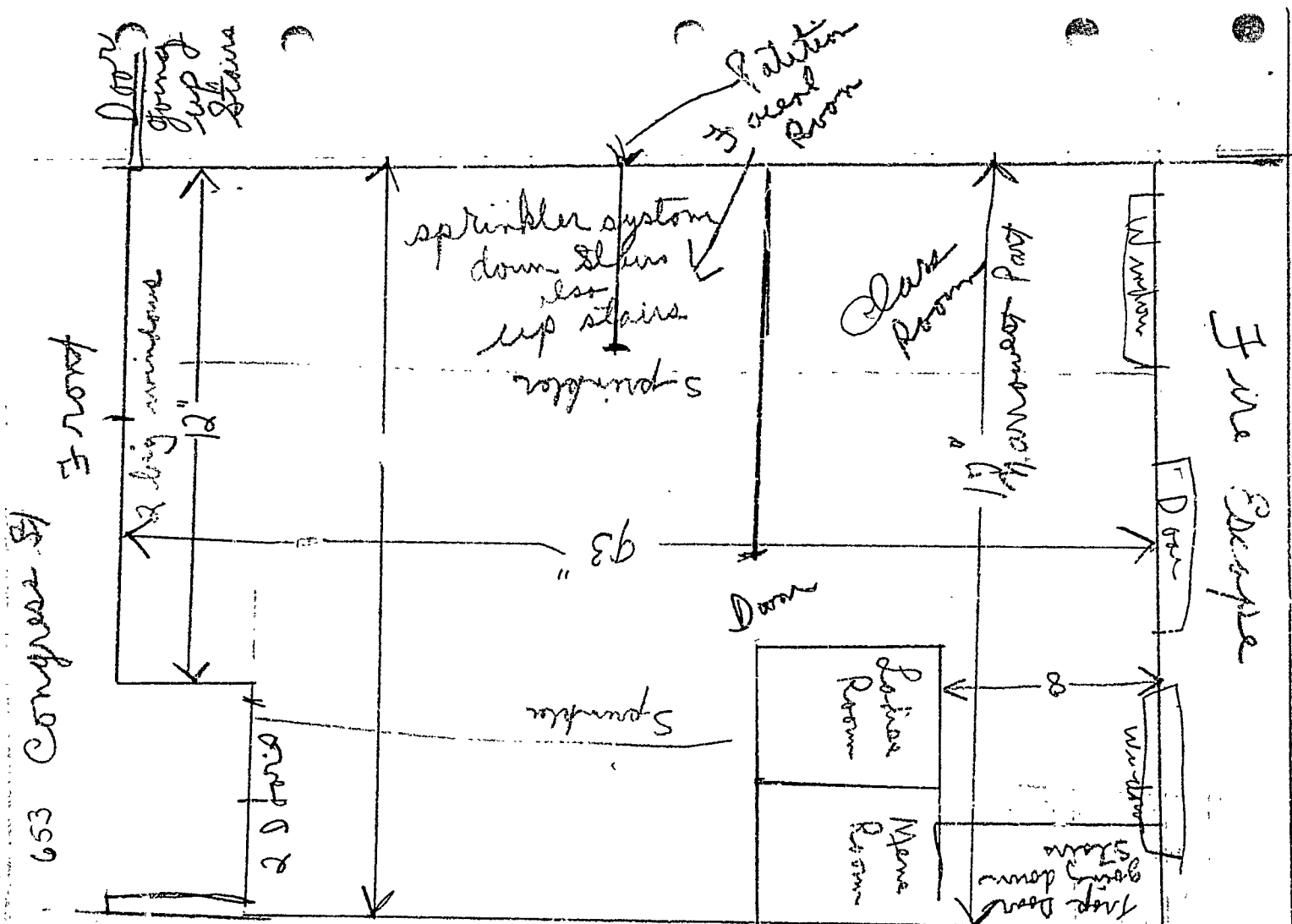
f - O.K.

g - O.K.

h - O.K.

i - O.K.

j - O.K.



Brunswick main
55261

Pierson School of Beauty Culture



B3 BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure

2nd class

Portland, Maine

March 23, 1959

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 653 Congress St. Within Fire Limits? yes Dist. No.
Owner's name and address Israel & Louis Bernstein, 97a Exchange St. Telephone
Lessee's name and address Pierres School of Beauty Culture, 76 Main St. Telephone PA-5-5261
Contractor's name and address Brunswick Me. Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building School of Beauty Culture No. families
Last use Restaurant & Beauty Shop No. families
Material brick No. stories 2 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 1.00

General Description of New Work

To change use from restaurant to school of beauty culture for more than twelve people on first floor.

11/6/59 - work apparently not to go ahead
AJP

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO lessee

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Israel & Louis Bernstein
Pierres School of Beauty Culture

INSPECTION COPY

Signature of owner

by: Pierre Joutaivitis
F.D.

NOTES

Permit No. 579
Location 653 Chicago St
Owner Allen & Barbara Brown
Date of permit 27 1959
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert of Occupancy issued
Staking Out Notice
Form Check Notice

C. E. Brown

B3 BUSINESS ZONE

Permit No. 4

CITY OF PORTLAND, MAINE

APPLICATION FOR PERMISSION TO ERECT AND MAINTAIN TEMPORARY SIGNS WITHIN FIRE DISTRICT NO. 1.

Portland, Me. 19

The undersigned applies for permission to erect and maintain the following described temporary sign within Fire District No. 1, in accordance with the Building Code of the City of Portland and the following specifications:

Location 653a Congress St. Ward

Owner of building to which sign is to be attached Louis Bernstein, 97a Exchange St.

Name and address of owner of sign Democratic City Committee Headquarters

Sign contractor's name and address Roland A. Borduas, 11 Avon St. Phone 3-8263

Overall dimensions of sign 18" x 2' Material of face oilcloth of frame wood

In what story erected below Will sign cover any part of window or door opening no
2nd floor windows

Signature

Approved

Inspector of Buildings

Date on which permission to maintain this sign expires August 2, 1958

Application for renewal To

Signature

Approved

Inspector of Buildings

Application for renewal to

Signature

Approved

Inspector of Buildings

Application for renewal to

Signature

Approved

Inspector of Buildings

Application for renewal to

Signature

Approved

Inspector of Buildings

Application for renewal to

Signature

Approved

Inspector of Buildings

Application for renewal to

Signature

Approved

Inspector of Buildings

NOTE TO OWNER OF SIGN: PRESERVE THIS CERTIFICATE. If it is desired to maintain sign for a period longer than that allowed above, present this certificate at the Department of Building Inspection before the allowed period has elapsed, and permission for an additional period will be approved hereon, if sign is in good condition.

(14)
 Ward _____ Permit No. To _____
 Location 63a Congress St.
 Owner of Sign Democratic City Committee
 Sign Hanger Roland A. Borduas.

Date of				
Period	Begins	Ends	No- tice	Re- moval
Orig.	6/2/58	8/1/58		8/12/58
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				

6/13/58 - Sign up. - Allen
 8/12/58 - Sign removed - Allen



(G) GENERAL BUSINESS ZONE

PERMIT ISSUED

0198

NOV 18 1949

Permit No.

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, November 14 19 49

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 653 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner of building to which sign is to be attached Tr. R. Hight Rines

Name and address of owner of sign Alamo Restaurant, 653 Congress St., Portland, Maine

Contractor's name and address John Creeden, 454 1/2 Fore Street Telephone 3-8802

When does contractor's bond expire? January 1950

Repaint & Renewal

Information Concerning Building

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

No. stories 2 Material of wall to which sign is to be attached brick

Same Location

Details of Sign and Connections

Electric? no Vertical dimension after erection 3' Horizontal 6'

Weight 80 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2 material metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts none Size _____ Location, top or bottom _____

No. guys 3 material angle iron & cable Size 1 1/2 x 3/16"

Minimum clear height above sidewalk or street 7'

Maximum projection into street 6' 8"

Approved by

Inspr.
ORIGINAL

Signature of contractor

John Creeden

Fee \$ 1.00

PH

Permit No. 49/1983

Location 653 Congress st.

Owner Alamo Restaurant

Date of permit 11/1/81

Sign Contractor

Final Inspn. 11-25-81

NOTES

Handwritten notes and signatures on a grid background. The notes are mostly illegible due to the quality of the scan and the handwriting. There are several lines of text, some of which appear to be crossed out or written over other text. The grid lines are visible throughout the page.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES

AT _____ IN PORTLAND, MAINE
National Bank of Commerce of Portland, Trustee
u/w R. Hight Rines, being the owner of the
premises at 653 Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by The Alamo Restaurant
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit National Bank of Commerce
of Portland, Trustee u/w
R. Hight Rines, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for ~~himself or~~ itself, ~~for his heirs,~~
its successors, and ~~his or~~ its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 15th day of November, 19 49

National Bank of Commerce of Portland,
Trustee u/w R. Hight Rines.

By: Robert E. Clark Owner
Vice-President

Edith B. Reed Witness

RECEIVED

NOV 16 1949

DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

AP 653 Congress Street-I
(Installation of cooking
equipment)

November 10, 1948

Thomas Skinner Company
127 Main Street
South Portland, Maine

Subject: Installation of ventilating duct
serving hood over cooking equipment in the
restaurant at 653 Congress Street

Gentlemen:

Our inspector found that your company had done the sheet metal work on this ventilation system and that the ventilating duct from the hood nearer Congress Street in connection with the duct from the hood farther to the rear has been placed practically in contact with the wall of the restaurant which apparently has wall paper on it. Even though the wall paper were not there, if the wall is plastered on wooden lath, the Building Code requires that such a ventilating duct from a hood over a cooking appliance shall have the same minimum clearance from combustible material as a smokepipe—no less than 6" and even then a shield of non-burnable material such as asbestos luster, to be suspended on non-burnable supports about half way between the duct and the combustible material.

Please see to it that this change is made immediately to correct violation of the Building Code, then notify this office for another inspection.

Very truly yours,

Inspector of Buildings

WKC/D

CC: Mr. Charles Pappas
653 Congress Street

Mr. Emil Iverson—belated permit for installation of gas-fired friolator,
509 Fore Street restaurant range and grills

Dear Mr. Iverson:

Please see to it in the future that permit cards are in your possession before installation of any such equipment is started.

Warren McDonald

Re: Class Pappas

LOCATION 653 Congress St.

DATE 11-3-48

PERMIT _____

INQUIRY _____

COMPLAINT _____

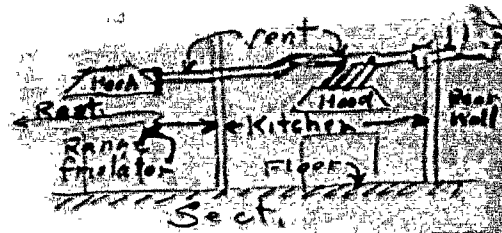
Plumbing equipment
Capt. Will D.K.

Trouble is in venting
hood in front party, are talked
it over but reached no
decision, except that you
write installer and let
him work it out.

The Skinner run the
front hood vent against
a framed wall 6' x 4'
feet and then turned the
vent from the kitchen
hood. This vent runs
out doors and to roof with
fans.

When close to wall it
must be removed at least
6" with partition. There is
some question as to whether
the two hoods should
enter the same vent,
before reaching outdoors
over the roof.

BI-57





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 2, 1948

PERMIT ISSUED
02106
NOV 10 1948
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 653 Congress Street Use of Building Restaurant No. Stories ☒ Building Existing " "
Name and address of owner of appliance Charles Pappas, 653 Congress Street
Installer's name and address Emil Iverson, 509 Fore Street Telephone 3-8462

General Description of Work

To install gas-fired friolator, restaurant range and grille

Health Notices to

Health Officer and thus

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labelled by underwriter's laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance first floor Kind of fuel gas Type of floor beneath appliance wood
If wood, how protected? 8" above floor
Minimum distance to wood or combustible material from top of appliance 5'
From front of appliance over 4' From sides and back over 3' From top of smokepipe
Size of chimney flue Other connections to same flue Through another hood vent
Is hood to be provided? yes If so, how vented? thru outside air
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Hood not provided over grille.

Permit Issued with Letter

Amount of fee enclosed? 3.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

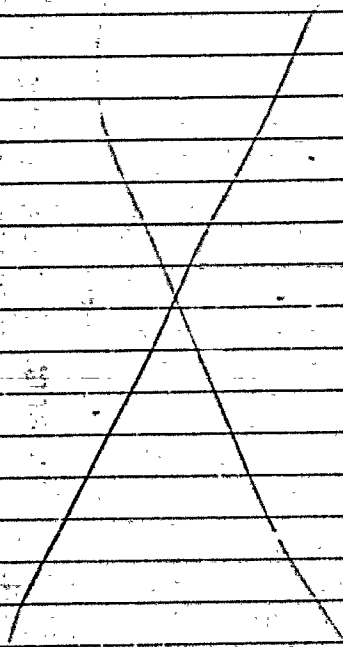
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer

Emil Iverson

INSPECTION COPY

Permit No. 48/2106
Location 653 Congress St.
Owner Charles Pappas
Date of permit 11/10/48
Approved 12/21/48. G.C.
NOTES



COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **National Bank of Commerce, Tr.**

Date of Issue **November 3, 1948**

This is to certify that the building, premises, or part thereof, indicated below, and ~~built~~—
altered—changed as to use at **653 Congress Street**
under Building Permit No. **43/1405**, has had final inspection, has been found to conform substan-
tially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved
for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

First Floor

APPROVED OCCUPANCY

Store and restaurant

Limiting Conditions:

Pending relocation of hood vent.

This certificate supersedes
certificate issued

CO: Mr. Charles Pappas
653 Congress Street

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

653 Congress Street-1

August 10, 1943

Mr. J. S. Kennedy (CC for foreman on job)
105 Preble Street
Mr. Charles Pappas
653 Congress Street

Subject: Building permit for alterations in
first story of building at 653 Congress
Street and to change the use to a restaurant

Gentlemen:

Building permit for the above work and change of use is issued to the contractor, herewith, subject to the following, some of the features in Mr. Kennedy's letter not having fully answered the questions raised in my letter of July 30, and these conditions being enumerated not only for the benefit of the owner, lessee and contractor but for the efficient handling of the job on the part of our inspectors:

1. We have a letter from Mr. Pappas, dated August 3, that there will not be in the establishment at any one time a total number of persons exceeding 50, including both patrons and employees. Therefore none of the doors used for exit are required to swing out or toward the direction of egress, but may do so if desired.

Since not more than 50 persons will be accommodated, the double entrance doors may be only 30" wide as shown on the plan, only the "working" door requires a vestibule lockset and the "standing" door may have the ordinary top and bottom bolts without anti-panic bar.

The door between diningroom and kitchen is to be at least 30" wide and without locking device of any kind. The rear exterior exit door is to be equipped with a vestibule latch set.

2. The platform outside of rear exit door and both outside stairways are to be metal fire escapes, the platform to be at the same level as the door of the kitchen, to have a railing no less than 9" beyond the jamb of the exit door on the side toward the Trainway Building, the outer edge of the lowest step on the fire escape to be flush with the jamb of exterior door toward Columbia Hotel, both metal stairways and the wooden walkway on the roof to be no less than 3' wide, and to have handrails on both sides—Mr. Kennedy's letter mentions handrails on both sides of only the walkway on the roof, they are required on both stairways as well. The lower section of the fire escape from roof to parking space to be counterbalanced. It is understood that the fire escapes and platform outside of rear exit door are to be constructed and installed by another contractor who will get his own permit and file his own plan with the application for that permit.

3. The attorney of the owner of the building over which the fire escape is to lead has informed us that they are working out a "license" document to cover the allowance of the use of their building and parking space, and that this document will include the provision for erecting a barricade of some type so as to prevent motor vehicles from being driven to such a position as to prevent the descent of the counterbalanced part of the fire escape, and he will furnish a copy of the document to this office when ready.

4. Standard exit lights are to be installed as shown on the plan—one on the diningroom side of door between diningroom and kitchen and another on the kitchen side of the exterior exit door. Although not mentioned in Mr. Kennedy's letter of August 11, white lights are required—one outside of the exterior exit door and sufficient other white lights to suitably illuminate the means of egress up to the roof, across the roof and thence down the fire escape into the parking space. All standard exit lights

August 10, 1948

and these white lights are to be on a single circuit and controlled by a single switch which shall be marked on the panel "EXIT LIGHTS".

5. Mr. Kennedy described the ventilation of the toilet rooms to be "ventilators running to the rear through an open window". I am not sure whether this will meet the requirements of the plumbing laws as interpreted by the Plumbing Inspector or not, and, if you have not already done so, I recommend that you contact the Plumbing Inspector before going ahead on that part of the work.

6. The toilet room partitions are to be carried clear to the ceiling, both doors from diningroom to vestibules and both doors from vestibules to toilet rooms are to be no less than 24" wide and are to be made self-closing instead of automatic-closing as indicated in Mr. Kennedy's letter—the term self-closing meaning a door that is normally closed and kept closed by a suitable device while the automatic door usually means one that is normally open but could close of itself in case of fire.

7. The cellar is to be used mainly for storage and not more than two persons will be down there habitually. The new cellar stairs are to be no less than 30" wide, to have handrail, full length, on one side and on both sides if stairs should be more than 40" wide. The risers are not to exceed 8½" and the width of treads (measured from riser to riser) no less than 9".

8. The well in floor for cellar stairs is to be sufficiently long so that clearance above the stairs will be no less than 6' 4" at any point. The trap door at this well, and railings around the well so that access to the stairway will be from only one side, and all arranged so that when the trap door is open, it will be held rigidly upright and all unprotected sides, except sides of access will be provided with rigid rails, chain rails not being permitted.

9. Both lessee and contractor are reminded that separate permits from this department are required before installation is started on any grille, friers, range, hot water heater, any mechanical system of ventilation and mechanical refrigeration other than the ordinary portable plug-in type—that application for all such installations must be made by and the permits are issuable only to the actual installers.

Mr. Kennedy says in his letter: "Vents for grilles, etc. will be taken care of under separate permit". This is an important subject both from the health and fire hazard standpoint, and it behooves the lessee to get all details straightened out and permits applied for with full information before the time of opening the rehabilitated establishment is imminent. The Building Code provides that such a kitchen shall have adequate natural or mechanical systems of ventilation, the adequacy to be determined by the Health Officer.

10. The stipulated load on the extension of girder under first floor joists is 990 pounds per running foot of girder. To support this load the extension of girder would have to be no less than 6x6 with 2-inch dimension upright and of Douglas Fir, rather than the 6x6 indicated in Mr. Kennedy's letter. Even so, the columns should be no more than 7' from center to center, the columns used have to be specially manufactured columns if only 3½" in diameter—like Lally or Dean, requiring adequate footings and of course anchorage to the girder at the top.

If the present center girder is only 6x6 and the present pipe columns are more than 6' from center to center, it is likely that additional pipe columns will be necessary in the center of spans of girder between each pair of present pipe columns. If this matter is not looked into before then, our inspector will have to check on the proposal at the time of closing-in inspection.

11. The new front where structural glass veneer is to be used is to be framed

August 10, 1948

up with 2x4 studs, upright, no more than 12" from center to center, covered with metal lath and plaster. The glass veneer is to be erected strictly in accordance with the provisions of Classification #3 of Recommendations on Thin Veneers for Building Exteriora of the Building Officials Conference of America, approved by the Municipal Officers of Portland as standard. The general contractor should see to it that the contractor who is to erect the veneer is aware of this requirement.

12. Mr. Kennedy's letter merely says that the floor in the kitchen will be taken care of according to the rules of the Health Department without mention of the toilet room floors. I find a pencil note on his letter which says: "Magnesite floor in kitchen-drain". Upon inquiry at the Health Department I find that floor drains will be required in the kitchen and in each toilet room. Apparently they will approve the Magnesite floor surface, but require that the floor surface be returned up the side walls of partitions of both kitchen and toilet rooms at least 4" with a sanitary cove where the floor surface joins the vertical surface.

Even though the Magnesite is considerably lighter than the 2-inch thickness of concrete usually applied, it will be necessary to extend the girder construction in the cellar, as outline above, clear to the rear wall of the building, because the present floor joists on the long span clear across the building figure out to be somewhat overloaded even without any additional floor surface.

It has been necessary to write this letter at some length because of the request of the contractor that he be able to avoid revising the plans and furnishing fresh prints. A carbon copy of this letter is enclosed to the contractor so that he may give it to the foreman on the job who, otherwise, would have only the incorrect print to go by.

Besides the required notice of readiness for closing-in any part of the job, notice is required to this department when all features controlled by the Building Code have been completed that the job is ready for final inspection, whereupon, if everything is found in order, the certificate of occupancy, required before the place is a restaurant may be established lawfully, will be issued.

Very truly yours,

Inspector of Buildings

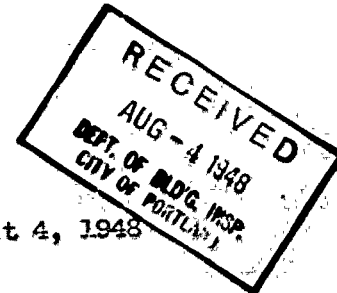
WHD/S

CC: To contractor for foreman on the job

National Bank of Commerce, Trs.
467 Congress Street

William B. Bunting
Chief Inspector
Health Department

J. H. Kennedy
Contractor and Builder
Bidding of All Work Estimates Furnished
103 Trade Street, Portland, Maine



August 4, 1948

Mr. Warren McDonald
Inspector of Buildings
Room 21, City Hall
Portland, Maine

Subject: Application for Permit to
Cover Alterations in Store
at 653 Congress Street

Dear Mr. McDonald:

Regarding your letter of July 30.

All exit doors will be 30" or more and will swing out as desired. Door between kitchen and dining room will be double action, no lock. Front and rear doors will have vestibule locks; they cannot be locked from the inside.

The rear exit platform and fire escapes are to be made of metal 3 feet wide, with hand rails. The walkway across the roof will be of wood 3 feet wide, with hand rails on both sides. The rear exit platform will not be extended, as specified in the plans, and will be on a level with the floor. The rear fire escape stairway will start at the door casing going up.

All exit lights will be installed as required by the Building Department; namely, one on door from dining room to kitchen and over rear exterior door. Lights for fire escape are to be installed in electric box plainly marked "Exit." The fire escape will be under a separate permit.

Toilet partitions will extend to ceiling, with ventilators running to the rear through an open window. This will be taken care of along with plumbing permits.

All toilet rooms will be studded with 2x3, 16" on centers; entrance doors 2 feet, with automatic closers.

Framing around cellar stairs will consist of same material as the floor timbers and will have the proper hand rails.

Magazine file in Cabinet

J. H. Kennedy
Contractor and Builder
Jobbing of All Kinds Estimates Furnished
105 Preble Street, Portland, Maine

Mr. McDonald

- 2 -

August 4, 1948

Trap door to cellar will be protected by permanent hand rails.

Vents for grills, etc. will be taken care of under separate permit.

Extra support for basement will be 6x6 timber running through center of basement as a continuation of the present timber, supported by 3 $\frac{1}{2}$ " lally columns.

Store front will be studded 2x4, 12" on centers, wire lath and plaster, covered by glass veneer.

Floor in kitchen will be taken care of according to the rules of the Health Department of the City of Portland.

Yours very truly

J. H. Kennedy
J. H. KENNEDY

JHK/P

Portland, Maine
August 3, 1948

Mr. Warren McDonald
Inspector of Buildings
Room 21, City Hall
Portland, Maine

Subject: Application for Permit to
Cover Alterations in Store
at 653 Congress Street

Dear Mr. McDonald:

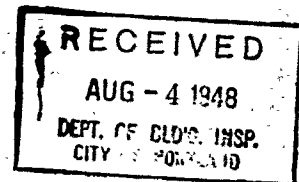
Regarding your letter of July 30.

We wish to have application for permit to remodel store
at the above address, the question being the number of
persons served and amount of help used.

We wish to go on record and are signing this slip to con-
firm it; that with patrons and help combined the number
will not exceed fifty.

Very truly yours

Charles Pappas



AP 653 Congress Street-1

July 30, 1943

Mr. J. H. Kennedy
105 Preble Street
Mr. Charles Pappas
653 Congress Street

Subject: Application for building permit to cover alterations in first story store at 653 Congress Street and to change the use to a restaurant.

Gentlemen:

Now that the Municipal Officers have granted the Building Code appeal relating to the rear exit, based on the plan received here July 16, 1943, check of the balance of the proposition against Building Code requirements reveals the following features to be cleared up to show compliance with the Building Code. Please have the plans revised accordingly and furnish copy to file with the application for the permit, so that we may be in a position to issue the permit at an early date.

1. To determine just how the Building Code applies to the proposition as regards means of egress, it is necessary for Mr. Pappas to decide whether present and future plans will confine the maximum number of occupants of the space, including employees, to a number no greater than 50, and this decision should be communicated to us in writing so that it may be filed with the application for the permit. The area of the space is such that we are able to accept his commitment to a maximum of 50 persons or less, including employees, if that is what he wants; but it is evident that under some circumstances arrangements could be made to accommodate more than 50 persons. The main difference is that if for more than 50 persons, all parts of means of egress are required to be no less than 36" wide and all doors are required to swing in the direction of exit. If the maximum number is to be 50 persons or less, then all parts of the means of egress, including the doors, the outside fire escapes and walkway need only be 30" wide and the doors may swing in or out as desired.

If for more than 50 persons, the entrance doors could be the same width as shown on the plan, but both would have to swing outwards, the standing door of the pair would have to be equipped with anti-panic hardware with a bar clear across the width of the door. The door between kitchen and diningroom would have to swing toward the kitchen and be no less than 36" wide. The rear exterior door (now swings in but is indicated on the plan to be changed to swing out) would have to swing out.

If for 50 persons or less, including employees, on the premises at one time, the door between diningroom and kitchen could swing either way if desired but must be no less than 30" wide, and the rear exterior door could swing inward if desired.

No matter what capacity is figured on, however, the working door of the pair of entrance doors and the rear exterior door require vestibule latch sets which are a type whereby any person on the inside can always quickly open the door, without requiring a key or any special knowledge, merely by turning the usual knob or pressing on the usual thumb latch. Presumably the door between diningroom and kitchen would not have any fastenings whatever, the fastening would have to be a vestibule latch set.

Since the rear means of egress is entirely new, except for the rear exterior door, both fire escapes and the walkway across the roof are to be no less than 3' wide and to have handrail on both sides of each.

2. The existing platform outside the rear exterior door is deteriorated beyond repair and this platform should be made a part of the fire escape leading upwards to the roof. Since the new fire escapes are to be of metal, the landing outside the exterior rear door should be of metal also and the level of it should be even with the kitchen floor to avoid a step-down as one would leave the kitchen by the rear door.

July 30, 1948

The railing on this platform toward the Trelawney Building should be no less than 9" from the door jamb on that side. The platform may extend farther toward the Trelawney Building as indicated on the plan, but that is not needed for safety purposes, and if built should not be of wood. Normally the space of the lowest tread of the fire escape should be 9" from the door jamb on the other side, but because the new fire escape stairs to the roof will be extra steep anyway, it will be satisfactory to place the edge of the lowest tread flush with the door jamb.

3. Construction of the two metal fire escapes has to be excluded from this permit, unless the detail plans of them can be filed with the application before the permit is ready to issue. It will be satisfactory to cover the two steel fire escapes by application for amendment after the general permit has been issued, but with the application in any event the steel company's detailed plans must be filed. It is understood that you now propose to make the lower part of the fire escape from the roof of the building to the parking space a counterbalanced stairway. It will be necessary to make arrangements with the owner of the parking space, however, and to give us evidence of that agreement, and then provide some type of barricade in the parking space so that motor vehicles cannot under any circumstances be placed under the counterbalanced portion in its "up" position and thus prevent it from descending in case of need.

In event you desire to make the platform outside of the rear exit door longer toward the Trelawney Building, an exit sign with good sized letters must be painted upon the brick wall opposite the rear exit door with an arrow indicating the direction to take up the fire escape to the roof, and this sign will be illuminated by the white light shown on the plan and required outside of the rear exit door.

4. The exit light shown on the door from diningroom to kitchen and over rear exterior door (existing in the kitchen) are required to be standard exit lights within interior illumination and letters in the word exit showing red and no less than 4 1/2" high. Besides the white light required outside of the rear exit door, sufficient white lights are required to suitably illuminate the walkway across the roof and the fire escape from the roof down to the parking space. Both exit lights and all of this outside white light illumination are required to be on a single circuit and controlled by a single switch which shall be marked clearly and permanently exit lights in the switch panel.

5. The matter of ventilation of toilet rooms is controlled by State and City Plumbing Codes under the authority of the Plumbing Inspector, rather than by the Building Code. No clear means of ventilating either men's or women's toilets is indicated on the plan but this matter should be straightened with the Plumbing Inspector and the method of ventilating shown on the plan before filing for issuance of the building permit. The partitions between toilet rooms and vestibules between the toilet rooms and the diningroom are required to be carried clear to the ceiling or else the toilet rooms ceiled over at a loss height, in either case two partitions between vestibules and toilet rooms to be no less than 2x3 studs, set upright, no more than 16" from center to center. Each of the four doors from diningroom to men's and women's vestibules and from vestibules to toilet rooms are required to be no less than 2' wide and to be made self-closing by means of a suitable device calculated to keep all four doors normally in the closed position.

6. It is assumed that the cellar is to be used only for storage. If more than two persons were to be down there habitually, a second means of egress to a place of safety well removed from the cellar stairs in their new location would be required, and we should be notified of this condition when the revised plans are filed.

7. It is apparent that you propose to relocate the cellar stairs from their present position, and the present cellar stair wall is to be framed in and supported to have the same strength as the balance of the first floor, and this includes the

July 30, 1948

Kennedy, Pappas — 3

landing directly at the top of the present cellar stairs which is not now in good condition. The new cellar stairs should have a rise no greater than $8\frac{1}{2}$ " and tread no less than 9" (measured from riser to riser) with a handrail full length on at least one side and on both sides if more than 40" wide.

8. As regards the trap door for the cellar stairs in new location, it is necessary that all arrangements be made as per Section 314a of the Building Code: No trap door to a stair or other opening shall be so located or constructed in any floor or sidewalk as to give access to the opening from more than one side, except where the inspector may, because of the nature of the occupancy, permit such construction. All trap doors shall be so constructed that, when open, such doors shall be held rigidly upright and all unprotected sides, except sides of access, shall have rigid rails. Chain rails shall not be permitted."

9. The plan shows behind the counter about midway of the depth of the store "present window over, provides hood, vent, and fan". The hood and ventilation of it are required over the grille, but difficulty is likely to be experienced as to where this vent pipe will discharge. The plan seems to indicate that the vent would discharge between this building and the Trelawny Building, but there are windows above in the Trelawny Building, and it is doubtful if the Health Department will approve such a vent to discharge where it would give offense to occupants of the Trelawny Building. This matter ought to be taken up with the Health Department in advance and the entire matter cleared up so that delays may not ensue when the grille and ventilation system is being installed. A grille and stove are indicated in the kitchen, also. It may be these are the existing appliances, but if there is no hood over them, one is required and it, too, is required to be vented in such a way as to comply with the Building Code requirements and not to give offense to occupants of neighboring buildings in the opinion of the Health Officer.

10. Separate permits from this department are required before installation is started on either grille, any friers, ranges, hot water heaters, any mechanical system of ventilation including that intended for either hood, and including mechanical refrigeration other than the ordinary portable plug-in type. Application for all such appliances must be made by and the permits are issuable only to the actual installers.

11. The floor of the store is framed, as far as I was able to observe by floor joists about 3x10, 15" from center to center, running clear across the store from wall to wall. From the very front of the store to a point about 30' from the rear wall, however, there is a stout wooden girder running through the center supported frequently on iron pipe columns. From the rear end of this girder on back, however, there is no intermediate support, and the floor joists on the long span, varying from 18' to 17' are not strong enough without intermediate support to support the live load required as 100 pounds per square foot in the diningroom. Therefore an additional girder is needed of suitable size, according to the spans from the present rear end of the girder to a point below the proposed new location of the partition between kitchen and diningroom, these pipe column supports are required to be genuine manufactured pipe columns for that purpose such as Lally or Dean, even though the present pipe columns may be ordinary pipe. The revised plan should show the proposed design, and sizes of these members.

12. No details of the new front, mostly of glass veneer, are shown, but all of this work is required to be according to the Recommendations on Thin Veneers for Building Exterior of Building Officials Conference of America, adopted as standard by the Municipal Officers of Portland, a copy of this standard is enclosed to each of you, and your particular job comes under Classification #3. Note under "Backing" that

Kennedy, Pappas — 4

July 30, 1948

the backing of the glass veneer is to be one inch thick cement mortar on metal lath which has been secured to studs spaced 12" or less on centers. This framing is to be shown on the plans, and the other detailed requirements for fastening and supporting of glass veneer followed according to the standards.

13. In such restaurants as proposed here the Health Department usually requires a concrete surface on kitchen floor and toilet room floors with floor drain in each room. I suggest you contact Mr. Bunting in that department and find out what is required here because you ought to know at the outset the total requirements. If the concrete surface is required, it will have to be no less than 2" thick at any point, which would increase the dead weight on the first floor joists to such an extent that probably the center girder over the cellar, referred to above, will have to be carried to the rear wall and suitable spacing of columns with footings provided. All of these details should be shown on the plans.

Very truly yours,

Inspector of Buildings

Wich/S

Enclosure to each addressee: Glass veneer standards

CC: National Bank of Commerce, Trs.
167 Congress Street

AP 653 Congress Street-1

July 9, 1948

Mr. Charles Pappas
653 Congress Street
Portland 3, Maine

Subject: Application for building permit to
cover alterations in drug store at 653 Con-
gress Street to make there a lunchroom con-
stituting a Minor Assembly Hall, and proposed
Building Code appeal relating to emergency
means of egress in the rear

Dear Mr. Pappas:

Mr. Kennedy phoned me a few moments ago to the effect that you had decided to try for a wooden stairway from the flat roof to the parking space in the rear with the walkway on the roof leading to that stairway, instead of trying to use the existing fire escape of the Columbia Hotel. Accordingly I am revamping the statement as to why the permit is not issuable so that your proposed appeal will ask specifically for the exception which you actually desire.

The reason why the building permit is not issuable on the new basis is that the rear means of egress would not comply with Building Code requirements in that:

- (1) Persons using the means of egress would have to go up to the roof level of the adjoining building and thence down the proposed stairway to the parking space, contrary to Section 204a6 of the Building Code applying to Minor Assembly Halls;
- (2) The proposed fire escape stairway from the rear passageway to the roof is far steeper than Section 303g allows for fire escapes; and both of the stairways are proposed of wood contrary to the same section which requires fire escapes for places of assembly to be of steel.

You already have an outline of the appeal procedure, and I recommend that you file your appeal at the Corporation Counsel's office no later than Monday noon, July 12, if you hope to get an answer on the next hearing date, Friday, July 16.

I understand that Mr. Kennedy is making a clear sketch of this proposition for the information of the Board and will file it here the early part of next week.

It is also understood that you have opened negotiations with the owners of the adjoining building and of the parking space and that you hope to be able to advise the Board at the hearing that you have the right from them to carry out the work as you now plan.

Very truly yours,

Inspector of Buildings

WJcd/S

CC: Edward T. Gignoux, Assistant Corporation Counsel

Mr. J. H. Kennedy, 105 Problo Street

National Bank of Commerce, Tr., 467 Congress Street

AP 653 Congress Street-1

July 8, 1948

Mr. Charles Pappas
653 Congress Street
Portland, Maine

Subject: Application for building permit to cover alterations in the drug store at 653 Congress Street to make there a lunchroom constituting a Minor Assembly Hall, and proposed appeal to the Municipal Officers relating to emergency means of egress in the rear.

Dear Mr. Pappas:

For the required emergency means of egress in the rear you propose a new stairway from the open passageway at the rear of the building to the roof of the building occupied by Columbia Market and owned by others than the owners of the building which you occupy, thence across this flat roof by a railed walkway, then by some addition to this walkway along the roof, which is not disclosed on the plan, to the landing of a fire escape now serving the Columbia Hotel and thence by the existing counter-weighted ladder to the ground.

The building permit is not issuable because this proposed rear means of egress does not comply with Building Code requirements in that:

- (1) Persons using the means of egress would have to go up to the roof level of the adjoining building and thence down the fire escape to the ground, contrary to Section 20666 of the Building Code applying to Minor Assembly Halls;
- (2) The fire escape stairway proposed to lead from the rear passageway to the roof is far steeper than Section 30323 allows for standard fire escapes;
- (3) The existing counterweighted drop ladder intended to lead to the ground from the landing of the hotel fire escape is not approved as reasonable, safe for use of the occupants of this establishment who must rely upon the annual approval of the Municipal Officers for its operation.

You have indicated your desire to seek an exception from the Board of Municipal Officers which act as a Board of Appeals under the Building Code, and there is enclosed therefore an outline of the appeal procedure.

We have had a number of negotiations with regard to this situation, and it should be made clear that much of the confusion and delay which has taken place has been caused by the fact that insufficient information has always been furnished to this office. The present application is no exception.

While we have not checked the balance of the proposal against Building Code requirements, examination of the proposed means of egress in the rear discloses that the plans do not show or the application specify of what material or design the stairway from rear passageway to roof is proposed. Nothing is shown as to a railing or walkway across the roof. Nothing is shown as to how persons from the remodeled establishment would reach the landing of the hotel fire escape from the roof, there being a gap in between the two and at present a railing or bar across that end of the landing. There is no indication on plan or in application where the means of egress leads to from the top of the stairs to the roof.

If you mean to file this appeal seeking an exception as above, I recommend that you do not further jeopardize the possibility you may have of being successful by failing to supply well in advance of the hearing date a complete plan showing this entire means of egress so that the Board of Appeals will be able to comprehend just what you are asking for.

Mr. Charles Fappas — 2

July 8, 1948

As explained over the telephone, if you delay filing of this appeal beyond the next few days, it is unlikely that you will be able to get answer until the latter part of the month.

Very truly yours,

Inspector of Buildings.

WKC/S

Encl: Outline of appeal procedure

CC: Edward T. Gignoux
Assistant Corporate Counsel

Mr. J. H. Kennedy
105 Probic Street

National Bank of Commerce, Tr.
467 Congress Street

AP 653 Congress Street-I

July 3, 1948

Mr. Charles Pappas
653 Congress Street
Mr. J. H. Kennedy
105 Preble Street

Subject: Application for building permit to
cover alterations in the first story store
at 653 Congress Street

Gentlemen:

Under the Building Code I am unable to issue the above building permit unless an emergency means of egress in the rear, which complies with Building Code requirements for means of egress from a Minor Assembly Hall, is provided, because your proposal means that the customers' space is to be extended farther toward the rear of the store than at present.

Your revised plan, filed here on June 30, apparently attempts to show a rear means of egress, but the steep stairs shown on the plan leading to the roof of the building occupied by Columbia Market Bakery without any walkway across the roof and without any means of getting off the roof down into the parking space in the rear does not satisfy the requirements of the Building Code for a means of egress, as I am sure you must be aware from our several conversations some weeks ago.

At that time I believe it was your informal proposal to build the stairway inside of the building because to build them outside would make the pitch much steeper than allowable. You will also recall that even though the pitch of the stairway were correct and you had made arrangements for and indicated your intention to provide the walkway across the roof and the stairway clear down to the surface of the parking space, I would still be unable to issue the permit under the Building Code because the establishment where food is sold for consumption on the premises has to be classified as a Minor Assembly Hall and in the case of such a use, the Building Code provides that a means of egress which requires that the users have to go up and then down to reach a place of safety is not acceptable. I explained to you then what the appeal rights under the Building Code are, and even said that the Board of Appeals would ordinarily be specially considerate of such a situation which would definitely improve an existing condition; but it is very doubtful if the Board would consider the extraordinary situation indicated on the plan of this very steep stairway going up onto the roof and stopping there as the roof could hardly be considered a place of safety.

Very truly yours,

Inspector of Buildings.

WMCD/G

CC: National Bank of Commerce, Tr.
467 Congress Street



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, June 17, 1948

PERMIT ISSUED

01405
AUG 10 1948

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~rebuild~~ the following building ~~structure~~ ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 653 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address ~~James O'Brien~~ National Bank of Commerce, Tr. Telephone _____
467 Congress St.
Lessee's name and address Charles Pappas, 653 Congress Street Telephone _____
Contractor's name and address J. H. Kennedy, 105 Preble Street Telephone 3-5639
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building ~~Store~~ Store and restaurant No. families _____
Last use " Store No. families _____
Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 3,000 Fee \$ 4.50

Health Notices to

Health Officer and thus ☒

General Description of New Work

To change store front as per plan.

To remove non-bearing partitions and relocate toilet rooms, as per plan.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Appeal sustained 7/19/48

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO J. H. Kennedy

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one-story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any trees on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Permit Issued with Letter
Charles Pappas

INSPECTION COPY

Signature of owner, by: J. H. Kennedy

NOTES

Permit No. 178 / 1405
 Location 653 Chicago St
 Owner Chicago Occupancy
 Date of permit 8/10/48
 Notif. closing in 8/27/48 5:30
 Inspn. closing in 8/27/48 5:30
 Final Notif. 10/27/48
 Final Inspn.
 Cert. of Occupancy issued 11/2/48

8/27/48 some fire escape
 9/28/48 work progressing on
 and put in new put in
 near section first floor
 basement, etc.

10/28/48 Cooking appliances, grill,
 incinerator & pilot burner permit, by Chicago New
 work (architectural) and interior to old front by Chicago
 New front over against wall.

To provide clear fire escape door to fire escape
 light over door leading to kitchen, on outside side.

EP 48/1518-1
(fire escape)

October 23, 1948

Maine Metals, Inc.
169 Front Street
South Portland, Maine
Mr. Charles Pappas
653 Congress Street

Subject: Amendment of building permit to cover
alterations in the fire escape under construc-
tion at the rear of 653 Congress Street

Gentlemen:

Amendment covering this change in fire escape is issued to Maine Metals, Inc. based on the revised plan dated October 16, 1948 and filed here on the same date, and subject to the following:

All concerned are aware of the difficulties that arose when attempt was made to erect the counterbalanced fire escape originally intended, and of the unusual structure of the rear wall of the building to which the fire escape was attached—apparently two brick walls, each about 4" or a single brick in thickness, laid up with an air space of two or three inches between the two and great uncertainty as to what, if anything, ties the two walls together.

After consent of the owners of the building had been secured to carrying the fire escape straight down to the ground, it seemed advisable to remove the structural steel bracket where the pivot of the counterbalanced stairway was intended not only because of doubt as to how/it could be relied upon to support the stairway on the unusual brick wall but because installing the through bolt had damaged the wall considerably.

It is the understanding then that the fire escape contractor is to remove this bracket and that the masonry is to be thoroughly repaired at that point. While the plan does not show it, the formerly intended counterbalanced section is to be erected, minus the weights and weight arms as a continuation of the rigid upper section of the stairway, a splice to be designed at the steel as point capable of developing the full live and dead load on both upper and lower parts of the fire escape, and if these joints are to be welded, the welding to be done by welders who are qualified for certification at this office under the test procedure of the American Welding Society.

It is understood that this latest arrangement or the design of it is covered by Mr. Cramer's statement of design on the original drawing. The stairway will have no direct connection with the building wall, but if upon erection it does not appear to have enough lateral stiffness, some scheme is to be worked out to brace it.

It becomes evident that this exterior brick wall has a bulge in it not far below the roof which has existed for a long time. A part of this bulge comes at the point where the brackets under the upper platform of the fire escape are fastened to the wall by through bolts. Because of this condition of the wall, the erector has planned to introduce additional through bolts which would engage certain of the roof joists in the building inside of the wall. It is believed that this will work out satisfactorily, but one can never tell what may develop with a wall in this condition. The owners of the wall and of the fire escape should cause inspections to be made of the wall and the fastenings of the fire escape at reasonable intervals to make sure that the condition has not deteriorated to such an extent as to become dangerous.

Very truly yours,

MMed/G

CC: Mr. Franklin G. Hinckley
192 Middle Street, Room 301
Mr. Franz U. Burkett
415 Congress Street, Room 323

Inspector of Buildings



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, October 4, 1948

PERMIT ISSUED

OCT 23 1948

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 48/1518 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 653 Congress St. Within Fire Limits? Yes Dist. No. 1
Owner's name and address C Telephone _____
Lessee's name and address Charles Pappas, 653 Congress St. Telephone _____
Contractor's name and address Maine Metals, Inc. 169 Front St., So. Portland Telephone 4-6442
Architect _____ Plans filed Yes No. of sheets 1
Proposed use of building Stores No. families _____
Last use " No. families _____
Increased cost of work _____ Additional fee .25

Description of Proposed Work

To make change to new fire escape as per plan.

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressing or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved:

Charles Pappas
Maine Metals, Inc.

Signature of Owner by: Fi Leroy Gainer

Approved: 10/21/48 [Signature]

Inspector of Buildings

INSPECTION COPY

AP 653 Congress Street-1

August 25, 1946

Maine Metals, Inc.
169 Front Street
South Portland, Maine
Mr. Charles Pappas
653 Congress Street

Subject: Permit for combination fire escape
to serve the first story of restaurant at
653 Congress Street

Gentlemen:

Permit for the fire escape is issued to the contractor, herewith, subject to the following:

It is not understood how the grated platform just outside of the rear door of restaurant is to be supported upon the brick walls on either side. Angles are shown under either end of the grated platform, and it will be satisfactory if these angles extend into the brickwork of the wall on either side and get bearing on the masonry, otherwise the usual brackets with through bolts will be needed or some equivalent positive support.

The brackets supporting the upper platform of counterbalanced fire escape appear to be so close to the top of the wall that it is not clear how the usual through bolts are to be provided. Presumably a bracket is also to be used in the pivot of counterbalanced portion with through bolts as usual.

No doubt Mr. Pappas is bearing in mind the need for providing some type of barricade so that motor vehicles in the parking space cannot be driven to such a position as to prevent the counterbalanced portion of fire escape from descending to the ground.

It is assumed that the contractor who is building the walkway on the roof and the contractor of the fire escape will cooperate so that there will be an awkward or unsafe condition established where the walkway on the roof reaches the fire escape on either end—such as a single step down from the walkway to the upper landing of the counterbalanced fire escape.

If such a single step down appears it seems evident that it could be eliminated by making the upper platform of the counterbalanced portion of the fire escape at the same level as the walkway on the roof. This of course would cause a change from the arrangement shown on the fire escape plan.

Very truly yours,

WCB/G

Inspector of Buildings

CC: Mr. Franklin G. Hinchley
192 Middle Street

Mr. Franz U. Burkett
435 Congress Street

Handwritten notes:
To each cliff angles bolted
with expansion bolts
to each cliff
is acceptable WMB 8/27/46

Saine Metals, Inc.

H. Charles Paypas

2

August 25, 1948

P. 2. Size of angles under platform outside restaurant door does not appear. These should be made strong enough as beams to support half the load of the platform at 100 pounds per square foot live load, and that toward the hotel would evidently have to support half of the stairway at the same load rate.



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, August 13, 1948

PERMIT ISSUED
01518

AUG 26 1948

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 653 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address _____ Telephone _____
Lessee's name and address Charles Pappas, 653 Congress Street Telephone _____
Contractor's name and address Maine Metals, Inc., 169 Front St., So. Portland Telephone 4-6442
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building stores No. families _____
Last use _____ No. families _____
Material brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 4.00
Estimated cost \$ 700.

General Description of New Work

To erect metal fire escape as per plan

Permit issued with

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Maine Metals, Inc.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
_____ of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Charles Pappas
Maine Metals, Inc.

Signature of owner By: F. Leroy Cramer

NOTES

9/24/48. Work started at 8:00 AM
at a stand till because of
well weather that developed.

226

Permit No. 48/1515
Location 658 Compartment
Owner Chas. W. Cooper
Date of permit 7/26/48
Notif. closing-in 10/27/48
Inspn. closing-in
Final Notif.
Final Inspn. 12/2/48
Cert. of Occupancy issued

General Description of New Work

THE STAGE MODEL THE GROUND IS AT 100'

100' - 100' - 100'

100' - 100' - 100'

100' - 100' - 100'

100' - 100' - 100'

100' - 100' - 100'

100' - 100' - 100'

100' - 100' - 100'

100' - 100' - 100'



(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation
Portland, Maine October 13, 1948

PERMIT ISSUED
01901
OCT 15 1948
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ relocate and install the following ~~building~~ soda fountain and compressors equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 653 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address Alomo Variety, 653 Congress Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address General Ice Cream Corp., 323 Commercial St. Telephone 2-0141
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Store No. families _____
Last use " " No. families _____
Material _____ Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To relocate soda fountain and compressors and install one new compressor as per plan.
Refrigerant - Freon 12

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO General Ice Cream Corp.

10/13/48
10/14/48

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Cirt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masoury walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Almo Variety
OFFICE OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Alomo Variety
General Ice Cream Corp.

Signature of owner by: *M.P. Lybster*

INSPECTION COPY

10/18/48 - P. L. T. - a g f

Cert. of Occupancy issued None

REFLECTION COPY

Invited 7/19/48

48/54

City of Portland, Maine
Municipal Officers
—BUILDING CODE APPEAL—

July 12, , 19 48

To the Municipal Officers:

Your appellant, Charles M. Pappas, who is the tenant of property 653 Congress Street, respectfully petitions the Municipal Officers of the City of Portland to permit an exception to the provisions of the Building Code relating to this property, as provided in Section 115, Paragraph a of the Building Code, on the ground that the enforcement of the Code in this case involves practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Building Code.

Building permit to cover alterations in drug store at 653 Congress Street to make a lunchroom constituting a Minor Assembly Hall with emergency means of egress in the rear is not issuable under the Building Code for the following reasons:

(1) Persons using the means of egress would have to go up to the roof level of the adjoining building and thence down the proposed stairway to the parking space, contrary to Section 206e6 of the Building Code applying to Minor Assembly Halls.

~~The facts and conditions which make this exception legally permissible are as follows:~~

(2) The proposed fire escape stairway from the rear passage way to the roof is far steeper than Section 303g allows for fire escapes.

Charles Pappas
Appellant

Decision

Municipal Officers

July 19, 1948

HEARING ON APPEAL UNDER THE BUILDING CODE OF Charles M. Pappas
AT 553 Congress Street

Public hearing on above
appeal was held before
the MUNICIPAL OFFICERS

Present for City

Board of Zoning Appeals members:-

~~to be~~ July 16, 1948

VOTE

	Yes	No
Mr. Getchell	(X)	()
Mrs. Frost	(X)	()
Mr. Holbrook	(X)	()
Mr. Cole	(X)	()
Mr. Lake	(X)	()
K.F. Jensen	(X)	()
	()	()
	()	()

Municipal Officers:-

FRANZ U. BURKETT representing Mr. Pappas
Franklin G. Minckley representing Columbia Hotel
consenting to proposed roof-crossing.

City officials:-

NO OPPOSITION - No practical alternative which
could comply with Code according
to Building Inspector

CITY OF PORTLAND, MAINE
MUNICIPAL OFFICERS

July 13, 1948

Mr. Charles Pappas
653 Congress Street
Portland, Maine

Dear Mr. Pappas:

The Municipal Officers will hold a public hearing
in the Council Chamber, City Hall, Portland, Maine on
Friday, July 16, 1948 at ten-thirty o'clock in the forenoon
to hear your request for exception to the Building Code.

Please be present or be represented at that time
in support of your appeal.

Very truly yours,
MUNICIPAL OFFICERS
Robert L. Getchell
Chairman

On reply refer
to File

CITY OF PORTLAND, MAINE

Department of Building Inspection

AP 653 Congress Street#I

FL

July 9, 1948

Mr. Charles Pappas
653 Congress Street
Portland 3, Maine

Subject: Application for building permit to
cover alterations in drug store at 653 Con-
gress Street to make there a lunchroom con-
stituting a Minor Assembly Hall, and proposed
Building Code appeal relating to emergency
means of egress in the rear

Dear Mr. Pappas:

Mr. Kennedy phoned me a few moments ago to the effect that you had decided to try for a wooden stairway from the flat roof to the parking space in the rear with the walkway on the roof leading to that stairway, instead of trying to use the existing fire escape of the Columbia Hotel. Accordingly I am revamping the statement as to why the permit is not issuable so that your proposed appeal will ask specifically for the exception which you actually desire.

The reason why the building permit is not issuable on the new basis is that the rear means of egress would not comply with Building Code requirements in that:

- (1) Persons using the means of egress would have to go up to the roof level of the adjoining building and thence down the proposed stairway to the parking space, contrary to Section 206e6 of the Building Code applying to Minor Assembly Halls;
- (2) The proposed fire escape stairway from the rear passageway to the roof is far steeper than Section 303g allows for fire escapes, and both of the stairways are proposed of wood contrary to the same section which requires fire escapes for places of assemblage to be of steel.

You already have an outline of the appeal procedure, and I recommend that you file your appeal at the Corporation Counsel's office no later than Monday noon, July 12, if you hope to get an answer on the next hearing date, Friday, July 16.

I understand that Mr. Kennedy is making a clear sketch of this proposition for the information of the Board and will file it here the early part of next week.

It is also understood that you have opened negotiations with the owners of the adjoining building and of the parking space and that you hope to be able to advise the Board at the hearing that you have the right from them to carry out the work as you now plan.

Very truly yours,
(Signed) WARREN McDONALD

Inspector of Buildings

WMcd/S

CC: Edward T. Gignoux, Assistant Corporation Counsel

Mr. J. H. Kennedy, 105 Preble Street

National Bank of Commerce, Tr., 467 Congress Street

JONALD
TARRE, ACTOR OF BUILDINGS

reply refer
to File

CITY OF PORTLAND, MAINE

Department of Building Inspection

FU AP 653 Congress Street-1

July 8, 1948

Mr. Charles Pappas
653 Congress Street
Portland, Maine

Subject: Application for building permit to cover alterations in the drug store at 653 Congress Street to make there a lunchroom constituting a Minor Assembly Hall, and proposed appeal to the Municipal Officers relating to emergency means of egress in the rear

Dear Mr. Pappas:

For the required emergency means of egress in the rear you propose a new stairway from the open passageway at the rear of the building to the roof of the building occupied by Columbia Market and owned by others than the owners of the building which you occupy, thence across this flat roof by a railed walkway, then by some addition to this walkway along the roof, which is not disclosed on the plan, to the landing of a fire escape now serving the Columbia Hotel and thence by the existing counter-weighted ladder to the ground.

The building permit is not issuable because this proposed rear means of egress does not comply with Building Code requirements in that:

- (1) Persons using the means of egress would have to go up to the roof level of the adjoining building and thence down the fire escape to the ground, contrary to Section 206e6 of the Building Code applying to Minor Assembly Halls;
- (2) The fire escape stairway proposed to lead from the rear passageway to the roof is far steeper than Section 303g3 allows for standard fire escapes;
- (3) The existing counterweighted drop ladder intended to lead to the ground from the landing of the hotel fire escape is not approved as reasonably safe for use of the occupants of this establishment which must rely upon the annual approval of the Municipal Officers for its operation.

You have indicated your desire to seek an exception from the Board of Municipal Officers which act as a Board of Appeals under the Building Code, and there is enclosed therefore an outline of the appeal procedure.

We have had a number of negotiations with regard to this situation, and it should be made clear that much of the confusion and delay which has taken place has been caused by the fact that insufficient information has always been furnished to this office. The present application is no exception.

While we have not checked the balance of the proposal against Building Code requirements, examination of the proposed means of egress in the rear discloses that the plans do not show or the application specify of what material or design the stairway from rear passageway to roof is proposed. Nothing is shown as to a railing or walkway across the roof. Nothing is shown as to how persons from the remodeled establishment would reach the landing of the hotel fire escape from the roof, there being a gap in between the two and at present a railing or bar across that end of the landing. There is no indication on plan or in application where the means of egress leads to from the top of the stairs to the roof.

If you mean to file this appeal seeking an exception as above, I recommend that you do not further jeopardize the possibility you may have of being successful by failing to supply well in advance of the hearing date a complete plan showing this entire means of egress so that the Board of Appeals will be able to comprehend just what you are asking for.

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As explained over the telephone, if you delay filing of this appeal beyond the next few days, it is unlikely that you will be able to get answer until the latter part of the month.

Very truly yours,

'Signed') WARREN McDONALD

Inspector of Buildings

WMcD/S

Encl: Outline of appeal procedure

✓ CC: Edward T. Gignoux
Assistant Corporation Counsel

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