

G.L.

ADDRESS 385 CONGRESS ST
315773

ROUTING SLIP GANNETT BLDG
FROM

DEPARTMENT OF BUILDING AND INSPECTION SERVICES

FIRE DEPARTMENT

PLANNING BOARD *o.k.d. by Turnably*

RENEWAL

MAINE WAY

OTHERS

APPROVED

DISAPPROVED BY REASON OF

(quote section of pertinent ordinance or other governing factors)

SPECIAL COMMENTS _____

KEEP SECOND COPY AND RETURN ORIGINAL TO BUILDING AND INSPECTION SERVICES



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, November 1, 1971

PERMIT ISSUED

NOV 5 1971

2386

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 383 Commercial St.

Owner's name and address Rufus Deering Lumber, 383 Commercial St. Within Fire Limits? _____ Dist. No. _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Suburban Propane Gas, Thompsons Point Telephone _____

Architect _____ Telephone _____

Proposed use of building _____ Specifications _____ Plans _____ No. of sheets _____

Last use Lumber Co. No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ No. families _____

Other buildings on same lot _____ Roofing _____

Estimated cost \$ _____ Fee \$3.00

General Description of New Work

To install one 100 gal. propane gas tank

To be set on 4 x 4 x 16 cement blocks

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Contractor

Sent to Fire Dept. 11-1-71
Rec'd from Fire Dept 11/5/71

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber-Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Em. C. G. D. 11-5-71
O.S. E.B. 10/5/71

CS 301

INSPECTION COPY

Signature of owner By:

Suburban Propane Gas Co.
[Signature]

NOTES

11/5/71 - P.I.F. 2.1.1.

Permit No. 71/1386

Location 383 Commercial St

Owner Rufus Henry Steiner

Date of permit 11/5/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

Large ruled area for notes, containing a large handwritten 'X'.

tl 655

CITY OF PORTLAND, MAINE Application for Permit to Install Wires

Permit No 55111
Issued 7-13-71
Portland Maine July 13, 1971

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications

(This form must be completely filled out - Minimum Fee \$1.00)

Owner's Name and Address Rufus Deering Co. Tel
Contractor's Name and Address Paul De Bevoise Tel.
Location 383 Commercial St. Use of Building Storage
Number of Families _____ Apartments _____ Stores _____ Number of Stories _____
Description of Wiring: New Work _____ Additions _____ Alterations _____

Pipe _____ Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____
No. Light Outlets 16 Plugs 1 Light Circuits 3 Plug Circuits 1
FIXTURES: No. _____ Fluor or Strip Lighting (No feet) _____
SERVICE: Pipe _____ Cable _____ Underground _____ No of Wires 3 Size 2/4 1/6 AWG
METERS: Relocated _____ Added _____ Total No. Meters _____
MOTORS: Number _____ Phase _____ H P _____ Amps _____ Volts _____ Starter _____
HEATING UNITS: Domestic (Oil) _____ No Motors _____ Phase _____ H.P. _____
Commercial (Oil) _____ No Motors _____ Phase _____ H.P. _____
Electric Heat (No. of Rooms) _____
APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____
Elec. Heaters _____ Watts _____
Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____
Transformers _____ Air Conditioners (No. Units) _____ Signs (No. Units) _____
Will commence 19 Ready to cover in 19 Inspection 7/14 1971
Amount of Fee \$ 2.00

Signed Paul F. De Bevoise
F. De Bevoise

DO NOT WRITE BELOW THIS LINE

SERVICE
VISITS: 1 _____ 2 _____ 3 _____ 4 _____ 5 _____ 6 _____
7 _____ 8 _____ 9 _____ 10 _____ 11 _____ 12 _____
REMARKS:

INSPECTED BY [Signature]
(OVER)

LOCATION *Commercial/ST 383*
 INSPECTION DATE *7/29/71*
 WORK COMPLETED *7/29/71*
 TOTAL NO. INSPECTIONS
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1969

WIRING	
1 to 30 Outlets	\$ 2.00
31 to 60 Outlets	3.00
Over 60 Outlets, each Outlet	.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).	
SERVICES	
Single Phase	2.00
Three Phase	4.00
MOTORS	
Not exceeding 50 H.P.	3.00
Over 50 H.P.	4.00
HEATING UNITS	
Domestic (Oil)	2.00
Commercial (Oil)	4.00
Electric Heat (Each Room)	.75
APPLIANCES	
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit	1.50
MISCELLANEOUS	
Temporary Service, Single Phase	1.00
Temporary Service, Three Phase	2.00
Circuses, Carnivals, Fairs, etc.	10.00
Meters, relocate	1.00
Distribution Cabinet or Panel, per unit	1.00
Transformers, per unit	2.00
Air Conditioners, per unit	2.00
Signs, per unit	2.00
ADDITIONS	
5 Outlets, or less	1.00
Over 5 Outlets, Regular Wiring Rates	

383 Commercial St.

May 13, 1971

Rufus Deering Lumber Company
383 Commercial Street

cc to: Clayton Copp & Son
Blackstrap Rd. Cumberland

Gentlemen:

In checking your application to move a 1-story pole shed 20' x 60' from 464 Commercial Street to the above named location we find we are unable to continue processing your permit until information is provided on how the foundation is to be provided for this structure. When this building was moved the poles were cut off at ground level which would leave a number of short upright poles. Your application says approximately 16, 12" sonotubes are to be provided for the foundation, but we do not know how the poles will be connected to the sonotubes or rather new poles are to be provided to go into the sonotubes, or what?

Off - See ->



With this information we will be able to complete checking your application.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:m

Department of Public Works Building to be moved on Tuesday, May 11, or Wednesday, May 12,
from 464 Commercial Street to 383 Commercial Street. *Lea Townsend*

RECEIVED
MAY 11 1971
DEPT OF P.B.G. INSP.
CITY OF PORTLAND

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

Date May 3 1971

TO: Commissioner of Public Works
FROM: Inspector of Buildings

SUBJECT: Moving building from #164 Commercial St. to
#383 Commercial St.

We have application for permit to move 20' x 60' open building-called "pole shed"
as above. Contractor: Clayton Copp & Sons Flockstrap Road Cumberland

We are checking the proposition against Zoning Ordinance and Building
Code and will delay issuance of the permit until we hear from you that
the permit for moving through the streets is cleared sufficiently. When
that point is reached, will you be kind enough to write "OK to issue
building permit" on the bottom of this memorandum and return.

[Signature]
Director of Building Inspections



1-2 INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, May 3 1971

PERMIT ISSUED
544
MAY 11 1971
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 383 Commercial St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Rufus Deering Lumber Company, 383 Commercial St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Clayton Copp & Son, Blacktrap Road Cumberland Telephone 829-3570
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Pole Shed No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 10.00

General Description of New Work

To move 1-story "pole shed" all open with roof. 20' x 60' from #464 Commercial St. to address above.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? yes
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation 12" sonotubes at 12' intervals below grade bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing, Lumber kind _____ Dressed or full size _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

64-511471-Allen

INSPECTION COPY

Rufus Deering Lumber Co.

Signature of owner

by: Rufus Deering Lbr (R) Lukas

NOTES

5/14/71 - *Huber inspected the
aerial structure in O.S. - Allen*

5-18-71 Completed *RJD*

X

Permit No. *711 5744*
 Location *383 Commercial St*
 Owner *Paul St. Dennis Family*
 Date of permit *5/17/71*
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued _____
 Starting Out Notice *27261*
 Form Check Notice _____

CC

R 383 Commercial Street

Jan. 11, 1971

Maine State Builders, Inc.
181 Craigie Street

cc to: Rufus Deering Company
383 Commercial Street

Gentlemen:

Building permit to provide wooden storage racks and second deck for insulation storage as per plan on file here at this office is being issued subject to the following Building Code requirements:

1. The middle span (19'4") between the two outside storage areas for lumber shown as AA and CC on the plans will need to be framed with 3x12" Douglas Fir at 16" o. c. or 2x14" Douglas Fir, 12" o. c. to support light storage as required under the Building Code. This area will need to be posted if this is the case for not over 125 pounds per square foot. You may use 2x10's as shown on the plans at 16" o. c., Douglas Fir, but no storage of any kind would be allowed over this area.
2. The storage rack on each side will need to be cross braced at least every 20 feet.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:IM



1-20 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Use of Structure Metal
Portland, Maine, January 7 1971

PERMIT ISSUED

52
JAN 11 1971

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location R. 383 Commercial St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Rufus Deering Company, 393 Commercial St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Maine State Builders Inc. 181 Craigie St. Telephone 773-5504
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Lumber Storage (Bldg. Materials) No. families _____
 Last use _____ No. families _____
 Material steel No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2000.00 Fee \$ 6.00

General Description of New Work

To provide wooden storage racks and second deck for insulation storage as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

G.M. = 1/11/70 - Allen w/ letter
D.M. = 1/11/71 E.S.S.

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Maine State Builders Inc.

CS 301

INSPECTION COPY

Signature of owner by:

Steven Skooler

7m

NOTES

1-25-71 Using
2x10" - 1600 cedar
span with load
sign 10 lbs/sq ft.

(11)

X

Permit No 711-52
 Location 383 Commercial
 Owner R. J. Deering
 Date of permit 1/11/71
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final insp.
 Cert. Occupancy issued
 Staling Out Notice
 Form Check Notice

C. J. RICH

R 383 Commercial Street

Nov. 9, 1970

Dahlgren Construction Company, Inc.
Prince's Point Road
Yarmouth.

cc to: Rufus Deering Company
383 Commercial Street

Gentlemen:

Permit for excavation and foundation only is issued herewith
subject to the following Building Code requirements:

Before permit for superstructure can be issued this office
requires that you submit full shop drawing for checking.

Very truly yours,

Earle S. Smith
Plan Examiner II

ESS:m

SPECIFICATIONS
for
RUFUS DEERING

RECEIVED

NOV-6 1970

DEPT OF BLDG INSP.
CITY OF PORTLAND

STEEL-SPAN BUILDING SPECIFICATIONS

A. SCOPE OF WORK

These specifications cover the material and fabrication of Steel-Span Buildings, so designed and constructed as to be weather-tight and easily erected.

The materials furnished shall include the primary framing, roof cover, side cover, fasteners, sealants, accessories, flashings and any other component parts of the Steel-Span Building, as ordered. All materials shall be new and free from defects and imperfections and fabricated in a workman-like manner.

The Building will be designed to conform to the specifications of the Metal Building Manufacturers' Association "Code of Standard Practices".

B. DESCRIPTION

The Steel-Span Building covered by these specifications will be 108 feet wide, 60 feet long, 16 feet from the base of the wall to the eaves. The building will be a gabled structure with a roof slope of not more than 1 inch unit of vertical rise to 12 inches units of horizontal run.

C. DESIGN BASIS

The tenants of the current issue, Steel Construction and The American Iron & Steel Institutes, "Light Gage Steel Design Manual" shall govern. All welding shall conform to requirements of the American Welding Society Code for Arc and Gas Welding.

Primary fasteners shall meet the requirements of the following ASTM standards as amended to date:

- A - 325 for quenched and tempered steel bolts
- A - 307 for steel machine bolts and nuts

Purlins shall be considered as continuous beams lapping each other at each interior support. The girts shall be either continuous or of simple span depending on the type of primary framing of the structure.

on-site handling problems. The sheet steel conforms to the requirements of grade B (37,000 psi yield) ASTM A-446 of current issue.

Panels shall be protected with a full weight zinc coating of 1.25 ounces per sq.ft. Color coatings consisting of a silicone acrylic enamel shall be applied to the properly treated coil of steel before it is fabricated in the panel shape. The panel exterior shall have a baked enamel coating of not less than one mil (.001) thickness, while interior surfaces shall receive a light enamel coating in Bone White.

Roof panel fasteners will consist of self-drilling or self-tapping screws with a neoprene sealing washer. All roof fasteners will have a minimum of .0005 cadmium plating. Wall fasteners shall be self-drilling or self-tapping screws with factory colored heads to match the wall panel color.

Sealants for the roof shall be applied in all side laps and end laps in accordance with the erection instructions provided with the building. The sealant shall be a non-hardening ribbon with good cold weather characteristics.

F. DRAWINGS

All drawings necessary to the proper erection of the building shall be provided. The drawings shall clearly indicate the proper anchor bolt locations, the scope of the work, and the locations of each building part in the final assembly.

G. ACCESSORIES

Refer to applicable sections of the general specification for accessory material to be furnished as a part of the metal building.

STEEL-SPAN ACCESSORY SPECIFICATIONS

WINDOWS (Select as needed) None required

- A. Windows shall be aluminum awning type, pre-glazed, 2'-0" wide by 3'-8" high, with three pivot-out sections per window. All awning windows shall be provided with an inside mounted screen and a crank type operator. Window framing and trim shall be so designed and constructed to insure structural integrity of the wall surface, provide weathertightness and a neat and workmanlike appearance.
- B. Windows shall be aluminum sliding type, pre-glazed 6'-0" wide by 3'-8" high, with one lite fixed and one lite operational. All sliding windows shall be provided with an outside mounted screen covering the operational lite. Window framing and trim shall be so designed and constructed to insure structural integrity of the wall surface, provide weathertightness and a neat and workmanlike appearance.
- C. Windows shall be aluminum architectural type, 3'-0" wide by 3'-8" high, with top lite fixed and bottom lite to be a hopper type project in sections. Windows to be pre-glazed with DSB clear glass. Window framing shall be so designed and constructed to insure structural integrity of the wall surface, provide weathertightness and a neat and workmanlike appearance.

DOORS

One required

Passage doors shall be (solid panel), (half glass), 1-3/4" thick, aluminum panel and frame type with finish coats of white baked enamel. Jambs and header to be extruded aluminum box type with 1/2 pair 4 1/2" x 4 1/2" ball bearing hinges. Door size shall be 3'-6" wide by 7'-0" high. All locksets shall be mortise type with separate lock in latch plate. Doors shall be pre-hung and shall be provided with all necessary weatherstripping and threshold.

SKYLITES AND WALL LITES Nine, 3' x 12' required

Skylites and wall lites shall be of reinforced fiberglass construction and shall match the configuration of the steel panel they replace. Color shall be opaque white.

RIDGE VENTILATORS One required

Ridge ventilators shall be the low profile type, 10'-0" long with a 9" throat. Each ventilator shall be enamel coated in Bone White and shall be equipped with an operating damper and 40' of chain for floor operation.

INSULATION

1½" fiberglass, roof only.

CANOPY

10' x 60' roof extension, One side.



I-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Foundation Only
Portland, Maine, November 6 1970

PERMIT ISSUED 349

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location R 383 Commercial St.
Owner's name and address Rufus Deering Company 383 Commercial St.
Contractor's name and address Dahlgren Construction Inc, Prince's Point Rd.
Architect Yarmouth
Proposed use of building Lumber Storage (5ldg. Materials)
Material steel No. stories 1 Heat Style of roof Roofing
Estimated cost \$ Fee \$ 5.00

General Description of New Work

FOR EXCAVATION AND FOUNDATION ONLY FOR 1-STORY STEEL STORAGE BUILDING 108' x 60' as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

Details of New Work

Is any plumbing involved in this work?
Is any electrical work involved in this work?
Is connection to be made to public sewer?
Has septic tank notice been sent?
Height average grade to top of plate
Material of foundation concrete at least 4" below grade
Kind of roof
No. of chimneys
Framing Lumber-Kind
Size Girder
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 7 feet.

If a Garage

No. cars now accommodated on same lot
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Zone O.K. E.R.R. 11/9/70
B.C. O.K. W/C E.R.R. 11/9/70

CS 101

INSPECTION COPY

Signature of owner

by:

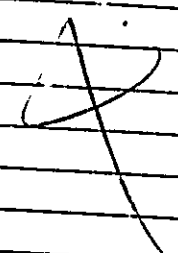
Rufus Deering Company
Dahlgren Construction Inc.
L.R. Dahlgren

7m

NOTES

11/12/70 - Form imp.
made 2.2.8.

11-17-70 Forms OK
to pour.



Permit No. 70/1349
 Location P. 383
 Owner Pugh & Bering Co.
 Date of permit 11/19/70
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

A large section of the document consisting of numerous horizontal lines, intended for additional notes or data entry.

R 383 Commercial Street

Nov. 23, 1970

Dahlgren Construction Company, Inc.
Prince's Point Road
Yarmouth

cc to: Rufus Deering Company
383 Commercial Street
cc to: Fire Chief

Dear Mr. Dahlgren:

Permit to construct a 1-story steel storage building
108' x 60' as per plans and specifications is being issued
herewith subject to the following Building Code requirements:

1. Unless provided with other means of access to the roof,
buildings (other than dwelling houses) over 20 feet high and having
a roof pitch of less than four inches to the foot shall have a scuttle
24 inches by 36 inches in the roof of each section that is cut off from
other sections by absolute separations. The top and edges of the
scuttle shall be covered with fire resistive material. A ladder, per-
manently fixed in place, shall lead from the uppermost floor to the
scuttle. Some equivalent arrangement approved by the Chief of the
Fire Department may be provided. (Sec. 402.9.)

Very truly yours,

Earle S. Smith
Plan Examiner II

ESS:m

LOCATION R. 383 Commercial

DATE 11/6/70

PERMIT

COMPLAINT _____

+ construction started
1st of week.

I told Contractor
we would pull
stop plan of building
before regular permit
is issued but he
could apply for For.
only to get going now.

C.C. To Fire Chief



INDUSTRIAL

APPLICATION FOR PERMIT

Class of Building or Type of Structure Metal
Portland, Maine, November 6 1970

PERMIT ISSUED
NOV 23 1970
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location R. 383 Commercial St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Rufus Deering Company, 383 Commercial St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Dahlgren Construction Inc. Prince's Point Rd. Yarmouth Telephone 846-3505
 Architect _____ Specifications yes Plans yes No. of sheets 2
 Proposed use of building Lumber Storage (Bldg. Materials) No. families _____
 Last use _____ No. families _____
 Material steel No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot yes Fee \$ 72.00
 Estimated cost \$ 24,000

General Description of New Work

To construct 1-story steel storage building 108' x 60' as per plans and specifications.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractors

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? yes
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED.

Rufus Deering Company
Dahlgren Construction

CS 301

INSPECTION COPY

Signature of owner

by:

L. R. Dahlgren

NOTES

Permit No. 70/1403
 Location: 383 Summer St
 Owner: Regis Services Co.
 Date of permit: 1/25/70
 Notif. closing-in
 Inspn. closing-in
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

Footings on advance permit AD

1-25-71 Hlda
Permit No. 1403



A large section of the document consisting of numerous horizontal lines for taking notes, which are currently blank.



1-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT 15007
00890
SEP 14 1967
CITY of PORTLAND

Portland, Maine, September 8, 1967 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications

Location 381 Commercial St.

Within Fire Limits?

Dist. No.

Owner of building to which sign is to be attached Rufus Deering Company, 381 Commercial St.

Name and address of owner of sign same

Contractor's name and address Coyne Sign Company 195 St. John St.

Telephone 772-4144

When does contractor's bond expire? Dec. 31, 1967

Information Concerning Building

No. stories 2 1/2 Material of wall to which sign is to be attached No lighting

Details of Sign and Connections

Building owner's consent and agreement filed with application yes ✓

Electric? no yes Vertical dimension after erection 4' Horizontal 6'

Weight 60 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame metal No. advertising faces 2 material metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts Size Location, top or bottom

No. guys 3 material (1)-cable Size cable-5/16
(20)-angle iron Size angle iron-1 1/2 x 3/16

Minimum clear height above sidewalk or street 10'

Maximum projection into street 2'

Fee \$ 2.00

INSPECTION COPY Signature of contractor by

Permit No. 67/ 890

Location 381 Commercial St

Owner Rufus Beer Co

Date of permit 9/14/67

Sign Contractor

Final Inspn.

NOTES

7/27/67 - Work done
E 88

Lined area for notes and signatures, including a large 'X' mark.



INSPECTION COPY

(1) INDUSTRIAL ZONE
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT NO. C-49-137

COMPLAINT

Date Received 8/22/49

Location 375-383 & R 383 Commercial St.,

Use of Building Office & Storage of lumber

Owner's name and address Rufus Deering Co., 383 Commercial St.,

Telephone

Tenant's name and address

Telephone

Complainant's name and address Fred Bradley, Cornish, Maine

Telephone

Description: 1 1/2 story wooden building in dilapidated condition.

8/30/49 - This bldg. is used to store lumber & bldg. materials. The 2nd. floor has 7 main girders which run parallel to Commercial St. and support the joists which run at right angles to them. Four of the girders show very intimate failure. The frame has also racked considerably. I consider this bldg. dangerous. W. J. Wallman

9/31/53 - C. M. Moody, who was thinking of buying this property, says the building still looks on top ok but has been supported and braced inside so it can hardly collapse. W. J. Wallman

1/15/42

Work under this permit is nearing completion. As far as I know the information asked for in letter is to date at time of issuance of permit has never been supplied. Do you wish to make an issue of it now?

This completes the carriage of the building from car barn to bus garage and is identified as being next to the office section which is located on St John Street. The work consists of repetition of that done in other two sections with large door openings made suballies, the only structural steel being used is the support for new doors, and the only reinforced concrete being the slab over the center (over)

The Inspector of Buildings is unable to issue a building permit to cover alterations in and conversion of the two-family dwelling house there to a three-family tenement house, because the proposed use is contrary to the provisions of the ordinance in the General Residence Zone where the property is located.

The appellant sets forth in the appeal as follows:

"At present the building has a six-room apartment in the first story, a six-room apartment in the second story, and six rooms on the third floor, three of them going with the first story apartment and three of them with the second story apartment. These apartments are far too large to rent for a single family under the present circumstances, and it is the owner's desire to convert the three rear rooms on the third floor for a small apartment for her own use; then rent the second floor apartment where she now lives. Outside of a small dormer proposed for the new apartment no alterations are proposed which would change the outside aspect of the building in any way. It is the appellant's belief that this change may be made without the use of the building becoming obnoxious or objectionable to the neighborhood."

All persons interested either for or against this appeal will be

Area resting on gravel & etc. No statement of design needed.

A. J. S.



(7) INDUSTRIAL ZONE
APPLICATION FOR PERMIT
 Class of Building or Type of Structure Third Class

PERMIT ISSUED

Permit No. 112
AUG 5 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, July 30, 1941

The undersigned hereby applies for a permit to ~~work~~ alter ~~0000~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 383 Commercial Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address Rufus Dearing Co., 383 Commercial St. Telephone 2-6505
 Contractor's name and address Brown & Berry, Inc. 174 Edwards St. Telephone 2-2482
 Architect _____ Telephone _____
 Proposed use of building Office and structure for storage of lumber Plans filed yes No. of sheets 1
 Other buildings on same lot _____ No. families _____
 Estimated cost \$400.

Description of Present Building to be Altered _____ Fee \$ 1.00

Memorandum from Department of Building Inspection, Portland, Maine

383 Commercial St.—Attached Storage Shed (open) for Lumber for Rufus Dearing Co. by Brown & Berry, Inc. 8/3/41—Appeal as to Fire District sustained 8/4/41

To Owner and Builder:

Application was signed by Mr. Weymouth, so permit card is sent to him.

With relation to the enclosed oil tank, vent pipe and fill pipe for this tank whether tank is buried or not and whether pipes are now in place or not, should now be provided so that terminal of both pipes will not be under the roof of the new shed, the vent pipe would be better extending above the new roof.

CO Brown & Berry Inc. 174 Edwards St.

(Signed) Warren McDonald
 Inspector of Buildings

the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____
 Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
 Material of foundation Cedar Posts 6/6/41 earth or rock? _____
 Material of underpinning _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof flat Rise per foot _____ Height _____ Thickness _____
 No. of chimneys _____ Material of chimneys _____ Roof covering Asphalt roofing Class O Und. Lab.
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partition) _____ C. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Rufus Dearing Co.
By [Signature]

Permit No. 41/1112

Location 78 3 Commercial St.

Owner Puffs Deering Co

Date of permit 8/5/41

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

8/15/41 - 26' x 11' 1/2'

17' 1/2' x 20' 0" x 11' 1/2'

Barometer at 1'

2' on the ground. Nothing

had been done about it.

vent pipe of oil tank

fil tank. This tank

has been enclosed

some time by a wooden

enclosure with small

patch roof and holes

in each side and

so that air may

circulate through

space under the walls

blow in the wind.

It is suggested

to extend enclosure

to roof of building

A new shed is being
erected above this and hardly
changes in room and
condition to room above.
Do you wish to make
an issue of this? R.P.

DATE	DESCRIPTION	BY	REMARKS
8/15/41	Permit issued	[Signature]	
8/15/41	Inspection	[Signature]	
8/15/41	Final inspection	[Signature]	
8/15/41	Cert. of Occupancy issued	[Signature]	
8/15/41	Final notification	[Signature]	
8/15/41	Notif. closing-in	[Signature]	
8/15/41	Inspn. closing-in	[Signature]	
8/15/41	Final Notif.	[Signature]	
8/15/41	Final Inspn.	[Signature]	
8/15/41	Cert. of Occupancy issued	[Signature]	



City of Portland, Maine

Appeal sustained
8/4/41 41/47
mm

Appeal to the Municipal Officers to Change the Decision of the
Inspector of Buildings Relating to the Property Owned
by Rufus Deering Co. at 383 Commercial Street

July 30, 19 41

To the Municipal Officers:

Your appellant, Rufus Deering Co.

who is the lessee of property at 383 Commercial Street

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section ¹¹⁵ ~~11~~ Paragraph ~~2~~ ^a of the ~~Building Code~~ ^{Building Code}, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the ~~Building Code~~ ^{Building Code}.

The decision of the Inspector of Buildings denies a permit to cover construction of a one story open structure 67' x 16' and 15' high onto the existing office building to be used for the storage of lumber, because the location is within the limits of Fire District No. 1 where wooden construction is not ordinarily permitted under the precise terms of the ordinance.

The reasons for the appeal are as follows: The appellant company finds it necessary to provide more storage space and feels that it would be impracticable and unnecessary to use other than wooden construct because the building against which the structure is proposed is of wooden construction and this structure is proposed to be open all around with only a roof for protection. The appellant company believes this open structure would not increase fire or exposure hazard either to this or the neighboring property.

Rufus Deering Co.

By: Irvin P. Weymouth, Pres.

41/57

PUBLIC HEARING ON THE APPEAL UNDER THE BUILDING OF RUFUS DEERING COMPANY
AT 383 COMMERCIAL STREET

August 1, 1941

A public hearing on the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the city were Chairman Martin, Councillor Berry and the Inspector of Buildings.

Mr. Orrin Weymouth appeared in support of the appeal, explaining the need for this structure and the impracticability of building it of anything but wood; also the fact that the Deering plant is more or less isolated from other buildings by the embankment of High Street on the West, by the railroad tracks and the embankment or retaining wall of York Street on the North, by the railroad tracks and yard on the East and by Commercial Street on the South.

The Inspector of Buildings reported to the members of the Committee that Chief Sanborn had told him over the phone that he felt that he could not approve the proposition in Fire District No. 1 unless the wooden part of the structure was made strictly in compliance with the rules for Heavy-Timber Construction with extra heavy members and all lumber dressed four sides and unless the roof covering were corrugated metal.

The members of the Committee present decided to sustain the appeal as it was applied for subject to compliance with all terms of the Building Code not involved in the appeal.

Warren McDonald

325 Commercial St.

July 21, 1940

Oliver Z. Sathorn, Chief
of the Fire Department

Dear Sir:

The Rufus Doering Company at 325 Commercial Street having filed application for a building permit to cover the construction of a one story open shelter (roof only) about 16 feet by 37 feet, proposed to be attached to the rear of the office building and to be used for the storage of lumber, and the building permit having been denied because wood construction is not allowable within the limits of Fire District No. 1, has applied to the Municipal Officers seeking a variance in the precise terms of the ordinance so that they may be permitted to go ahead with the work. The shelter would be about 15 feet high.

The following is set forth for the reasons for the appeal: "The appellant company feels it necessary to provide more storage space and feels that it would be impracticable and unnecessary to use other than wooden construction because the building against which the structure is proposed is of wooden construction and this structure is proposed to be open all around with only a roof for protection. The appellant company believes this open structure would not increase fire or exposure hazard either to this or the neighboring property."

This appeal is brought to your attention and will come before the Appeals Committee at its hearing on Friday, August 1st at 4:30 o'clock in the afternoon, thinking that the Committee could voice your opinion as to whether or not this construction ought to be permitted within that part of the limits of Fire District No. 1.

Very truly yours,

WHD/H

Inspector of Buildings

CC: Harry E. Martin
58 Exchange Street

41/57

Action of Appeals Committee on Appeal of
Rufus Deering Co., 383 Commercial Street

August 1, 1941

Chairman Martin Yes.
Edard Berry Yes.
Dr. Leighton _____
Herman B. Libby _____
William Ward _____

FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

AUG 16 1938

Portland, Maine, Aug. 15 - 38

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 383 Commercial St Use of Building Hotel

Name and address of owner Rufus Deering, Jr. 383 Commercial St Ward 6

Contractor's name and address W. H. ... 17 Ward Telephone 28304

General Description of Work

To install oil burner hot water gravity

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? no If not, which story 1 Kind of Fuel Wood

Material of supports of heater or equipment (concrete floor or what kind) wood

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, from top of smoke pipe _____ from front of heater _____ from sides or back of heater _____

Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Name and type of burner Standard Labeled and approved by Underwriters' Laboratories? yes

Will operator be always in attendance? no Type of oil feed (gravity or pressure) pressure

Location oil storage basement No. and capacity of tanks 1 - 2 55 gal tanks

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____

Amount of fee enclosed? 4.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor W. H. ...

INSPECTION COPY

Ward: _____ Permit No. 8/1252

Location: 313 Commercial St

Owner: Rufus Diering Co

Date of permit: 8/16/38

Post Card sent _____

Notif. for insp. None

Approval Tag Issued 9/15/38 O.D.

Oil Burner Check List (date) 9/13/38

1. Kind of heat Hot Water
2. Label 140119
3. Anti-siphon /
4. Oil storage /
5. Tank distance /
6. Vent pipe /
7. Fill pipe /
8. Gauge /
9. Rigidity /
10. Feed safety /
11. Pipe sizes and material /
12. Control valve /
13. Ash pit vent /
14. Temp. or pressure safety /
15. Instruction card /
16. Boiler - O Stat.

near tank should be protected & 8/29/38. In an agreement to eliminate oil spill and keep feed line free from likely ruptures

9/13/38. Having to be built over tank and piping (outside) OK

NOTES

8/29/38. Tank set up about 21 ft from building. Explained feed line loop.



APPLICATION FOR PERMIT **PERMIT ISSUED 1546**

Permit No. _____

Class of Building or Type of Structure Bill Board --- OCT 6 1934

Portland, Maine. Oct. 4 1934 ---

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 741-54 Commercial St. (Foot of Hill) 5 Within Fire Limits? Yes Dist. No. 1
Owner's or Lessee's name and address The Kirball System 51 Cross St. Telephone 2-5047
Contractor's name and address Owner Teleph _____
Architect's name and address _____
Proposed use of building _____ No. families _____
Other buildings on same lot _____
Plans filed as part of this application? Yes No. of sheets 1
Estimated cost \$ _____ Fee \$ 1.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To erect detached billboard 52' x 15' (3- 25' sections with 2' lattice between)
Sign all metal face and wood frame
Sign to be 3' above grade and not over 16' to the highest point

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or 'edger board? _____ Size _____
Material columns under girders _____ size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O C Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

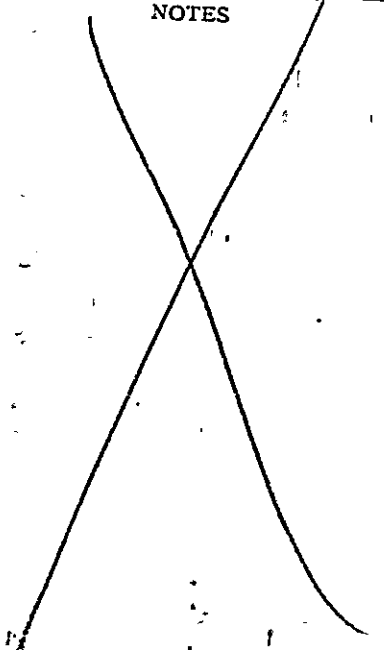
Will owner in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner The Kirball System Robert F. Colman

Ward 3 Permit No 34/1546
Location 3413 Commercial St
Owner Kimball Systems of
Date of permit 10/6/34
Notif. closing-in _____
Fr opn. closing-in _____
Final Notif _____
Final Inspn. 11/6/34
Cert. of Occupancy issued None

NOTES





Application for Permit for Alterations and Miscellaneous Structures

CLASS OF BUILDING OR TYPE OF STRUCTURE 3rd

Portland, Maine, February 1/27 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

PERMIT ISSUED

The undersigned hereby applies for a permit to alter the following described building according to the following specifications, the Laws of the State of Maine, and the Building Ordinance of the City of Portland 1927

Location 376 Commercial Street Ward 5 Within Fire Limits? Dist 41
 Owner's name and address? Brown Company, 404 Commercial Street
 Contractor's name and address? J. J. Maloney Co. 270 Middle St. F7735
 Architect's name and address? no
 Last use of building? mechanical work shop (change of use or structure) No. Families? -
 Proposed use of building? work shop (mechanical experiments) No. Families? -

Description of Present Building

Material wood No. of Stories 1 Style of Roof pitch Roofing shingle

General Description of New Work

Build brick tile lined chimney

Stove heat-hard fuel

REQUIREMENT IS WAIVED.

No gas fitting included in this application

REQUIREMENT IS WAIVED.

Size of New Framing Members

Corner posts? _____ Sills? _____ Rafters or roof beams? _____ on center?
 Material and size of columns under girders? _____ on center?

Ledger board used? _____ Size? _____ Studs (outside walls and carrying partitions) 2 x 4 16" O. C.
 Girders 6" x 8" or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts will be all one piece in cross section.

Floor timbers: 1st floor _____, 2nd _____, 3rd _____, 4th _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, 4th _____
 Span: 1st floor _____, 2nd _____, 3rd _____, 4th _____

If 1st or 2nd Class Construction

External walls } thickness { 1st story _____, 2nd story _____
 Party walls } 1st story _____, 2nd story _____

Other Details New Construction

To be erected on solid or filled land? _____ earth or rock?
 Material of foundation? _____ Thickness, top? _____ bottom?
 Material of underpinning? _____ over 4 ft. high? _____ thickness?
 Kind of roof (pitch, hip, etc.)? _____ Kind of roofing?
 No. of new chimneys? _____ Material of chimneys? _____ of lining?

If a Private Garage

No. cars now accommodated on lot? _____ Total number to be accommodated?
 Other buildings on same lot? _____
 Distance from nearest present building to proposed garage? _____
 All parts of garage, including eaves, will be at least 2 ft. from all lot lines.
 Garage will be at least _____ feet from nearest windows of adjoining property.

Miscellaneous

Will the above construction require the removal or disturbing of any shade tree on the public street? no
 Plans filed as part of this application? no No. sheets? _____
 Estimated total cost \$ 75. Fee? .50

Signature of owner or authorized representative? Brown Company
By _____

Ward 5 Permit No 27154

2775 Commercial
Brown Co

Feb 10/27

Notif. Closing in _____

Inspn. Closing in _____

Final Notif _____

Final Inspn _____



~~Sufficient clearance?
 if not notify H.A. Collins
 Brown Co
 Atto 4/2/27
 letter 4/11/27
 not done 7/5/27 Atto
 Mr Collins said they had
 turned letter over to
 Mr J. Maloney?
 could not get in but looks
 O.K. 1/13/27~~



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

August 6, 1981

Dahlgren Construction Company
20 U. S. Route #1
Yarmouth, Maine 04096

Re: 383 Commercial Street

Dear Sir:

Your permit application to construct a pre-engineered steel addition to existing building, as per plans, at the above named address, is hereby approved subject to the following condition:

Provide one approved means of egress.

If I may be of any further assistance, please feel free to contact me at 775-5451, Ext. 350.

Yours truly,

Lt. James P. Collins
Fire Prevention

JPC/jmr



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

AUG 10 1981

ZONING LOCATION _____ PORTLAND, MAINE, July 21, 1981

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 383 Commercial Street Fire District #1 #2

1. Owner's name and address Rufus Deering Lumber - same Telephone 778-6505

2. Lessee's name and address Telephone

3. Contractor's name and address Dahlgren constr. - 20 MS Rte. # 1 Telephone 846-3505

4. Architect Specifications Yarmouth No. of sheets

Proposed use of building retail lumber shop No. families

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 15,000 Fee \$ 85.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

To construct pre-engineered steel addition to existing building as per plans. 1 sheet of plans.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant L. X. Dahlgren Phone # same

Type Name of above Dahlgren Constr. 1 2 3 4

Lee Dahlgren

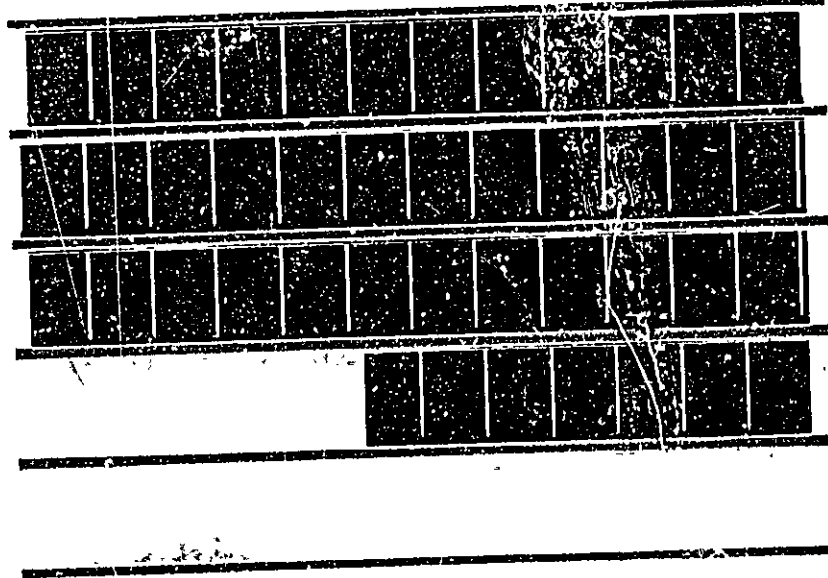
Other and Address

OFFICE FILE COPY

3

341-383 COMMERCIAL STREET REAR 383

2





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Feb. 22, 19 82
 Receipt and Permit number A 88128

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 355 Commercial St.

OWNER'S NAME: Fanthom Fish Co. ADDRESS: same

OUTLETS: Popeye's Lunch FEES 3.00

Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL 1-30 ✓

Incandescent _____ Fluorescent _____ (not strip) TOTAL _____

Strip Fluorescent _____ ft. _____

SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) _____

MOTORS: (number of) _____

Fractional _____

1 HP or over _____

RESIDENTIAL HEATING: Oil or Gas (number of units) _____

Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____

Oil or Gas (by separate units) _____

Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of) Ranges _____ x _____

Cook Tops _____ Water Heaters _____

Wall Ovens _____ Disposals _____

Dryers _____ Dishwashers _____

Fans _____ Compactors _____

Others (denote) _____

TOTAL _____ ✓ 1.80

MISCELLANEOUS: (number of) Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____

Separate Units (windows) _____

Signs 20 sq. ft. and under _____

Over 20 sq. ft. _____

Swimming Pools Above Ground _____

In Gro und _____

Fire/Burglar Alarms Residential _____

Commercial _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____

over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery _____

Emergency Generators _____

INSTALLATION FEE DUE: _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____

FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____

TOTAL AMOUNT DUE: 4.50

INSPECTION: Will be ready on ready, 19 82; or Will Call _____

CONTRACTOR'S NAME: Thomas Maiorano

ADDRESS: 89 Murray St.

TEL.: _____

MASTER LICENSE NO.: 4485 SIGNATURE OF CONTRACTOR: _____

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS—

Permit Number 88128
Location 355 Commercial St. (Capri's Lunch)
Owner Fathom East Inc. Co.
Date of Permit 2-22-82
Final Inspection 4-14-82
By Inspector Ribby
Permit Application Register Page No. 110

INSPECTIONS: Service _____ by _____
Service called in _____ by Ribby
Closing in 2-22-82
PROGRESS INSPECTIONS:
3-10-82 / NOH / 1
3-11-82 / 4-12-82 / 1
3-23-82 / 4-14-82 / 1
3-31-82 / 1 / 1
4-2-82 / 1 / 1

CODE COMPLIANCE COMPLETED
DATE 4-14-82
DATE _____

REMARKS:

4-12-82 Accented permit:
Range w/H. Hood etc.



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date April 14, 19 82
 Receipt and Permit number A77614

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
 LOCATION OF WORK: 355 Commercial Street - Popeye's Restaurant
 OWNER'S NAME: Harbor Fish Co. ADDRESS: Commercial Street

	FEES
OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____	
FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____	
Strip Fluorescent _____ ft. _____	
SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of) Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____	
Cook Tops _____ xx Water Heaters _____ xx	
Wall Ovens _____ Disposals _____	
Dryers _____ Dishwashers _____	
Fans _____ Compactors _____	
Others (denote) _____	
TOTAL _____ range hood _____	4.50
MISCELLANEOUS: (number of) Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
 TOTAL AMOUNT DUE: 4.50

INSPECTION: Will be ready on 4-15-82, 1982; or Will Call _____
 CONTRACTOR'S NAME: ~~Thomas Matorano~~ Thomas Matorano
 ADDRESS: 89 Murray Street
 TEL.: _____
 MASTER LICENSE NO.: 4485 SIGNATURE OF CONTRACTOR: Thomas Matorano
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 77614
Location 355 Canal St.
Owner Harbor Fish Co. (Popeye's Beach)
Date of Permit 4-14-82
Final Inspection 4-14-82
By Inspector Libby
Permit Application Register Page No 115

INSPECTIONS: Service _____ by _____
Service called in _____
Closing-in 4-14-82 by Libby
PROGRESS INSPECTIONS: _____

CODE
COMPLIANCE
COMPLETED
DATE 4-14-82

REMARKS:

Amended permit to cover repair

PERMIT ISSUED

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

MAY 22 1984

Portland, Maine May 9, 1984

CITY OF PORTLAND

Location 383 Commercial Street

Zone _____

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for monthly parking

as set forth on the attached site plan (made by Rufus Deering Company whose address is 383 Commercial St.) to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:-

Owner (name, address and phone number) Rufus Deering Company

Lessee (name, address and phone number) _____

Is proposed use to be accessory to a building or other use on this lot? yes
If so, what is use of building or other use lumber yard

If off-street parking is sought, what is proposed maximum number of vehicles to be parked—passenger cars? 62, commercial vehicles? none

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Public Works)? will be approved
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? one entrance

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? yes

Do you propose to remove or disturb any tree on a public street? no
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

minor site plan review
\$300.00

Signature of Owner _____

By _____
(duly authorized thereto)

THIS IS NOT A CERTIFICATE OF OCCUPANCY

To:

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below—notice of readiness for final inspection to this department when the premises have been placed in compliance with requirements:-

Inspector of Buildings



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

May 22, 1984

Rufus Deering Company
383 Commerical Street
Portland, Maine

RE: 383 Commerical Street

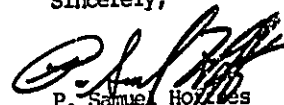
Dear Sir:

Your building permit for a parking lot is being issued with the following conditions:

1. Access into the parking area must be a 12 foot driveway.
2. A landscape plan was not submitted. Adequate landscaping for screening which meets the specifications of the City Arborist must be provided along Commerical Street. A separate landscape plan must be submitted for review by the City Arborist.
3. Lot surface shall be minimum of 6" of gravel. Prior to the lot ever being paved, the applicant shall submit a plan of, and construct a storm drain system. This design must be approved by this Department before paving.

If this office can be of any assistance, fee free to call. 775-5451 Ext 346.

Sincerely,


P. Samuel Hoxies
Chief of Insp. Services

PSH/t

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

364

Rufus Deering Company

Applicant 383 Commercial Street

May 9, 1984

Mailing Address parking lot for 62 passenger cars

Address of Proposed Site 339-351 Commercial Street

Date Cor: 2-20 Maple St.

Proposed Use of Site

Site Identifier(s) from Assessors Maps 42-part of 1

Acreage of Site / Ground Floor Coverage

Zoning of Proposed Site W-1

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning, SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
COMPLIES																		
COMPLIES CONDITIONALLY																		
DOES NOT COMPLY																		

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

Michael S. Allen 5/11/84

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT - ORIGINAL

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant Palma Docking Company Date Mar 9, 1984
 Mailing Address 317 Commercial Street Address of Proposed Site Box 2-20 Maple St.
 Proposed Use of Site parking lot for 62 passenger cars Site Identifier(s) from Assessors Maps Part of 1
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site P-2

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No

Other Comments: _____
 Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received): _____

- Major Development -- requires Planning Board Approval; Review Initiated.
 Minor Development -- Staff Review Below.

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓	✓	✓		✓			✓	✓	✓		
APPROVED CONDITIONALLY				✓		✓	✓					
DISAPPROVED												

CONDITIONS SPECIFIED BELOW:
 REASONS SPECIFIED BELOW:

REASONS: 1. Access into the parking lot area must be a 12 foot driveway.

2. A landscape plan was not submitted. Adequate landscaping which meets the specifications of the City Arborist must be provided along Commercial Street. A separate landscape plan must be submitted for review by the City Arborist.

Barbara Barlett 3/17/84
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Rufus Dooling Company

Applicant

383 Commercial Street

Mailing Address

parking lot for 62 passenger cars

Proposed Use of Site

Acreage of Site / Ground Floor Coverage

Site Location Review (DEP) Required: () Yes () No

Board of Appeals Action Required: () Yes () No

Planning Board Action Required: () Yes () No

Other Comments:

Date Dept. Review Due:

May 9, 1984

Date

Cor 2-26 Maple St.

Address of Proposed Site

Site Identifier(s) from Assessors Maps

Zoning of Proposed Site

Proposed Number of Floors

Total Floor Area

FIRE DEPARTMENT REVIEW

(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMENSE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
APPROVED CONDITIONALLY	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CONDITIONS SPECIFIED BELOW
DISAPPROVED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	REASONS SPECIFIED BELOW

REASONS:

(Attach Separate Sheet if Necessary)

FIRE DEPARTMENT COPY

SIGNATURE OF REVIEWING STAFF/DATE

James P. Collins, Sr.

5-10-84

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant Prof. Leelan, Comm.

Date May 9, 1984
Car 2-20 Maple St.

Mailing Address 379-351 Commercial Street

Address of Proposed Site 379-351 Commercial Street

Proposed Use of Site residential lot for 52 passes for cars

Site Identifier(s) from Assessors Maps 1-1

Acreage of Site / Ground Floor Coverage 1

Zoning of Proposed Site R-1

Site Location Review (DEP) Required: Yes () No

Proposed Number of Floors 1

Board of Appeals Action Required: () Yes (X) No

Total Floor Area 1

Planning Board Action Required: () Yes (X) No

Other Comments: _____

Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	✓	✓	✓	✓		NA	✓	✓	✓		✓	✓	✓	✓		
APPROVED CONDITIONALLY					✓					✓						CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: Lot surface shall be a minimum of 6" of gravel.
Prior to the lot ever being paved, the applicant shall submit
a plan of, and construct a storm drain. This design
must be approved by this Department. paving.
 (Attach Separate Sheet if Necessary)

Robert J. Roy 5/10/84
 SIGNATURE OF REVIEWING STAFF/LIAISON

PUBLIC WORKS DEPARTMENT COPY

CERTIFICATE OF FLAME RESISTANCE

Issued By



Graniteville Company

WOODHEAD DIVISION

Date 2/2/78

APPROVED AND LISTED UNDER THE RE-EXAMINATION SERVICE OF UNDERWRITERS' LABORATORIES - FILE R5117

FIRE CHIEF

TRADE MARK REGISTERED

This is to certify that the fabric described on the reverse side of this certificate, covered by our order no. 1292B

customer's order no. _____

for The Astrup Co. 2937 West 25th Street Cleveland, Ohio

Was finished on 10/15/77 with our F-76.2 Fire Chief in accordance with specification _____

FIRE CHIEF

(Weather Resistant for Interior or Outdoor Use)
WILL BE CERTIFIED ON REQUEST, UNDER CALIFORNIA LAW.



GRANITEVILLE COMPANY

Sherman Converse, Director of Research

REGISTERED APPLICATION CONCERN NO.

A-196

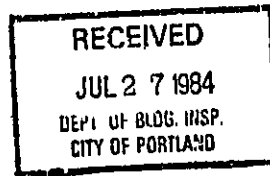
"LOOK FOR THE FIRE CHIEF TRADE MARK ON THE SELVAGE"

We hereby certify this to be a true copy of the original "CERTIFICATE OF FLAME RESISTANCE" issued to us, "original copy" of which has been filed with the California State Fire Marshal.

The ASTRUP COMPANY

Address _____

Signed by D. Fall



Unit Manufactured By:		Canvas Supplied By: THE ASTRUP CO.	
FLAME RESISTANCE RECORD			
FILL IN APPLICABLE DATES BELOW		SECTION NUMBER	
a. Section manufactured from processed canvas— Date		Description: 2 - 20 X 40 30 X 60 And 2-40	
b. Section sprayed after manufacture— Date		#992 Royal Blue Durax Anodized 631 W	
c. Section re-treated— Date		Owner:	
Registration No. of Chemical:		Address:	
Registration No. Application Concern: F-76.2		Type and weight of canvas: 32" 8.9802 Army	
Method of Application:		Date of manufacture: 10/15/77	

REMARKS:

DATE OF TEST	PERFORMED BY:	REPRESENTING	RESULTS

77
11
11

COMMERCIAL ST

PARKING LOT

NAVAL
RESERVE
CENTER

40'
TENT 20'

PARKING LOT

PIER

COAST
GUARD
CUTTER
JWANE

RECEIVED

JUL 27 1984

DEPT OF BLDG INSP
CITY OF PORTLAND

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 902

JUL 27 1984

ZONING LOCATION PORTLAND, MAINE July 27, 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 354 358 Commercial Street Fire District #1 , #2
1 Owner's name and address United States Navy - same Telephone 780-3388
2 Lessee's name and address Telephone
3 Contractor's name and address Maine Bay Canvas - 977 Brighton Avenue Telephone 775-2361
Proposed use of building tent No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing

Estimated contractual cost \$ Appeal Fees \$
FIELD INSPECTOR - Mr. Rowley Base Fee 35.00
@ 775-5451 Late Fee
TOTAL \$ 35.00

To erect 20' x 40' tent to be used for July 31, 1984 for change of command as per plans. 1 sheet of plans

Stamp of Special Conditions

send permit to U. S Coast Guard Duana C/O ENS. Czamanske

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max on centers
Studs (outside walls and carrying partitions) 2x4-16" C C Bridging in every floor and flat roof span over 8 feet.
Joists and rafters 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span. 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant Phone # same
Type Name of above John Czamanske for U. S Coast Guard
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
[8] M. Rowe

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 01370
ZONING LOCATION ... 2-B ... PORTLAND, MAINE Oct. 29, 1984

OCT 31 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION Commercial Street Fire District #1 [] #2 []

- 1. Owner's name and address Mrs. Knight - 29 Park St., Portland Telephone 4103
2. Lessee's name and address Wayne Smith - 76 University St., Portland Telephone No. Phone
3. Contractor's name and address Telephone 761

Proposed use of building ... Sheet Metal Shop No. of families
Last use .. Fish Market No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot
Estimated contractual cost \$ 500.00

FIELD INSPECTOR - Mr. @ 775-5451
Appeal Fees \$
Base Fee 25.00 Change of Use
Late Fee
TOTAL \$ 15.00
\$ 40.00

Renovations, erecting 2-hour wall and changing window to door, as per plan. Stamp of Special Conditions

ISSUE PERMIT TO: Wayne Smith - P. O. Box 4103, Portland

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... NO ... Is any electrical work involved in this work? ... NO ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street? ..OR..
ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ..yes....
BUILDING CODE:
Fire Dept.
Health Dept.
Others:

Signature of Applicant Wayne Smith Phone #
Type Name of above Wayne Smith for Mrs. Knight.. 1 [] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
[5] M. Row