



(COPY)

CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to New England Grain Company  
390 Commercial St.

LOCATION

390 Commercial St.

Date of Issue January 27, 1960

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 59/1721, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

ENTIRE  
PORTION OF BUILDING OR PREMISES

Limiting Conditions:

APPROVED OCCUPANCY  
Office Building

This certificate supersedes  
certificate issued

Approved:

1/27/60  
(Date)

A. Allen  
Inspector

Albert J. Lewis  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

AP 390 Commercial St.  
(Hobson's Wharf)  
Construction of 1-story office building, 30'x50', for New England Grain Co. by  
Maine State Builders

Nov. 16, 1959

Maine State Builders  
181 Craigie Street

cc to: New England Grain Company  
390 Commercial Street  
cc to: Mr. William E. Millward  
2 Stonybrook Road  
Cape Elizabeth

Dear Mr. Skoolicas:

Building permit for the above work is issued herewith subject to the following conditions, which are noted so that the job may go along smoothly and no difficulties may arise at the time of required final inspection when the certificate of occupancy from this department is required before the building may be lawfully occupied. Please bear in mind the notice to this office of readiness for inspection, and that no concrete is to be placed in the footings (forms required on both sides of the footings) until our Field Inspector has attached his sticker of approval to the permit card which should be posted in a place clearly visible from the street. If there are questions about these conditions, please bring them to the attention of our Field Inspector or the undersigned as soon as possible.

1. With reference to Sections 205c and 212e2.5 and whether or not there may never be more than 20 persons in the building at one time, it is recommended that vestibule latches be provided in both exterior doors and the door between the general office and the waiting room, and an exit sign with letters with the word exit no less than 6 inches high and showing red upon an appropriate background be provided over the inside of exterior door on the end toward the harbor. If there ever would be more than 20 persons in the building at one time, these are requirements. A vestibule latchset is one so arranged so that any person on the inside can quickly open the door at any time merely by turning the usual knob without requiring a key or any special knowledge.

2. Please note that the building will be in Fire District No. 2, and that the 20 feet shown between the new building and the existing building is the minimum distance permitted unless the exterior wall of the new building is to be made as for 2-hour fire resistance with the openings in the wall consistently protected.

3. You are reminded that solid fire-stops are required by Sec. 312d of the Building Code between the roof joists and over all bearing partitions. It has been found in some cases that such unventilated roof spaces have resulted in excessive condensation. Adequate means of preventing such a situation should be built into the building while construction is under way.

3.1. Fire-stops of incombustible material are required at ceiling level around the exterior masonry walls.

3.2. A cast iron clean-out door and frame is required at the bottom of the chimney flue with the bottom of the door not more than 12 inches above the bottom of the flue.

Nov. 16, 1957

4. The following structural details are called to your attention:  
The masonry end walls are required to be anchored to the roof construction by means of bars no less than 1 1/2" x 3/8" and long enough to engage at least 3 joists, these to be no more than 8 feet from center to center and to be fastened to the bottom edges of the joists.

Splices of the roof joists are shown between the bearing partitions. While these short ends may cause no difficulty, it would be more usual to have the splices over one bearing partition or the other.

The bearing partition should be anchored to the thickened floor slab. Your attention is called to the fact that the dead weight alone (without including the roof for snow load) will be something over 200 pounds per running foot, but apparently you are to rely only on steel mesh to strengthen the thickened slabs, and that the gravel fill beneath the general floor slab is indicated to be extended beneath these bearing partitions also.

It is our recollection that when the extensive grain storage building was constructed a few years ago, tests were made of the soil, and it seems likely that the soil at that part of the wharf, all being filled originally anyway, would give a good indication of the capacity of the soil under the foundations of this new building. While the loads are not great, the dead load alone upon the soil beneath the 60 foot long bearing walls will probably run to 1500 pounds per lineal foot.

5. Please note that a separate permit from this department is required to cover installation of the heating appliance, this to be applied for and issuable only to the actual installer.

Very truly yours,

Warren McDonald  
Acting Deputy Inspr. of Bldgs.

WMcD:m



I-3 INDUSTRIAL ZONE

# APPLICATION FOR PERMIT

PERMIT ISSUED

01421

OCT 8 1958

CITY of PORTLAND

Class of Building or Type of Structure

Installation

Portland, Maine

Oct. 8, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial St. (Hobson's Wharf) Within Fire Limits? yes Dist. No. \_\_\_\_\_

Owner's name and address Rev. England Grain Company, 390 Commercial St. Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Grimmell Company, 501 Fore St. Telephone 3-3679

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1

Proposed use of building Grain Storage and Handling No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ \_\_\_\_\_ Fee \$ 2.00

### General Description of New Work

To install dry sprinkler system as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

O.N. 10/8/58 - agj

### Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

New England Grain Co.  
Grimmell Company

INSPECTION COPY

Signature of owner

by: E. Luntz

F.M.

September 5, 1958

AP-Johnson's Wharf

cc to: Mr. Gardner S. Gould  
161 Devonshire Street  
Boston, Mass.  
cc to: Fire Chief

New England Grain Co.  
390 Commercial Street

Gentlemen:

Building permit for construction of addition to grain storage and handling plant at the above named location is issued on the basis of revised plans filed September 4, 1958, but subject to the following conditions:

1. Fire door to be re-located in opening in new concrete block firewalls is to be equipped with automatic closing hardware.
2. A separate permit issuable only to the actual installer is required for extension of the sprinkler system to the addition and may also be needed for installation of the conveyors.
3. Chief Johnson of the Fire Department in giving approval of the permit raised the question whether it might be advisable to provide a scuttle or easily removable panel in the roof of the taller part of the addition, which could be easily removed for venting purposes in case of a fire in the building. It is suggested that you consult him concerning this suggestion.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS/jg

MEMBER  
AMERICAN SOC. OF C. E.

REPORTS, DESIGNS  
SUPERVISION OF CONSTRUCTION

GARDNER S. GOULD  
ENGINEER  
161 DEVONSHIRE STREET  
BOSTON, MASS.

HA 6-3430  
WATERFRONT STRUCTURES  
FOUNDATIONS  
WAREHOUSES  
OIL STORAGE  
COAL HANDLING

September 3, 1958

ag  
Department of Building Inspection  
Room 21, City Building  
Portland 3, Maine

Gentlemen :-

Enclosed find prints applying to the Application of the New England Grain Company, at 390 Commercial Street, to build new Grain Bins and enclosing Structure at the above address.

These show a revision in the type of Firewall to be provided, from plans previously submitted, namely- for the wall to be constructed of 8" Concrete Blocks rather than the original Gypsum-Perlite plaster on Steel Frame.

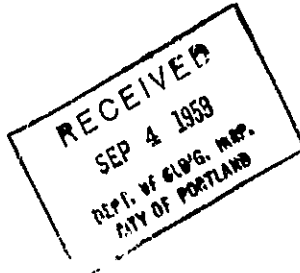
I understand from Mr. Ross that such revision- in general- meets your approval.

The slightly heavier type of construction does not unduly increase the unit loading on the soil.

Very sincerely yours,

*Gardner S. Gould*  
Engineer for New England Grain Co.

G/h  
encl.





# INDUSTRIAL ZONE APPLICATION FOR PERMIT

21107

Class of Building or Type of Structure Non-Combustible  
Portland, Maine, August 26, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Hobson's wharf Within Fire Limits? yes Dist. No. 2  
 Owner's name and address New England Grain Co., 390 Commercial St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address U. E. Fitzpatrick, Warsaw, Ind. Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2  
 Proposed use of building Grain storage and handling No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Fee \$ 32.00  
 Estimated cost \$ 32,000.

### General Description of New Work

To construct ~~1-story warehouse and storage bins as per plans~~

*See description on pink form attached*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes New England Grain Co.

APPROVED:

*Carl P. Johnson*  
CHIEF OF FIRE DEPT.

INSPECTION COPY

Signature of owner

By:

*New England Grain Co.*  
*U. E. Fitzpatrick*

PERMIT ISSUED  
01183  
SEP 5 1958

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Non-combustible  
Portland, Maine, SE August 26, 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE  
The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment  
in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and  
specifications; if any, submitted herewith and the following specifications:

Location Hobson's Wharf Within Fire Limits? yes Dist. No. 32  
Owner's name and address New England Grain Co., 390 Commercial St. Telephone \_\_\_\_\_  
Lessee's name and address J.E. Fitzpatrick, Warsaw, Ind. Telephone \_\_\_\_\_  
Contractor's name and address \_\_\_\_\_ Plans yes No. of sheets 2  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ No. families \_\_\_\_\_  
Proposed use of building Grain storage and handling Roofing \_\_\_\_\_  
Last use \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Fee \$ 32.00  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 32,000.

## General Description of New Work

To replace portion of existing one story wood frame warehouse with a new structure  
about 37 feet by 40 feet of unprotected non-combustible construction attached to  
existing plant for handling and storage of grain, as per plans

Permit issued with letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in  
the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
If not, what is proposed for sewerage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_ Thickness \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Columns under girders \_\_\_\_\_  
Size Girder \_\_\_\_\_  
Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, height? \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to  
see that the State and City requirements pertaining thereto are  
observed? yes New England Grain Co.

APPROVED:  
with letter by ags

Signature of owner By: \_\_\_\_\_

INSPECTION COPY





# APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, July 28, 1958

**PERMIT ISSUED**  
0780  
JUL 30 1958  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter repair ~~and~~ demolish ~~and~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Hobson's Wharf (390 Commercial St.) Within Fire Limits? yes Dist. No. 2  
Owner's name and address New England Grain Co., 390 Commercial St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Ellis Snodgrass Co., Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2  
Proposed use of building Grain storage No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " \_\_\_\_\_ No. families \_\_\_\_\_  
Material all metal No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

### General Description of New Work

To demolish a certain portion about 40' wide by 30' long on the harbor side of the metal storage bins to make way for a new addition of non-combustible construction

To excavate, drive piling and construct foundations only of a proposed new portion as shown on plans of Gardner S. Gould Sheets 1 and 2 dated July, 1958. The new work is to be made larger in area than shown on these plans, and the plans will be revised to show the details not only of foundations but the superstructure of the enlargement, including a certain 2-hour fire wall to be provided between the new construction and the remaining portion of the wooden frame building toward the harbor.

The additional foundations and the superstructure will be applied for with the application for the general construction permit of the entire job. All of the new work is to be completely sprinklered.  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Box 1198 - New England Grain

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 3 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*Carl P. Johnson*

CHIEF OF FIRE DEPT.

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
New England Grain

INSPECTION COPY

Signature of owner By: *[Signature]*

NOTES

72-

8/11/54 - Newark - started - *Allan*

8/22/54 - Newark - started - *Allan*

9/5/54 - 3rd Fl. - *Allan*

standing - *Allan*

9/21/54 - *Ally (action of)*

*handwritten*

Location: *58/980*  
Owner: *...*  
Date of permit: *...*  
Notif. closing-in: *...*  
Inspn. closing-in: *...*  
Final Notif.: *...*  
Final Inspn.: *...*  
Cert. of Occupancy Issued: *...*  
Staking Out Notice: *...*  
Form Check Notice: *...*

312 07

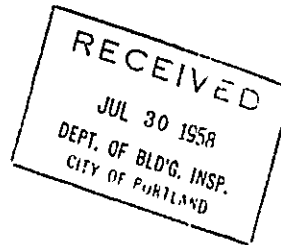
600 11

11.13

SIGNATURE

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

July 28, 1958



New England Grain Co.  
390 Commercial St. (Box 1196)

Dear Mr. Ross:

With relation to permit applied for to demolish a building or portion of building at Hobson's Wharf \*\* it is unlawful to commence demolition work until a permit has been issued from this department. \*\* 390 Commercial St.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

*Warren McDonald*

Warren McDonald  
Inspector of Buildings

WMCD/H

Eradication of this building has been completed.

*Edward W. Colby* 48  
Health Director

Date

*7/29/58*

*7/29/58 Chris OK*



# APPLICATION FOR PERMIT

PERMIT ISSUED

00402  
APR 6 1956

CITY OF PORTLAND

Class of Building or Type of Structure

Portland, Maine, April 4, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

This undersigned hereby applies for a permit to ~~erect~~ ~~construct~~ ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, Plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial St. Within Fire Limits?  Yes Dist. No. ....

Owner's name and address New England Grain, 390 Commercial St. Telephone .....

Lessee's name and address .....

Contractor's name and address Grinnell Co., 501 Fore St. Telephone 3-3879

Architect .....

Proposed use of building Grain Mill. Plans  Yes No. of sheets 3

Last use .....

Material .....

Other building on same lot .....

Estimated cost \$ .....

No. stories .....

Heat .....

Style of roof .....

No. families .....

Roofing .....

Fee \$ 2.00

### General Description of New Work

To install automatic sprinkler system addition to existing system as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Everett Sweetser, 38 Green St. Gorham, Maine

### Details of New Work

Is any plumbing involved in this work? .....

Is any electrical work involved in this work? .....

Is connection to be made to public sewer? .....

If not, what is proposed for sewage? .....

Has septic tank notice been sent? .....

Form notice sent? .....

Height average grade to top of plate .....

Height average grade to highest point of roof .....

Size, front .....

depth .....

No. stories .....

solid or filled land? .....

earth or rock? .....

Material of foundation .....

Thickness, top .....

bottom .....

cellar .....

Material of underpinning .....

Height .....

Thickness .....

Kind of roof .....

Rise per foot .....

Roof covering .....

Thickness .....

No. of chimneys .....

Material of chimneys .....

of lining .....

Kind of heat .....

fuel .....

Framing lumber—Kind .....

Dressed or full size? .....

Size .....

Corner posts .....

Sills .....

Girt or ledger board? .....

Size .....

Max. on centers .....

Girders .....

Size .....

Columns under girders .....

Size .....

Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .....

2nd .....

3rd .....

roof .....

On centers: 1st floor .....

2nd .....

3rd .....

roof .....

Maximum span: 1st floor .....

2nd .....

3rd .....

roof .....

height? .....

If one story building with masonry walls, thickness of walls? .....

### If a Garage

No. cars now accommodated on same lot ....., to be accommodated .....

number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

### Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?  Yes

APPROVED:

*Signature* 4/6/56-AGJ

New England Grain Co.  
Grinnell Co.



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 3, 1955

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Me. City Code of the City of Portland, and the following specifications:

Location 390 Commer. No. Stories  New Building  
 Name and address of owner Use of Building Mfg. & storage of grain Existing  
 e New England Grain Co., 390 Commercial St.  
 Installer's name and address Matthews Sales & Service, 499 Fore Street Telephone 2-1401

## General Description of Work

To install high-pressure steam boiler and oil burning equipment

**IF HEATER, OR POWER BOILER**  
 Location of appliance 1st floor boiler room Any burnable material in floor surface or beneath? no  
 If so, how protected? Kind of fuel? oil  
 Minimum distance to burnable material, from top of appliance or casing top of furnace Over 15"  
 From top of smoke pipe Over 15" From front of appliance Over 4' From sides or back of appliance Over 3'  
 Size of chimney flue Other connections to same flue  
 If gas fired, how vented? Rated maximum demand per hour  
 Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

**IF OIL BURNER**  
 Name and type of burner Iron Fireman Labeled by underwriters' laboratories? yes  
 Will operator be always in attendance? REAH 35  
 Type of floor beneath burner concrete Does oil supply line feed from top or bottom of tank?  
 Location of oil storage underground under new addition Size of vent pipe  
 Low water shut off Make Number and capacity of tanks 1-5000 gal.  
 Will all tanks be more than five feet from any flame? yes How many tanks enclosed? No  
 Total capacity of any existing storage tanks for furnace burners none

**IF COOKING APPLIANCE**  
 Location of appliance Any burnable material in floor surface or beneath?  
 If so, how protected? Height of Legs, if any  
 Skirting at bottom of appliance Distance to combustible material from top of appliance?  
 From front of appliance From sides and back From top of smokepipe  
 Size of chimney flue Other connections to same flue  
 Is hood to be provided? If so, how vented? Forced or gravity?  
 If gas fired, how vented? Rated maximum demand per hour

**MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION**  
 To be vented to stack - design to be submitted later  
 Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

**APPROVED:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?  yes

Matthews Sales & Service

Signature of Installer By: *M. Matthews Treas*

INSPECTION COPY



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Oct. 26, 1955

PERMIT ISSUED

01907

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 390 Commercial St. Use of Building Grain processing No. Stories New Building  
Name and address of owner of appliance New England Grain Co., 390 Commercial St. Existing "  
Installer's name and address Mathews Sales & Service, 499 Fore St. Telephone 2-1401.

### General Description of Work

To install highpressure steam boiler and oil burning equipment  
Completely non-combustible building

### IF HEATER, OR POWER BOILER

Location of appliance boiler room Any burnable material in floor surface or beneath? no  
If so, how protected? Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace \*  
From top of smoke pipe \* From front of appliance \* From sides or back of appliance \*  
Size of chimney flue \* Other connections to same flue  
If gas fired, how vented? stack through roof, see plan Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

### IF OIL BURNER

Name and type of burner Iron Fireman Does oil supply line feed from top or bottom of tank? top  
Will operator be always in attendance? Labeled by underwriters' laboratories? yes  
Type of floor beneath burner heavy concrete Size of vent pipe  
Location of oil storage Make McDonald Miller cut off and pump control No. separate permit  
Low water shut off yes How many tanks enclosed?  
Will all tanks be more than five feet from any flame? yes  
Total capacity of any existing storage tanks for furnace burners yes

### IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of Legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

### MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Size of boiler 8235 Iron Fireman Kewanee boiler burner unit.  
Unit is fireproof. Roof construction is entirely fireproof, metal edged Gypsum plank  
Clearance around flue will be 6" in all directions and stack flue gases will be not  
exceed 750° at any time.  
No burnable material

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service

Signature of Installer

CITY-214-1M MARK

October 27, 1955

AP 390 Commercial St.—Installation of steam boiler and oil burning equipment

Mathews Sales & Service  
499 Fore St.

Copy to New England Grain Co.  
390 Commercial St.

Gentlemen:-

Building permit for installation of the above equipment is issued subject to the following conditions:

If the joints in the stack are to be welded, certifications as to the design and qualifications of the welding operators are required.

If the stack is to be built within the Portland area, then there should be furnished by the manufacturer a statement of design as called for by Sect. 104b3 of the Building Code certifying to the design of the welded joints, the statement to read as follows:

The welded joints in connection with construction and erection of a certain steel stack for New England Grain Co. at 390 Commercial St. have been designed and drawn up by the undersigned according to the latest rules of engineering practice, to comply with allowable working stresses, loads etc. stipulated by the Building Code of Portland, and in accordance with the specifications of the American Welding Society.

\_\_\_\_\_  
Signature of designer

Then in case the stack is to be manufactured within the Portland area, all welding must be performed by welders who hold effective certificates from this department identifying them as being qualified under the qualification procedure of the American Welding Society within one year prior to the date of doing the welding.

If the stack is to be manufactured outside of the Portland area, please contact this office for a sample of statements of design and qualification of welders, so that you may send it to the manufacturer and have him sign and return.

We would normally expect these certificates before issuing the permit, but withholding the permit on that account does not seem necessary in this case.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WHC/D/G

Memorandum from Department of Building Inspection, Portland, Maine

390 Commercial Street--Installation of 1-5000 gallon fuel oil tank for New England  
Grain Co.

8/4/55

Before tank and piping is covered from view, installer is required to notify the Fire Department of readiness for inspection and to refrain from covering up until approved by the Fire Dept.

This tank of 5000 gallons capacity is required to be of steel or wrought iron no less in thickness than  $\frac{1}{4}$ " and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resistant paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to rattle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

H

(Signed) Warren McDonald  
Inspector of Buildings





(1) INDUSTRIAL ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure August 3, 1955

Portland, Maine, All-Metal

PERMIT ISSUED

Aug 11 1955

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial Street Within Fire Limits?  Yes  
Owner's name and address New England Grain Co., 290 Commercial St. Dist. No. 2  
Lessee's name and address  
Contractor's name and address Matthews Sales & Service, 499 Fore St. Telephone  
Architect Specifications Plans  Yes Telephone  
Proposed use of building No. of sheets 1  
Last use No. families  
Material No. stories Heat Style of roof No. families  
Other building on same lot Roofing  
Estimated cost \$ Fee \$ 2.00

General Description of New Work

To install 1-5000 gallon underground tank as per plan.  
To be located under new all-metal addition

Permit Issued with Memo

8/4/55  
2/8/55

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Matthews Sales & Service

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Material of underpinning Height Thickness  
Kind of roof Rise per foot Roof covering Kind of heat fuel  
No. of chimneys Material of chimneys of lining Dressed or full size?  
Framing lumber—Kind Sills Girt or ledger board? Size  
Corner posts Columns under girders Size Max. on centers  
Girders Size C. C. Bridging in every floor and flat roof span over 8 feet.  
Studs (outside walls and carrying partitions) 2x4-1st 2nd 3rd roof  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof  
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated.  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed?  Yes

Matthews Sales & Service

Matthews Sales & Service

APPROVED:

Signature of Inspector of Buildings

INSPECTOR OF BUILDINGS

(COPY)

CITY OF PORTLAND, MAINE  
Department of Building Inspection



# Certificate of Occupancy

LOCATION 390 Commercial St.

Date of Issue Sept. 26, 1956

Issued to New England Grain Co.

This is to certify that the building, premises, or part thereof, at the above location, built ~~under~~ <sup>under</sup> Building Permit No. 55/992, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

New addition

Limiting Conditions:  
Persons not to be permitted above second floor except occasionally for inspection and servicing only

This certificate supersedes certificate issued

Approved:

9/25/56  
(Date)

*A. Allen*  
Inspector

*W. A. [Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Steel Frame

Portland, Maine, May 24, 1955

To the INSPECTOR OF BUILDINGS, PORTLAND, ME

The undersigned hereby applies for a permit to erect a Repair and alteration of the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial St. Within Fire Limits? yes Dist. No. \_\_\_\_\_  
 Owner's name and address New England Grain Co., 390 Commercial St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Robert C. Profenna Co., 127 Margate Way Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 9  
 Proposed use of building Grain processing and handling No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Fee \$ 120.00  
 Estimated cost \$ 120,000.

## General Description of New Work

To construct all-steel building as per plans.  
*advance permit for demolition, excavation and driving piles only - issued 6/6/55*  
*with 6/6/55*

*Permit issued with Letter 6/27/55*  
*Rec'd from Fire Dept. 6/27/55*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.  
 Permit to be issued owner

## Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat nona fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every foot and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

*Walter J. Davis 6/27/55*  
*Chief, Portland Fire Dept.*

New England Grain Co.

390 Commercial St  
 Portland, Maine  
 1955



**APPLICATION FOR PERMIT**  
 Class of Building or Type of Structure .....

**PERMIT ISSUED**  
 00952

JUN 28 1955

**CITY of PORTLAND**

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~at 390 Commercial St~~ the following building ~~at 390 Commercial St~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ..... 390 Commercial St ..... Within Fire Limits?  yes ..... Dist. No. ....  
 Owner's name and address New England Grain Co., 390 Commercial St ..... Telephone .....  
 Lessee's name and address G. Profenno Co., 27 Marginal Way ..... Telephone .....  
 Contractor's name and address ..... Telephone .....  
 Architect ..... No of sheets 9  
 Proposed use of building Grain processing and handling Plans  yes No. families .....  
 Last use ..... Specifications No. families .....  
 Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....  
 Other building on same lot ..... Fee \$ 120.00  
 Estimated cost \$ 120,000.00

**General Description of New Work**

To construct all-steel addition as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

**Details of New Work**

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....  
 Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....  
 Has septic tank notice been sent? ..... Form notice sent? .....  
 Height average grade to top of plate ..... Height average grade to highest point of roof .....  
 Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
 Material of foundation ..... Thickness, top ..... bottom ..... Thickness .....  
 Material of underpinning ..... Height ..... cellar .....  
 Kind of roof ..... Rise per foot ..... Roof covering ..... Kind of heat ..... fuel .....  
 No. of chimneys ..... Material of chimneys ..... of lining ..... Dressed or full size? ..... Size .....  
 Framing lumber—Kind ..... Sills ..... Girt or ledger board? ..... Size ..... Max. on centers .....  
 Corner posts ..... Columns under girders .....  
 Girders ..... Size ..... 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. ....  
 Studs (outside walls and carrying partitions) 1st floor ..... , 2nd ..... , 3rd ..... , roof .....  
 Joists and rafters: 1st floor ..... , 2nd ..... , 3rd ..... , roof .....  
 On centers: 1st floor ..... , 2nd ..... , 3rd ..... , roof .....  
 Maximum span: 1st floor ..... , 2nd ..... , 3rd ..... , roof .....  
 If one story building with masonry walls, thickness of walls? ..... height? .....

**If a Garage**

No. cars now accommodated on same lot ....., to be accommodated ....., number commercial cars to be accommodated.  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

**Miscellaneous**

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?  yes  
 How ....., nd Grain Co.

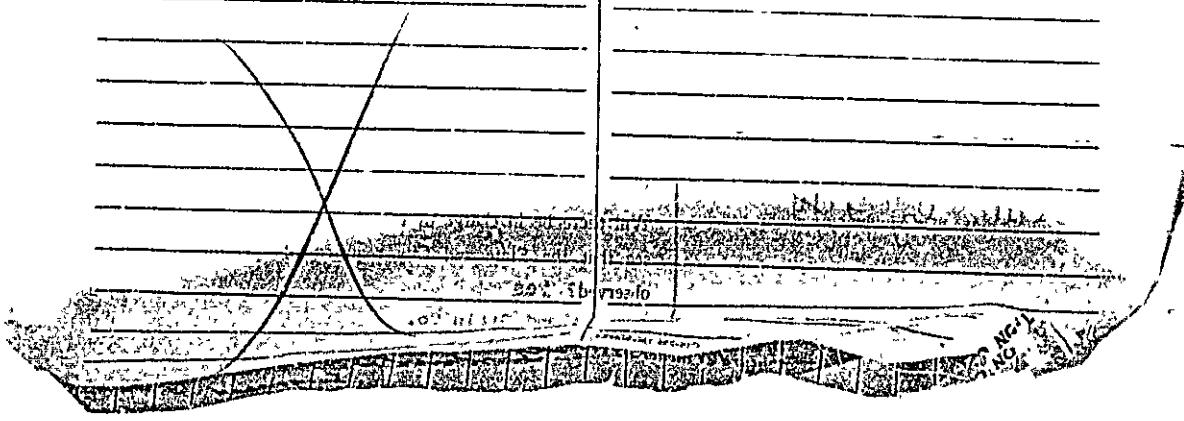
APPROVED:  
*with order by [Signature]*

NOTES

- 1/16/55 - Start time to put up  
looms - Allen
- 7/29/55 - Frame 20' on the  
main addition - started house  
forms not done - Allen
- 8/18/55 - Work progressing  
- Allen
- 9/2/55 - 2nd floor around to  
be done - started around  
- the should be about same  
- Allen
- 10/1/55 - Made progress  
work addition - Allen
- 11/4/55 - Work progressing -  
- Allen
- 11/18/55 - Work progressing -  
- Allen
- 12/20/55 - Start ladder between  
1st & 2nd floor needed. Body  
about completed - Allen
- 3/6/56 - Work all done except  
for finish toward Commercial St. -  
Steel ladder between 1st & 2nd floor  
needed for assembly - Allen
- 5/12/56 - Steel ladder needed  
between 1st & 2nd floor -  
Finish needed toward  
Commercial St. - Allen
- 8/28/56 - All complete except  
for steel ladder between 1st &  
2nd floor - Allen
- 9/25/56 - Job completed  
- Allen

10/10/56 P. J. S. 11/10/56

Permit No: 55/992  
 Location: 59 Commercial St  
 Owner: New England Sprink Co  
 Date of permit: 6/28/55  
 Note: closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued 9/26/56  
 Staking Out Notice  
 Form Check Notice





**CAMILLO PROFENNO COMPANY**  
GENERAL CONTRACTORS

127 MARGINAL WAY - TEL. 2-1979  
PORTLAND 3, MAINE

DONATO C. PROFENNO  
TREASURER  
DOMENIC D. PROFENNO  
ASST. TREASURER

MRS. SABIA D. PROFENNO  
PRESIDENT  
SAMUEL J. PROFENNO  
VICE PRESIDENT

*Best. Kibler will  
come in for a check  
between 12:00 to 1:00  
formal appl for award  
JMM 7/19/55*

July 12, 1955  
Mr. Warren McDonald, Building Inspector  
City of Portland  
Maine

Dear Sir:

Referring to the construction of the Grain Storage and Processing Building now under construction by us for the New England Grain Co., covered by your Permit #00992, we desire to make a change from construction as shown on plans accompanying original application, as set forth below.

The floor on top of the silos is shown as 2" concrete plank, resting directly on the top of the wooden silos. We wish to change this construction by the use of "2 tongue and groove wood planking, for the following reasons:

1. The wood plank will rest directly on the wooden silos as before.
2. The roof and siding above the floor will be of steel frame and aluminum roofing and siding as before.
3. We feel that wood, tongue and groove planking, will provide a much more effective resistance against escape of grain dust, both through the planking itself and around the several grain chutes which will pierce it.
4. A wood floor can be more effectively kept clean of grain dust and will be entirely free of any tendency to form sparks if metal tools should be dropped on it.

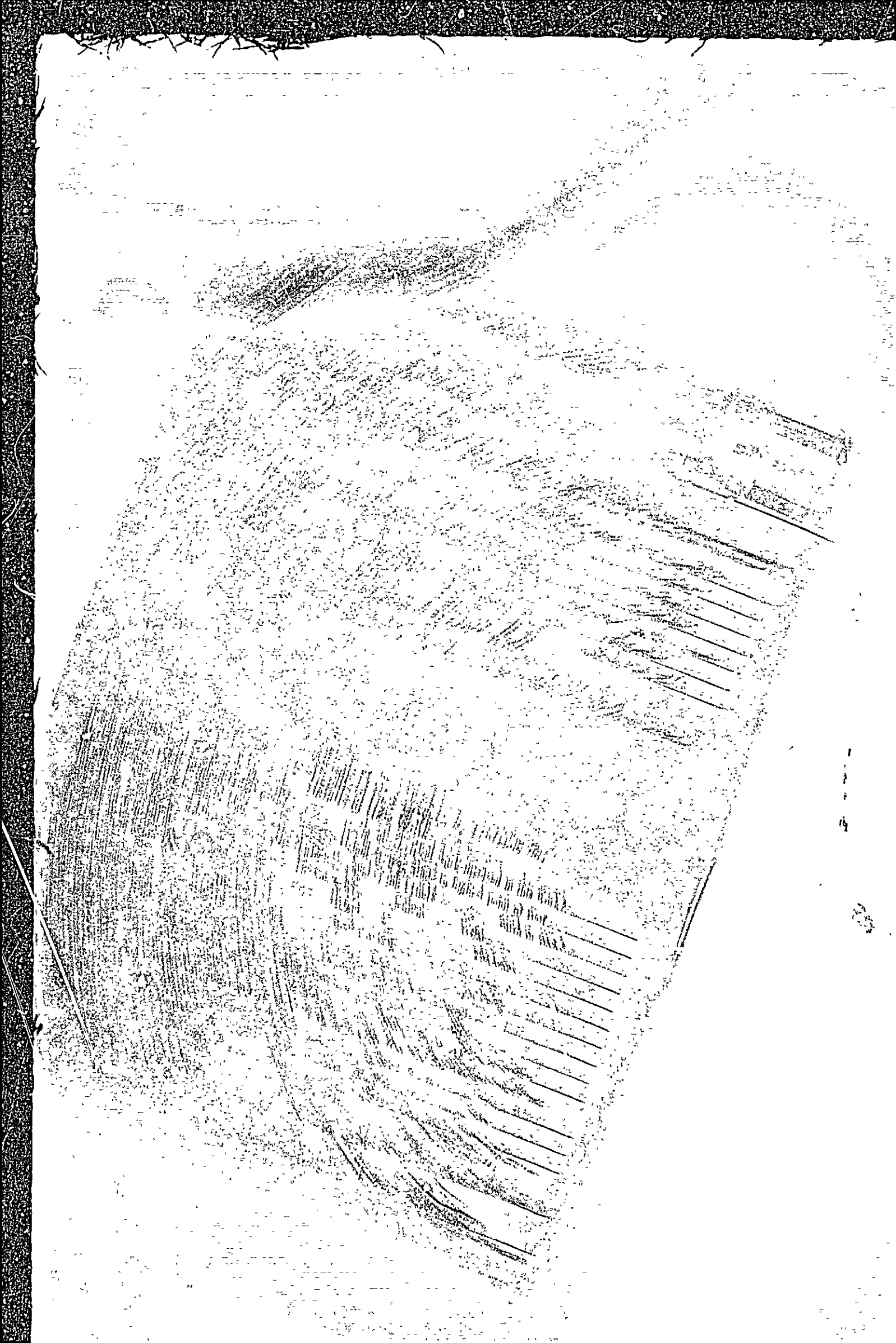
Very truly yours,

CAMILLO PROFENNO COMPANY

*Harry J. Kibler*  
Harry J. Kibler  
Engineer

HJK:wa

RECEIVED  
JUL 13 1955  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND



AP - 390 Commercial St.

June 23, 1955

Engineer—Gardner S. Gould  
390 Commercial St.

Owner—New England Grain Co.  
390 Commercial St.

Contractor—C. Profano Co.  
127 Marginal Way

Building permit for construction of an addition to the grain plant at the above location is issued herewith based on plans filed with application for permit and letter of instructions to contractor dated June 21, 1955, but subject to the following conditions.

- location and all details of ladder to be installed as an emergency means of access from the second story of the building are subject to approval of the Chief of the Fire Department.
- emergency exit door indicated in easterly wall first story is to be a Class "A" labelled fire door. The metal mesh of the windows in this wall are to be glazed with wire glass.

Very truly yours,

Warren McDonald  
Inspector of Buildings

MS/0



*affs.* NEW ENGLAND GRAIN CO.  
*Grain - Flour - Feed*

390 COMMERCIAL STREET  
P. O. Box 1198  
Portland 1, Maine

June 21, 1955

Camillo Profenno Company  
127 Marginal Way,  
Portland, Maine

RECEIVED  
JUN 25 1955  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND

Gentlemen:

In connection with our application for building permit for our Grain Storage and Processing Plant, the Building Department has asked several questions relative thereto which were not made clear by the plans and specifications, and has requested that certain changes or additions be made to conform to Code Requirements as to fire resistance etc.

Some of these questions have no bearing on your part of the work, but, as we are sending a copy of this letter to the Building Inspector, we are including them in this

- (1) We have talked with the Chief of the Fire Department here at the Plant and believe he is fully informed of the conditions as effect his Department.
- (2) The number of employes in the new Plant is as follows:  
1st floor - 4 persons  
2nd floor - 3 "  
above 2nd floor - 1 or 2 persons occasionally for inspection and servicing of equipment.
- (3) The design Live Loads on floors are: -  
1st floor at 13.50 - 200 lbs/sq. ft.  
2nd " " 26.83 - 200 " " "  
3rd " " 56.83 - 150 " " "  
On Top of Silos - 50 " " "

(4) The new structure will be equipped with automatic sprinklers throughout.

(5) Metal Stack

The stipulated conditions will be met. Separate Permit applications will be made for Boiler installation, electrical and sprinkling systems.

(6) Outside Doors

Outside door on west side will be steel, rolling door.  
Outside doors in Boiler House will be metal clad wood.  
All door frames in the work will be of steel.

(7) Spread Footings - depth

All spread footings will be based 4.0 feet plus, below ground surface.

(8) Block Wall Anchors to Steel

Anchors from concrete block walls to structural steel shall be 1 1/2" x 3/8"

(9) Reinforcing Rod laps shall be 35 to 40 Diameters in accordance with Code provisions, instead of the 24 Diameter specified.

(10) Fire Doors

The automatic closing, sliding fire doors in the fire walls are to be metal clad wood, with steel frames and carry a Class A label.

They are located on the 1st floor, approximately as shown on Sheet 5 of the plans. Exact location to be determined by further study of operative conditions.

The interior door between Boiler House and 1st floor of Main Building will be metal clad wood, Class B label, self closing and will have a steel frame.

(11) To conform to the Code fire resistance rating of one hour, the east wall of the building from floor at 13.50 up to the bottom of the silos and from the top of the silos to the roof ridge, shall be of 1 1/8" 'Cemento' board attached direct to the steel girts and covered with the corrugated aluminum siding.

(12) A steel ladder will be installed between the 1st and second floors as an alternative escape means.

/pm

Very truly yours,  
NEW ENGLAND GRAIN CO.

*Harold S. Gould*  
Engineer.

NEW ENGLAND GRAIN CO.

*Ag's. We have issued a permit in connection with the construction of a grain elevator. Files*

390 COMMERCIAL STREET  
P. O. Box 1198  
Portland 1, Maine

City of Portland  
Department of Building Inspection  
City Hall  
Portland, Me.

June 6, 1955

Attn: Mr. Warren McDonald  
Gentlemen:

RECEIVED  
JUN 7 1955  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND

Referring to our application for Permit to Build Grain Handling and Processing Building and Boiler House and in answer to questions posed in your letter dated June 2, 1955, we submit the following, in the order asked.

Questions 1 & 2: We have talked with Chief Marr on the site. Have explained the situation and we feel that he is ready to give you an opinion upon your contacting him.

3. Number of employees

1st floor	-	4 persons
2nd "	-	3 "
above 2nd floor	-	1 or 2 persons
4. Design Live Loads on floors

1st floor at	13.50	200 lbs /sq. ft
2nd " "	26.83	200 " " "
3rd " "	56.83	150 " " "
on top of Silos at	79.00	50 " " "
5. Sprinkling  
The new structure will be equipped with automatic sprinklers throughout.

Outside Doors

Outside door on west side will be steel, rolling door.  
Outside doors in Boiler House will be metal clad wood.  
All door frames in the work will be of steel.

Metal Stack

The stipulated conditions will be met. Separate Permit applications will be made for Boiler installation, electrical and sprinkling systems.

7. Letter to A.R. Wright Co. Copy submitted herewith.

8. Spread footings - depth  
All spread footings will be based 4.0 feet plus, below ground surface.

9. Block wall Anchors to Steel  
Will be made as stipulated.

10. Reinforcing Rod laps.  
This matter, we understand, is subject to further investigation by the Department.

11. Fire Doors  
The automatic closing, sliding fire doors in the fire walls are to be metal clad wood, with steel frames and carry a Class A label.  
They are located on the 1st floor, approximately as shown on Sheet 5 of the plans. Exact location to be determined by further study of operative conditions.

The interior door between Boiler House and 1st floor of Main Building will be metal clad wood, Class B label, self closing and will have a steel frame.

Very truly yours,

NEW ENGLAND GRAIN CO  
*Samuel J. Gould*  
Engineer.

/dm

June 2, 1955

AP--390 Commercial Street

Engineer--Gardner S. Gould  
465 Congress St.

Owner--New England Grain Co.  
390 Commercial St.

Contractor--C. Profenno Co.  
127 Marginal Way

Examination of plans and specifications filed with application for a permit for construction of a proposed addition to existing grain plant at the above location discloses the following questions as to compliance with Building Code requirements. Before a permit can be issued it is necessary that information be furnished as to how compliance is to be provided with requirements in question, either by revised plans, copy of instructions to contractor or otherwise. Details in question are as follows:

1. The Chief of the Fire Department, whose approval of the permit must be secured before issuance because of the wooden silos, desires certain information as to operation of plant before doing so. It is therefore suggested that he be consulted directly concerning the questions he has in mind. ?

2. All parts of the easterly wall which will be closer than 5 feet to the property line must be constructed so as to provide one-hour fire resistance, with wire glass in any windows and Class "C" labelled fire doors or better on any openings, as provided by Section 205b1. The wooden wall of silos as constructed and covered with metal can be accepted as having that fire-resistive rating according to Fire Underwriters' standards, but the metal frame walls below and above the wooden construction need to have such protection as will provide this fire-resistance. - *Told Mr. Marshall we would accept 3/4" Cement Wood covered with metal frame*

*Room 3  
at 3  
at 3*  
3. Information is needed as to the number of people to be habitually employed in the first story and at each of the upper levels before determination as to the application of Sections 205e and 212e relating to egress requirements can be determined.

4. For what live load capacity is the floor construction at the various levels designed? - *See letter*

5. We understand that the addition is to be equipped with an automatic sprinkler system throughout, as otherwise the construction indicated would not be allowable under Section 302d1. - *OK*

6. All doors over 21 square feet in area in outside walls of metal frame construction if made of wood are required to be covered at least on the outside with metal. - *See Section 302d2. - OK*

7. Use of the metal stack indicated for boiler instead of a masonry chimney is allowable only if the metal used is not less than 3/16 of an inch in thickness and, if the stack temperature is to exceed 750 degrees Fahrenheit that fire brick lining is provided. - *See Section 304c2. - OK*

8. Copy of a letter from owner of property to the owners of the adjoining land at the east where excavation is to be made close to lot line is required to be on file at this office before issuance of permit, as provided by Section 307a4. ? - *OK*

9. Footings for foundations of fire walls at the outer ends where exposed to frost action are required to extend not less than 4 feet below the finished grade. This also applies to foundation walls of boiler room - *See Section 307c2. - OK*

10. Anchors from concrete block walls to steel construction are required to be not less than 1 1/2 inches wide by 3/8 inches thick instead of the 1/4 inch thickness specified. - O.K.

11. In view of the fact that laps in spliced reinforcing bars in concrete are specified to be only 24 diameters long, we need assurance that the bond stress developed will not in any case be more than .05 of the compressive strength of the concrete, which is specified to be 2500 pounds per square inch, this being the maximum allowable at present by the Code. While a proposed change in the Code to increase the allowable bond stress in line with the latest ACI standards has been presented to the Board of Standards and Review for consideration, no decision has as yet been reached. Until such a time as an amendment to this effect has been adopted by the Municipal Officers, present requirements of the Code will have to apply. - Mr. Marshall says will use 40 dia. laps O.K.

12. While Class "B" labelled fire doors are mentioned in a note on the plans, we have been unable to find any indication of their location. As far as we can determine, such labelled doors are required on each of the 8 foot wide openings in the fire wall and on the opening from the boiler room to the one story section adjoining it. This latter door is required to have an all metal frame, not one of wood covered with metal. All of the fire doors are required to be equipped with either automatic or self-closing hardware. - O.K.

Albert J. Sears  
Deputy Inspector of Buildings

AJS/B

February 16, 1955

GL 390 Commercial St. New England Grain Co. ---Material of  
construction of proposed silos

New England Grain Co.  
Attn: Mr. Ross  
390 Commercial St.  
Mr. Gardner Gould  
161 Devenshire St.  
Boston, Mass.

Gentlemen:

In view of the expressed preference of fire insurance authorities for laminated wood silos for grain storage and handling rather than silos made only of steel, it will be acceptable to use these wooden silos built up of laminated wood plank, completely covered on the outside of the silos with galvanized metal or equivalent incombustible material with the inside of the silos and their contents protected by the required number of sprinkler heads.

Mr. Ross has agreed that whatever there is by way of a cover over the open silos and any chamber above that cover will be entirely of non-turnable material.

This approval is given from the fire protection standpoint on the basis that structural strength and stiffness will be provided according to the usual rules and Code fibre stresses for wood members.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD/B

DA



CL. [illegible]

[illegible]

[illegible]

NEW ENGLAND GRAIN CO.

Grain - Flour - Feed

390 COMMERCIAL STREET

P. O. Box 1198

Portland 1, Maine

*File copy  
of adv  
Hemma  
N.E. Grain  
390 Commercial  
June 7 1955*

COPY

A. R. Wright Co  
221 Forest Avenue,  
Portland, Maine

Attn: Charles F. Simes

RECEIVED  
JUN 7 1955  
DEPT. OF ELDERS. HOSP.  
CITY OF PORTLAND

Gentlemen:

This is to inform you we are excavating along our common property line for our new construction as previously discussed over the telephone.

This letter is written as a matter of record according to City of Portland regulations.

Very truly yours,

NEW ENGLAND GRAIN CO.

*James B. Ross*  
James B. Ross  
Vice President

JBB/pm

*Mr. Simes says he received  
a copy of this notice  
mm  
6/6/55*



APPLICATION FOR PERMIT

PERMIT ISSUED 00335 JUN 6 1955 CITY OF PORTLAND

Class of Building or Type of Structure Portland, Maine, June 2, 1955

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial St. Within Fire Limits? YES Dist. No. Owner's name and address New England Grain Co., 390 Commercial St. Telephone Lessee's name and address Contractor's name and address C. Profenno Co., 127 Marginal Way Telephone Architect Specifications Plans no No. of sheets Proposed use of building Grain processing and handling No. families Last use No. families Material No. stories Heat Style of roof Roofing Other buildings on same lot Estimated cost \$ Fee \$ 1.00

General Description of New Work

To cover demolition, ~~excavation~~ excavation and driving of piles only for proposed all-steel building.

Gen plans & specs are appl. of gen'l construction - mnd 7/6/55 C. R. Wright has rec'd notice of work June 6/6/55

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? Is connection to be made to public sewer? If not, what is proposed for sewage? Has septic tank notice been sent? Form notice sent? Height average grade to top of plate Height average grade to highest point of roof Size, front depth No. stories solid or filled land? earth or rock? Material of foundation Thickness top bottom cellar Material of underpinning Height Thickness Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat fuel Framing lumber—Kind Dressed or full size Corner posts Sills Girt or ledger board? Size Girders Size Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor, 2nd, 3rd, roof On centers: 1st floor, 2nd, 3rd, roof Maximum span: 1st floor, 2nd, 3rd, roof If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED: [Signature lines]

Miscellaneous

Will work require disturbing of any tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

New England Grain Co.

Signature of owner by: [Signature]



INDUSTRIAL ZONE APPLICATION FOR PERMIT

PERMIT ISSUED

01347 AUG 26 1952

Class of Building or Type of Structure Third Class

Portland, Maine, August 12, 1952

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location, Owner's name and address, Lessee's name and address, Contractor's name and address, Architect, Proposed use of building, Last use, Material, wood, No. stories, Heat, Style of roof, Other buildings on same lot, Estimated cost \$150.

General Description of New Work

To construct head house 8' x 10', one story to provide clearance for grain bucket conveyor to be installed. Present roof structure will not be disturbed, roof boarding and covering only to be removed. If roof framing has to be removed, headers of proper size will be provided wherever necessary. Outside of building and finish will be covered with 26 gauge galvanized metal or equivalent. 4x4 corner posts, roof 2x6, 16" on centers, 8' span. Shoe 4x4 on top of existing roof for new work.

Start in Five Days 8/15/52, Permitted by this Dept 8/25/52

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? Is construction to be made to public sewer? Height average grade to top of plate? Size, front depth? No. stories? solid or filled land? earth or rock? Material of foundation? Thickness, top? bottom? cellar? Material of underpinning? Height? Thickness? Kind of roof? Rise per foot? Roof covering? Kind of heat? fuel? No. of chimneys? Material of chimneys? of lining? Dressed or full size? Framing lumber—Kind? Size? Corner posts? Sills? Girt or ledger board? Size? Max. on centers? Girders? Size? Columns under girders? Size? Max. on centers? Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor, 2nd, 3rd, roof. On centers: 1st floor, 2nd, 3rd, roof. Maximum span: 1st floor, 2nd, 3rd, roof, height? If one story building with masonry walls, thickness of walls?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated. Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? No. Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

with letters by [Signature] [Signature]

CHIEF OF FIRE DEPT.

Estate of Leon Herman

Signature of owner by:

[Signature] James B. [Signature]



AP. 390 Commercial Street

August 26, 1952

Estate of Leon Herman  
390 Commercial Street  
Portland, Maine

Gentlemen:

Building permit for construction of a headhouse 8'x10' in the roof of the grain mill and warehouse at 390 Commercial Street is issued herewith subject to the following conditions:

1. In approving the permit the Fire Department has specified that the automatic sprinkler system in the building shall be adjusted to cover the new construction. The permit is issued on the basis that this will be done.
2. The existing roof joists directly beneath those walls of the new headhouse which run parallel to the roof joists are to be doubled.
3. Existing 2x4 roof joists throughout the area covered by the new structure are to be doubled up unless they are of full size lumber.
4. All woodwork which would otherwise be exposed to the open air, except window sash and doors not over 21 square feet in area, is to be covered with sheet metal of not less than number 26 gauge.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/B

Oliver T. Sanborn,  
Chief of the Fire Dept.

August 15, 1952

Warren McDonald,  
Inspector of Buildings

Permit for construction of addition penthouse on the roof of a building  
occupied by the grain mill and warehouse at 390 Commercial Street

Since this building is in Fire District #2 and the top of the new  
structure would be more than 30 feet above the grade, Section 405A2 of the Build-  
ing Code requires your approval on the permit before it can be issued.

I believe this building is sprinklered, and I suggest that your approval  
be predicated on adjustment of the sprinkler system to fully protect the new  
portion.

WMcD/H

\_\_\_\_\_  
Inspector of Buildings

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 29 1952

PERMIT ISSUED

01145 JUL 25 1952

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 396 Corn St Use of Building Commercial No. Stories 2 New Building Existing

Name and address of owner of appliance New England Grain Co.

Installer's name and address Bell and Co. Telephone 2-7991

General Description of Work

To install 1. One Seaboyer Boiler Package Unit furnished by Seaboyer Oil Piping & Electrically Heat Unit

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? No

If so, how protected? Kind of fuel? Oil

Minimum distance to burnable material, from top of appliance or casing top of furnace 7 ft

From top of smoke pipe 6 ft From front of appliance From sides or back of appliance

Size of chimney flue 12x16 Other connections to same flue No

If gas fired, how vented? Rated maximum demand per hour

Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner One Seaboyer Labeled by underwriter's laboratories? Yes

Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Top

Type of floor beneath burner Burner attached to front of boiler

Location of oil storage Outside Number and capacity of tanks 1-20 existing

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed? 1

Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?

If so, how protected? Kind of fuel?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented? Forced or gravity?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

All burnable material at top of pit 8' from top of boiler to be covered with lead or other material. Boiler sits in pit - inside of boiler will be approx 2 ft above concrete - concrete masonry sidewalk end of pit boiler.

Installation of Boiler Permit by others. (P. Reuben & Co.)

Mr. Dunton says this permit is to cover oil burning equipment only.

Amount of fee enclosed? \$2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Handwritten signature and date: 7/28 52 DM

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Installer

Handwritten signature: Bell and Co. By R. H. Seaboyer

INSPECTION COPY

See Nelson is old copy RMJ





NOTES

- 1 Fill Pipe
- 2 Vent Pipe
- 3 Kind of Fuel
- 4 Bore
- 5 Nat
- 6 Sta
- 7 Infra
- 8 Rm
- 9 Pipe
- 10 Value
- 11 Cap
- 12 Tank
- 13 Part
- 14 Oil
- 15 Instruction
- 16

Permit No. 52/1145  
 Location 390 Commercial St  
 Owner J. E. [unclear] Co.  
 Date of permit 7/25/52  
 Approved 7-25-52

8-22-52

THESE ARE THE NOTES OF THE INSPECTOR...

IT IS THE POLICY OF THE DEPARTMENT...

FOR SPECIAL INSPECTION...

APPROVED BY THE INSPECTOR...

DATE...

...



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation  
Portland, Maine, August 24, 1948

**PERMIT ISSUED**  
01510  
AUG 25 1948  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE  
The undersigned hereby applies for a permit to ~~erect~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial St. Within Fire Limits? yes Dist. No. 2  
Owner's name and address New England Grain Co., 390 Commercial St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address The Fels Co., 42 Union St. Telephone 2-1939  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use Warehouse Style of roof \_\_\_\_\_ No. families \_\_\_\_\_  
Material frame \_\_\_\_\_ Heat \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_

## General Description of New Work

Fee \$ 1.00

To install dry sprinkler system for addition of building as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** The Fels Co.

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_  
Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, iron \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Kind of roof \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Rise per foot \_\_\_\_\_ Height \_\_\_\_\_  
Framing lumber Kind \_\_\_\_\_ Material of chimneys \_\_\_\_\_ Roof covering \_\_\_\_\_ Thickness \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: \_\_\_\_\_ Size \_\_\_\_\_ Size \_\_\_\_\_  
On centers: \_\_\_\_\_ 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: \_\_\_\_\_ 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_, roof \_\_\_\_\_  
No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done \_\_\_\_\_ or that minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

New England Grain Co.  
The Fels Co.

Charles H. Fels

REPRODUCTION COPY

Signature of owner \_\_\_\_\_



(D) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Grain Mill - Third Class

Portland, Maine, March 17, 1948

PERMIT ISSUED

00354  
MAR 27 1948

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~reconstruct~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial Street Within Fire Limits? yes Dist. No. 2  
 Owner's name and address Estate Leon Herman, 390 Commercial Street Telephone 2-0150  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor name and address Owners Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No of sheets 1  
 Proposed use of building Grain Mill & warehouse No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ " " " " No. families \_\_\_\_\_  
 Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 440 Fee \$ 1.00

General Description of New Work

To construct head house 15' x 18', one story to provide clearance for grain bucket conveyor to be installed. Present roof structure will not be disturbed, roof boarding and covering only to be removed. If roof framing has to be removed, headers of proper size will be provided wherever necessary. Outside of building and finish will be covered with 26 gauge galvanized metal or equivalent.

Corner posts 2x2x2x4  
Roof 2x8, 16" on centers, span 9'  
Shoe 4x4 on top of existing roof for new work

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Owners

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridg'ng in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

*Oliver T. Soubon*

Estate of Leon Herman

Signature of owner by:

*James B. Ross*

INSPECTION COPY

AP. 390 Commercial Street-I

March 26, 1948

Estate of Leon Herman  
390 Commercial Street  
Portland 3, Maine

Subject: Permit for head house  
on grain mill at 390 Commer-  
cial Street

Gentlemen:

The permit for the above work is issued herewith:

1. Since the building is supported on wooden posts, we would suggest that investigation be made of the bearings of those posts which will be called upon to carry the added loads, in order to make sure that they are capable of supporting these loads.
2. The center girder on a span of about 14' supporting new roof and indicated on plan to be built up of 2-3x10 timbers does not figure out to carry the loads that it may be called upon to carry. It will be necessary to use no less than 3-3x10 timbers side by side to form this girder.
3. The corner posts and studs of the addition should extend down to the girders and plates below wherever possible. Because of the height of the addition, we suggest that the corner posts be made 4x6 instead of 4x4.
4. Cross bracing of the studs in the walls is required because their height is more than ten feet.
5. If any opening is to be framed in roof of existing building, such work should be covered by an amendment to this permit giving information just how the framing is to be done.
6. No doubt the sprinkler system in the building is to be extended to cover this addition.

Very truly yours,

Inspector of Buildings

AJS/S

P.S. Extension of the sprinkler system to cover addition is required. This extension requires a separate permit which is to be applied for by the installer, and is issuable only to him. With the application must be filed a plan of the extension of the sprinkler system, bearing upon it the stamp of approval of the New England Fire Insurance Rating Association.

**(A) INDUSTRIAL ZONE  
APPLICATION FOR PERMIT**

**PERMIT ISSUED**

00342  
MAR 14 1946

Class of Building or Type of Structure Installation

Portland, Maine, March 13, 1946

The INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Hobson's Wharf

Owner's name and address Ellis C. Snodgrass, 465 Congress Street Within Fire Limits? Yes Dist. No. 2

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address T. H. Stokes, 155 Pride St., Westbrook Telephone \_\_\_\_\_

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans Yes No. of sheets 1

Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

**Memorandum from Department of Building Inspection, Portland, Maine**  
Hobson's Wharf--Installation of 1200 gallon gasoline tank for Ellis C. Snodgrass  
by T. H. Stokes, installer--3/14/46

To Owner & Installer:

While it does not say so on the application for the permit, I presume the top of the tank will be no less than three feet below the surface of the ground and that due precautions will be taken against the tank "floating" if it should be largely empty at the time of extremely high tide.

CC: Ellis C. Snodgrass  
465 Congress Street

(Signed) Warren McDonald  
Inspector of Buildings

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

**Details of New Work**

Is any plumbing work involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing lumber--Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one-story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

**Miscellaneous**

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed? yes

APPROVED Clara T. [Signature]  
CHIEF OF FIRE DEPT.

Signature of owner T. H. Stokes

INSPECTION COPY

AP Hobson's Wharf-I  
Relocation of building

January 7, 1946

Mr. Ellis E. Snodgrass  
465 Congress Street  
Portland 3, Maine

Subject: Building permit for re-location of one-  
story frame building about 29' by 36' from  
one spot to another on Hobson's Wharf

Dear Sir:

Above permit is herewith subject to the following:

1. Application calls for outside walls to be covered with asbestos shingles and cornice to be covered with metal. Sometimes there is confusion between asbestos and asphalt shingles. Asbestos shingles satisfy the requirements, asphalt shingles do not. Since the building is re-located within the limits of Fire District No. 2, all exterior trim as well as the cornice is required to be protected and wherever it is necessary to bend the protective material, to make a tight job, it is necessary to use sheet metal no less than No. 26 gauge. The exterior trim would include corner boards, window and door casings (metal to be used to cover window sills and lapped up over the sill practically into the sash).

2. Any doors exceeding 21 square feet in area to be similarly covered on the exterior.

3. Presumably the foundations of the chimney will extend at least four feet below the grade of the filled wharf.

Very truly yours,

Inspector of Buildings

WKC/S

CC: Mr. Charles H. Fiaslow  
97 Montrose Avenue



# INDUSTRIAL ZONE APPLICATION FOR PERMIT

PERMIT ISSUED  
00023  
JAN 7 1946

Class of Building or Type of Structure Third Class

Portland, Maine, January 5, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
The undersigned hereby applies for a permit to erect, alter, repair, or demolish all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Hobart's Wharf Within Fire Limits? Yes Dist: No. 2

Owner's name and address New England Grain Co. Telephone \_\_\_\_\_

Lessee's name and address Ellis F. Snodgrass, 165 Congress St. Telephone \_\_\_\_\_

Contractor's name and address Charles Winslow, 97 Montrose Ave. New building? Yes No. of sheets 1

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_

Proposed use of building Storage of machine parts No. families \_\_\_\_\_

Last use of construction equipment No. families \_\_\_\_\_

Material frame No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing Asph/Flt

Other buildings on same lot Storage of construction equipment and office Fee \$ 50

Estimated cost \$ \_\_\_\_\_

### General Description of New Work

To relocate 1 story frame building on same property. Outside walls to be covered with asbestos shingles and cornice to be covered with metal.

To construct outside brick chimney - brickwork of the chimney to be corbelled, so as to pass through the outside wall of the building at the point where the smokepipe enters so as to obviate the need of carrying the smokepipe through the outside wall.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

NOTIFICATION BEFORE  
OR CLOSING-IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

### Details of New Work

Is any plumbing work involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front 30' depth 20' No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation concrete for new chimney Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel oil

Framing lumber - Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Ellis F. Snodgrass

Signature of owner By: Charles H. Winslow

Permit No 46/23  
Location Hobson Wharf  
Owner Ellis Ludgassa  
Date of permit 1.7.46  
Notif. closing-in  
Inspn. closing-in  
Final Notif  
Final Inspn 5/6/47  
Cert. of Occupancy issued None

NOTES

8/29/46  
1. No work done  
E.L.L.  
8/17/46  
Talked with  
person who said he  
believe that there  
would be any list  
in building  
meeting  
that he believes  
could not tell  
any to James  
Con in cor. company  
E.L.L.

8/29/46 1.7  
done in front location

E.L.L.





**(1) INDUSTRIAL ZONE**  
**APPLICATION FOR PERMIT**  
 Class of Building or Type of Structure Third Class

Permit 00027  
 JAN 13 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
 The undersigned hereby applies for a permit to erect alter ~~tract~~ the following building structure equipment in, accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Hobson's Wharf Portland, Maine, January 5 1946

Owner's or Lessee's name and address Ellis Snodgrass, 165 Congress St. Within Fire Limits? Yes Dist. No. 2

Contractor's name and address Charles Winslow, 97 Montrose Avenue Telephone 2-9675

Proposed use of building Storage and office Telephone 2-9675

Other buildings on same lot no Plans filed Yes No. of sheets 1

No. families no Fee \$ 2.00

**Memorandum from Department of Building Inspection, Portland, Maine**  
**Hobson's Wharf-Office and Storage Building to be Altered.**

To Owner:  
 Section 311c3.6 of Building Code provides that exterior walls of wooden frame buildings shall have 2x4 studs not more than 16 inches from center to center, except for minor garages or similar minor or accessory buildings. Other provisions of the Building Code tend to limit the size of a "minor" building to 600 square feet. Since this proposed building would be over 1100 square feet, it appears that studs in outside walls should be 15 inches on centers instead of the 24 inches shown.  
 If a ceiling is proposed, provisions should be made for access to the other side blind attic.

(Signed) Warren McDonald  
 Inspector of Buildings

Is any electrical work involved in this work? yes

Size, front depth No. stories 1 Height average grade to top of plate 8'

To be erected on solid or filled land? filled Height average grade to highest point of roof 12'

Material of foundation concrete slab earth or rock? earth

Material of underpinning gabrie Thickness, top bottom cellar.

Kind of roof gable Rise per foot 8" Height Roof covering asphalt roofing Class C Und. Lab.

No. of chimneys 1 Material of chimneys brick Type of fuel oil of lining tile

Kind of heat stove Framing (lumber—Kind hemlock Dressed or full size? dressed

Corner posts 17' Sills 1x6 Girt or ledger board? Size

Material columns under girders bolted to concrete Is gas fitting involved? no

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof

Joists and rafters: On centers: Size

Maximum span: 1st floor concrete 2nd 3rd roof 2x6

If one story building with masonry wall, thickness of walls? 1st floor 2nd 3rd roof 2 1/2"

If a Garage: 1st floor 2nd 3rd roof height?

How many cars now accommodated on same lot? to be accommodated

How many commercial cars to be accommodated? to be accommodated

How many automobile repairing to be done other than minor repairs to cars habitually stored in the proposed building? to be accommodated

Will any work require removal or disturbing of any shade tree on a public street? no

Who will be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

**Miscellaneous**

Signature of owner: Ellis Snodgrass  
 By: Charles A. Winslow

461-27  
Owner: *Colia Inc.*

Date of permit: *1/8/46*

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. *5/6/47*

Cert. of Occupancy issued *None*

NOTES

*5/3/46*  
*No work done*

*8/7/46*  
*Exp.*

*Completed*

*building*

*to be built*

*complete that*

*open to 4/4/52*

*4/4/52*

*closed*

*to the*

*with*

*8/29/46*

*about*

*9/13/46*

*J. E. J.*

AGREEMENT OF ESTATE OF LEON HERMAN AS OWNERS OF  
HOBSON'S WHARF IN THE CITY OF PORTLAND, MAINE,  
RELATING TO CONSTRUCTION OF A TEMPORARY STORAGE  
SHED ON THE WHARF BY CAYE CONSTRUCTION COMPANY

In consideration of building permit issued by the City of Portland to authorize construction of a one story storage shed about twenty feet by thirty feet to be built by Caye Construction Company, the Estate of Leon Herman, owners of Hobson's Wharf, hereby agree for themselves, their heirs and assigns, as follows:

That in event the Caye Construction Company does not demolish this building and remove the debris from the Wharf when the building has served the purpose for which it was constructed, or at least before six months have passed after the present war has ceased between the United States and all foreign countries, we will immediately cause this building to be demolished, and the debris removed from the wharf, or will place the building in full compliance with the Building Code of the City of Portland, especially as to those particular requirements which are now being waived in view of the temporary nature of the building and the present emergency.

Entered into this 16th day of January 1943

Witness:

Dorothy E. Lehan

The Estate of Leon Herman

By [Signature]

RECEIVED

JAN 18 1943

DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND



**APPLICATION FOR PERMIT**  
 Class of Building or Type of Structure Third Class

INDUSTRIAL ZONE  
**PERMIT ISSUED**  
 Permit No. 3-1-13  
**JAN 20 1943**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
 The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 390 Commercial Street  
 Owner's or lessor's name and address Per England Grain Co. (Estate Leon Herman)  
 Contractor's name and address Caye Construction Co., 55 Union St. Brooklyn, N.Y.  
 Architect Leason  
 Proposed use of building Storage of material (army engineers work on Jewell Island)  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 700.

Within Fire Limits? yes Dist. No 2  
 Telephone Main 4 8121  
 Telephone \_\_\_\_\_  
 Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 No. of families \_\_\_\_\_

Fee \$ 1.00

Description of Present Building to be Altered  
 Memorandum from Department of Building Inspection, Portland, Maine  
590 Commercial St. (Hobson's Wharf) - Temporary Storage Shed for Caye Construction Co.  
 on Wharf Owned by Estate of Leon Herman 1/20/43

To Owner of Building and Owner of Wharf:  
 Roof joists 24" on center and 2-3x8 or 6x8 beam under roof on 10 foot span do not figure good for required live load of 40 lbs. per square foot. Space 2x6 16 inches on centers, and either use 2-3x10 on the 10-foot span or put in another posts and use the 2-3x8 on an 8 foot span.

The gypsum plank evidently intended on the outside walls is really too soft to withstand shocks it may get, but we shall not forbid its use if it becomes damaged however, we shall expect it to be immediately repaired. See no reason why 1x2 strip under roof board projection cannot be covered with gypsum also and plank be overlapped at corners thus offer (Signed) Warren McDonald  
 practically same protection as metal  
 Inspector of Buildings

**Details of New Work**

Is any plumbing work involved in this work? no  
 Is any electrical work involved in this work? no  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories 1 Height average grade to top of plate \_\_\_\_\_  
 To be erected on solid or filled land? filled - on wharf Height average grade to highest point of roof 12'  
 Material of foundation wharf Thickness, top \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof flat Rise per foot 1" 3/4" Roof covering Asphalt roofing Class C Und. Lab. Thickness \_\_\_\_\_  
 No. of chimneys no Material of chimneys \_\_\_\_\_ Type of fuel \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat none Dressing or full size? dressed Is gas fitting involved? \_\_\_\_\_  
 Framing lumber—Kind hemlock or spruce Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Corner posts 2-2x4 Sills 3x6 Max. on centers \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Bridging in every floor and flat roof \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof \_\_\_\_\_  
 span over 8 feet. Sills and corner posts all one piece in cross section. \_\_\_\_\_  
 Joists and rafters: \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_  
 No. cars now accommodated on same lot \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_  
 If a Garage \_\_\_\_\_

**Miscellaneous**

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
 Signature of owner J. E. Gault  
 By Caye Construction Co.  
 New England Grain Co.

Approved under emergency authority of the City of Portland, Maine  
 INSPECTION COPY FILED  
 JAN 20 1943

776D

Permit No. 440103

Location 390 C...

Owner ...

Date of permit 1/20/43

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/10/43

Cert. of Occupancy issued None

NOTES

3/10/43 - Work done  
See location sketch at  
Backed - Agt

FOR PERMIT

Permit No.	Location	Owner	Date of permit	Notif. closing-in	Inspn. closing-in	Final Notif.	Final Inspn.	Cert. of Occupancy issued	Description of Project	Value of work	Area of work	Volume of work	Weight of work	Height of work	Other
440103	390 C...	...	1/20/43				2/10/43	None	Work done at location sketch at Backed - Agt						

AGREEMENT OF LEON HERMAN AS OWNER OF HOBSON'S  
WHARF IN THE CITY OF PORTLAND, MAINE, RELATING  
TO CONSTRUCTION OF A TEMPORARY STORAGE SHED AND OFFICE  
ON THE WHARF BY LANE CONSTRUCTION CORP.

In consideration of building permit issued by the City of  
Portland to authorize construction of a one story storage shed and  
office about fourteen feet by twenty-four feet to be built by Lane  
Construction Corp., I, Leon Herman, owner of Hobson's Wharf, hereby  
agree for myself, my heirs and assigns, as follows:

That in event the Lane Construction Corp. Does not demolish  
this building and remove the debris from the Wharf when the building  
has served the purpose for which it was constructed, or at least before  
six months have passed after the present war has ceased between the  
United States and all foreign countries, I will immediately cause this  
building to be demolished, and the debris removed from the wharf, or  
will place the building in full compliance with the Building Code of  
the City of Portland, especially as to those particular requirements  
which are now being waived in view of the temporary nature of the  
building and the present emergency.

Entered into this 31<sup>st</sup> day of March 1942

Witness:

*F. W. ...*

*Leon Herman*  
*By ...*

AGREEMENT OF LEON HERMAN AS OWNER OF HOBSON'S  
WHARF IN THE CITY OF PORTLAND, MAINE, RELATING  
TO CONSTRUCTION OF A TEMPORARY STORAGE SHED AND OFFICE  
ON THE WHARF BY LANE CONSTRUCTION CORP.

In consideration of building permit issued by the City of  
Portland to authorize construction of a one story storage shed and  
office about fourteen feet by twenty-four feet to be built by Lane  
Construction Corp., I, Leon Herman, owner of Hobson's Wharf, hereby  
agree for myself, my heirs and assigns, as follows:

That in event the Lane Construction Corp. Does not demolish  
this building and remove the debris from the Wharf when the building  
has served the purpose for which it was constructed, or at least before  
six months have passed after the present war has ceased between the  
United States and all foreign countries, I will immediately cause this  
building to be demolished, and the debris removed from the wharf, or  
will place the building in full compliance with the Building Code of  
the City of Portland, especially as to those particular requirements  
which are now being waived in view of the temporary nature of the  
building and the present emergency.

Entered into this 31<sup>st</sup>, day of March 1942

Witness:

F Lucille H. [unclear]

Leon Herman  
By [unclear]



# APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 0254  
MAR 31 1942

Class of Building or Type of Structure Other Class \_\_\_\_\_

Portland, Maine, March 31, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~-install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Hobson's Wharf Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Leon Herman, 390 Commercial Street Telephone \_\_\_\_\_  
Lesare Lane Construction Corp., Box 999 later

Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Architect \_\_\_\_\_ Plans filed yes No. of sheets \_\_\_\_\_

Proposed use of building office and storehouse No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Estimated cost \$ 500 Fee \$ 1.00

## Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine  
Hobson's Wharf—Temporary Office and Storehouse for Lane Construction Corp.

3/31/42

### To Builder:

Apparently a line of beams is planned through center of building under roof joists, but no size, span or nature of supports of it is given. In order not to delay issuance of permit further, I am not waiting for you to complete application, but trust that you will see to it that heavy enough construction is used to support a total load of 48 lbs. per square foot.

6x6's on 4 seven-foot spans with 4x4 posts under would answer or construction of equivalent strength.

(Signed) Warren McDonald  
Inspector of Buildings

### Details of New Work

Is any plumbing work involved in this work? none

Is any electrical work involved in this work? yes Height average grade to top of plate 7'

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof 9'

To be erected on solid or filled land? filled earth or rock? earth

Material of foundation mud sills Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof shed Rise per foot 1 1/2" Roof covering Class "C" roofing

No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat none Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

Framing lumber—Kind br/lock Dressed or full size? dressed

Corner posts 4x4 Sills 4x5 Girt or ledger board? none Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 2x6

On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 16"

Maximum span: 1st floor 7' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 7'

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Leon Herman By Leon Herman  
Lesare Lane Construction Corp.

Signature of contractor W. E. Sattman By W. E. Sattman



Permit No. 42/334

Location *Albion Wharf*

Owner *Levin Herman*

Date of permit *3/31/42*

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. *7/16/42 sum to*

Cert. of Occupancy issued *None*

NOTES

*7/16/42 Ground off as to  
work complete only.  
Part checked at the locality  
etc.*

General Department of New York

Division of Building

ST  
LEON B...



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 0231

JAN 13 1941

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 16, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 290 Commercial Street Use of Building: Restaurant No. Stories: 1 New Building Existing

Name and address of owner of appliance: Samuel Silverman, 290 Commercial St. Telephone: 2-2141

Installer's name and address: Wellington's Inc., 189 Brighton Ave. General Description of Work

To install gas fired range, deep fat fryer, broiler, space heater

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel: Philgas

Material of supports of appliance (concrete floor or what kind): wood 10" above floor

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace: 4"

from top of smoke pipe from front of appliance: over 4" from sides or back of appliance: 10"

Size of chimney flue Other connections to same flue

Roof to be provided over range, fryer and broiler IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? No. of many tanks fireproofed?

Amount of fee enclosed? 2.50 (\$ .00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer: Wellington's Inc. [Signature]

INSPECTION COPY [Signature] Health Officer

Permit No. 42/31

Location 390 Commercial St.

Owner Samuel Silverman

Date of Permit 12/13/47

Post Card sent \_\_\_\_\_

Notif. for insp. INSPECTION NOT COMPLETE

Approval Tag Issued 4/1/48

Oil Burner Check List (date) \_\_\_\_\_

- 1. Kind of heat \_\_\_\_\_
- 2. Label \_\_\_\_\_
- 3. Anti-siphon \_\_\_\_\_
- 4. Oil storage Holbrook \_\_\_\_\_
- 5. Tank distance \_\_\_\_\_
- 6. Vent Pipe \_\_\_\_\_
- 7. Fill Pipe \_\_\_\_\_
- 8. Gauge \_\_\_\_\_
- 9. Rigidity \_\_\_\_\_
- 10. Feed safety \_\_\_\_\_
- 11. Pipe sizes and material \_\_\_\_\_
- 12. Control valve \_\_\_\_\_
- 13. Ash pit vent \_\_\_\_\_
- 14. Temp. or pressure safety \_\_\_\_\_
- 15. Instruction card \_\_\_\_\_
- 16. \_\_\_\_\_

NOTES

W/pt. this equipment installed by Phil Gas without permit and cannot satisfactory.

Permit to be held until installation ok. Mr. 1/24/48. Kitchen has been enlarged and equipment relocated. Mr. Wellington called and said Mr. Silverman had made this change and it is not correct. Mr. Silverman out left word for him to get in touch with me. E.B.



PERMIT 1-112  
 Original Permit No. 1-112  
 Amendment No. JAN 19 1912

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, January 10, 1912

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
 The undersigned hereby applies for an amendment to Permit No. 1-112 pertaining to the building or structure con-  
 sisting of Commercial Street and specifications, if any, submitted herewith, and the following specific amendments:  
 Within Fire Limits? Yes Dist. No. 2-2100

Location Commercial Street  
 Owner's or Lessee's name and address Samuel Silverman Assoc  
 Contractor's name and address Ed. L. Luce No. of Sheets 4  
 Plans filed as part of this Amendment Yes Is any electrical work involved in this work? No

Increased cost of work 100 Additional fee 50  
 Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work  
To set 12' nonbearing partition over 1' to enlarge kitchen (taking space from small  
front room in front of building) 2x4 studs 16" OC covered with asbestos, both sides

Key Engley & Co.  
 Signature of Owner Samuel Silverman

Approved