

612 CONGRESS STREET

SHAW-WALKER



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Sept. 4, 19 79
Receipt and Permit number A 34720

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 612 Congress Street - 2nd & 3rd floors

OWNER'S NAME: James Price ADDRESS: 24 Morning St.

		FEE
OUTLETS:		
Receptacles	Switches	Plugmold
ft. TOTAL <u>1-30</u>		<u>3.00</u>
FIXTURES (number of)		
Incandescent <u>x</u>	Flourescent	(not strip) TOTAL <u>1-10</u>
Strip Flourescent		ft.
SERVICES		
Overhead <u>x</u>	Underground	Temporary
TOTAL amperes <u>125</u>		<u>3.00</u>
METERS (number of) <u>6</u>	<u>3.00</u>	
MOTORS (number of)		
Fractional		
1 HP or over		
RESIDENTIAL HEATING:		
Oil or Gas (number of units)		
Electric (number of rooms)		
COMMERCIAL OR INDUSTRIAL HEATING:		
Oil or Gas (by a main boiler)		
Oil or Gas (by separate units)		
Electric Under 20 kws		
Over 20 kws		
APPLIANCES (number of)		
Ranges	<u>x</u>	Water Heaters
Cook Tops		Disposals
Wall Ovens		Dishwashers
Dryers	<u>x</u>	Compactors
Fans		Others (denote)
TOTAL		<u>4.50</u>
MISCELLANEOUS: (number of)		
Branch Panels <u>3</u>	<u>3.00</u>	
Transformers		
Air Conditioners Central Unit		
Separate Units (windows)		
Signs 20 sq. ft. and under		
Over 20 sq. ft.		
Swimming Pools Above Ground		
In Ground		
Fire/Burglar Alarms Residential		
Commercial		
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under		
over 30 amps		
Circuit, Fairs, etc.		
Alterations to wires		
Repairs after fire		
Emergency Lights, battery		
Emergency Generators		

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE:

FOR REMOVAL OF A "STOP ORDER" (304-16.b) ...

TOTAL AMOUNT DUE: 19.50

INSPECTION: service this P.M.

Will be ready on _____, 19____, or Will Call on rest of permit

CONTRACTOR'S NAME: Michael LaPlante

ADDRESS: RFD # 2 Gorham, Me.

TEL.: 892-5379

MASTER LICENSE NO.: 3714

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

Michael LaPlante

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS—

Permit Number 34720

Location 612 Corvallis St. 2nd + 3rd floors

Officer

Date of Permit 9-4-79

Final Injection
L-8-81

By Inspector *[Signature]*

Permit Application Register Page No 25

CTIONS: Service _____ by Libby
Service called in 9-5-79
Closing-in 9-17-79 by Libby
GRESS INSPECTIONS: 10-4-79

Service called in 9-5-79

Closing-in. 9-12-79 by Libby
 ECTIONS: 10-4-79

PROGRESS INSPECTIONS: 10-4-29

12-17-78

1-9-81,

CODE
COMPLIANCE
COMPLETED
DATE 7-9-81

DATE:

REMARKS:

9-17-79 Panel in bathroom - told to change.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 612 Congress IN PORTLAND, MAINE

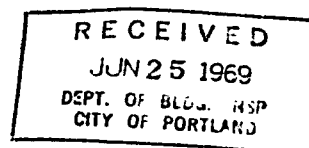
Shaw-Wing Bros. Inc. being the owner of the
premises at 612 Congress in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Martina McLean
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

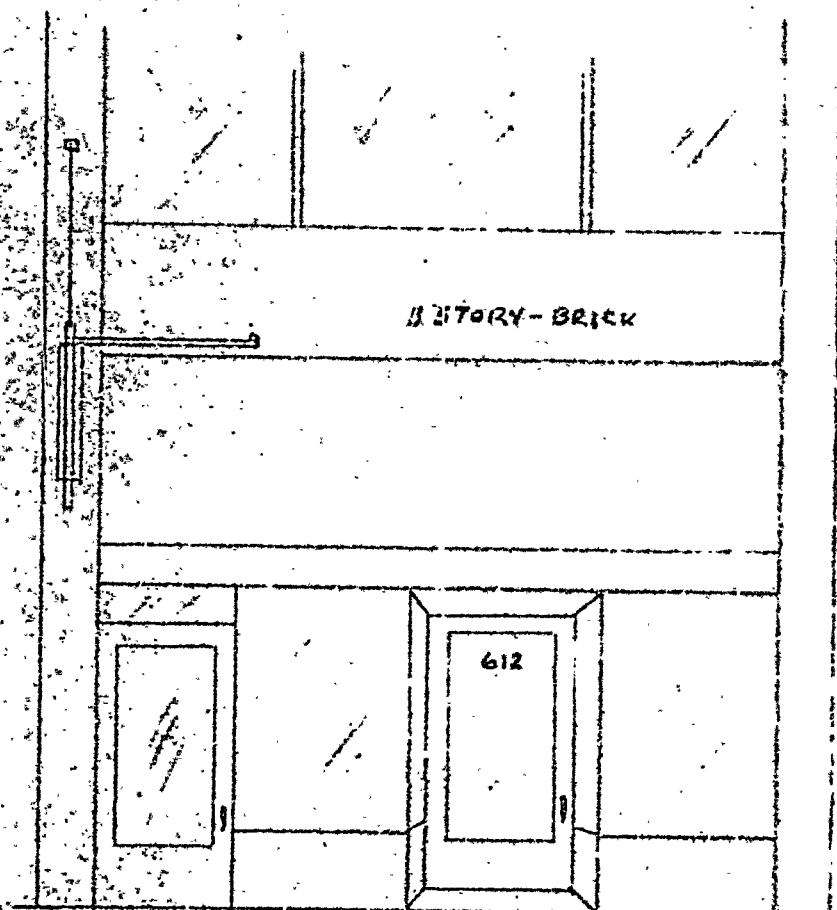
And in consideration of the issuance of said permit _____
Shaw-Wing Bros. Inc., owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agree, for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within ten
days of notice from said Inspector of Buildings that said sign is in such
condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 25th day of June 1969.

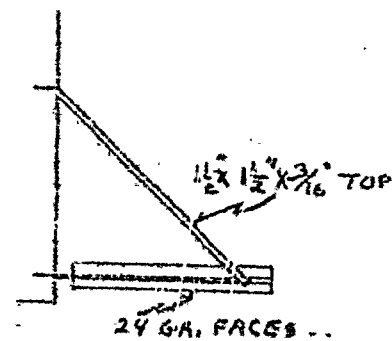
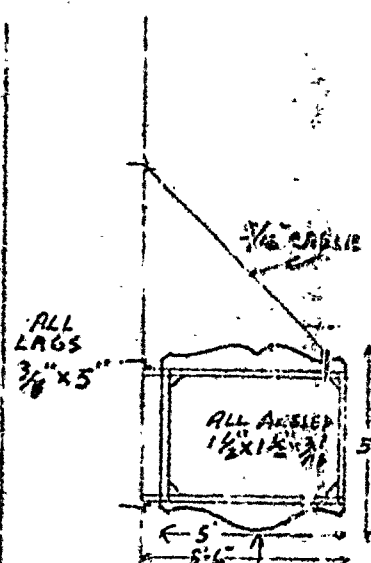
J. L. Casper
Witness

Shaw-Wing Bros. Inc.
By Harry M. Shaw-Wing, Pres.
Owner





SCALE 1/4" = 1'-0"



SIGN FOR
MCLEAN'S SPECIALTY SHOP
612 CONGRESS ST.

W. 80"

REMOVED FROM 612 CON

COYNE SIGNS
PORTLAND

5/14/41



B2 BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

552
JUN 26 1969

CITY of PORTLAND

Portland, Maine, June 25 1969 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 612 Congress St. Within Fire Limits? _____ Dist. No. _____
Owner of building to which sign is to be attached Schwartz Bros. Inc. 10 Congress Square Bldg.
Name and address of owner of sign Martha McLean, 612 Congress St.
Contractor's name and address Coyne Sign Company 195 E. John St. Telephone 772-4144
When does contractor's bond expire? Dec. 31st 1969

Information Concerning Building no lighting

No. stories 3 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
Electric? no Vertical dimension after erection 5' Horizontal 5'
Weight 80 lbs. Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angleiron No. advertising faces 2 material metal
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts _____, Size _____, Location, top or bottom _____
No. guys 2, material (1)-cable, Size cable-5/16
(1)-angleiron 10' angleiron-1x1x3/16
Minimum clear height above sidewalk or street _____
Maximum projection into street 5'6" Fee \$ 2.00

Signature of contractor by: [Signature]

INSPECTION COPY

~~714~~ ~~714~~ 69/554
Permit No.
Location 612 Conner Street
Owner Marshall McLean
Date of permit 6/26/69
Sign Contractor
Final Inspn.

NOTES

9/9/69. Work done.
E.S.S.



CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 57867
Issued 6/2/69

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address Shaw's Market Tel. _____
Contractor's Name and Address J. E. Sullivan Tel. _____
Location 617 Congress St. Use of Building Store
Number of Families _____ Apartments _____ Stores 1 Number of Stories _____
Description of Wiring: New Work _____ Additions ☒ Alterations ☒
Pipe _____ Cable ☒ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____
No. Light Outlets 7 Plugs 8 Light Circuits 2 Plug Circuits 2
FIXTURES: No. _____ Floor or Strip Lighting (No. feet) _____
SERVICE: Pipe _____ Cable _____ Underground _____ No. of Wires _____ Size _____
METERS: Relocated _____ Added _____ Total No. Meters _____
MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____
HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____
Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____
Electric Heat (No. of Rooms) _____
APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____
Elec. Heaters _____ Watts _____
Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____
Transformers _____ Air Conditioners (No. Units) _____ Signs (No. Units) _____
Will commence _____ 19 _____ Ready to cover in _____ 19 _____ Inspection _____ 19 _____
Amount of Fee \$ 2.00 Signed J. E. Sullivan

DO NOT WRITE BELOW THIS LINE

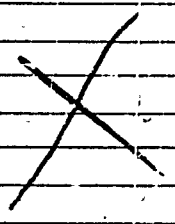
SERVICE _____ METER _____ GROUND _____
VISITS: 1 _____ 2 _____ 3 _____ 4 _____ 5 _____ 6 _____
7 _____ 8 _____ 9 _____ 10 _____ 11 _____ 12 7
REMARKS:

INSPECTED BY J. W. Hubert
(OVER)

~~#1~~ ~~#2~~ ~~#3~~ 691554
Permit No.
Location 612 Congress Street
Owner Martha McLean
Date of permit 6/26/69
Sign Contractor
Final Inspn.

NOTES

9/9/69. Walslow.
D. S. S.



LOCATION *Cooper St 512*
 INSPECTION DATE *6/2/69*
 WORK COMPLETED *6/2/69*
 TOTAL NO. INSPECTIONS
 REMARKS:

FEEs FOR WIRING PERMITS EFFECTIVE JULY 31, 1968

WIRING	
1 to 30 Outlets	\$ 2.00
31 to 60 Outlets	3.00
Over 60 Outlets, each Outlet	.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).	
SERVICES	
Single Phase	2.00
Three Phase	4.00
MOTORS	
Not exceeding 50 H.P.	3.00
Over 50 H.P.	4.00
HEATING UNITS	
Domestic (Oil)	2.00
Commercial (Oil)	4.00
Electric Heat (Each Room)	.75
APPLIANCES	
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit	1.50
MISCELLANEOUS	
Temporary Service, Single Phase	1.00
Temporary Service, Three Phase	2.00
Circuses, Carnivals, Fairs, etc.	10.00
Meters, relocate	1.00
Distribution Cabinet or panel, per unit	2.00
Transformers, per unit	2.00
Air Conditioners, per unit	2.00

Spans, per unit

CITY OF PORTLAND, MAINE

Application for Permit to Install Wires

Permit No. 54482

Issued

Portland, Maine

Dec 3, 1965

To the City Electrician, Portland, Maine.

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address Pancake Kitchen Tel. 7994105

Contractor's Name and Address Murray Bros. Capelton

Location 612 Congress St Use of Building Restaurant

Number of Families Apartments Stores Number of Stories

Description of Wiring: New Work Additions Alterations

rate and reroute wires for partition removal

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)

No. Light Outlets Plugs Light Circuits Plug Circuits

FIXTURES: No. Light Switches Fluor. or Strip Lighting (No. feet)

SERVICE: Pipe Cable Underground No. of Wires Size

METERS: Relocated Added Total No. Meters

MOTORS: Number Phase H. P. Amps Volts Starter

EATING UNITS: Domestic (Oil) No. Motors Phase H.P.

Commercial (Oil) No. Motors Phase H.P.

Electric Heat (No. of Rooms)

LIANCES: No. Ranges Watts Brand Feeds (Size and No.)

Elcc. Heaters Watts

Miscellaneous Watts Extra Circuits or Panels

ormers Air Conditioners (No. Units) Signs (No. Units)

mmence Dec 3, 1965 Ready to cover in Dec 6, 1965 Inspection 19

of Fee \$ 12.00

Signed Roger M. Murray

DO NOT WRITE BELOW THIS LINE

METER GROUND

2 3 4 5 6

7 8 9 10 11 12

INSPECTED BY FW Herbert

(OVER)

LOCATION *Congress St 1212*
 INSPECTION DATE *12/16/65*
 WORK COMPLETED *12/16/65*
 TOTAL NO INSPECTIONS *1*
 REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1968

WIRING

1 to 30 Outlets (including switches) \$ 2.00
 31 to 60 Outlets (including switches) 3.00
 Over 60 Outlets, each Outlet (including switches) 4.00
 (Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 3.00
 Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 2.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (oil) 1.50
 Commercial (oil)
 Electric Heat (each Room)

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters (disposal, dish-
 washers, etc. - Each Unit 1.00

TEMPORARY WORK (limited to 6 months from date of permit)

Service, Single Phase 1.00
 Service, Three Phase 1.00
 Wiring, 150 Outlets .02
 Wiring, each additional outlet over 50 10.00
 Circuits, Canvases, Pairs, etc. .00

MISCELLANEOUS

Die Union Cabinet or Panel, per unit 2.00
 Permits, per unit 2.00



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1
Portland, Maine, September 27, 1954

PERMIT ISSUED

SEP 30 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 54/1549 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 612 Congress St. Within Fire Limits? yes Dist. No. 1
Owner's name and address David Schwartz & Son, 602 Congress St. Telephone
Lessee's name and address Sam Serota, 125 Morning St. Telephone 3-1505
Contractor's name and address Plans filed yes No. of sheets 1
Architect Stores and offices No. families
Proposed use of building " No. families
Last use Additional fee 50
Increased cost of work 250

Description of Proposed Work

To construct balcony rear of store 7'6"x19' to be used for office space, as per plan

Permit Issued with Memo

Details of New Work Sam Serota

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof

Approved:

with memo by AGS

Signature of Owner

By:

Approved:

Sam Serota
Inspector of Buildings

INSPECTION COPY

C-10-154-SC-Marks

Memorandum from Department of Building Inspection, Portland, Maine

612 Congress St. - Amendment #1 to construct balcony in building for David Schwartz & Son by Sam Serota - 9/30/54

Amendment #1 to permit #54/1549 for construction of a balcony for office use in rear of store at above location is issued herewith subject to the condition that supports are to be provided down to the ground in the crawl space beneath first floor directly under the points where the posts carrying the framing of new balcony are located.

AJS/G

Copy to: David Schwartz & Son
602 Congress St.

(Signed) Warren McDonald
Inspector of Buildings



G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, September 25, 1954

PERMIT ISSUED

01543
SEP 24 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 612 Congress St. Within Fire Limits? yes Dist. No. 1
Owner's name and address David Schwartz & Son, 602 Congress St. Telephone 3-4161
Lessee's name and address _____ Telephone _____
Contractor's name and address Sam Serota, 125 Morning St. Telephone 3-5105
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building stores and offices No. families _____
Last use _____ " No. families _____
Material brick No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 4.00
Estimated cost \$ 600.

General Description of New Work

To change existing store front as per plan.

Permit Issued with Letter

**CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED**

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Serota

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes David Schwartz & Son

APPROVED

with letter by Agel

By:

Sam Serota

Signature of owner

INSPECTION COPY

HARRY M. SHWARTZ, PRESIDENT

TELEPHONE 3-4161

SIDNEY P. SHW

INDUSTRIAL
RESIDENTIAL
APPRAISALS
PROPERTY MANAGEMENT

DAVID SHWARTZ & SONS, INC.
REAL ESTATE
602 CONGRESS STREET
PORTLAND 3, MAINE

February 18, 1955

*allow to check
give
mm 2/21/55*

*OK- allow
2/21/55*

Mr. Warren McDonald, Inspector of Buildings
City Hall
Portland, Maine

Dear Mr. McDonald:

We wish to acknowledge receipt of copy of our letter to Mr. Sam Serota, with reference to the vestibule lockset for entrance door at #612 Congress Street.

Mr. Serota was informed of the required change last October and promised a number of times that the matter would have his prompt attention. We have again been in touch with him and have been advised that the lockset has been changed to comply with the code requirements.

We regret very much that he did not promptly attend to same, and assure you he was instructed by the writer to change the lock last fall.

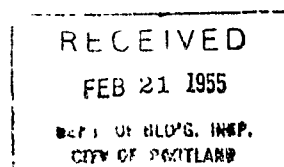
Very truly yours,

DAVID SHWARTZ & SONS, INC.

By

Sidney P. Shwartz

SPS:nd



AAS 2/17/55

BP 612 Congress St.—Alterations of store and violation
of the Building Code in connection therewith

February 10, 1955

Mr. Sam Serota
125 Morning St.
David Schwartz & Son
602 Congress St.

Gentlemen:

It is important that the vestibule lockset required for the entrance door of this store be provided before February 17. This situation constitutes a violation of the Building Code and the fruitless efforts of our inspector since last September 24, when contractor and owner were both notified by letter that the vestibule latchset was required, are quite beyond belief, if the usual protestations of cooperation with this department and desire to comply with the law mean anything at all.

Our record shows that Inspector Soule called this situation and requirement to the attention of Mr. Serota on October 15, of Mr. Schwartz on October 22, and of the proprietor of the store on January 3. He received various assurances that the law would be complied with, but on January 3 it had not been.

Perhaps it has been fixed since that date. If so this office should be notified at once. If not, the situation should be corrected as above and Mr. Serota should notify this office that it is finished.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/B

HA

September 24, 1954

AP - 612 Congress Street

Contractor—^OSam Serota Owner—^CDavid Schwartz & Son Architect—^CWm. B. Millward
125 Morning St. 602 Congress St. 48 Fessenden St.

Building permit for alterations to the store front at the above location is issued herewith based on plan filed with the application for permit but subject to the following conditions:-

- unless new concrete slab at entrance is to rest directly on the ground, information is to be furnished as to how it is to be supported before this part of the work is started, and an amendment to this permit is to be secured for the changed construction.
- all of the new woodwork filling in the space above the new show windows, including the wood beam at the bottom, is to be covered inside and outside with plaster or stucco on metal lath.
- if awning bar is to be provided, it is required to be at such a height that no part of the awning when in the lowered position will be closer than seven feet to the sidewalk.
- new front entrance door is to be equipped with a vestibule latch without ^{or has} locks of any other kind, so that a person may leave the store at any time, even though the door is locked against entrance from the outside, merely by turning the usual knob or by pressure on the ordinary thumb lever.
- the new entrance door need not swing outward as shown unless there will be more than 50 people in the store at any one time.

Warren McDonald
Inspector of Buildings

MS/G



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine,

PERMIT-158050

00546

234 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

302-0B

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 612 Congress St. Use of Building dwelling No. Stories 2 New Building
Name and address of owner of appliance Edw. M. Finks 612 Congress St. Existing "
Installer's name and address Ballard Oil & Equip. Co. 135 Marginal Telephone 2-1991

General Description of Work

To install 1 - Case - EB-1 fully-automatic oil burner for
existing steam

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner 1 - Case - EB-1 Labelled by underwriters' laboratories? yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner Cement
Location of oil storage Basement Number and capacity of tanks 2 - 275 gals
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? yes How many tanks fire proofed? none
No other tanks in cellar

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 3-31-47 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer

Ballard Oil & Equip. Co.
L. J. [Signature]

Permit No. 471546
Location 612 Congress
Owner Edw. M. Fink
Date of permit 4/1/41
Approved 6-19-47 AFM

NOTES

~~1. ✓~~
2. ✓
3. ✓
4. ✓
5. ✓
6. ✓
7. ✓
8. ✓
9. ✓
10. ✓
11. ✓
12. ✓
13. ✓
14. ✓
15. ✓
16. ✓
17. ✓
18. ✓

7-26-47 Being installed
AFM

Rept. 3206D-I

May 27, 1943

Mr. Hugh Murray,
439 Congress Street,
Portland, Maine

Subject: Application for building permit
to cover partitioning off small room in
cellar for cleaning hats at 612 Congress St.

Dear Sir:

Your application in the name of Edward Finks for building permit as above has been returned from the Chief of the Fire Department marked: "Not approved; proper ventilation cannot be provided for cleaning room located in basement."

Since receiving this note from Chief Sanborn, I have talked with him about the matter, and I understand that Mr. Finks was to investigate some method of ventilating this room and present it to the Chief for his approval.

When I was at the building two or three weeks ago talking with Mr. Finks, I explained to him the need of ventilating this small room not only to eliminate fire hazard, but to prevent toxic effects from the cleaning compound upon the person in the room. From the fire hazard standpoint since this room is proposed to be partitioned off really in the boiler room, it would be far better if the only door leading to the room were from the outside of the building. I also called Mr. Finks' attention to the fact of the extreme hazard of cleaning hats on the bench where he has been cleaning them using Naphtha at times because this spot is only a few feet from an instantaneous hot water heater serving the barber shop. He said that he would refrain from cleaning hats in this location until a safer method could be found. We are particularly concerned about the safety of the persons in the apartments overhead.

The status of the proposed new apartment in the front of the second story is that you left the office, after talking with Mr. Sears, and were to talk the matter over with Mr. Finks and give us some new and legal method of venting the small room in which no window is shown on the plan, complete details of the outside stairway, its fastenings to the wall and the railing or barrier from the two fire escapes to the top of the stairway which leads from the roof of the building next door to the ground.

I hope that we may be able to get both permits straightened out without much further ado, as Mr. Finks is trying hard to get things right, and it is a fact that the additional apartment will help to a small extent to relieve the housing shortage.

Very truly yours,

W McD/H

Inspector of Buildings

CC: Edward Finks,
612 Congress St.

Herman B. Libby
40 Exchange St.

Rept. 2007B-I

May 7, 1943

Mr. Hugh Murray,
459 Congress Street,
Portland, Maine

Subject: Application for building permit to
provide additional apartments in second
story

Dear Sir:

I am unable to issue the building permit based on the plans as they now are for the reasons given below. Because this work has been delayed for so long and the need of the new apartment is apparent, I am willing to depart from our usual procedure in this particular case only to the extent of accepting marking up of the same plans in this office to show sufficient information to indicate full compliance with Building Code requirements. Mr. Lane is receiving a copy of this letter and I assume that he is willing for you to make the few changes on the prints here in the office necessary to get the permit issued. If not I take it that he will tell you so. Of course if everyone prefers it that way, the best way is for him to revise his tracings and get new prints to be filed here. That, of course, will take longer. If you decide to mark up the prints that we have, you should get the extra print of the plan which Mr. Finks has, do your marking up on it first and then make identical marks on the prints which we have on file here, so that we will feel assured that you have the same information that we have.

1. There must be an outside window which can be opened and which is no less than 11 square feet in area in the outside wall of the proposed dining room. Apparently there is no reason why such a window could not be introduced between the fireplace and the partition between dining room and chamber. The new window shown in the chamber may be omitted if desired.

2. Mr. Finks says the vent for the proposed kitchenette is to run along the ceiling of the living room and then up through the roof by the Congress Street wall. The vent is shown on the plan in the partition between the kitchenette and the hallway. Show this correctly, show the size of the vent (no less than 50 square inches) and the material of which you intend to make it.

3. Show complete details of the framing of the new outside platform and stairs used as a fire escape, showing the size and location, spacing and spans of all framing members including the uprights and how they will be supported upon the roof, the rise and tread of the steps and the width of them and the platform; also the fact that the nosing of the top step will be at least nine inches beyond the window jamb toward the rear, that the platform will extend at least nine inches beyond the other window jamb and that the floor of the platform will be no more than one foot below the window sill. In this connection it must be borne in mind that this window to comply with the law for an exit to a fire escape must afford an opening to the fire escape, when the lower sash is up, no less than 24 inches wide nor less than 28 inches high. If the window does not afford an opening that large, when bottom sash is open, it may be made into a casement sash, with the entire sash swinging like a door. In that case it would have to afford an opening at least 24 inches wide and at least 36 inches high. Also there must be shown on the plan and provided a substantial permanent guard rail of some character to guide persons using the fire escape to the top of the wooden stairs leading to the ground, so there will be no possibility of their falling off the roof. Since there is already a fire escape on the next building landing on the roof very close to where

Mr. Hugh Murray-----2

May 7, 1943

the new one will land, this railing should be provided on the foot of the present fire escape, and some arrangement made so that persons getting out of the windows at the second floor level of the next building (Schwartz property) could also use the wooden stairway and be guided to it without danger of falling off the roof. I presume Mr. Finks will want to talk this arrangement over with Mr. Schwartz. Please show the size of window opening to the fire escape which will be afforded, I mean show it on the plan.

Very truly yours,

FWCH/H

Inspector of Buildings

CC: Calvin Lane
37 Casco Street

Herman B. Libby
40 Exchange Street

Edward Finks
612 Congress St.

X Dear Mr. Finks: There are some features which you will take care of yourself without reference to architect or builder. We talked over the matter of hat cleaning which is now located at the foot of the inside collar stairs not far from a instantaneous gas-fired hot water heater which serves the barber shop. I explained to you the hazards of that arrangement, and I understand that hats will not be cleaned there any more. You have been planning a place for hat cleaning in the rear of the boiler room, and I also explained to you the hazard in case an inflammable solvent were used in the boiler room. We talked about providing a small room near the rear window in the boiler room enclosed with tight partitions with a self-closing door on it and the threshold at the door raised at least six inches above the floor of the little cleaning room, the door to be self-closing in the sense that it would be normally closed and kept closed by a suitable device. I explained to you also the hazard of using a cleaner like carbon tetrachloride in such a closed room without adequate circulation of air as being dangerous to the one using it. If you decide to build this little room, it should be covered with a permit (an approved amendment to this permit will be sufficient, but must be approved by the Chief of the Fire Department), and a sketch should be filed showing the location of the room, the details of the door and threshold and the provisions to be made for ventilating the room.

The gas-fired hot water heater mentioned above is not vented and a vent in accordance with law should be provided without delay. These instantaneous water heaters produce a quick and intense heat and care must be taken to locate the vent and construct it of such material as to avoid fire hazard. With relation to the proposed heater for hot water in the new apartment and in the present apartments they should all be vented to the outside air as required by law (Section 601-a-3.1 and a-3.4 of the Building Code).

In the original application for the permit it has been indicated a cost of \$150. No doubt the other developments will put this cost up considerably higher at least to \$200., probably more. There comes up the question of compliance with Conservation Order L-41 of War Production Board. I know that you have signed a post card here saying that you wished us to issue the permit although you knew that we must report the job to War Production Board on the same day that we issue it. Will you have Mr. Murray give the total cost on the application for the permit including any work that

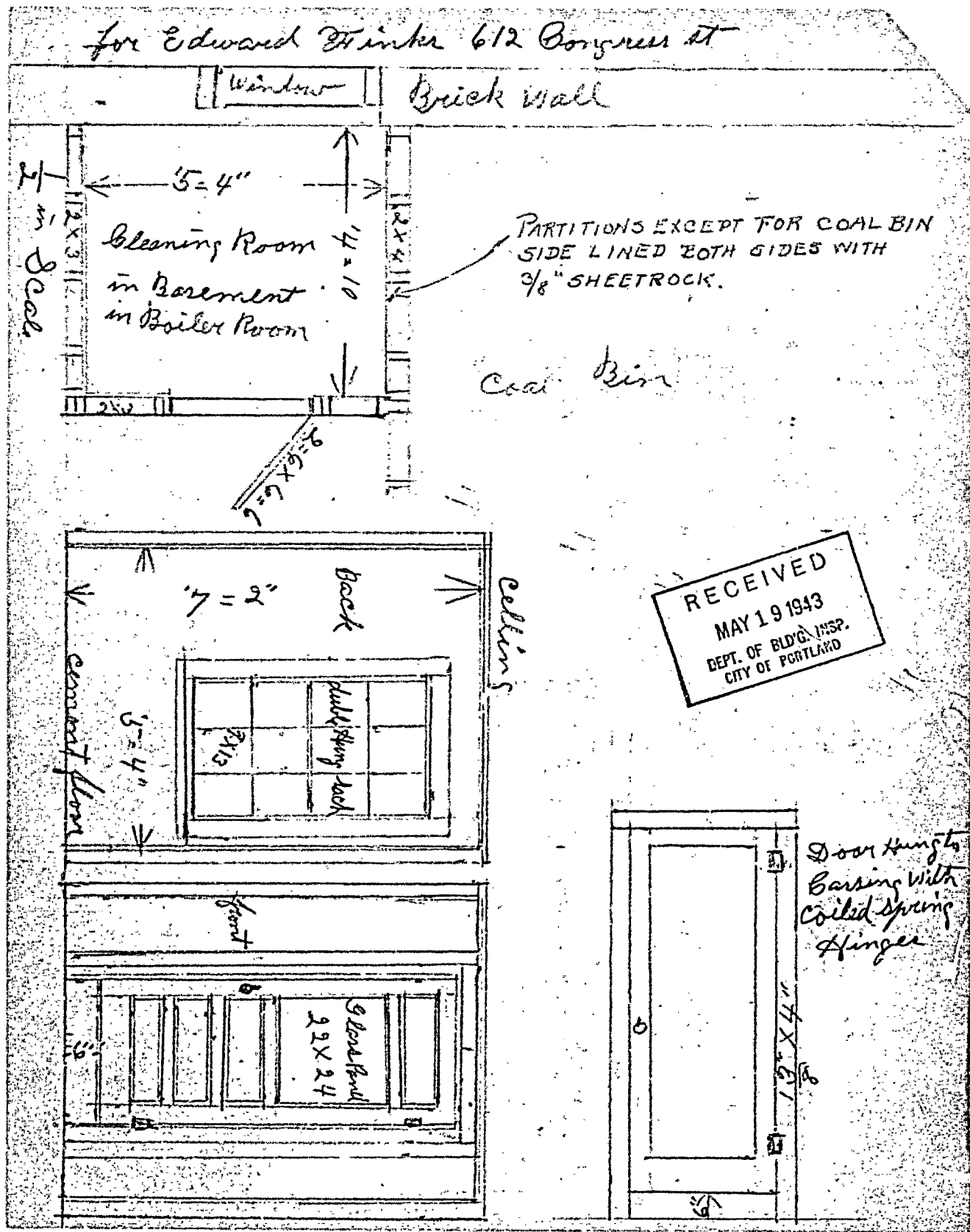
May 7, 1943

Mr. Hugh Murray-----2

Mr. Edward Finks--

you are to go outside of his, and I suggest that either you or he see the War
Production Board at 14. High Street and get straightened out before you actually
start the work. For one thing unless you already have them, you may require some
kind of priorities for critical materials such as the material for the vent duct.

Harren McDonald
Inspector of Buildings





APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Second Class

JUN 9 1943

Portland, Maine, May 19, 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 612 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or lessee's name and address Edward Finks, 612 Congress St. Telephone _____
Contractor's name and address Hugh Murray, 439 Congress St. Telephone 3-2739
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Store and apartments No. families 4
Other buildings on same lot _____
Estimated cost \$ 30. Fee \$.50

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Last use store, shop and apartments No. families 4

General Description of New Work

To partition off room app. 4'10" x 5'4" in basement of building for cleaning hats
2x4 studs, 16" OC covered on both sides with sheet rock
6" raised threshold - self-closing door
Ventilating fan to be provided in lower sash of window

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber-Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

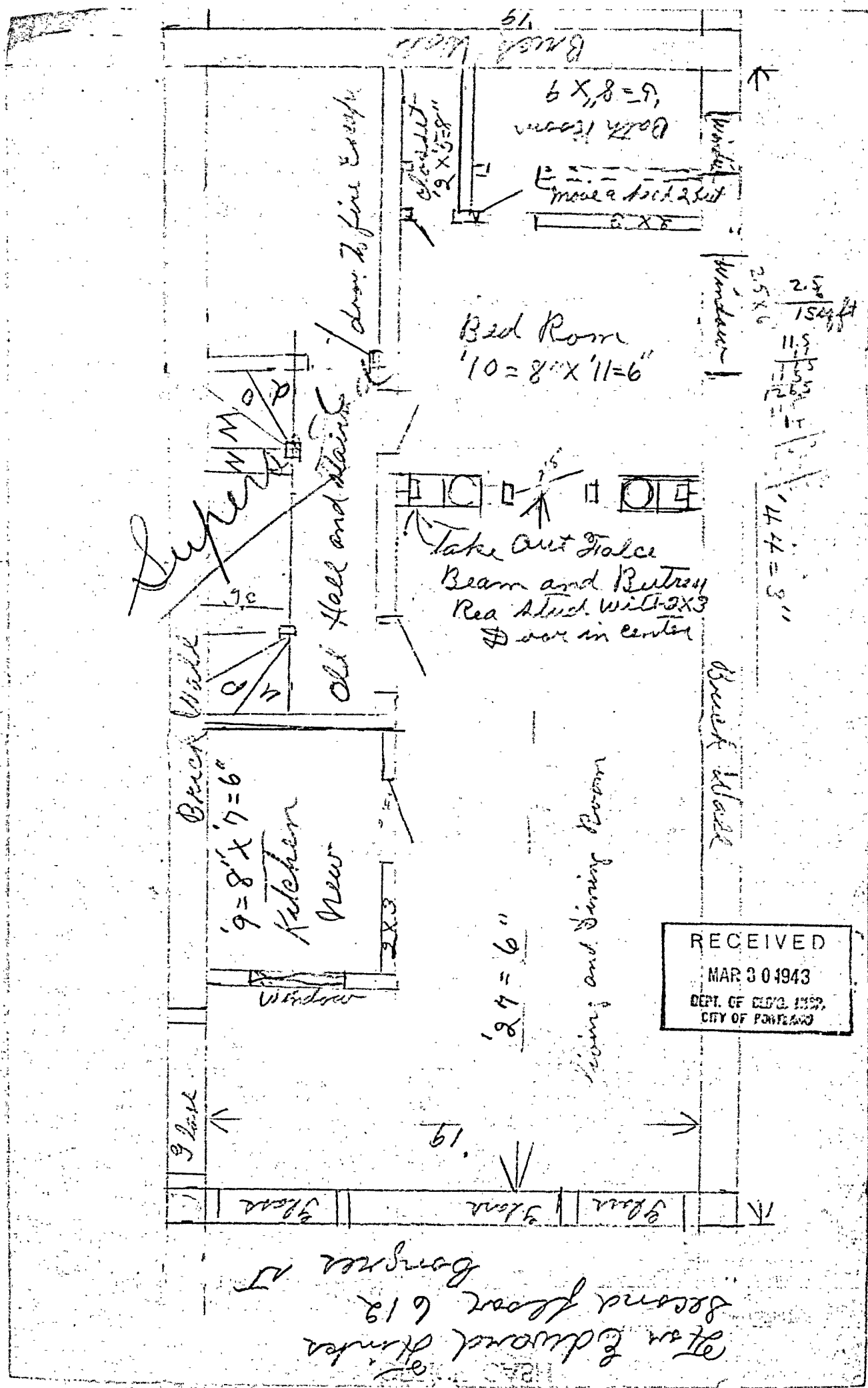
Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Signature of owner By Edward Finks
Hugh Murray

INSPECTION COPY

NOTES

7/9/43 - Work on the car.



Warren McDonald
Inspector of Buildings

March 30, 1943

Dear Sir:

Having a full understanding of the application of
FEDERAL WAR PRODUCTION BOARD CONSERVATION ORDER L -41 to the
construction work which I propose at 612 Congress St.
in the City of Portland, I DESIRE THAT YOU ISSUE THE
BUILDING PERMIT to cover that work.

Edward Linker

Alterations to Building of Edward Finks at

612 Congress Street
4/1/43

zoning: - C.R. - There are now 5 apartments in building beside the store in first story.
 Building Code: -

Section 203-d-5, 1 - Rear wall of combination living and dining room is 27.5' from windows. Since window heads are 8' above floor, the maximum allowable distance is $3 \times 8' = 24'$?

Section 203-e-1 - The door at the head of the stairs, marked "d" door to rear of building, leads into another apartment. There is a glass panel in this door marked with red letters to read "exit" in case of fire. The window sill of window in proposed new room is about 7' above flat roof of adjoining building from which wooden stairs lead to ground. ?

Section 212-d-1, 2 - Inside kitchenette will have to be vented thru roof. I talked with Mr. Finks about this. ?

General: -

The show windows in the combination living and dining room extend down to a point even with the floor and have operative transoms over them. I told Mr. Finks that I thought that a solid, protective partition or fence the height of an ordinary window sill would have to be built across these windows. As conditions exist, if anyone should fall against window in any way they would drop directly onto Congress Street sidewalk. ?

✓ Alterations to Building of Edward Funks at

612 Congress St
4/30/43

✓ Check of Revised Plan received 4/29/43

✓ 1.- No outside window in room marked dining room. Cannot new window in chamber be located in wall of dining room? This dining room cannot be counted as an alcove as opening in partition is not 60% of area of dividing partition and rear wall of alcove is more than 3 times the height of window head in one floor from windows in adjoining room.

✓ 2.- Size of entrance room considerable not indicated.

✓ 3.- No details of framing of fire escape stairs as regards rise & bread^{on roof} etc. How about guard rail leading to top of stairs to ground? Size of window leading to fire escape should be indicated.

✓ 4.- How about enclosure of cellar stairs?

Rept. 00071-I

April 2, 1943

Mr. Edward Tinks,
612 Congress Street,
Portland, Maine

Subject: Application for building permit to
cover alterations at 612 Congress Street
to provide additional apartment in the
front of the second story

Dear Sir:

I am unable to issue the above permit because the arrangement would not provide two safe exits in compliance with the law from the new apartment and because there are a number of details about the plan and the proposed arrangement which would not comply with the Building Code. The matter of exits will be a difficult one to solve, in fact I do not know how it can be done. The others, however, are mostly a matter of understanding what is required and showing the entire arrangement properly on the plan.

It will be necessary to file a plan of the entire second floor to scale, made by a man who understands such work and can check the layout against the Building Code requirements before filing the plans here. The plan should be a blueprint with all of the information on it printed from the original, so that we may be sure that all concerned have a copy of the same information filed here.

It appears that Mr. Murray has, perhaps inadvertently, given us the wrong information as to occupancy of the building. His application says that the building is now being used for only one family and that after the changes it will be used by two families. Our inspector reports that there are now ~~five~~ 4 apartments in the building besides the store in the first story. If that is the case the new apartment would make ~~five~~ six. Please correct this information on the application.

The second means of egress from the proposed apartment is through a door which may be locked into an apartment of others and thence to the rear fire escape. Though the door leading to this other apartment is marked "door to fire escape", this door is capable of being locked and probably would be locked in case of emergency so that occupants of the front apartment could not get through to reach the fire escape in case fire were travelling the front stairs. Such an arrangement is contrary to Sections 203-e-1 and 212-e-1.4 of the Building Code. Neither can the proposition of leaving the new apartment by a bedroom window, dropping to the flat roof of the adjoining building and thence to a wooden stairs from that roof to the ground, be counted as a safe exit.

The rear wall of the combination living and dining room is shown 17 feet six inches from the front windows and the heads of those windows are eight feet above the floor. According to Section 203-d-5.1 of the Building Code this rear wall must not be more than three times the window head height or 24 feet. If you should decide to move the partition at the rear of this combination room three feet and six inches closer to Congress Street, you would thus increase the floor area of the bedroom so that the window in the bedroom would be somewhat less in area than the 10 per cent of the floor area of the room which is required. See Section 203-d-5.2.

The kitchenette of the proposed apartment has no exterior windows in it and therefore would have to be vented through the roof of the building to satisfy Section 212-d-1.2. Note that the cross sectional area of such a duct through

Mr. Edward Finks—

April 8, 1943

the roof would have to be at least 50 square inches if ventilation is by gravity and the duct must be of incombustible material.

The former show windows which will be used to light the combination front room of the proposed apartment extend downwards practically to the floor level. It would be necessary to provide some substantial barrier from the floor up to about the normal window sill height to prevent possibility of persons in the apartment plunging through the glass onto the Congress Street sidewalk, not only injuring themselves but perhaps persons on the sidewalk.

It is not lawful to start any of this work until the permit card is actually in your possession and posted on the premises, and it is not lawful to occupy these rooms as a separate apartment until all requirements of law have been met.

Very truly yours,

WCD/H

Inspector of Buildings

CC: Hugh Murray
439 Congress St.



APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Second Class

Permit No. _____

JUN 4 1953

Portland, Maine, March 20, 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect, alter, install, the following building structure, equipment, in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 612 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Edward Finks, 612 Congress Street Telephone _____
Contractor's name and address Hugh Murray, 139 Congress St. Telephone 3-2007
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building store and apartments No. families 5
Other buildings on same lot 613/45
Estimated cost \$ 100.350. Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 3 Heat steam Style of roof flat Roofing T&G
Last use Store, shop and apartment No. families 4

General Description of New Work

To finish off second floor of building for an apartment of two rooms kitchenette and bath
To ~~move 9" partition 21" to enlarge~~ existing room in rear for bath room (non-bearing)
new partitions 2x4 studs, 16" OC sheat rock
6/3/43 - To erect non-bearing partitions to provide closet space
To provide wooden fire escape leading to flat roof of one story building, thence
to ground by existing fire escape

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? yes Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Edward Finks
Hugh Murray

[illegible]

3/30/43 1/2 PB letter to ...
 4/2/43 P.M.
 4/2/43 ...
 4/2/43 ...
 6/19/43 ...
 6/25/43 ...
 7/9/43 ...
 7/16/43 ...
 8/27/43 ...
 8/27/43 ...
 8/27/43 ...

PHONE, DIAL 3-8803

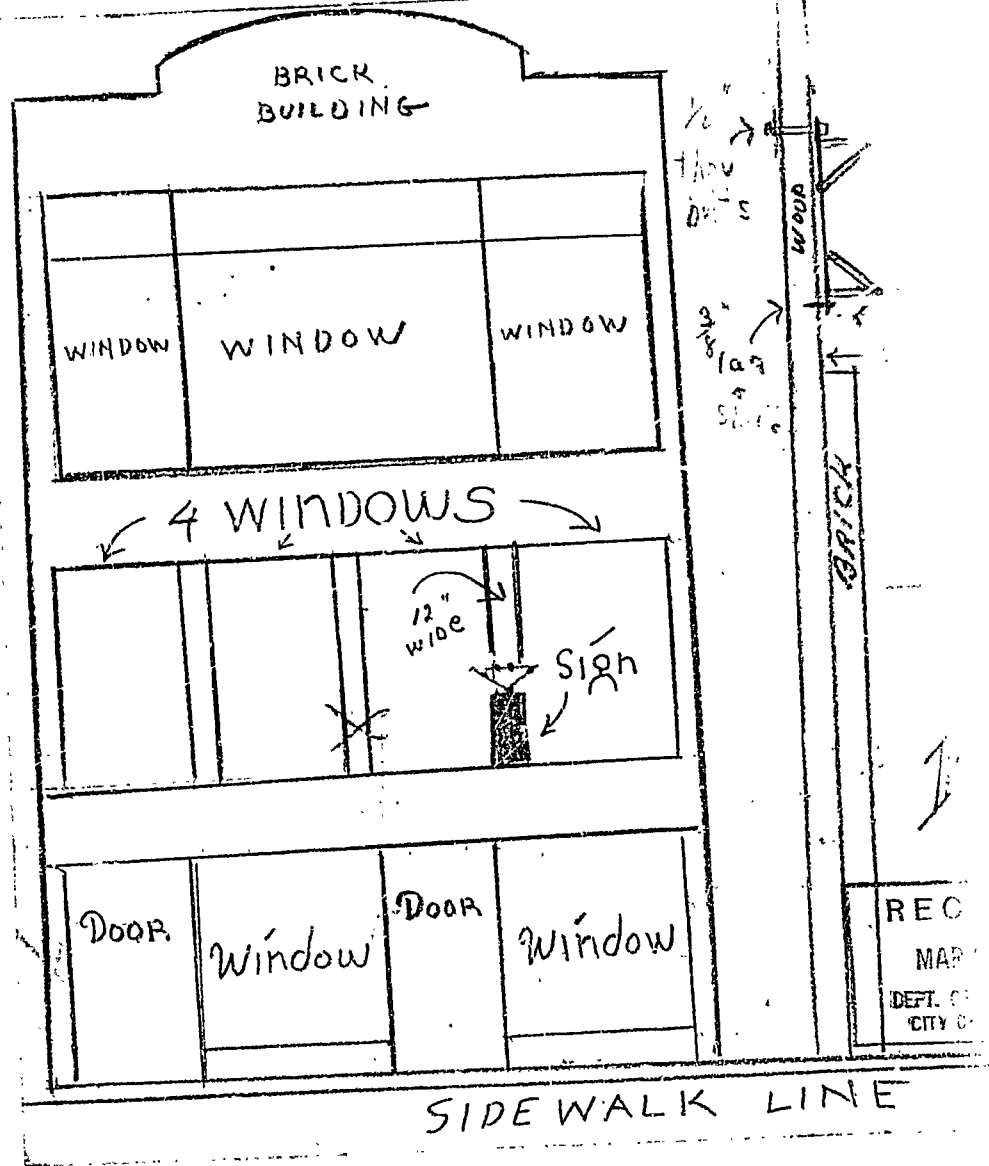
John D. Creeden
NEON SIGNS
210 Walton St., Portland, Maine

March 19, 1941

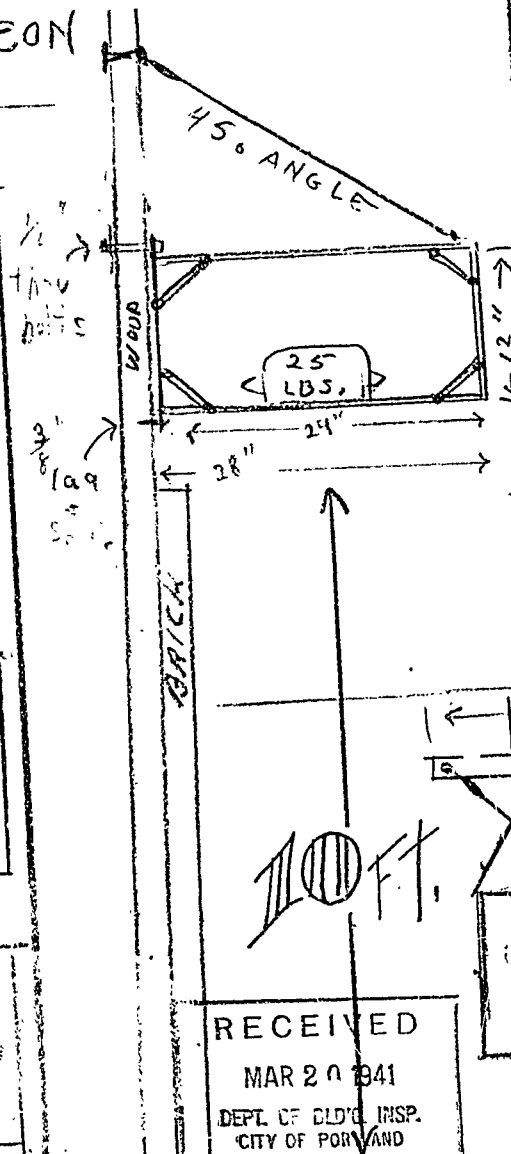
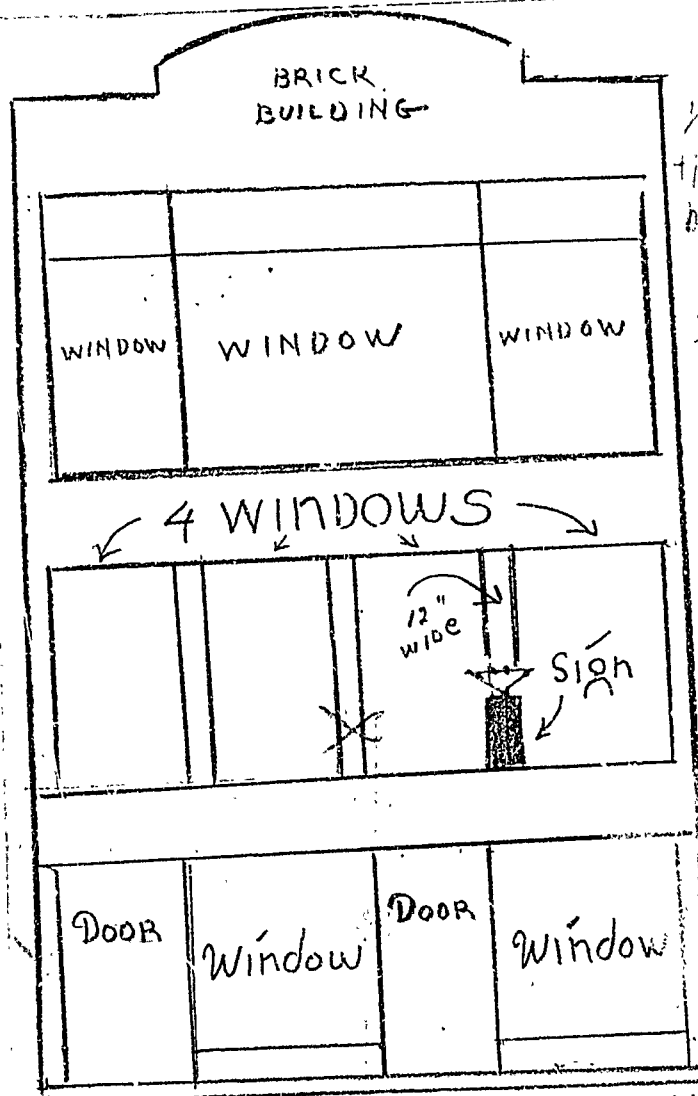
Sold to

Permission to erect a neon
sign 24 inches long x 18 inches
high on Fink's Shoe Repairing
Establishment at 612 Congress St.
Residence of (Mrs.) Eleanor G. Crosby
Mrs. Horace G. Crosby.

John D. Creeden NEON
210 WALTON ST. CITY



John D. Creeden NEON
210 WALTON ST. CITY



SPEC.

26 GAUGE SHEET STEEL FACES
& SKIRTS

3/8" TURNBUCKLES & CABLES

1 1/2 x 1 1/2 x 3/16" ANGLE

3/8 BOLTS IN SIGN FRAME

TRANSFORMER FASTENED DIRECT
TO SIGN FRAME

SKIRT BOLTED TO SIGN FRAME

2 THRU BOLTS ON TOP LEG
SIZE 7 x 1/2 INCHES

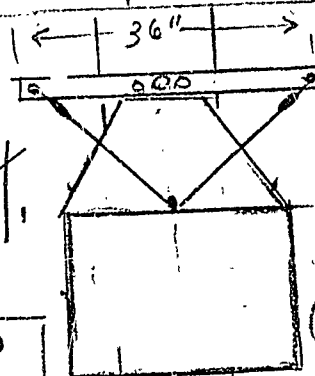
3/8 BOTTOM LEG LAG

WEIGHT 65 LBS

MAX. PROJECTION 28"

MAX. PROJECTION 24" OVER
SIDE WALL

2-7 x 1/2" THRU BOLTS IN 1 1/2 x 1 1/2 x 5/16
ANGLE UPLIFT-SWAY ARM



(To be)
Erected
AT
FINK'S
612 CONGRESS
CITY

RECEIVED

MAR 20 1941

DEPT. OF BLDG. INSP.
CITY OF PORTLAND

(G) GENERAL BUSINESS ZONE

PERMIT ISSUED



APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 1343
MAR 22 1941

Portland, Maine, March 20, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME:

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 612 Congress Street Within Fire Limits yes Dist. No. 1
Owner of building to which sign is to be attached Mrs. Horace B. Crosby
Name and address of owner of sign Finks Shoe Repairing Co., 612 Congress
Contractor's name and address John D. Croeden, 210 Walton St. Telephone 3-8803
When does contractor's bond expire? December, 1941

Information Concerning Building

Memorandum from Department of Building Inspection, Portland, Maine

612 Congress St.-Projecting sign for Finks Shoe Repairing Co. by John L. Croeden

March 22, 1941

To Owner of Building, Owner of Sign and Installer:

This is a small sign, but there is some question of the character and stability of the wooden post between two sections of the glass transom, upon which, it appears the entire support of the sign is to depend.

The permit is given upon the condition that the installer make sure that this is a solid (not built up of several pieces) post, and that it is firmly secured both top and bottom. I also suggest if possible that the uplift guy be carried up high enough to be fastened to some substantial part of the building other than this post. It must be borne in mind that the force of the wind is a factor.

CC Finks Shoe Repairing Co., 612 Congress (Signed) Warren McDonald
Inspector of Buildings
Mrs. Horace B. Crosby

(G) GENERAL BUSINESS ZONE

Details of Sign and Connections			
No. stories	2	Material of wall to which sign is to be attached	wood
Electric?	yes	Vertical dimension after erection	2' 2"
Weight	65	lbs., Will there be any hollow spaces?	yes
Material of frame	angle iron	No. advertising faces	2
No. rigid connections	2	Are they fastened directly to frame of sign?	yes
No. through bolts	3	Size	3/8"
No. guys	3	material	steel
Minimum clear height above sidewalk or street	10'	Location, top or bottom	top
Maximum projection into street	2'	Size	3/8"
CHIEF OF FIRE DEPT. Signature of contractor		John P. Creeden	
INSPECTION COPY		Fee \$ 1.00	

Permit No. 41318

Location 622 Congress St.

Owner Franks Shuck Repairing Co.

Date of permit 3/22/41

Sign Contractor

Final Inspn. 5/12/41. O.K.

NOTES

3/22/41. Sign 27" over side
wall 33" from the curb
checked at this height.

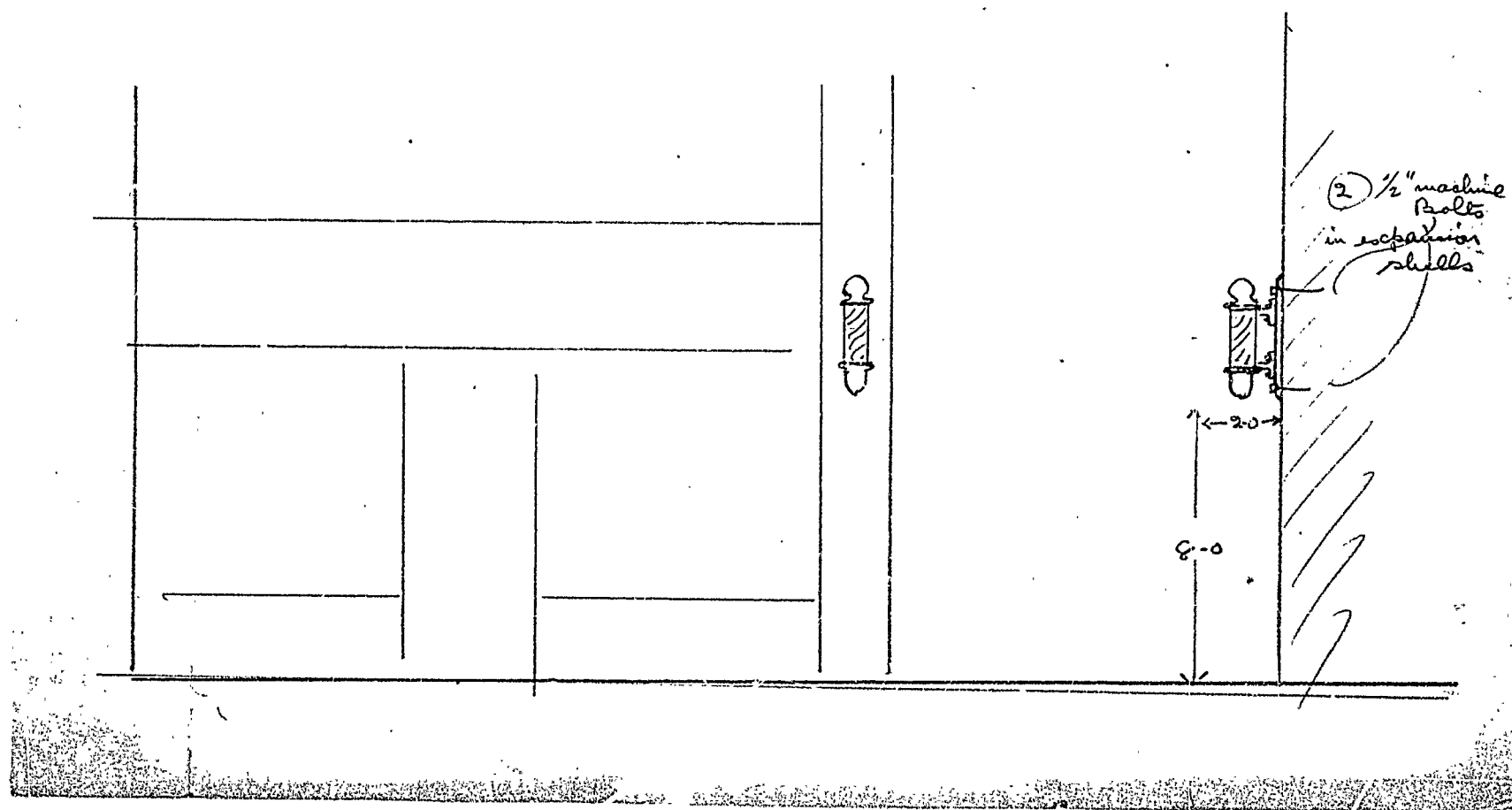
3/22/41. Checked this over
with Mr. Cruden and
it was originally checked
by Mr. Cruden and
found it within the allowable
height.

4/2/41. Checked and found O.K.
5/12/41. Mr. Cruden has
moved this back toward
building this looks close
to 17" from curb 24" now
which could only be
positively checked by
definite street line
level plumb to O.K.

Illuminated Barber Pole for Vincent Lucariello
612 Congress St.

12/31/36

J.H. Middlebrook Signmaker





GENERAL BUSINESS ZONE PERMIT ISSUED
Permit No. 1008
APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Dec. 31, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 612 Congress St. Ward 5 Within Fire Limits? Yes Dist. No. 1
Owner of building to which sign is to be attached Mrs. E. B. Crosby
Name and address of owner of sign Vincent Incariello, 612 Congress St.
Contractor's name and address J. H. Middlebrook, 457 1/2 Congress St. Telephone 3-2312
When does contractor's bond expire? Jan. 18, 1937

Information Concerning Building

No. stories Three Material of wall to which sign is to be attached Wood Frame Work

Details of Sign and Connections

Illuminated Barber Pole Vertical dimension after erection 42" Horizontal 12"
Electric? Yes Weight 50 lbs., Will there be any hollow spaces? No Any rigid frame? Yes
Material of frame Wrought Iron No. advertising faces --- material ---
No. rigid connections Two Are they fastened directly to frame of sign? Yes
No. through bolts None Size --- Location, top or bottom ---
No. guys None material --- Size ---
Minimum clear height above sidewalk or street: 8-0
Maximum projection into street 2-0

John T. Sullivan
Signature of contractor

Signature of contractor

J. H. Middlebrook
Per. L.M.M.

Fee \$ ---

INSPECTION COPY

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WANTED

Ward 5 Permit No. 37/8
Loc 612 Congress St.
Owner Vincent Lucarella
Date of permit 1/4/37
Sign Contractor _____
Fil. pn. 1/25/37. ODE.

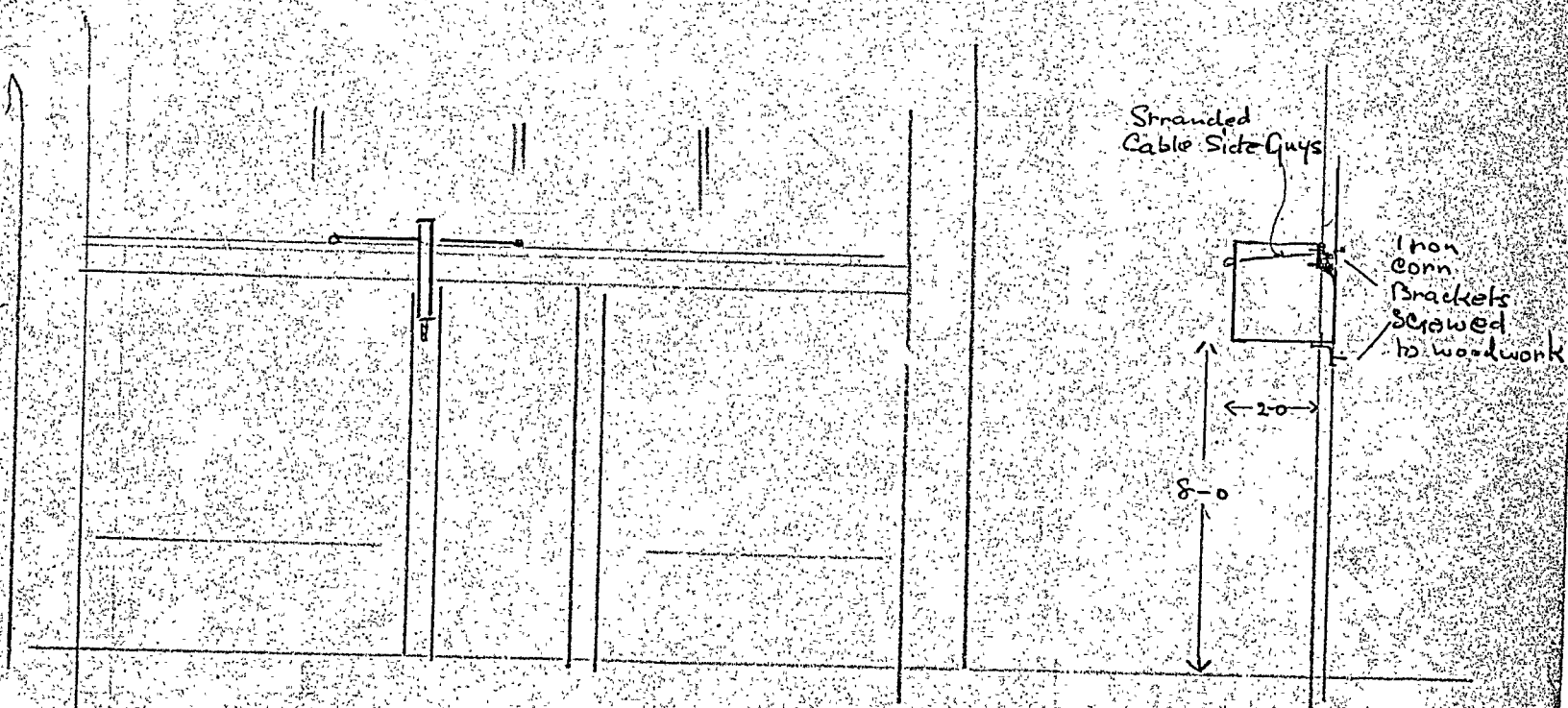
NOTES

~~1/11/37 Sign 6' tall low
on Middleboro. will
raise this pole. ODE.
1/25/37. Pole has been
raised. ODE.~~

Projecting Sign for Finks Shoe Rep. Co.
612 Congress St.

12/29/36

J. H. Middlebrook
Sign Hanger





(C) GENERAL BUSINESS ZONE

PERMIT ISSUED

Permit No. 2219

APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Dec. 29, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 612 Congress St. Ward 5 Within Fire Limits? Yes Dist. No.

Owner of building to which sign is to be attached Mrs. H. B. Crosby

Name and address of owner of sign Finke Shoe Repairing Co. 612 Congress St.

Contractor's name and address J. H. Middlebrook 487 1/2 Congress St. Telephone 5-312

When does contractor's bond expire? Jan. 18, 1937

Information Concerning Building

No. stories Three Material of wall to which sign is to be attached Wood Frame

Details of Sign and Connections

Electric? No. Vertical dimension after erection 24" Horizontal 26"

Weight 15 lbs., Will there be any hollow spaces? No Any rigid frame? Yes

Material of frame Wood No. advertising faces Two, material Iron

No. rigid connections Two Are they fastened directly to frame of sign? Yes

No. through bolts None, Size , Location, top or bottom

No. guys Two, material Gal. Stranded Wire, Size 3/16

Minimum clear height above sidewalk or street 8-0

Maximum projection into street 2-0

Fee \$ 1.00

Oliver D. Johnson

CHIEF OF FIRE DEPT.
INSPECTION COPY

Signature of contractor

J. H. Middlebrook
C. L. M. M.

Ward 5 Permit No. 36/2219

Location 612 Congress St.

Owner Jinks Shoe Repairing Co

Date of permit 12/30/36.

Sign Contractor

Final aspn. 1/9/37. C.B.

NOTES

1/9/37 This sign is about 10"
x 24" instead of as per plan
was moved from old
address thru door away.
C.B.



(C) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. 2121URB

Class of Building or Type of Structure Second Class

DEC 9 1936

Portland, Maine, December 8, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 612 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address E. Fink, 608 Congress St. Telephone _____
Contractor's name and address John Page, 12 Briggs Street Telephone 2-1745
Architect's name and address _____
Proposed use of building Stores and tenements No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ 75. Fee \$.50

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Last use Store, and tenements No. families _____

General Description of New Work

To bring existing recessed entrance out flush with sidewalk line, no structural change, door swings in, (former dress shop to be used for shoe repair shop)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

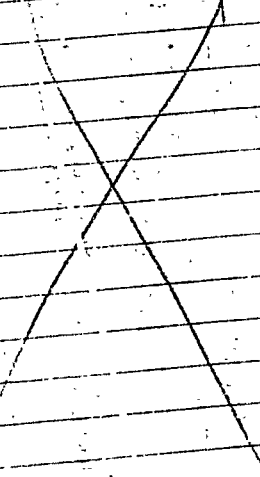
Signature of Lessee E. Fink By Michael Page

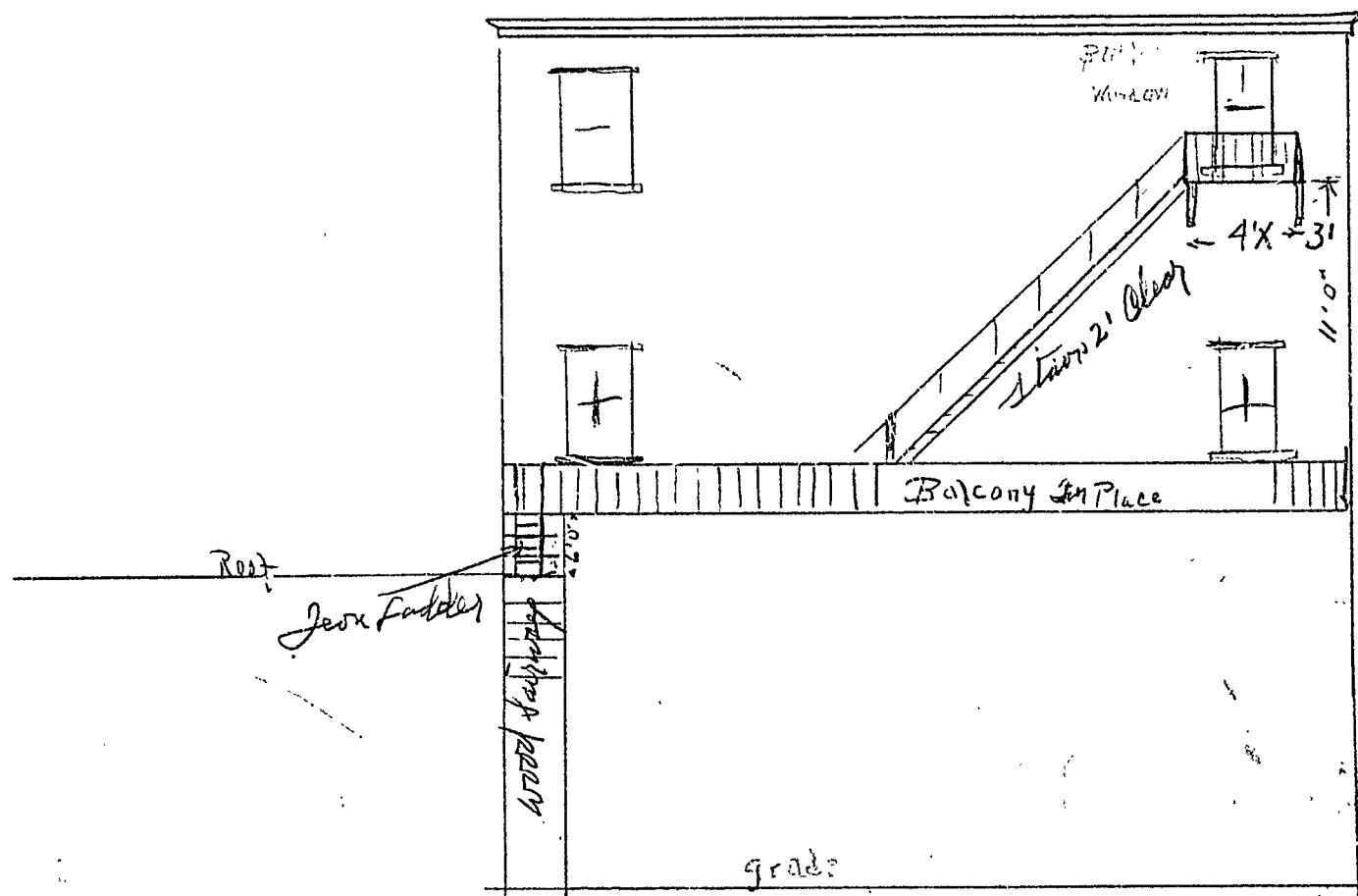
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54318

Ward 5 Permit No. 36/2121
Location 612 Congress St.
Owner E. Finkbe
Date of permit 12/9/36.
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 12/12/36
Cert. of Occupancy issued None

NOTES
12/12/36 - Work being
done - A.G.C.





Rear of Bldg at 612 Congress St
Mr Starr Trustee

by John T Oliver
57 Broad St



APPLICATION FOR PERMIT

Permit No.

0126

Class of Building or Type of Structure Second Class JAN 29 1935

Portland, Maine, January 28, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 612 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Herbert G. Starr, Agent, 10 Exeter St. Telephone _____
Contractor's name and address John T. Oliver, 57 Cross St. Telephone 4-1812
Architect's name and address _____ No. families _____
Proposed use of building Stores and tenements
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 75. Fee \$.50

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Last use Stores and tenements No. families _____

General Description of New Work

To erect metal fire escape from third floor to existing platform of fire escape at second floor level as per plan submitted

NOTIFICATION BEFORE LATE SECOND
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledge board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

Herbert G. Starr, Agent

INSPECTION COPY

Oliver T. Sanborn

CHIEF OF FIRE DEPT.

Ward 5 Permit No. 35/126

Location 612 Congress St.

Owner Herbert R. Starr, Jr.

Date of permit 1/29/35

Notif. closing-in

Inspn. closing-in

Final Notif.

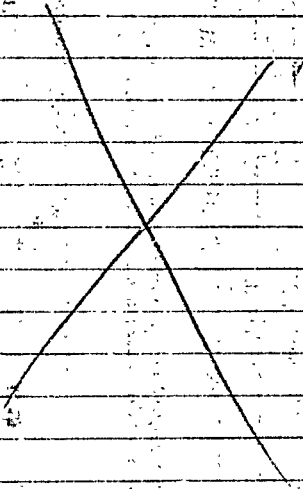
Final Inspn. 2/15/35

Cert. of Occupancy issued None

NOTES

2/5/35 - No work
done - A.G.S.

2/15/35 - Fire escape
erected - A.G.S.



(G) GENERAL BUSINESS ZONE



APPLICATION FOR PERMIT

Permit No. **0046**

JAN 14 1932

Class of Building or Type of Structure Sign

Portland, Maine, January 14, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 612 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Puritan Advertising Co. 142 High St. Telephone F 6183
Contractor's name and address Puritan Advertising Co. Telephone _____
Architect's name and address _____
Proposed use of building _____ No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ _____ Fee \$ 1.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To add border around entire sign - all work to be of incombustible material

NOTIFICATION TO SECURE LATHING
BY CLOSING IS WAIVED.
CERTIFICATE OF OCCUPANCY
IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
_____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Puritan Advertising Co.

By

W. B. Maloney

Ward 5 Permit No. 32/46
Location 612 Congress St.
Owner Puritan Ind. Co.
Date of permit 1/14/32.
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 1/14/32
Cert. of Occupancy issued None

NOTES

1/14/32 - P.I.F. - A.G.S.





City of Portland, Maine

Warren McDougal COMMITTEE ON SIGNS F. E. Sargent
JAMES A. BROWN, INSPECTOR OF BUILDINGS GEORGE HARRY CITY ELECTRICIAN
ALMUS BUTLER, CHIEF OF FIRE DEPARTMENT
Oliver P. Sæbø

OFFICE OF INSPECTOR OF BUILDINGS

July 22/26

191

This may certify that Eastern Electric Co
has permission to erect electric sign on 13 Forest Avenue Street,
maintain a 612 Congress
Ward 5

Provided said electric sign to be steadfast and free from oscillation, and not to extend over or
upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk,
and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars
to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.

All illuminated signs shall be constructed of metal.

For Committee on Signs.



City of Portland, Maine

WATSON EDON 1d COMMITTEE ON SIGNS I. H. MARGOAT
JAMES A. O'ROURKE, INSPECTOR OF BUILDINGS EDDIE W. HANBY, CITY ELETRICIAN
ALMUS D. BUTLER, CHIEF OF FIRE DEPARTMENT
OLIVER L. JO. D. EN.

OFFICE OF INSPECTOR OF BUILDINGS

July 22/26

191

This may certify that Eastern Electric Co
has permission to erect electric sign on 15 Forest Avenue Street,
maintain a 612 Congress
Ward 6

Provided said electric sign to be steadfast and free from oscillation, and not to extend over or
upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk,
and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars
to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.

All illuminated signs shall be constructed of metal.

For Committee on Signs.

5

64-4 Conger

Eastern Electric

July 29/20

X 1/8

OK 1/27

GEO. C. TAINSH

Commercial Signs

CARD, CLOTH,
WOOD, GLASS,
METAL AND

Electric Signs

TELEPHONE FOREST 4246



27 MONUMENT SQUARE
PORTLAND, MAINE

ESTABLISHED 1905

Out Door Advertising

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

Locations Secured

SKETCHES FURNISHED

July 22-1926.

Sign Committee,
Portland, Maine.
Gentlemen,-

We wish to secure permit for hanging two sided
electric transparency size 3' X 6' as per sketch submitted
for Eastern Electric Co., located at 612 Congress St.,
This is the sign formerly used by Sam'l Deering, Inc., at
13 Forest Ave.

GCT/AMT

Very truly,
G. C. Tainsh Sign Co.,

G. C. Tainsh

APPROVED

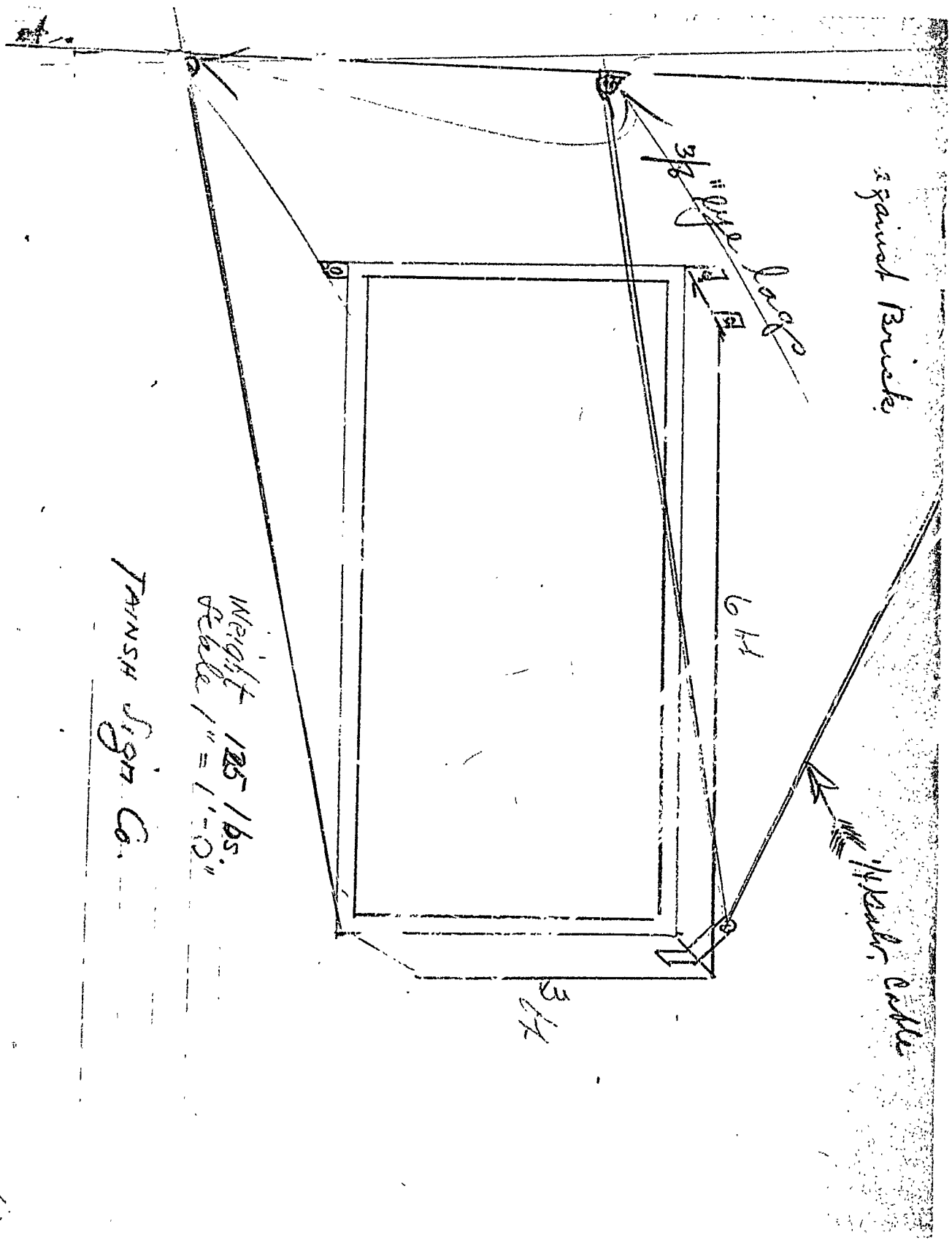
Oliver P. Sauborn

CHIEF OF FIRE DEPT

B. P. H.



MEMBER OF ASSOCIATED SIGN CRAFTERS OF NORTH AMERICA



Weight 125 lbs.
Scale 1" = 1'-0"

TAINSH Sign Co.