

3-5 DANFORTH STREET

SHAW-WALKER

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. **833**
 Issued **9/25/73**
 9/25, 1973

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address **July - 3 Danforth Pl** Tel.

Contractor's Name and Address **Paul R. Baumgardner** Tel. **883-6702**

Location **3 Danforth Pl** Use of Building

Number of Families **2** Apartments Stores Number of Stories **2**

Description of Wiring: New Work Additions Alterations **←**

2 Meter Services, 30 to 100

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet) ..

No. Light Outlets Plugs Light Circuits Plug Circuits

FIXTURES: No. .. Floor. or Strip Lighting (No. feet)

SERVICE: Pipe Cable Underground No. of Wires **4/0 AWG 2-4-1**

METERS: Relocated Added Total No. Meters

MOTORS: Number Phase H. P. Amps Volts Starter

HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.

Commercial (Oil) No. Motors Phase H.P.

Electric Heat (No. of Rooms)

APPLIANCES: No Ranges Watts Brand Feeds (Size and No.)

Elec. Heaters Watts

Miscellaneous Watts Extra Cabinets or Panels

Transformers Air Conditioners (No Units) Signs (No. Units)

Will commence **Hand** Ready to cover in **10** Inspection **9/25 1973**

of Fee \$ **Hand** Signed **Paul R. Baumgardner**
No. 2555

DO NOT WRITE BELOW THIS LINE

SERVICE	METER			GROUND		
VISITS: 1	2	3	4	5	6	...
7	8	9	10	11	12	...

REMARKS:

INSPECTED BY **W. H. H. H.**
 (OVER)

LOCATION *Dunfermline* 1, 3
 INSPECTION DATE *9/27/3*
 WORK COMPLETED *9/27/3*
 TOTAL NO. INSPECTIONS
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets \$ 2.00
 31 to 60 Outlets 3.00
 Over 60 Outlets, each Outlet .05
 (Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
 Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
 Commercial (Oil) 4.00
 Electric Heat (Each Room) .75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each

3-5 Danforth Street

Sept. 6, 1972

R. C. Audette & Son
39 W. Commercial Street

cc to: Carlo Giobbi
1 Danforth Street

Gentlemen:

Permit to construct a 45' x 33' addition on the left side of existing restaurant as per plans is being issued herewith subject to the following Building Code requirements:

1. A vestibule is required between the dining area and the men and womens lavatories. If you wish to provide a door in the passage shown as No. 3 on the revised partition plan, it will be acceptable.
2. The toilet rooms are to be vented by mechanical ventilation, preferably with a fan which activates when the light switch is thrown.
3. All doors involved in the means of egress are required to be equipped with vestibule latchsets or equivalent.
4. An exit sign is required over the rear exit door.

Very truly yours,

Earle S. Smith
Plan Examiner

ESS:m



1-2^B INDUSTRIAL USE

APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 05 1972

CITY of PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, August 31, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 3-5 Danforth St. Within Fire Limits? _____ Dist. No. _____

Owner's name and address Carlo Giobbi, 1 Danforth St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address R. C. Audette & Son, 39 W. Commercial St. Telephone _____

Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building Restaurant No. families _____

Last use _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____ Fee \$ 117.

Estimated cost \$ 39,000.

General Description of New Work

To construct 45' x 33' addition on the left side of existing restaurant, as per plans.

PERMIT ISSUED WITH LETTER

Permit to Fire Dept. 8/31/72
Rec'd from Fire Dept. 9/1/72

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Rise per foot _____ Roof covering _____

Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Columns under girde _____ Size _____ Max on centers _____

Outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

R.C. Audette & Son

APPROVED:

Eric C. O'Neil 9-5-72
D.L.C. 2-8 9/6/72

CS 301

INSPECTION COPY

PERMIT ISSUED

Signature of owner

by:

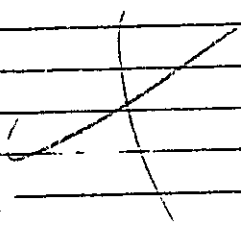
R.C. Audette

NOTES

11/9/72 - walls laid -
Work on. Not ready
for closing - in C.S.S.

12/7/72 - Closing - m.
Training not all
completed. C.S.S.

(Completed)
(24)



Permit No. 74/ 1038

Location 3-5 Mendota St

Owner Carlo Bistelli

Date of permit 9/6/72

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

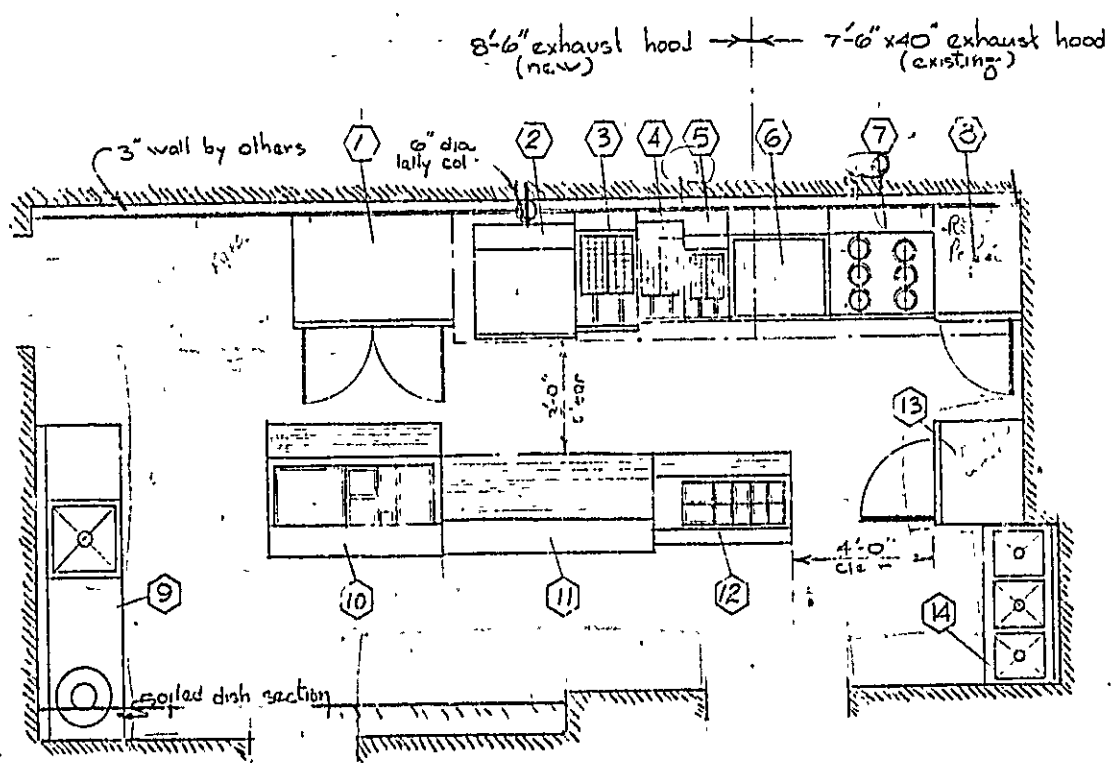
Cert. of Occupancy issued

Staking Out Notice

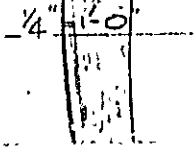
Form Check Notice

2.8-

~~# 8~~
 # 12 ~~is not for #70 slot # 10 + # 11 # 11 to 12~~
~~# 13~~ ~~Match to #8 hole~~
 # 15 (Covering A) ~~to # 14~~ # 3 1/4" x 4"
 # 10 - 11 ~~is not for #70 slot # 10 + # 11 # 11 to 12~~



KITCHEN EQUIPMENT LAYOUT



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Carlo Giobbi
183 Park Ave.

Sept. 3, 1971

With relation to permit applied for to demolish a building or portion of building at 5 Danforth St. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the Ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspection Department until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

R. Lovell Brown
Director

h

Eradication of this building has been completed.

R. Lovell Brown

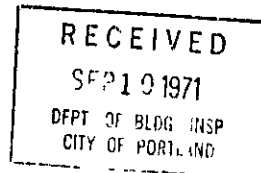
Contractor:

R.T. Scribner
136 Congress St.

9/7/71

Inspection this date revealed No rodent activity.

Units: 3



F. J. Gruff
F. J. Gruff

CITY OF PORTLAND
DEPARTMENT OF PUBLIC WORKS
DEMOLITION OF BUILDINGS

A building will be demolished at # 5 Danforth
Street on _____.

The Contractor is R.T. Scribner
136 Congress St.

9/7/71 The contractor and the sewer division have been
notified of sealing the house drain before the building
can be demolished.

DEPARTMENT OF PUBLIC WORKS

PHILIP E. MULLIN



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, Sept. 3, 1971

PERMIT ISSUED

SEP 13 1971

1984

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland. Plans and specifications, if any, submitted herewith and the following specifications:

Location 5 Danforth St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Carlo Giobbi, 183 Park Ave., Portland Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address R. T. Scribner, 136 1/2 Congress St. Telephone 734-2222
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building land to be left vacant No. families _____
 Last use unoccupied No. families _____
 Material _____ No stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 10.00

General Description of New Work

To demolish 3 story brick apartment house

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland?

Land will be left vacant

Sent to Health Dept. 9/3/71
Rec'd from Health Dept. 9/16/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO CONTRACTOR**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____, Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner By: Carlo Giobbi
Richard P. Blough

PERMIT TO INSTALL

4G

12197

PERMIT NUMBER

Date Issued: 11-1-62
 PORTLAND PLUMBING INSPECTOR

By: J. P. Welch
 APPROVED FIRST INSPECTION

Date: 11-5-62
 By: [Signature]
 APPROVED FINAL INSPECTION

- TYPE OF BUILDING
- COMMERCIAL
 - RESIDENTIAL
 - SINGLE
 - MULTI FAMILY
 - NEW CONSTRUCTION
 - REMODELING

Address		5 Danforth Street		PERMIT NUMBER	
Installat. for		Homer J. Rook			
Owner of Bldg		Homer J. Rook			
Owner's Address		5 Danforth Street			
Plumber		Portland Gas Light Company		Date: 11-1-62	
NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE	
		SINKS			
		LAVATORIES			
		TOILETS			
		BATH TUBS			
		SHOWERS			
		DRAINS			
		HOT WATER TANKS	1	\$ 2.00	
		TANKLESS WATER HEATERS			
		GARBAGE GRINDERS			
		SEPTIC TANKS			
		HOUSE SEWERS			
		ROOF LEADERS (Conn to house drain)			
				TOTAL ▶ \$ 2.00	

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

- RESIDENTIAL
- SINGLE
- MULTI FAMILY
- NEW CONSTRUCTION
- REMODELING

		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn to house drain)		
				Total \$ 1.00

SM 12 53 □ PORTLAND HEALTH DEPT. PLUMBING INSPECTION Total \$ 1.00

PERMIT NUMBER 1723

Date Issued May 12, 1955

PORTLAND PLUMBING INSPECTOR

J. P. Melch

APPROVED FIRST INSPECTION

Date 6/1/55

By [Signature]

APPROVED FINAL INSPECTION

Date 6/7/55

By [Signature]

TYPE OF BUILDING

- COMMERCIAL
- RESIDENTIAL
- SINGLE
- MULTI FAMILY
- NEW CONSTRUCTION
- REMODELING

PERMIT TO INSTALL PLUMBING

Address: 5 Danforth St., 3rd Floor

Installation For

Owner of Bldg. Mrs. Mary Flone

Owner's Address: Same

Plumber: Portland Gas Light Co. Date: 5-12-55

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER
		SINKS	
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS	
		HOT WATER TANKS - 70 GALLON	1
		TANKLESS WATER HEATERS	
		CARBAGE GRINDERS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS (conn to house drain)	

SM 12 53 PORTLAND HEALTH DEPT.

PLUMBING INSPECTION Total \$1.00

ATH
X RMT
PH
VASS
HL
BS

AP 1-3 Danforth Street-1

January 22, 1946

Mrs. Ann Corbett
3 Park Place
Mr. William H. Morris
1105 Monument Street
Messrs. Dan Romano & Jerry Ricci
24 Hampshire Street

Subject: Building permit for alterations in the
restaurant at 1-3 Danforth Street

Dear Madam & Gentleman:

Permit for the above work is sent to Mrs. Corbett today, herewith, subject to the following:

1. There is still no detail of reinforcement of the concrete slab indicated on the revised plan as to be "cantilevered". It is necessary that the architect furnish a detail of the reinforcement of this slab, or at least some satisfactory and permanent way of supporting that part which will not be supported upon the ground at the rear. Perhaps he would prefer to support that part of the slab on the wooden floor by using reinforced mesh and waterproof felt between the concrete and the floor surface. However, if this is done, I predict that you are quite likely to get definite crack in that part of the slab where it runs over the foundation wall.
2. It is understood that all defective floor joints on both sides of the first floor framing are to be replaced with new joints running from bearing to bearing. The contractor will have to make up his mind what joints require replacement and then replace them. There is still the note on the plan: "If required, set new 4-inch pipe column on 12-inch by 12-inch concrete base with 4-inch by 4-inch header to reinforce joints for new slab." It is not made clear who is to decide whether or not this is required. I am therefore assuming that you are to put these features in.
3. Note that second hand pipe columns are not allowable in any part of the new work. They will have to be either specially manufactured pipe columns, or, if the architect prefers, he can design the columns of new pipe with or without concrete filling, but in that case some method must be devised of anchoring the pipe columns at the bottom, providing suitable footings for them and anchoring them to the wooden framing at the top. All of these details should be shown on the plans before this part of the work is commenced.
4. No method is shown of ventilating the cellar. This should be indicated on the plan and provided.
5. There is another note on the original plan: "Door made available for exit if required". Again the question comes up who is to decide whether it is required. In the absence of anything definite about it, I will say that it is required and along with it a vestibule lockset on the door and a standard exit light over the doorway leading to the exit stairs. The exit stairs require handrails on both sides. All of the other provisions are required as stipulated in next to the last paragraph of my letter of August 17. In that paragraph I stated that handrails should be provided full length on the right hand side (going up) of the stairs leading to the outside door. This is an error. Handrails should be provided on both sides.

Corbett, Norris, Romano, Ricci ----- 2

January 22, 1946

6. I am now issuing the permit with quite a number of the questions raised in my letter of August 17 not taken care of on the plans--this in order to give a chance to get the work started. It is to be borne in mind that this restaurant will have to be subject of a victualer's license by the Municipal Officers before it can be opened, and unless everything is in order as I have tried to explain, it will be my duty to report to the Municipal Officers before they pass upon the victualer's license.

Very truly yours,

Inspector of Buildings

WMD/1

CC: Mr. Josiah T. Tubby
85 Exchange Street

AP 1-3 Danforth Street-I

ATH
RMT
PH
AJS
BS
HL

August 17, 1945

Mr. William H. Morris
R53 Monument Street
Mrs. Ann Corbett
3 Park Place
Messrs. Dan Romanic & Jerry Rlood
24 Hampshire Street

Subject: Application for building permit to cover alterations in the restaurant at 1-3 Danforth Street

Dear Madam and Gentlemen:

In view of the absence from the plan ^{of details} to show the framing and supports of first floor of the above restaurant, I procured a key from Mrs. Corbett to make examination for myself. I was able to get into the cellar on the easterly side of the dividing brick wall through a hatchway in the floor. I was unable to enter the cellar on the westerly ^{side of} brick wall because I was told that the only way to get in there was through a window facing on the Danforth Street sidewalk which I decided not to try.

As for the easterly half of the building, the floor framing and supports are quite bad--in such unsafe conditions that I am unable to issue the permit for these changes, involving issuance of a victualler's license by the Municipal Officer, until a satisfactory plan has been worked out showing the present condition and how it is to be permanently remedied. Some of the floor joists are badly rotted, and many others will rot rapidly if some means is not found of ventilating this cellar. At least one of the wooden posts is so far ^{out of} plumb, and without adequate support at the bottom, so as to be immediately unsafe. The beam running through the center under the floor joists is obviously inadequate.

Special attention must be given to the part of the new concrete floor under the toilet where it projects from the filled portion a short distance over the brick wall and into the cellar on the easterly side of the building. The plans say "cantilever slab here", but there is no detail of such a slab as to reinforcement and so forth.

There is also a note on the plan: "if required set new 4-inch pipe column on 12-inch by 12-inch concrete base with 4x6 header to reinforce joists for new slab; replace any rotten joists, trimmers, or headers."

It is not clear what party is to determine if the proposed construction is required and what joists, trimmers, or headers require replacement. While we intend to help all we can on this job, it is not the function of this office to make a detailed examination and say what is required. If it is true, there is no other way to get into the cellar on the westerly side of the building than through this front window, I suggest you have a hatchway cut in the floor or some other reasonable means of access afforded to this cellar (this may be done, if it is a hatchway, without any permit, but of course would have to be shown as properly headed off on the plans eventually filed with the present application), so that a reasonable chance can be afforded for your architect and contractor to examine the situation and for us later to check.

It will be necessary to show framing plans of the first floor together with the supports thereof on both sides of the cellar and indicate clearly what is to be done to bring the strength ^{substantially} up to the required live load of 100 pounds per square foot, plus dead load, the latter to include the weight of the concrete slab in the two small section where

William H. Norris
Mrs. Ann Corbett
Dan Romano & Jerry Ricci-----2

the slab would be supported upon wooden framing. The same plan should show adequate means of ventilating both cellars so that undue dampness may be avoided and consequent quick deterioration of the structural parts.

Over the rear roof on the westerly side of the building, some of the framing of the second floor is exposed, and definite strengthening is required at this point, timbers having been cut and improperly supported. Your plan should also show what is proposed here.

While this has been a restaurant for quite a long time and apparently without any rear means of egress, my duty requires that I do everything possible to secure a rear emergency exit from the restaurant which I am compelled to do by recommendation to the Municipal Officers (License Board) unless you acquiesce in the matter of providing this rear exit, exit lights and proper hardware and so forth about as indicated on the plan. This would seem to dispose of the note on the plan at the rear door which says: "Door made available for exit if required." As far as the Department is concerned, it is required, but I realize that you have rights in the matter and if you intend to raise objection to providing this rear exit let us do it together and have the question heard by the Municipal Officers.

In providing the exit, the door to the women's toilet room should be made to swing into the toilet room, a handrail should be provided full length on the right hand side (going up) of the stairs leading to the outside door. The door should be equipped with a "vestibule lockset", a standard exit light should be provided on the restaurant side of the door leading from restaurant to this sort of stair hall which is really the vestibule to the women's toilet as well, a white light at the foot of the stairs leading to the outside door and a white light outside the outside door, these three lights to be on a single circuit and controlled by a single switch which should be permanently marked "exit lights" on the panel where it exists. A standard exit sign should be provided over the opening between the two halves of the restaurant, facing the westerly side of the restaurant. If the doors on Danforth Street front at westerly side of restaurant are to swing over the public sidewalk, they will have to be used for emergency exit only, equipped with vestibule locksets or equivalent without any knob, thumb latch or any other means on the outside of the door of opening it from the outside. In that case an exit sign should be put over that door to serve the maximum capacity of fifteen patrons on that side of the restaurant.

While I am not sure of the structural condition of the floor framing and supports on the westerly side of the restaurant, I am certain of the unsafe condition of the floor framing and supports on the easterly side. The easterly side is not considered safe for a restaurant or any other use. Therefore, it is necessary that the owner of the building refrain from using this first story space for any purpose until the floor has been made permanently safe reasonably close to Building Code standards. The same will be true of the first floor on the westerly side, if found in need of strengthening or unsafe.

Very truly yours,

(signed) WARREN McDONALD
Inspector of Buildings

WMcD/L
CC: Mr. Josiah T. Tubby, 85 Exchange Street
Dr. Burroughs, Health Officers
A. Edwin Smith, City Clerk

Memorandum from Department of Building Inspection, Portland, Maine
1-3 Danforth St.- Alterations in restaurant for ~~Ann Corbett~~ ^{Ann Corbett} ~~by~~ ^{by}
E. Romano, Contractor--7/10/45

Ann Corbett, 3 Park Place
E. Romano, 322 Spring St.

C. D. Burroughs.

Dear Madam and Sir:

Mr. Romano's rough sketch in an attempt to show the framing and supports under the kitchen floor to support the new concrete surface at above location is not competent to tell us whether the situation will comply with the Building Code or not.

It will be necessary for you to employ someone who knows how to design wooden framing to make a design plan and work out strengthening if strengthening is need, showing all existing and proposed details on a plan which is to be filed here in the shape of a blueprint with all of the information on it printed from the original. Please do so without further ado, as permits cannot be issued until compliance with the Building Code has been shown.

(Signed) Warren McDevitt
Inspector of Buildings

ATH
RMT
PH
JJS
BS

AP 1-3 Banforth St.-I

June 1, 1945

Ann Corbett
3 Park Place
Messrs. Don Romano & Jerry Ricci
24 Hampshire Street

Subject: Application for building permit to cover
providing concrete surface in certain parts of
restaurant at 1-3 Banforth Street

Dear Madam & Gentlemen:

Application for the permit card is based upon what type of construction is intended upon present wooden floor surface and framing. Presumably it is floor construction or what the concrete surface is to be provided.

In that case it is necessary for you to furnish a framing plan of all parts of the floor to be so covered with concrete, showing sizes, spacing and spans of all members and sizes and material of all supporting posts, piers, etc. This plan should be made by an experienced in making such plans, and thoroughly competent to design for strength of such construction with relation to the actual loads to be supported. The one who makes the plan should determine whether or not the existing framing is strong enough to support the present theoretical loads plus the added weight of the concrete surface, the dead weight of which will run to at least .5 pounds per square foot. If he finds the framing as it exists to be deficient in strength according to Building Code standards, he should show on his plan the proposed method of strengthening the floor to bring it up to those standards. At the same time he should examine the balance of the floor framing under the restaurant to see if there are other places than those to be covered with concrete which require strengthening to make them safe. If so, he should show such strengthening on the plans.

The finished plan should then be filed with the application for the permit as a blueprint with all of the information on it printed from the original. Thus, we will know that whoever is to do the work has the same information as has been filed here.

Very truly yours,

Inspector of Buildings

WMC/D/S

P.S. In the meantime it is not lawful for you to do any of the work on this concrete floor surfacing until the permit card is actually in your possession and posted upon the premises.



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure second

Portland, Maine, June 11, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications

Location 1-3 Danforth St. in Corbet, 3 Park Place Within Fire Limits? yes Dist No. 1
Owner's or Lessee's name and address Jerry R. Corbet Telephone 527-1111
Contractor's name and address Dan Romano State St. Telephone 527-1111
Architect Jerry R. Corbet 24 Hampshire St.
Proposed use of building Duplex 1 family one side and restaurant Plans filed yes No of sheets 2 5
Other buildings on same lot 2 families on other side No. families 2
Estimated cost \$ 75,200. Fee \$ 50

Description of Present Building to be Altered

Material brick No. stories 2 1/2 Heat stoves Style of roof Roofing Asph/Flt
Last use same

To out in new window in toilet room. Permit Issued with Letter
General Description of New Work
To provide concrete floor in kitchen, gent's toilet and vestibule
To provide concrete floor in Ladies' toilet room - raising finish portion of floor up to level of rest of floor. Existing floor is concrete and is to be filled in solid. The concrete surface is to be no less than 2-inches thick at any point, is to be properly to the floor drain, if any, is to be reinforced with suitable wire mesh embedded in concrete, is to be extended up the surface of walls and partitions at least 4-inches above the surface of the floor at the wall or partition and a curved or other shaped surface provided for sanitary reasons where the horizontal surface joins the vertical surface. Before concrete is placed, suitable waterproof felt is to be laid on the floor surface to be covered. In event the additional weight of concrete would overload present floor framing and supports according to Building Code standards, this floor framing and supports will be permanently strengthened accordingly. It is understood that Health Department stipulates also that concrete is to be waterproofed with acceptable integral waterproofing, and that surface be painted with waterproof paint especially prepared for concrete, preferably of dark red color.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? no Height average grade to top of plate ---
Size, front --- depth --- No. stories --- Height average grade to highest point of roof ---
To be erected on solid or filled land? --- earth or rock? ---
Material of foundation --- Thickness top --- bottom --- cellar ---
Material of underpinning --- Height --- Thickness ---
Kind of roof --- Rise per foot --- Roof covering ---
No. of chimneys --- Material of chimneys --- of lining ---
Kind of heat --- Type of fuel --- Is gas fitting involved? ---
Framing lumber—Kind --- Dressed or full size? ---
Corner posts --- Sills --- Girt or ledger board? --- Size ---
Material columns under girders --- Size --- Max on centers ---
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor --- 2nd --- 3rd --- roof ---
On centers: 1st floor --- 2nd --- 3rd --- roof ---
Maximum span: 1st floor --- 2nd --- 3rd --- roof ---

If one story building with masonry walls, thickness of walls? --- height? ---

If a Garage

No. cars now accommodated on same lot --- to be accommodated ---
Total number commercial cars to be accommodated ---
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ---

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Jerry R. Corbet

THOMAS F. BURRUGHES, M. L. A.
CITY HEALTH OFFICER
J. H. Corbet

INSPECTION NOT COMPLETE
CERTIFICATE OF REQUIREMENT IS WAIVED
AUTHORIZATION BEFORE CLOSING-IN IS WAIVED

1001 - 30 Danforth St
 Owner Ann Corbett
 Date of permit 8/22/46
 Natif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. **INSPECTION NOT COMPLETED**
 Cert. of Occupancy issued

Suggested by side view.
 Exit sign to be provided
 over opening connecting
 two units. Both these
 matters up with owner
 and he agreed to take
 care of them. etc

NOTES

3/2/46. Walk with owner
 on 2nd floor. Emergency door
 on hallway at 44-5th floor.
 The reinforced concrete
 slab between hallway
 is not credited in
 3/2/46.
 Shoppe Restaurant is
 operating following
 in attic. Part of it taken over
 by - The weathering front door
 opens out, and all work
 in it removed and back of
 part weathered. Parker Nathan
 The entrance to the rear is
 open from outside to
 hallway. Some measures of repair
 have been changed to allow

BP 3 Danforth-1

315
May 1, 1943

Mr. George E. Soars,
22 Cottage St.,
Portland, Maine

Subject: Building Permit for Alterations in
Apartment House owned by William H. Morris
at 3 Danforth St.-NHA E-17-1A-5

Dear Sir:

With the issuance of the above permit, your attention is called to two features of which you may already be aware, they having been included in a letter to the architects on April 10, 1943:

1. The landings on the fire escape are required to extend at least nine inches beyond the jambs of windows leading to them. For instance, in the case of the intermediate landing the riser of the lowest step of the stairs from above should be at least nine inches from the window jamb, and the nosing of the top step of the downward stairs should be at least nine inches from the window jamb on that side.

2. The vertical member of each structural bracket ought to be at least 4x4. Probably the 2x4 would work out theoretically, but after a 2x4 had been cut to "let-in" the lower end of the diagonal member there would be practically nothing left of the vertical member at that point, especially in view of the fact that instead of being actually two inches thick it will probably only one and five-eighths inches thick.

Please be governed accordingly.

Very truly yours,

CC. W. D. Tuttle, Comm. Spvr.
19 Kenneth St.
Wadsworth & Boston,
57 Exchange St.
Mr. William H. Morris,
33 Monument St.

(Signed) Warren McDonald
Inspector of Buildings

Office of WADSWORTH & BOSTON · ARCHITECTS

57 Exchange Street · Portland, Maine

Philip Shirley Wadsworth, A. I. A.
Royal Boston, A. I. A.

April 6th, 1943

Mr. Warren McDonald, Building Inspector,
City Hall,
Portland, Maine.

Dear Mr. McDonald:

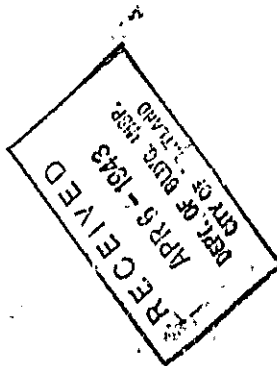
RE: Case #W-17-1A-3

We are enclosing copies of the drawings and Specifications for alterations to the property at 5 Danforth Street, Portland, belonging to William H. Norris, Home Owners' Loan Corporation, Case #W-17-1A-3. These drawings and Specifications are in the form in which they have been sent to the contractors and which we propose to use for construction purposes.

Very truly yours,

Philip Shirley Wadsworth
WADSWORTH & BOSTON

RB:JB
Encl.



Inquiry 5 Waverly St.

April 2, 1961

Wadsworth & Boston,
57 Exchange Street,
Portland, Maine

Subjects: NIA Job at 5 Waverly Street,
owned by William H. Morris-Casa No.
W-17-14-3. References thru 112-0-5
are to section of the building Code

Gentlemen:

Questions about whether or not the proposed outside rear stairway would come within the lines of the Morris property and the matter of appeal to Municipal Officers relating to encroachment of this stairway on the required rear yard are being taken up with Mr. Barton over the phone just as soon as I can reach him.

This job is unusual in that there is apparently to be no great change in arrangement of apartments or in the number of apartments, - more in the nature of rehabilitation of former apartments. Accordingly many Code requirements which apply in case of change of use or increase in the number of apartments or occupants do not apply. Presumably the building is to be heated by stoves with only one stove besides the range in each apartment, - in the living room. While not a matter for Building Code control, I am inquiring about heat in the bedrooms.

The following additional information will be needed before the building permit is actually issued:

1. Show size and arrangement of windows in second and third stories giving access to the new outside wooden stairway. (112-0-1)

2. Despite the new outside stairway, exits from the living room and front bedrooms on the third floor will not be helped materially in case of fire traveling the inside stairway because of likely inability of reaching the new outside stairway. Actually the removal of the door to this bedroom on the new large opening from hall to living room will expose the persons in those rooms to a fire traveling the inside stairs even were there an arrangement from the building was used for apartments before. I suggest that the door be restored to the bedroom and some passageway be provided from the front bedroom through the closets and the small bedroom on the west side to the rear bedroom which is necessary to be used as fire escape. There is considerable question if I have control over this matter of egress under the Building Code because the present situation, though not in use at present, does not even afford any second exit from the third floor at all. Such existing conditions are under the control of the Chief of the Fire Department by state law, and on account of the new outside fire escape, his approval is required upon the building permit before it is issued. I suggest that you go over the matter with him and adjust the situation to such arrangement that he can approve, so that when the permit is applied for there will be no delay on that score.

3. I am not sure of the (input) of the yellow crayon marks in the wall on second floor plan. They may represent an enclosure of the upper run of stairs in the second story to take care of the eventuality of fire traveling those stairs. At any rate all new partitions were exposed to the hallway are required to be plaster on some type of incombustible base, both sides of partitions.

4. A new closet may be established beneath any of the stairways in the building.

Wadsworth & Boston

April 7, 1948

5. To take the place of the stairway to the roof which evidently is to be removed, a scuttle, with suitable cover, no less than two feet by three feet is required to give access to the roof and a ladder leading to the scuttle fixed in a permanent place to give access to the scuttle from the upper floor, or some similar arrangement approved by the Chief of the Fire Department (212-1). Perhaps he would approve a ladder outside the building leading from the upper landing of the new wooden stairway.

6. No framing, supports or foundations of new outside stairway are shown.

7. Where large openings are to be made in partitions to provide entrance from the hall to living rooms, no indication of headers is given, and no information as to whether or not the partitions are bearing partitions.

8. This is quite an old building and it is hoped that a careful examination has been made of so much of the framing of the building as can be seen, from the cellar or otherwise so that we may not find parts of the framing or supports of the structure which require attention either before or after issuing the building permit.

9. Electric lights in all public halls should either be all on the owner's or lessee's meter, controlled by an automatic time switch and kept burning from sunset to sunrise each night; or else the lights should be so arranged on the tenants' meters and switches so arranged that tenants on both second and third floors may turn a single switch just outside of the apartment on either floor and light sufficient lights in the hall below to adequately illuminate the means of egress of the building to the outside.

Very truly yours,

Inspector of Buildings

WMB/H

CC: William H. Morris
55 Monument Street

W. L. Tuttle,
Conversion supervisor
13 Annath St.

Inquiry 5 Danforth St.

April 10, 1948

Danforth & Boston,
57 Exchange Street,
Portland, Maine

Subject: This job at 5 Danforth Street,
owned by William R. Norris-Case No.
E-17-11-5

Gentlemen:

I believe I am ready to issue the building permit on the above job based on the plans and specifications revised under date of April 8, 1948 with one precautionary note and one minor criticism of the structural work, as follows:

1. The landings on the fire escape are required to extend at least nine inches beyond the jambs of windows leading to them. For instance, in the case of the intermediate landing the riser of the lowest step of the stairs from above should be at least nine inches from the window jamb and the nosing of the top step of the downward stairs should be at least nine inches from the window jamb.

2. The vertical member of each structural bracket ought to be at least 4x4. Probably the 2x4 works out theoretically but after a 2x4 had been cut to "let-in" the lower end of the diagonal member there would be practically nothing left of the vertical member at that point, especially in view of the fact that instead of being actually two inches thick it will probably be only one and five-eighths inches thick.

Very truly yours,

WCB/R

Inspector of Buildings

CC: William H. Norris, 65 Monument St.

W. D. Tuttle, Conversion Supervisor
19 Kenneth Street

DMW
JG
A.C.



(1) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

0380

Permit No. 1 1943

Class of Building or Type of Structure Second Class

Portland, Maine, April 27, 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~in~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 5 Broadway Street Within Fire Limits? yes Dist. No. 1
 Owner's or Lessee's name and address William H. Norris, 52 Monument St. Telephone _____
Lessee National Housing Agency, 19 Kenneth St., W. D. Tuttle Telephone 2947
 Contractor's name and address Geo. P. Gray, 22 Cottage St.
 Architect _____ Plans filed yes No. of sheets 5
 Proposed use of building tenement house No. families 3
 Other buildings on same lot _____
 Estimated cost \$ 5,000. Fee \$ 1.50

Description of Present Building to be Altered

Material brick No. stories 3 Heat stove's Style of roof flat Roofing T&G
 Last use tenement house No. families 3

General Description of New Work

To make alterations to building as per plans submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? yes
 Is any electrical work involved in this work? yes Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x3 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner William H. Norris
National Housing Agency

INSPECTION COPY

Handwritten signature: W. H. Norris

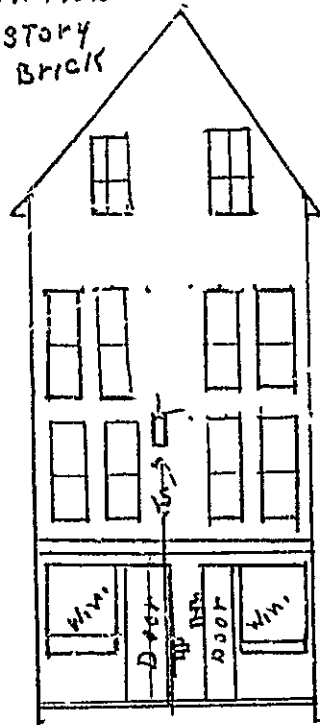
Permit No. 43/380
 Location 5 Danforth St. Smith's
 Owner William H. Moore
 Date of permit 5/1/43
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. 8/9/43 - O.K.
 Cert. of Occupancy issued 8/10/43

Chimney - ajs

DATE	DESCRIPTION	BY	INITIALS
5/1/43	Permit issued		
5/22/43	Work on chimney		
5/26/43	Work on chimney		
5/27/43	Work on chimney		
6/22/43	Work on chimney		
6/29/43	Work on chimney		
8/9/43	Final inspection		
8/10/43	Cert. of Occupancy issued		

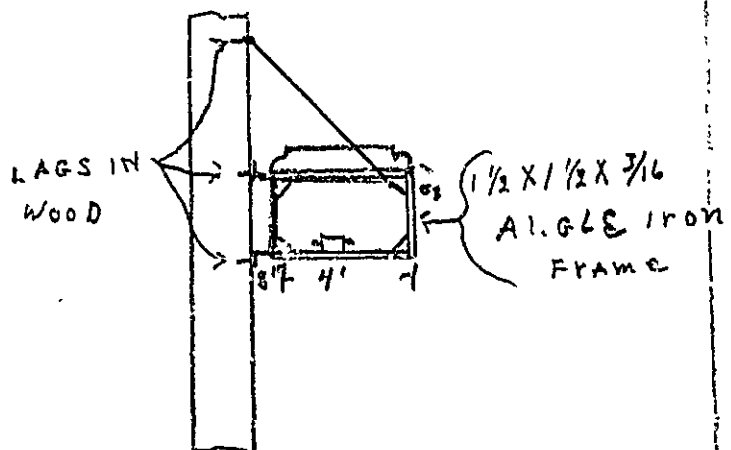
NOTES
~~5/22/43 - Work on chimney
 5/26/43 - Work on chimney
 5/27/43 - Work on chimney
 6/22/43 - Work on chimney
 6/29/43 - Work on chimney
 8/9/43 - Final inspection
 8/10/43 - Cert. of Occupancy issued~~

SKETCH OF BLDG.
SHOWING SIGN
LOCATION.
3 1/2 STORY
WOOD + BRICK

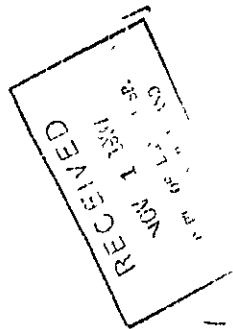
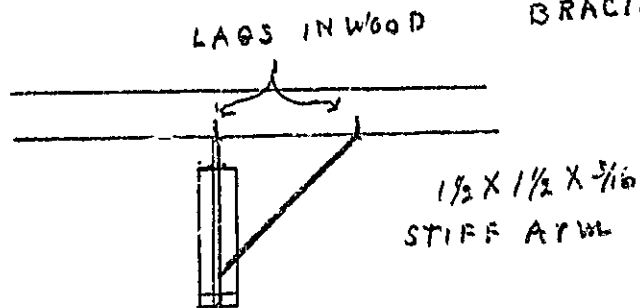


OWNER OF BLDG.
W. H. NORRIS
53 MONUMENT ST
OWNER OF SIGN
WATSON'S CAFE
3 DANFORTH ST.

PLAN OF SIGN AND
FASTENINGS



METHOD OF
BRACING



SCALE 1/4 INCH = 1 FOOT

THE KIMBALL SYSTEM
341 FORD ST.

File# Rept. 691C-1

October 23, 1937

Kimball System of Portland
341 Fore Street
Portland, Maine

Gentlemen:

In accordance with my circular letter to erectors of signs projecting over public sidewalks or streets of October 20, 1937, it will be necessary for you to furnish the plans in duplicate for the sign proposed for Watson's Cafe at 3 Danforth Street.

It will be necessary for us to have the plans in duplicate before the permit may be issued. The sketches are perhaps to scale, but no definite scale is marked upon them.

In making duplicate plans for such a purpose, it is necessary that both the original and the duplicate be made in such a way that we will be sure that they are precisely the same without checking each one. This may be done by the blueprinting process or perhaps by using carbon paper, if it is gone about in the proper fashion. If carbon paper duplicates are to be used, the drawings should be made with the carbon paper in place under the original so that every mark that is made on the original drawing will also appear on the duplicate. Otherwise, we can never be sure that they are duplicates without trying to check in each case, which would be a great consumer of time.

May I suggest that you get your sketches in a smaller compass. For instance, no reason appears why all of the information for this sign at 3 Danforth Street could not be placed upon one letter size sheet of paper and without using the reverse side without leaving out any of the necessary information.

Very truly yours,

Inspector of Buildings

McD/H

Ow...
 Name...
 Contractor...
 When does...
 No. stories...
 Electric...
 Weight...
 Material of frame...
 No. rigid connections...
 through bolts...
 Guys...
 minimum clear height above side...
 projection into street...
 Signature...
 OFFICE OF FIRE DEPT. SIGNATURE...
 COPY...



GENERAL BUSINESS ZONE

PERMIT ISSUED

Permit No. 1871

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, October 28, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location: 3 Denforth Street Ward: 4 Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached: W. H. Morris
Name and address of owner of sign: Watson's Cafe, 3 Denforth Street
Contractor's name and address: Kimball System of Portland, 341 Fore Street Telephone: 2-5047
When does contractor's bond expire? January 1938

Information Concerning Building

No. stories: 2 Material of wall to which sign is to be attached: wood

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of Sign and Connections

Electric? yes Vertical dimension after erection: 2' Horizontal: 4'
Weight: 90 lbs. Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame: angle iron No. advertising faces: 2 material: metal
No. rigid connections: 2 Are they fastened directly to frame of sign? yes
No. through bolts: none Size: Location, top or bottom:
No. guys: 2 material: angle iron and cable Size: 1/2" x 5/16" - 4"
Minimum clear height above sidewalk or street: 15'
Maximum projection into street: 4' 8"

Signature of contractor: [Signature] Kimball System of Portland \$ 1.00

CHIEF OF FIRE DEPT. INSPECTION COPY

69/28

Ward 4 Permit No. 37/1871

Loc. 3 Danforth St.

On Watson's Cafe

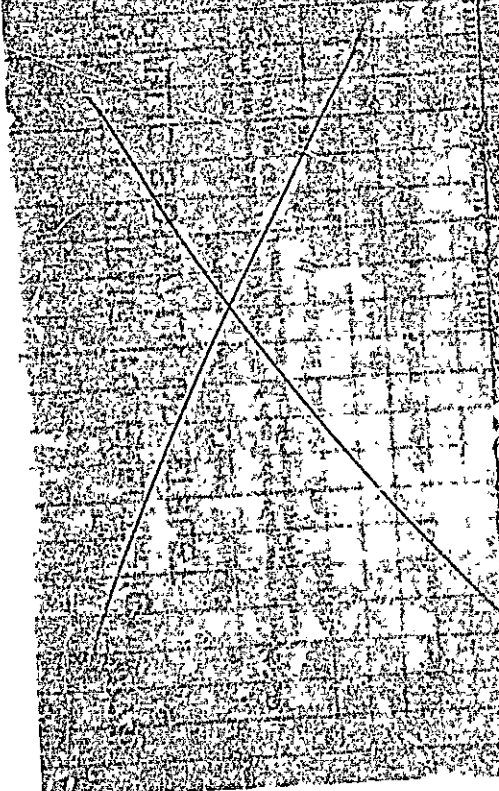
Da. permit 10/1/57

tractor

Final Inspn. 11/6/57. ODE

Sticker

NOTES



June 20, 1935

File R. 4561B-1

Mr. H. R. Brown,
65 Hampshire Street,
Portland, Maine

Dear Sir:-

Reference to your application for a permit in the name of Hannah Watson to cover alterations in the building at 1-3 Danforth Street, although I explained to you that it would be necessary to swing both front doors outwards without any part of the doors swinging over the public sidewalk, I find that you have stated on the application that both front doors will swing in but both rear doors will be made to swing outwards.

The fact that the rear doors are made to swing outwards will not relieve the owner of the necessity of making the front doors swing outwards.

Please come to the office and change the application for the permit accordingly so that we may issue the permit.

Very truly yours,

McD/H
CCL Hannah Watson

Inspector of Buildings.



GENERAL BUSINESS ZONE PERMIT ISSUED
APPLICATION FOR PERMIT

Permit No. 0805
 JUN 24 1935

Class of Building or Type of Structure Third Class

Portland, Maine, June 19, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter instalt the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1-3 Danforth Street Ward 4 Within Fire Limits? yes Dist. No. 1
 Owner's or Lessee's name and address Hannah Watson, 1-3 Danforth St. Telephone _____
 Contractor's name and address H. R. Brown, 85 Hampshire St. Telephone no
 Architect's name and address _____
 Proposed use of building Restaurant and tenements No. families 4
 Other buildings on same lot _____
 Plans filed as part of this application? yes No. of sheets 1
 Estimated cost \$ 125x 100. Fee \$ 75x .50

Description of Present Building to be Altered

Material br&fr No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Last use Restaurant, barber shop and tenements No. families 4

General Description of New Work

To cut in new 8' opening in brick wall between stores, first floor, and put in 6x8 for support
 To set 6' non-bearing partition back about 5' to make kitchen smaller
 To remove 15' non-bearing partition in space formerly used for barber shop
 To put in put in new wall, board partitions to provide an additional toilet, with vestibule for same, to be ventilated by duct at least fifty-six square inches in cross section through roof of building. Doors to vestibule and toilet to be made self-closing in such a way that there will be little chance of both doors being open at the same time.
 Both front doors swing in, but both rear doors will be made to swing outwards.
 Both front doors to be recessed and swing out. Not to swing over sidewalk.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Approved by reatama
plans: 6/20/35

Details of New Work

Height average grade to top of plate _____
 Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Hannah Watson

Signature of owner By H. R. Brown

INSPECTION COPY

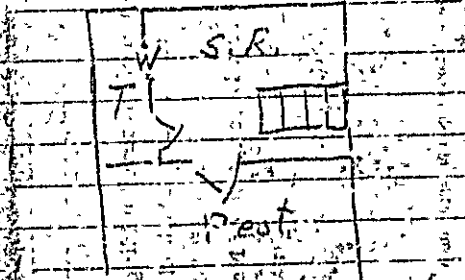
CERTIFICATE OF OCCUPANCY
 AS REQUIRED BY LAW

436

W.P. 4 Permit No. 35/8'66
 Loc 1-3 Danforth St.
 Owner Hannah Watson
 Date of permit 6/24/35
 Inspn. closing-in
 Final Notif.
 Final Inspn. 3/10/38 C.O.B.
 Cert. of Occupancy issued None

here - C.O.B.
 4/28/36 - No rest. for rear
 toilet
 3/10/38 Old front door
 does not swing out
 cannot enter through
 over the air wall
 stairs accessible to rear
 rest. rear toilet

NOTES
 6/24/35 Work begun
 7/19/35 Old front
 door will have
 a door put in
 before floor was
 made. Rear door
 portion of restaurant
 was occupied as a
 grocery store and
 before I met had
 been a soda water
 license issued for
 this location. Then
 was a restaurant



This was a restaurant
 before the sale of beer
 was legal. C.O.B.



PERMIT ISSUED

PERMIT ISSUED

RECEIVED
SEP 7 1934
CITY OF PORTLAND
Portland, Maine

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

311
SEP 10 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location (2) Danforth Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached W. H. Norris
Name and address of owner of sign Watson's Cafe 2 Danforth Street
Contractor's name and address The Kimball System of Portland 51 Cross St. Telephone 2-5047
When does contractor's bond expire? January 3, 1935

Information Concerning Building

No. stories 5 1/2 Material of wall to which sign is to be attached Wood frame

Details of Sign and Connections

Electric? yes Vertical dimension after erection 24" Horizontal 48"
Weight 86 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame 1 1/2 x 3/16 Angle Iron No. advertising faces 2 material 24G. Galv. Metal
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts 10/16 Size --- Location, top or bottom ---
No. gags 3 material Galv. Cable Size 1/4"
Minimum clear height above sidewalk or street 15'
Maximum projection into street 4'

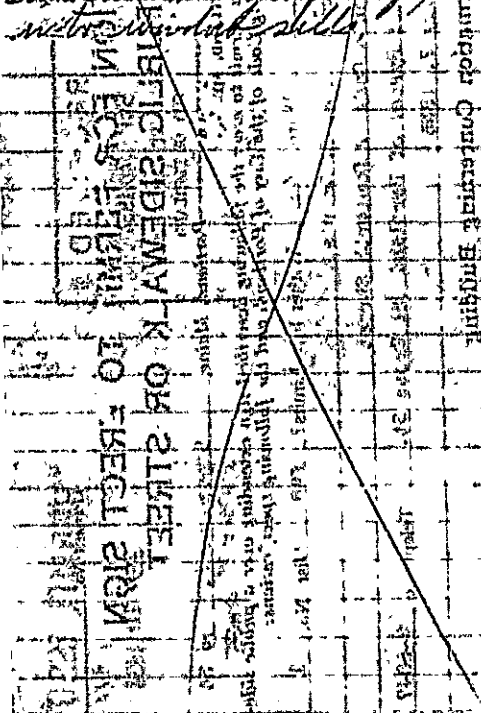
The Kimball System of Portland Fee \$ 1.00
(Signed) R. P. COCHRANE

Signature of contractor

INSPECTION COPY
APPROVED: OLIVER T. SANBORN
Chief of Fire Dept.

Ward 4 Permit No. 34/131
 Location Dairfield St
 Owner Katania Cafe
 Date of permit 9/10/34
 Sign Contractor
 Final Inspn. 1/8/35 ADO

Notes
 At intersection of Dairfield St and Regt St
 1/8/35 Burial pipe connected
 with main and along Regt St
 into windmill shaft



Item	Description	Quantity	Unit	Price	Total
1	Excavation	100	cuy	1.00	100.00
2	Backfill	100	cuy	1.00	100.00
3	Manhole	1	each	10.00	10.00
4	Pipe	100	ft	0.50	50.00
5	Work	1	day	10.00	10.00
6	Material	100	lb	0.10	10.00
7	Paint	1	gal	1.00	1.00
8	Tools	1	set	5.00	5.00
9	Permit	1	each	10.00	10.00
10	Inspection	1	each	10.00	10.00
11	Excavation	100	cuy	1.00	100.00
12	Backfill	100	cuy	1.00	100.00
13	Manhole	1	each	10.00	10.00
14	Pipe	100	ft	0.50	50.00
15	Work	1	day	10.00	10.00
16	Material	100	lb	0.10	10.00
17	Paint	1	gal	1.00	1.00
18	Tools	1	set	5.00	5.00
19	Permit	1	each	10.00	10.00
20	Inspection	1	each	10.00	10.00
21	Excavation	100	cuy	1.00	100.00
22	Backfill	100	cuy	1.00	100.00
23	Manhole	1	each	10.00	10.00
24	Pipe	100	ft	0.50	50.00
25	Work	1	day	10.00	10.00
26	Material	100	lb	0.10	10.00
27	Paint	1	gal	1.00	1.00
28	Tools	1	set	5.00	5.00
29	Permit	1	each	10.00	10.00
30	Inspection	1	each	10.00	10.00



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

This Application and
Get All Questions Asked
BEFORE COMING TO YORK.
Fall 1925

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.

Location 3 Danforth Place Street Ward 7 in fire-limit 110
Name of Owner or Lessee, Peter Griffin Address 3 Danforth Pl.
" " Contractor, Owner " "
" " Architect, " "
Material of Building is Wood Style of Roof, Pitch Material of Roofing, Wood
Size of Building is 40 feet long; 35 feet wide. No. of Stories, 2 1/2
Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is _____ is _____ inches thick; is _____ feet in height.
Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? Dwelling No. of Families? Two
What will Building now be used for? Two Family Dwelling

Detail of Proposed Work

Build two story piazza in rear 6 ft x 18 ft concrete foundation
posts, 5 x 5 wooden posts, all to comply with the building ordinance.

Estimated Cost \$ 150.00

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____
The above construction will not require the removal or disturbing of any shade trees on the public street.

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or Authorized Representative Peter Griffin

Address _____

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

2038



3 Danforth

Aug 10/25

EXHIBITION AND SALE OF SEEDS

Please refer to the notice of exhibition and sale of seeds published in the Department of Agriculture Bulletin No. 1000, dated August 10, 1925.

EXHIBITION FOR THE YEAR 1925

The Department of Agriculture has the honor to acknowledge the receipt of your application for the exhibition of seeds for the year 1925.

Receipt

Item

Quantity

Price

Total

Remarks

Department of Agriculture

II Exhibited On Year 2025

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK