

614-10-1016 33 3241  
1965-1966

SHAW-WALKER

File: Rec. 7335B-I

August 4, 1936

State Realty Company,  
602 Congress Street,  
Portland, Maine

Gentlemen:

We are to-day issuing a permit for alterations including the enlargement of existing store at 616 Congress Street.

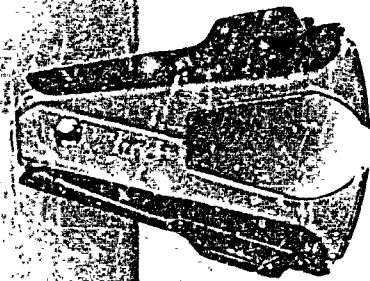
This permit is issued with the understanding that the existing rear exit door, which now swings inward, will be made to swing out and be equipped with such hardware that it may never be locked against persons on the inside.

Please be governed accordingly.

Very truly yours,

McD/H

Inspector of Buildings





GENERAL BUILDING  
APPLICATION FOR PERMIT

Permit No. 81  
PERM

Class of Building or Type of Structure Second Class

Portland, Maine, August 7, 1916

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 813 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1  
Owner's or Lessee's name and address State Realty Co., 6311 Congress St. Telephone 2-4121  
Contractor's name and address Quinn Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_  
Proposed use of building Stores, vacant, Office No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Plans filed as part of this application? yes No. of sheets 1  
Estimated cost \$ 500. Fee \$ 75

Description of Present Building to be Altered

Material brick No. stories 5 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Stores, vacant, Office No. families \_\_\_\_\_

General Description of New Work

To remove 65' partition (leaving lally columns supports of steel as is), also start non-bearing partitions, as shown on plan  
Also to change existing store front to one large plate glass window,  
This change to make one large store of one existing small store and one large store  
To provide two new toilets in rear of store, existing window at least three square feet in area for ventilation of one toilet, no window at least three square feet in area for ventilation of the other

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridgin, in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner State Realty Co.  
Adrian P. Stewart

INSPECTION COPY

Ward 5 Permit No. 36/1191  
Location 616 Congress St  
State Realty Co  
Date of permit 8/4/36

Notif. closing-in

Inspection

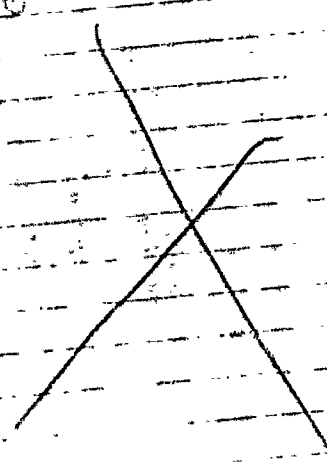
Final Notif.

Final Inspn. 4/1/37

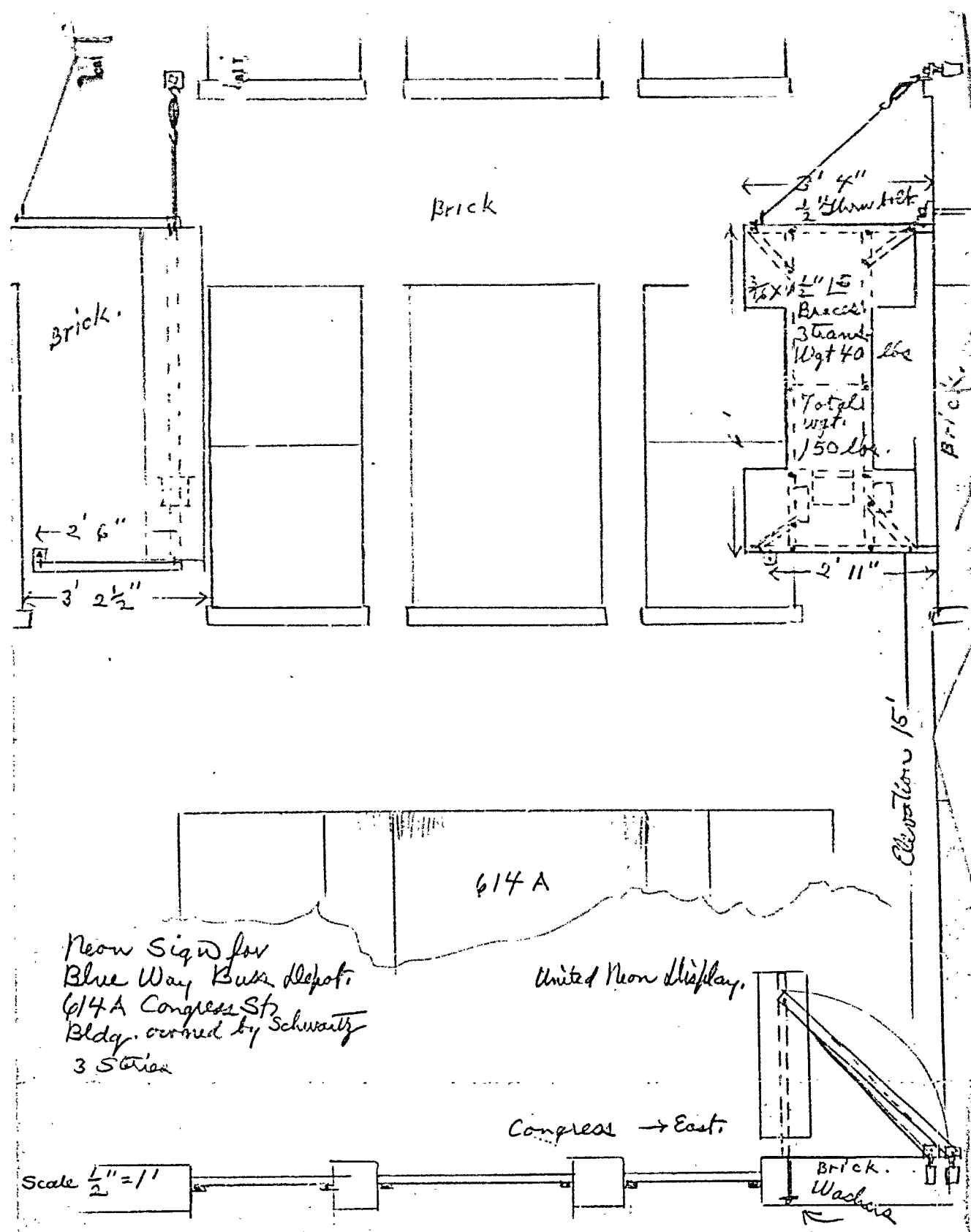
Cert. of Occupancy issued None

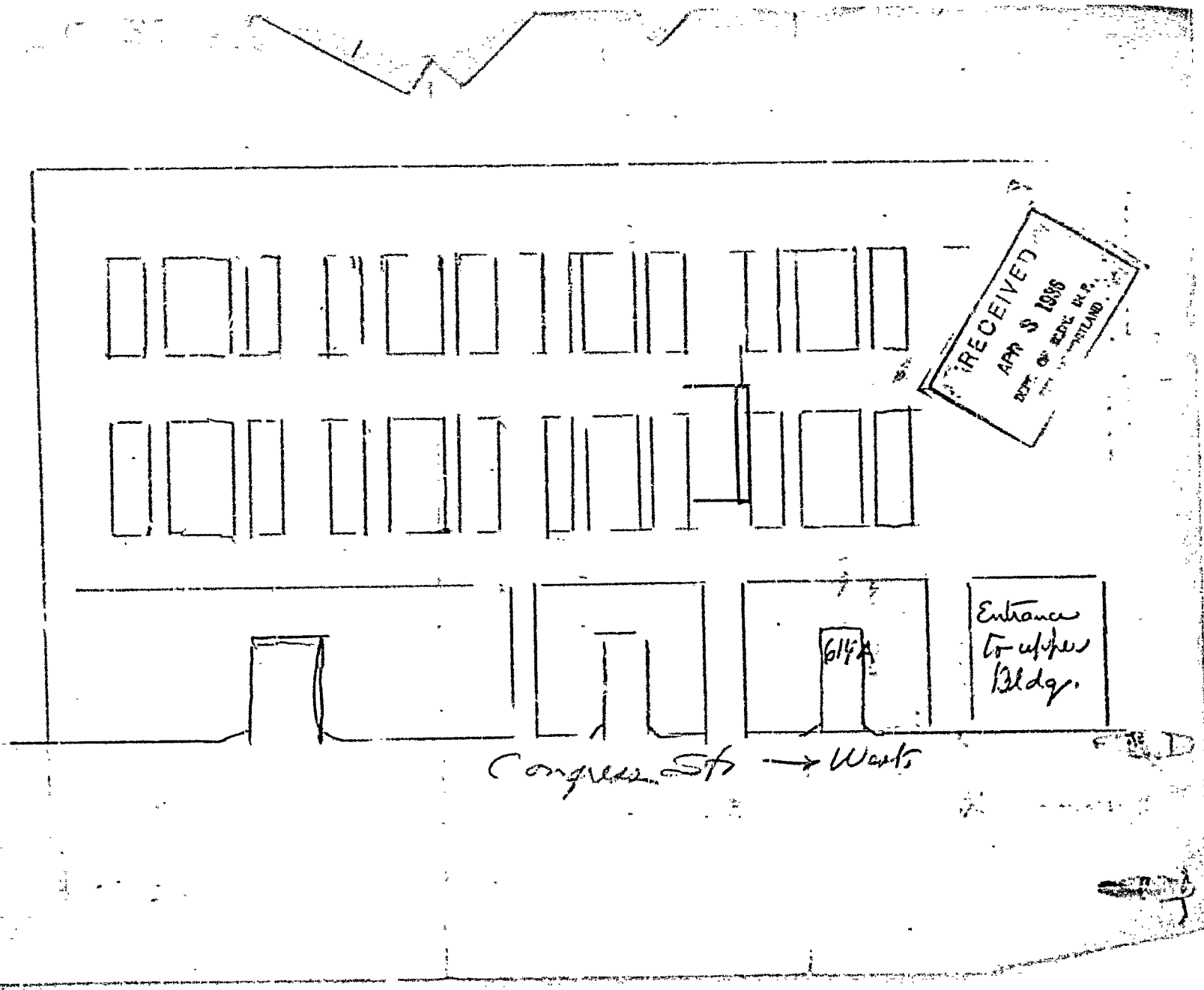
NOTES

8/11/36 - Work started  
(2/10)











GENERAL BUSINESS PERMIT

APPLICATION FOR PERMIT TO ERECT SIGN  
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, April 3, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 514A Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached David Schwartz & Sons

Name and address of owner of sign Elce Kay Bus Depot Telephone 2-0695

Contractor's name and address United Neon Display, 27 Monument Sq.

When does contractor's bond expire? October 1938

Information Concerning Building

No. stories 5 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 6' Horizontal 2'

Weight 150 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2 material sheet metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts one Size 1/2" Location, top or bottom top

No. guys 8 material steel cable angle iron Size 1/2" 1 1/2"/5

Minimum clear height above sidewalk or street 15'

Maximum projection into street 2' Fee \$ 1.00

Signature of contractor United Neon Display

Signature of contractor Harper C. May

CITY OF PORTLAND  
INSPECTION COPY

Ward 5 Permit No. 36/343

6144 Congress St.

Owner Blue Wave Bus Depo

Date of permit 4/4/36

Sign Contractor

4/9/36. O.D.

NOTES

Strakes	4/30/36
4/6/36 5:00 p.m. for	
Elect. Insp.	4/8/36
Shop Insp.	4/9/36
Sign file plan made	4/9/36
Distances above sidewalk	4/9/36
Through Bolt	O.K.

ISSUE





GENERAL BUILDING PERMIT  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class JAN 20 1936  
Portland, Maine, January 20, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications any, submitted herewith and the following specifications:

Location 816 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1  
Owner's or Lessee's name and address State Realty Co., 602A Congress St. Telephone 2-4161  
Contractor's name and address not yet Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_ No. families \_\_\_\_\_  
Proposed use of building Stores and Offices  
Other buildings on same lot \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Plans file as part of this application? no Fee \$ .50  
Estimated cost \$ 100.

Description of Present Building to be Altered

Material brick No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Stores and Offices No. families \_\_\_\_\_

General Description of New Work

To cut in seven new windows, second floor rear, in existing rooms - windows to have metal frame with wire glass

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and 8' span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, height? \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Signature of owner By State Realty Co.

INSPECTION COPY

Ward 5 Permit No. 36/40

Location 616 Congress St.

Owner State Realty Co.

Date of permit 1/20/36

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 10/11/36

Cert. of Occupancy issued Nord

NOTES

1/24/36 - No work

started. (A. J. B.)

1/30/36 - Same (A. J. B.)

2/10/36 - Same (A. J. B.)

2/24/36 - Same (A. J. B.)

3/9/36 - Same (A. J. B.)

4/13/36 - Mr. Pharty

says this work may

be done and will

be done until

floor is rented (A. J. B.)

2/3/37 - These windows

have now been cut

in and are (A. J. B.)

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

November 15, 1935

Oliver T. Sanborn, Chief of the  
Fire Department

Dear Sir:-

In the three story building at 616 Congress Street, formerly known as the Recreation building, the owner has relocated one of the fire escapes on the easterly side of the building and built one or more partitions in the third story dividing the front of the third story into two offices. One of these offices is occupied by some kind of an automobile service company, and the other side is occupied by what is called a navigation school, this school being on the westerly side of the third floor. This work has been done without a building permit.

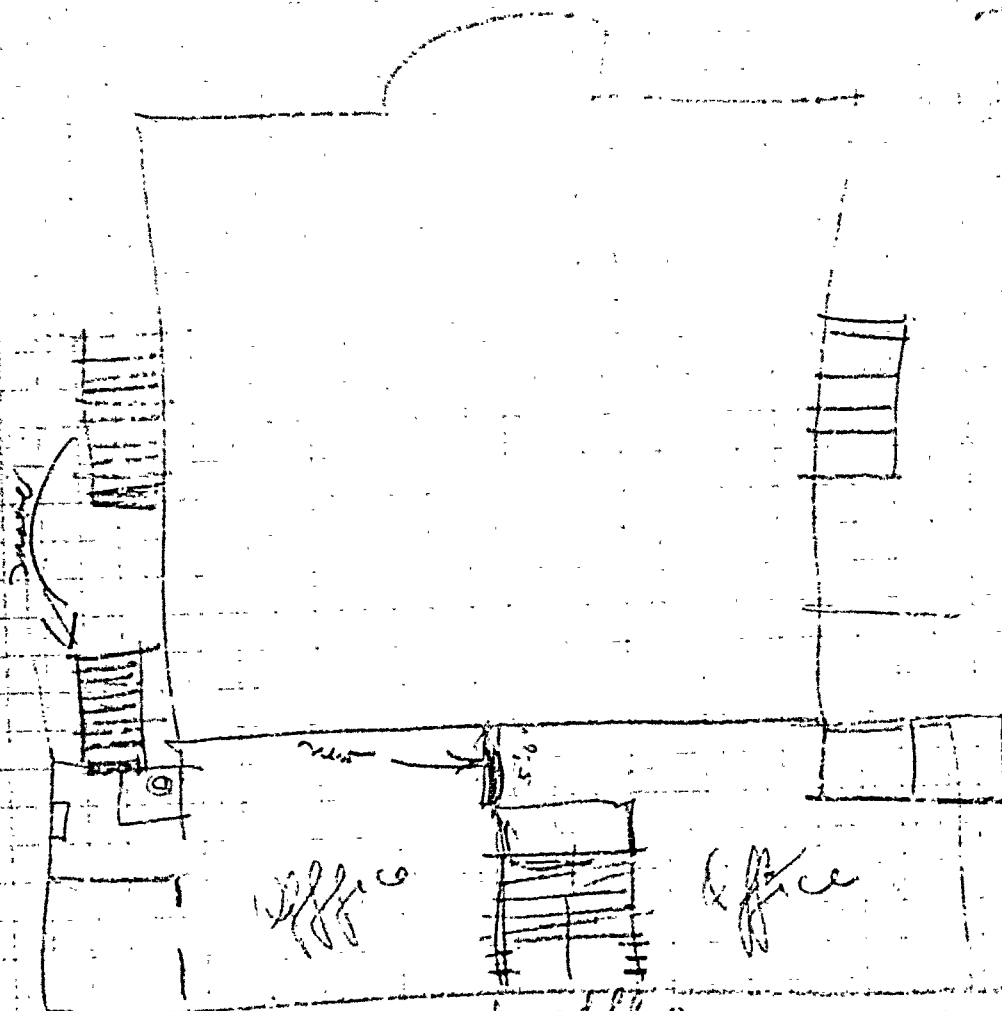
The owner has applied after notice from us for a building permit to cover the work, but I find that the quarters used by the school have only one means of egress. Mr. Sidney Schwartz, representative of the owner, has suggested that perhaps some free passageway could be provided through the office on the easterly side and thus reach the fire escape relocated.

Will you be kind enough to look over this situation and see how you feel about the exits, letting me know so that something may be done to correct this situation which now exists.

Very truly yours,

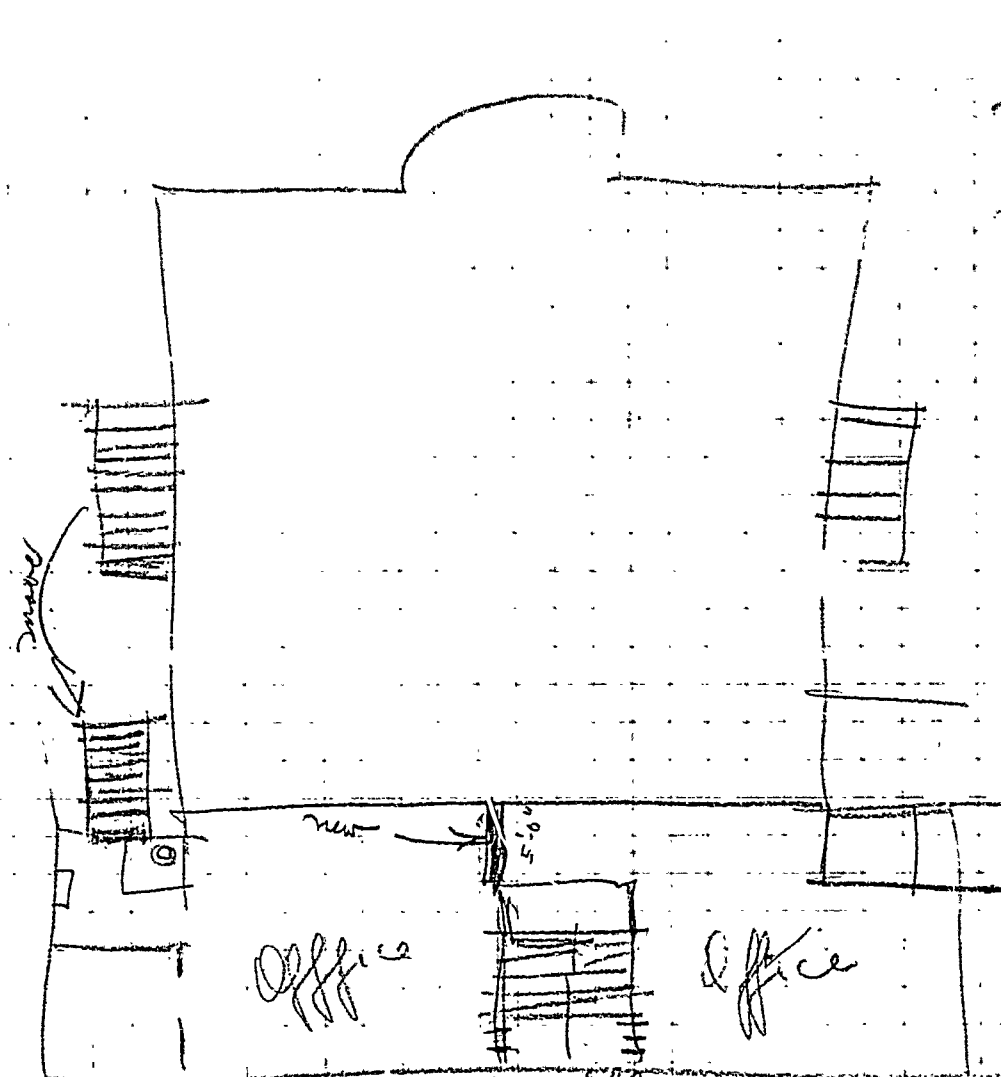
Inspector of Buildings.

McD/H

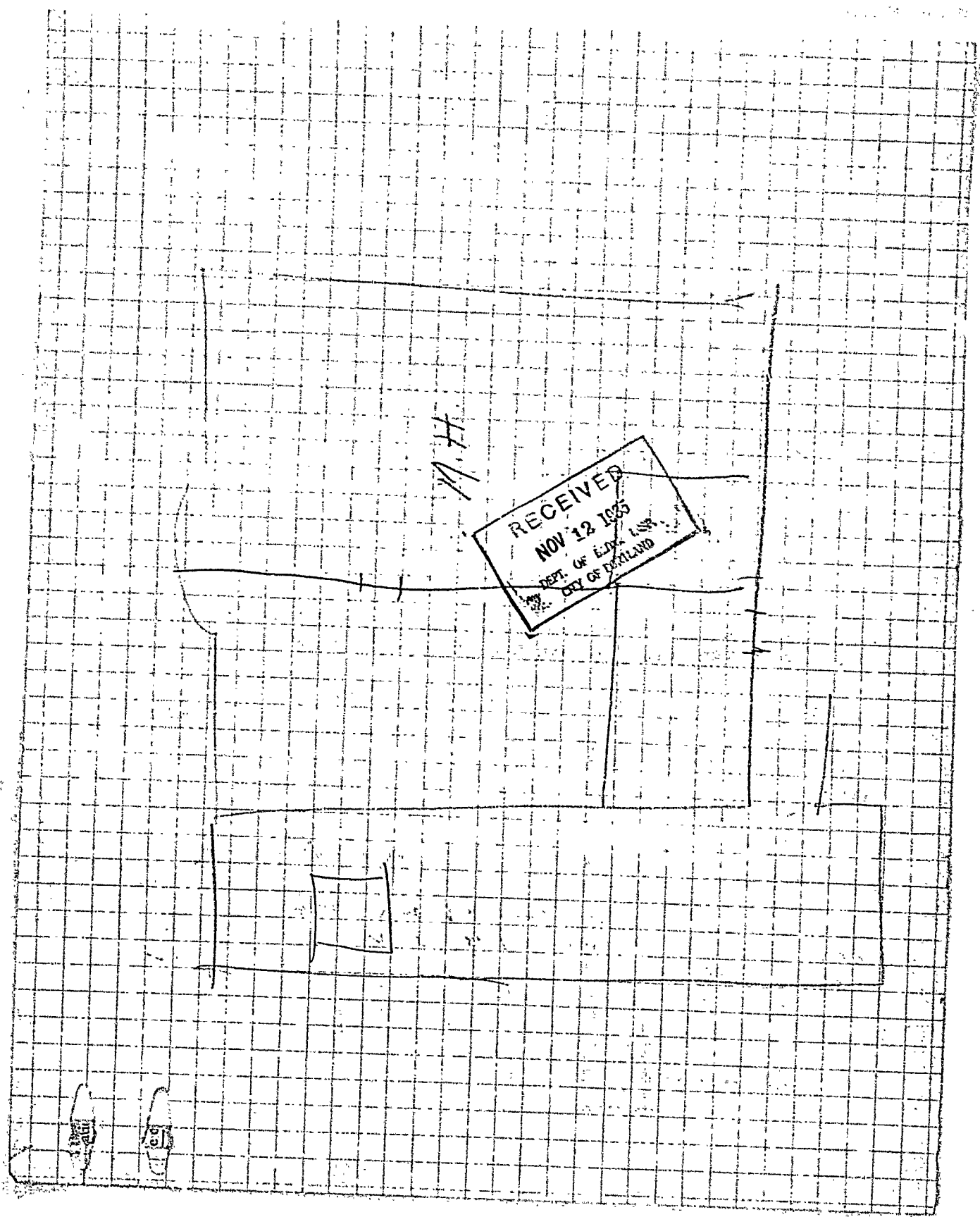


Front 3<sup>rd</sup> floor  
State Realty Co  
616 Broadway





Mont 3<sup>rd</sup> floor  
State Realty Co  
616 Broadway







TO ORIGINAL BUSINESS BUREAU

## APPLICATION FOR PERMIT

Permit No. \_\_\_\_\_

Class of Building or Type of Structure dwelling housePortland, Maine, November 12, 1925

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 816 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1  
Owner's or Lessee's name and address State Realty Co., 602A Congress St. Telephone 8-4161  
Contractor's name and address Maguire & Jones Co. - Henry Rombalski Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_  
Proposed use of building Stores and Offices No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Plans filed as part of this application? yes No. of sheets 1  
Estimated cost \$ 55. Fee \$ .50

## Description of Present Building to be Altered

Material brick No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Stores and Offices No. families \_\_\_\_\_

## General Description of New Work

To relocate metal fire escape on side of building, third to second floor, as shown on plan  
To put in 5' sheet rock partition to divide space on third floor into two separate offices

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girders or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on center \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By State Realty Co.  
Admiral T. Shuman

Ward 5 Permit No. 35/  
Loc 616 Congress St.  
Owner State Realty Co  
Dat mit 11/ /35  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn.  
Cert. of Occupancy issued

NOTES  
11/5/35 - In of entry  
2 students and  
instructor in school  
Memo to Chief  
Sanborn - 11/5/35



File: P.34/664-I

November 9, 1935

Mr. Sidney Schwartz,  
602A Congress Street,  
Portland, Maine.

Dear Sir:-

With reference to the building owned by the State Realty Company at 614-620 Congress Street and particularly to building permit No. 34/664 issued to cover such alterations in the first story and basement of that building, a part of the alterations covered under the building permit consisted of construction of a new set of stairs between the first story and the basement. This building being a three story building the building Code required, as with all stairways in buildings of that or a greater height, be enclosed with a self-closing fire door in the cellar.

This matter was brought to your attention before the permit was issued in my letter of May 18, 1934. After some discussion with you it was my impression that, in exchange for being permitted to leave the new stairway open, you would discontinue the front stairway between the first story and the cellar and floor over the stairwell tightly at the first floor level. The reasoning in this case was that the open stairway in front was an existing condition prior to the adoption of the requirements concerning enclosing such stairways, and that by exchanging one open stairway for another you would not be increasing the number of unprotected openings between the cellar and the first story and thus would not be doing violence to the spirit of the Ordinance.

Now, I find that the front stairway has never closed so that the job is in violation of the law in that a new stairway has been provided between the cellar and the first story without a fire resistive enclosure as required by the Building Code.

I shall expect you to go through with your original arrangement and permanently close the front cellar stairs, flooring the stairwell over tightly at the first floor level, or enclose the stairs constructed under the building permit as outlined in my letter to you of May 18, 1934, on or before November 26, 1935/

Very truly yours,

Inspector of Buildings.

734/864-I

✓ Copy to Mr. W. O. Hutchins, 178 Middle St.

June 23, 1934

Mr. Sidney P. Schwartz  
State Realty Company  
602A Congress Street  
Portland, Maine

Dear Sir:

With relation to the alterations of the building at 616-618 Congress Street authorized under building permit 734/864, the reinforcement of the original splice of the steel beams over the entrance as designed by Mr. W. O. Hutchins appears to reduce the stresses in this steel work well below the maximum established by the Building Code.

Please consider this letter, therefore, as lifting the directions to stop work contained in my letter to you of June 22, 1934.

Very truly yours,

Inspector of Buildings.

VE/EC

TELEPHONE DIAL 4-0274

W. O. HUTCHINS  
BUILDING SPECIALTIES

178 MIDDLE STREET  
PORTLAND, MAINE

June 26, 1934.

Mr. Warren McDonald,  
Inspector of Buildings,  
Portland, Maine.

Dear Sir:

Having been employed by Mr. Sidney I. Schwartz to make an investigation of the loads, stresses resulting therefrom and safety of the existing lintel over the store front in the Recreation Building, so called, on Congress Street, Portland, Me., under the conditions caused by the recent alterations in the said store front, I am sending you herewith a copy of my computations, four sheets in all.

My opinion, based on these computations, is that the lintel in question, if spliced as indicated, will act as a fully continuous beam over three spans and as such is perfectly safe, with permissible unit stresses, for the existing dead loads and for light occupancy live loads on the second and third floors, and 40" per sq. ft. live load on roof,

I would not recommend that storage of merchandise be allowed on the section of floors adjacent to the front wall.

Yours very truly,

*W. O. Hutchins*

34/664-D

June 22, 1934

Sidney P. Schwartz  
State Realty Company  
602A Congress Street  
Portland, Maine

Dear Sir:

As authorized and directed by Section 37 of the Building Code of the City of Portland, copy attached hereto, you are hereby directed to stop all work connected with the alterations of the building at 618-618 Congress Street authorized under building permit No. 34/664 issued from this Department on May 25th, 1934 because a certain part of the work has been designed and constructed in violation of the Building Code of the City of Portland in that the arrangement of structural steel intended to support the loads formerly supported by a brick pier is not adequate to support the probable loads that will come upon it without straining the steel far beyond the maximum stresses permitted by the Building Code.

Very truly yours,

Inspector of Buildings.

WJ/ED

A true copy of the above order was posted by me on the premises where the work is going on, and the original order was given in hand by me to the above named Sidney P. Schwartz at 2:30 o'clock in the *Eastern Std Time* afternoon of June 22, 1934.

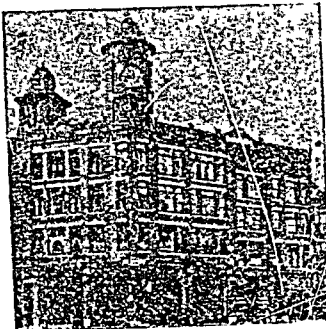
*Warren D. Dorn*



DAVID SHWARTZ, PRES & TREAS.

HARRY M. SHWARTZ

SIDNEY P. SHWARTZ, SEC'Y



NEW SHWARTZ BLOCK

## DAVID SHWARTZ & SONS

INCORPORATED

Operators in Real Estate

LOANS AND MORTGAGES NEGOTIATED

SURETY BONDS FURNISHED

NOTES DISCOUNTED

602A CONGRESS STREET

TELEPHONE FOREST 4605

PORTLAND, MAINE... June 21, 1934

Mr. Warren McDougal  
Inspector of Buildings  
City Hall  
Portland, Maine

Dear Sir:

We beg to acknowledge receipt of your letter of the 20th inst. regarding the alterations at building #616 - 618 Congress Street, and note your reference to the steel construction at the front of the building.

The Megquier & Jones Co. designed the steel for this work in accordance with the standard requirements for steel designs and Mr. Elliot, their engineer, assures me that this work is well designed and properly erected. He states further that he has checked over his figures, has found the steel lintels adequate and since your conversation with him he has re-checked his figures several times.

Your attention is particularly called to the fact that Mr. Elliot furnished you with a design for the steel which you kept in your office for some two or three weeks without any comment and in the absence of any correction by you we proceeded with the work. Your attention is also called to the fact that from the time the steel was fabricated to the time of the erection several more weeks elapsed without any comment from you. Frankly, we are amazed to receive your letter at a time when the steel and masonry work are completed.

Inasmuch as the Megquier & Jones Co. is standing behind their work and their computations, we feel constrained to make any changes at this time as the store front work is practically completed. Mr. Elliot states that he is of the opinion you are figuring store loads for the second and third floors which, of course, is very improbable, and we would appreciate your going over the matter with him to see if there is not some error in your calculations.

Thanking you, we are,

Very truly yours,

STATE REALTY CO.

By

*Sidney P. Schwartz*

SPS:MW

✓ Copy to Mr. H. W. Rhodes, 51½ Exchange Street  
74/634-1

✓ Copy to Megquier & Jones Co.,  
ATTN: Mr. H. C. Elliott  
State Realty Company  
603 Congress Street  
Portland, Maine

June 20, 1934

Gentlemen:

With relation to the alterations in your building at 615-618 Congress Street, and particularly to the adjustment of the steel work intended to support the live and dead loads in the building formerly carried by a brick pier, now removed, I find that the cantilever arrangement which you have adopted is far from adequate to support the loads according to the loads assigned by the Building Code and according to the allowable stresses permitted by the Code.

The Building Code sets the allowable maximum fibre stress in structural steel at 18,000 lbs. per square inch. Figuring the load at the absolute minimum permissible under the Building Code, shows that the fibre stress in the steel is likely to be 27,000 lbs. per square inch.

Under these circumstances, it is necessary for me to require that you take immediate steps to have the steel work properly reinforced in such a way that the allowable stresses required by the Building Code will not be exceeded, and that you do not close in the ceiling around this steel work until the method of strengthening has been approved by this Department, the steel work has been actually strengthened, and written permission given to close in the work.

It would be well for you to submit a revised plan of the proposed readjustment of the steel for checking by this Department before the work is actually done.

Very truly yours,

Inspector of Buildings.

WM/ED

Copy to Mr. H. W. Rhodes, 51 1/2 Exchange Street

18603-1

May 18, 1934

B. Mr. 34/664

State Realty Company  
602 Congress Street  
Portland, Maine

Gentlemen:

Enclosed is the building permit covering alterations in the first story and basement of the building at 616-613 Congress Street.

At the proposed store front there is not sufficient detail of the adjustment of steel lintels over the show windows so that we may check the same. Please furnish these details.

The proposed stairs from the first floor to the cellar are required to be enclosed in the cellar since the building is more than two stories in height. You are referred to Section 74 of the Building Code. This enclosing partition is required to be at least of wooden stud construction with metal lath and plaster on both sides of the partition, or, if you prefer, metal lath and plaster may be applied on the cellar side only in which case it will be necessary to back plaster and the studs on the stair side must be left exposed. A self-closing metal clad fire door set in a metal covered frame is required at the foot of these stairs. By the term "self-closing" is meant a door which is normally closed and kept closed when not actually in use by means of a suitable weight, spring, door check, or other suitable device. Mr. Sidney Shwarts has suggested that perhaps the existing open stairway leading to the cellar in the front of the building might be permanently closed up. If this is done and the existing stairwells tightly floored over, I feel that the Building Code does not require the enclosure of the new stairs to the cellar.

It is understood that the use of this basement by the public is not contemplated.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

W/RE

Alterations at 616-618 Congress St.

State Realty Co. 5/18/4

Section 74 - New inside stairs to cellar  
to have enclosure in cellar with  
metal lath & plaster partition &  
self-closing fire door at bottom.  
Call attention to understanding that  
public are not to go to cellar.





GENERAL BUSINESS ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Store

Portland, Maine, May 25, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 616-618 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1  
Owner's name and address State Building Co., 501 Congress St. Telephone \_\_\_\_\_  
Contractor's name and address Oscar Telephone \_\_\_\_\_  
Architect's name and address H. E. Rhodes, 51 Exchange St.  
Proposed use of building Stores and Offices No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Plans filed as part of this application? Yes No. of sheets 2  
Estimated cost \$ 400. Fee \$ .75

Description of Present Building to be Altered

Material brick No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Stores and Offices No. families \_\_\_\_\_

General Description of New Work

To remove existing non-bearing partitions as shown on plan to include two existing stores in front of building and former pool room in rear, first floor, to one large store to provide new rear entrance, and new stairway, first floor to basement (basement to be used for storage of stock)  
To remove existing brick pier in front entrance and support with 12" x 12" as per plan  
To remove two existing toilet on first floor, two existing toilet for use in connection with this store in basement  
New 10' partition in main entrance hall to be metal lath and plaster  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and at the expense of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Max. dist. columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? Yes  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner H. E. Rhodes, Architect

State Building Co.

1866B

Permit No. 34/1664P  
 Local 168-618 Congress St.  
 Owner/Realty Co.  
 Date permit 5/25/34  
 No closing-in  
 No closing-in  
 Final Notif. 4/20/34  
 Final Insp. 11/20/34  
 Cert. of Occupancy issued re. 1

NOTES

6/2/34 - Sinter  
 applied P.  
 not yet removed  
 6/28/34 - New plate  
 bolted on under  
 side of basement  
 splices  
 11/9/35 - Get plant  
 drawings - done  
 11/12/35 - Building  
 drawing room  
 in and send to  
 mechanical  
 for plans, furnish  
 drawings

Fire alarm - 1st floor  
 in all night  
 put metal bath  
 board / plaster on  
 ceiling side and  
 under roof.  
 Ceiling plaster  
 broken, plaster  
 exposed on plan  
 front side, - mnd  
 1/24/35 - Fire door at  
 foot of stairway  
 enclosure has not  
 been wire lathed +  
 plastered on basement  
 side (13)  
 2/24/35 - Nothing more  
 done - Agt.

**Page 3.**

Class of Building or Type of Structure Single -

0052

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine May 20, 1958

The undersigned hereby applies for a permit to erect ~~also install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location: 313 Cong. St. Detroit Ward 3 Within Fire Limits? yes Dist. No. 1  
Owner's or Lessee's name and address: Ford Motor Co., 24 High St. Telephone 2-0357  
Contractor's name and address: Junior Telephone  
Architect's name and address: Telephone  
Proposed use of building: Storage  
Other buildings on same lot: No. families  
Plans filed as part of this application? yes No. of sheets 1  
Estimated cost \$ Description of Building Fee \$ 1.00

Fee \$ 1.00

Material brick No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Past use \_\_\_\_\_ Stairs \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect one additional panel 26' x 12' on roof of building, sign to be all metal construction.

Owner of Building: Nat. Realty Co.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately in the name of the heating contractor.

### Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Material of foundation \_\_\_\_\_ earth or rock? \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x6 or larger. Bridging in every floor and flat roof  
span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_  
Miscellaneous \_\_\_\_\_

### Miscellaneous

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY *Signature of owner*  
*Wm. J. [illegible]*

Puritan Advertising Co.

W. M. Hammond

10/11/45 OF WIDE DEPT.

Permit No. 36/52

Location 116 Congress St.

Owner Pruitan Bldg. Co.

Date of permit 4/23/36

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

4/26 - Plan filed

with application for

perm. in no. 37/ P.A.

2/25/38 This work was

done. Comm. renewed

2/26/38. W.H.



May 15, 1936

File 2,55/1876-1

Reuben Rosenthal & Company,  
612 Congress Street,  
Portland 3, Maine.

Gentlemen:-

In relation to the portion of the third floor of the building at 612 Congress Street which you are occupying in connection with your main store, an enclosed fire door was provided under a building permit last February and a fire door was required and provided at each end of this passageway.

An inspector from this office reports that the High Street end of this passageway the fire door is obstructed by crates or other material which prevents the fire door from fully shutting. On the other end of the passageway toward Fore Street it appears that the door was originally equipped with a chain and a weight to hold the door closed. This weight has been taken off and at the time of inspection tires were piled against the door so that it could not be closed with difficulty.

Both of these doors are to be self-closing, that is, that they will close of themselves and keep closed a really. The Building Code provides that no such fire prevention device shall be discontinued and that such devices out of repair shall be immediately repaired so as to perform the service for which they were originally intended. The Code further provides a penalty for interfering with any of these devices or for failing to repair the devices when they are found to be out of order.

Please have both of these doors put fully in order and keep materials and other substances away from the doors so that they will function properly at all times.

Very truly yours,

McD/H  
CC:David Shantz & Sons, Inc.

Inspector of Buildings.



BUSINESS ZONE

Permit No.

## APPLICATION FOR PERMIT

0167

Class of Building or Type of Structure Second Class

FEB 19 1935

Portland, Maine, February 11, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 618 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1  
Owner's name and address State Realty Co., 602A Congress St. Telephone E-4161  
Contractor's name and address Owner Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_  
Proposed use of building Stores, 2d vacant, 3d storage No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Plans filed as part of this application? yes No. of sheets 2  
Estimated cost \$ 500. Fee \$ .75

## Description of Present Building to be Altered

Material brick No. stories 5 Heat \_\_\_\_\_ Style of roof flat Roofing T&G  
Last use Stores, 2d and 3d vacant No. families \_\_\_\_\_

## General Description of New Work

To put in 2nd partition (wood stud with rock lath and plaster) across building, 2d floor  
To build passageway 6' x 14', third floor level, from one building to the other, having  
automatic fire door at either end of passageway  
To hang metal ceiling about 16" below existing roof timbers

CERTIFICATE OF COMPLIANCE  
THAT THE ABOVE IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof flat Rise per foot 1" Roof covering Tar and gravel 5 ply  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills 8x10 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof  
span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd 8x10, roof 8x10  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd 12", roof 16"  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd 14', roof 14'  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
State Realty Co.

Signature of owner By Sidney F. Thurman

INSPECTION COPY

377

Ward 5<sup>th</sup> Permit No. 35/167

Location 616 Congress St.

Owner State Realty Co.

D. of permit 2/12/34

Inspection closing-in

Final Notif.

Final Insp. 10/1/36

Cert. of Occupancy issued None

NOTES

3/1/35 Pulling in

ramp. W. D. P.

was in working

at 12:30 p.m.

at 1:30 p.m.

at 2:30 p.m.

at 3:30 p.m.

at 4:30 p.m.

at 5:30 p.m.

at 6:30 p.m.

at 7:30 p.m.

at 8:30 p.m.

at 9:30 p.m.

at 10:30 p.m.

at 11:30 p.m.

at 12:30 a.m.

at 1:30 a.m.

at 2:30 a.m.

at 3:30 a.m.

at 4:30 a.m.

at 5:30 a.m.

at 6:30 a.m.

at 7:30 a.m.

at 8:30 a.m.

at 9:30 a.m.

at 10:30 a.m.

at 11:30 a.m.

at 12:30 p.m.

at 1:30 p.m.

at 2:30 p.m.

at 3:30 p.m.

at 4:30 p.m.

at 5:30 p.m.

only half way.

The fire door at

the Park St end of

the ramp has a

door with a weight

the weight has been

taken off and tires

are piled against the

door so it is difficult

to close the door.

5/5/35 - Better and

1/8/35 - One of doors

opening properly. The

weight has been

hooked up. A. J.

1/10/35 - The fire door

at the High St end of the

ramp has a window

and with weight and

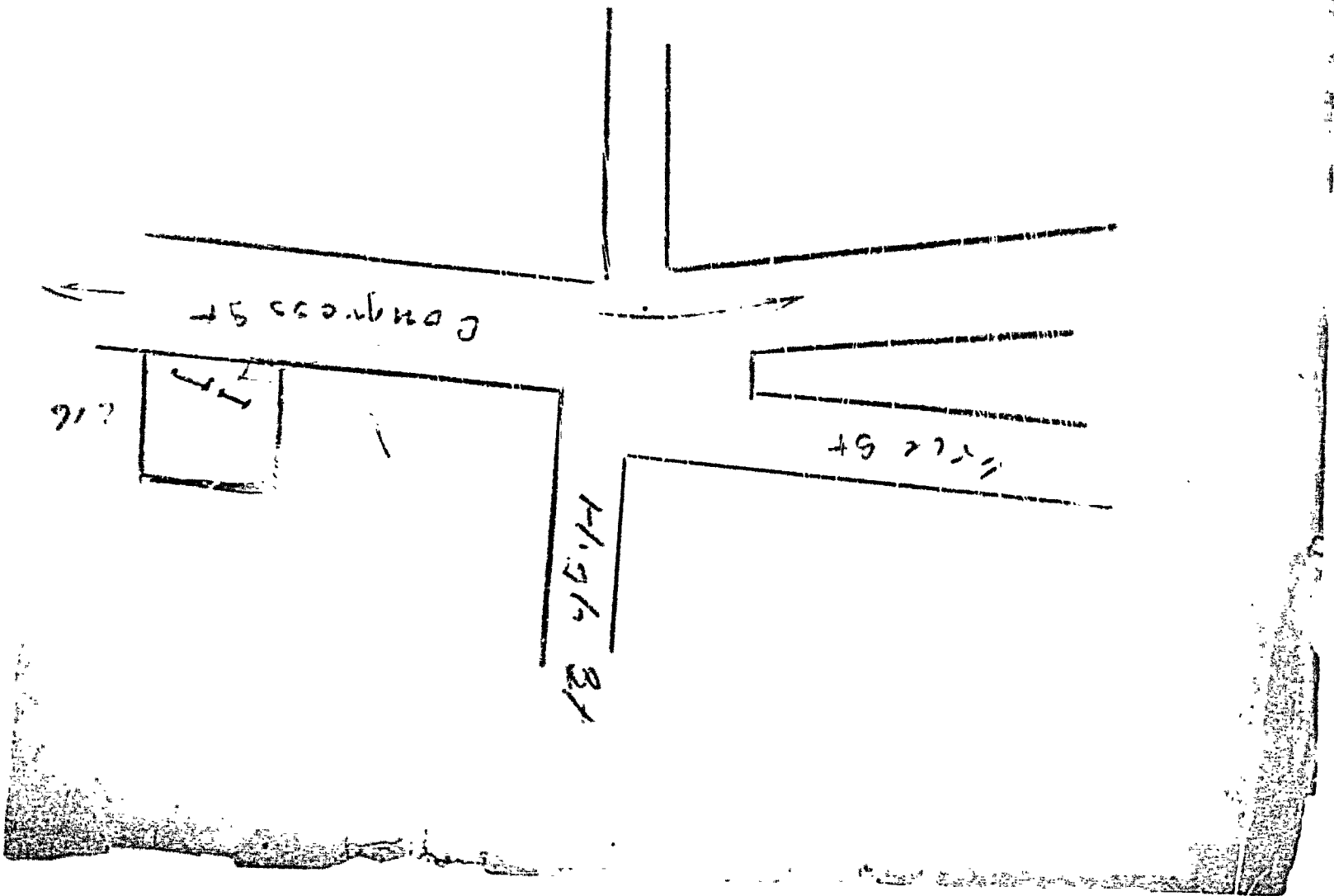
is manually operated.

At this time the same

crates on the ramp

allowed it to close.

2 Panels - 25x12 each  
 616 Congress St.  
 D. 3 hours 12 = 50  
 sum of 1314







GENERAL BUSINESS FORM  
APPLICATION FOR PERMIT

PERMIT ISSUED

1890  
NOV 15 1934

Class of Building or Type of Structure Sign

Portland, Maine, November 14, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 618 Congress Street Ward 5 Within Fire Limits? YES Dist. No. 1

Owner's or lessee's name and address Puritan Advertising Co. 142 High St. Telephone 80357

Contractor's name and address Owner Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_

Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use Stores and apartments No. families \_\_\_\_\_

General Description of New Work

To erect roof sign, all metal construction, as per plan (C-12x25)

Owner of building D. Schwartz & Son

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Puritan Advertising Co.

INSPECTION COPY Oliver T. Sanborn

CHIEF OF FIRE DEPT.

Ward 5 Permit No. 34/1890  
Location 616 Congress St  
O. P. Winters & Co. Inc.  
Date of permit 11/15/34  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn. 5/13/35 E.D.B.  
Cert. of Occupancy issued *None*

NOTES

P. J. D. approved 11/15/34  
5/13/35. Inspects of heavy  
ceiling, some structural  
things roof could not  
be checked, etc.

BOSTON

PR. DENCE

SPRINGFIELD

WORCESTER

# C. I. BRINK

## ELECTRIC SIGNS

Claude Neon Tubes

Outdoor Advertising

ESTABLISHED 1888  
147 WEST FOURTH STREET  
SO. BOSTON, MASS.

July 23, 1934.

TERMS OF WARRANTY UNDER WHICH THIS AGREEMENT, OFFER OR ACCEPTANCE IS MADE ARE THAT MATERIAL PROVING DEFECTIVE WHEN USED FOR THE PURPOSE DECORATED WILL BE REPLACED WITHIN ONE YEAR. NO CLAIM FOR LABOR DAMAGES SHALL BE ALLOWED. ALL AGREEMENTS ARE CONTINGENT UPON STRIKES, LOCKOUTS, DELAYS OF CARRIERS AND OTHER CAUSES UNAVOIDABLE OR BEYOND OUR CONTROL. QUOTATIONS SUBJECT TO CHANGE WITHOUT NOTICE. LICENSES, PERMIT FEES AND ALL CHARGES PERTAINING TO SAME NOT INCLUDED IN QUOTATIONS. QUOTATIONS FOR RENTAL AGREEMENTS OR LEASES ARE NOT VALID OR BINDING EXCEPT ON SPECIAL FORMS PROVIDED. C. I. BRINK SPECIFICATIONS AND CONDITIONS APPROVED IN WRITING BY C. I. BRINK.

City of Portland,  
Portland, Maine.

Attention: Inspector of Buildings,  
Mr. Warren McDonald.

Dear Sir:-

We wish to acknowledge your letter of July 18th and regret that you have found it necessary to remind us that the sign we erected for the Maine Hardware & Supply Company was not in accordance with our original drawings filed at your office.

We have discussed this matter with our Mr. Huff, who erected the sign and he states that the owner of the building objected strenuously to placing the top through bolt through the parapet wall as it would be necessary to go through the copper flashing and this would probably cause leakage. To compensate for this, our sign hanger installed four through bolts on the guy cables instead of expansion shields and our engineer states that this will more than compensate for the alteration. The sign was inspected by the city electrician.

In future, we will be very specific about having your building inspector on the job to inspect signs before we erect them on the building. We are enclosing a drawing showing the alteration as outlined to us by Mr. Huff who erected the sign and trust that same will check with your inspection of the job.

We have erected a number of signs in Portland and have purchased the best of hardware, as it is our desire to confirm to the regulations in every respect.

Yours very truly,

C. I. BRINK.

*Lawrence J. Ward*

RECEIVED  
JUL 24 1934  
C. I. BRINK

LJW:S.  
enc.2

Copy to Pittsburgh Plate Glass Co., 100 Babcock St., Boston, Mass.  
14/881-I

July 17, 1934

C. I. Brink  
147 West Fourth Street  
South Boston, Mass.

Gentlemen:

With reference to the sign which you have erected at 518 Congress Street in this City for the Pittsburgh Plate Glass Company, your attention is called to my letter to you of June 21st, 1934, the next to the last paragraph of which reads as follows: "After the design is approved and the permit issued, it will be necessary to have the sign examined by an inspector from this office before erection."

Your records did not notify this office for inspection after the sign arrived in the City, and the sign has been erected without that inspection.

Furthermore the sign has not been erected in accordance with your application and your own plan covering this erection in that only one rigid connection (that in the center of the sign), and the two lower sets of guys have bolts extending through the wall. Your plan calls for four bolts, one at each of the rigid connections to pass through the wall. I can see no reason for deviating from your agreement contained in the application upon which the permit was issued and performance of which is guaranteed by your bond.

Please make the erection comply with your own specifications on or before July 30, 1934.

Very truly yours,

Inspector of Buildings.

14/183



#2122B-I

June 25, 1934

Mr. F. P. Tibbatts  
C/o C. I. Brink  
147 West Fourth Street  
South Boston, Mass.

Dear Sir:

With relation to the bond which you furnished recently to the City of Portland, Maine to cover erection of signs projecting over public sidewalks and streets, our Corporation Counsel has directed me to write to you and ask that you have the Aetna Casualty and Surety Company forward to us a certificate showing that this company is licensed to issue such bond in the State of Maine.

Please attend to this matter promptly so that there may be no delay when the revised plans have been furnished.

Very truly yours,

Inspector of Buildings.

YM/HC

BOSTON

PROVIDENCE

SPRINGFIELD

WORCESTER

C. I. BRINK

ELECTRIC SIGNS

*Claude Neon Tubes*

ESTABLISHED 1888

*Outdoor Advertising*

147 WEST FOURTH STREET  
SO. BOSTON, MASS.

TERMS OF WARRANTY UNDER WHICH THIS AGREEMENT, OFFER OR ACCEPTANCE IS MADE ARE THAT MATERIAL PROVING DEFECTIVE WHEN USED FOR THE PURPOSE ORDERED WILL BE REPLACED WITHIN ONE YEAR. NO CLAIM FOR LABOR DAMAGES WILL BE ALLOWED. ALL AGREEMENTS ARE CONTINGENT UPON STRIKES, ACCIDENTS, DELAYS OF CARRIERS AND OTHER CAUSES UNAVOIDABLE OR BEYOND OUR CONTROL. QUOTATIONS SUBJECT TO CHANGE WITHOUT NOTICE. LICENSES, TAXES, PERMIT FEES AND ALL CHARGES PERTAINING TO SAME NOT INCLUDED IN QUOTATIONS. QUOTATIONS FOR RENTAL AGREEMENTS OR LEASES ARE NOT VALID OR BINDING EXCEPT ON SPECIAL FORMS PROVIDED, CONTAINING SPECIFICATIONS AND CONDITIONS APPROVED IN WRITING BY C. I. BRINK.

June 25, 1934.

Building Inspector,  
City of Portland,  
Portland, Maine.

Dear Sir:-

As per your request, we are returning a new set of blue prints showing the sign kept within 6' of the building. Also showing the interior signs, placement of transformers, gauge of metal used and sizes of angles.

Trusting that this meets with your requirements and that you will issue our permit as soon as possible, we are

Yours very truly,

C. I. BRINK.

*J. P. Little*

FPT:S.  
enc.

#2122b-I

June 21, 1964

G. I. Brink  
147 West Fourth Street  
South Boston, Mass.

ATT: Mr. Frank P. Tibbetts

Gentlemen:

Referring to your application for a permit to erect a sign for the Pittsburgh Plate Glass Company at 618 Congress Street in this City, and replying to your letter of June 20th on this subject, it is necessary for us to keep the bond in the files of our City Treasurer. This bond has been sent over to the Corporation Counsel for checking.

With relation to the sign itself, the proposed projection over the sidewalk is shown as seven feet (7') while the maximum projection permitted by our Code is six feet (6').

It will be necessary for you to furnish additional information concerning the construction of the sign itself. This should include a framing plan showing the complete frame of the sign indicating all connections of guys, supports, etc., and whether or not the angles are continuous in length or spliced. This plan should also show the location and weight of transformers and how supported and how fastened. The gauge of the sheet metal box should also be indicated.

After the design is approved and the permit issued, it will be necessary to have the sign examined by an inspector from this office before erection.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

WM/HG

BOSTON

PROVIDENCE

SPRINGFIELD

WORCESTER

# C. I. BRINK

ELECTRIC SIGNS

*Claude Neon Tubes*

ESTABLISHED 1886

*Outdoor Advertising*

147 WEST FOURTH STREET  
S. J. BOSTON, MASS.

TERMS OF WARRANTY UNDER WHICH THIS AGREEMENT, OFFER OR ACCEPTANCE IS MADE ARE THAT MATERIAL PROVING DEFECTIVE WHEN USED FOR THE PURPOSE ORDERED WILL BE REPLACED WITHIN ONE YEAR. NO CLAIM FOR LABOR DAMAGES WILL BE ALLOWED. ALL AGREEMENTS ARE CONTINGENT UPON STRIKES, ACCIDENTS, DELAYS OF CARRIERS AND OTHER CAUSES UNAVOIDABLE OR BEYOND OUR CONTROL. QUOTATIONS SUBJECT TO CHANGE WITHOUT NOTICE. LICENSES, TAXES, PERMIT FEES AND ALL CHARGES PERTAINING TO SAME NOT INCLUDED IN QUOTATIONS. QUOTATIONS FOR RENTAL AGREEMENTS OR LEASES ARE NOT VALID OR BINDING EXCEPT ON SPECIAL FORMS PROVIDED, CONTAINING SPECIFICATIONS AND CONDITIONS APPROVED IN WRITING BY C. I. BRINK.

June 20, 1934.

Building Dept.,  
City of Portland,  
Portland, Maine.

Gentlemen:-

I am enclosing herewith two blue prints for the sign which we are making for the Pittsburgh Plate Glass Company of 300 Babcock Street, Boston, which is to be erected at the Maine Hardware and Plumbing Supply Company on Congress Street, Portland, Maine. With these plans and specifications, I am enclosing a Bond for your inspection.

If it is necessary necessary for you to have this Bond on file in Portland, please advise us, but if it is not necessary for you to keep this Bond on file but merely to take data from it, will you please return it to us. We are enclosing return postage and addressed envelopes for this purpose.

The check for \$1.00 enclosed herewith may not be enough to cover this permit, but if it is not, please advise what the correct amount will be and we will mail the balance to you at once.

Thanking you, we are

Yours very truly,

FPT:S.  
enc. 10

G. I. BRINK.

*Frank P. Furbitt*  
S.



GENERAL BUSINESS ZONE

PERMIT ISSUED  
0881

Permit No. 2 1934

APPLICATION FOR PERMIT TO ERECT SIGN  
OVER PUBLIC SIDEWALK OR STREET

Portland, Maine.

RECEIVED

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 618 CONGRESS Ward 5 Within Fire Limits? Yes

Owner of building to which sign is to be attached Maine Hardware & Plumbing Supply Co., 618 Congress St.

Name and address of owner of sign Pittsburgh Plate Glass Company, 232 Babcock St., Boston, Mass.

Contractor's name and address C. I. BRINK, 147 W. 4th St., Boston, Mass. Telephone South Boston 0091

When does contractor's bond expire? June 15th 1935. (Contract bond required by City of Portland, Maine.)

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached Brick

Details of Sign and Connections

Electric? Yes New Type Vertical dimension after erection 2'3"-4" Horizontal 6'-0"

Weight 500 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame 2"x2"x1/4" angles No. advertising faces Two material Galvanized sheet steel

No. rigid connections Three Are they fastened directly to frame of sign? Post of frame - Yes

No. through bolts Two Size 5/8" φ - 14" Location, top or bottom Top and Center

No. guys Six material Three to side - 1/4" x 7 strand galv. guy Size 1/4" diameter

Minimum clear height above sidewalk or street 15'-0"

Maximum projection into street 7'-0" over sidewalk

APPROVE 61-04

Oliver T. Sanborn

Signature of contractor

C. I. Brink, 147 W. 4th St., So. Boston, Mass.

Fee \$

by F. P. Tibbets, Agent.

INSPECTION COPY OF FIRE DEPT.

Permit No. 34/881

618 Cuyler St  
Baltimore, Md.

Date of permit 7/2/35

Sign Contractor

Final Inspu.

NOTES  
7/16/35  
erected sign  
fastened to  
wall with  
screws and  
nuts. It appears  
that the arrange-  
ment of the  
bolts actually  
used should more  
adequate info.

PERFECT SIGN  
BIRMINGHAM

Details of Sign and Connections

Instructions Concerning Painting

When question sign erection is made, it is to be understood that the sign is to be erected in accordance with the details of sign and connections and instructions concerning painting. The sign is to be erected in accordance with the details of sign and connections and instructions concerning painting. The sign is to be erected in accordance with the details of sign and connections and instructions concerning painting.

MEGQUIER & JONES COMPANY  
STRUCTURAL STEEL

33 Pearl Street  
PORTLAND, MAINE

Feb. 28, 1934

Mr. Warren McDonald,  
Inspector of Buildings  
Portland, Maine.

ALL ORDERS ARE SUBJECT TO DELAY CAUSED BY ACCIDENTS, STRIKES, FIRES, CARRIERS, OR OTHER CAUSES BEYOND OUR CONTROL

Dear Sir:

As per request of Mr. Shwartz we are enclosing here-  
with blue prints of the original steel plans for the Recreation  
Building, on which he is now making repairs.

Yours truly,

Megquier & Jones Co

JFC:LEB

*File with  
Repar after Green Island  
Plans*

#34/141-1

March 20, 1934

State Realty Company  
602 Congress Street  
Portland, Maine

Gentlemen:

With relation to the former Recreation Building at 616 Congress Street now being repaired after fire, I note that the brick walls in the third story of the building are in bad condition in two places,- one place at the top of the wall as it now stands on the easterly side and directly over the rear window in the side wall; the other is in the same corresponding location on the westerly wall, except that on the westerly side conditions are worse, several cracks being in evidence and some of the brick work appearing to be loose.

I explained this to your rason so that he would be aware of the location of these conditions.

Please make arrangements to have these portions of the wall taken down and built back sound and secure while the new roof is being put on.

Very truly yours,

Inspector of Buildings.

WM/HO



Copy to Mr. H. W. Rhodes, 51½ Exchange St.

#34/141-1

February 27, 1934

State Realty Company  
602 Congress Street  
Portland, Maine

Gentlemen:

In connection with the repair after fire and alterations to the former Recreation Building at 616 Congress Street, I find the following details to be corrected or to be amplified on the plans so it may be known in advance just what is proposed.

The return of the parapet wall on the northeast end of the building as shown on sheet S-1 should extend, at least, back as far as the adjoining building, and the low part of the parapet should extend, at least, two feet (2') above the roof level. If any part of the rear wall of the building, including the circular projection in the rear, is closer than five feet (5') to any of the property lines, that part should have a similar parapet wall extending at least two feet (2') above the roof level and capped with incombustible material.

Section 293, Paragraph d of the Building Code provides that a parapet wall shall not be higher than four times its thickness. The lower part of the front parapet wall scales as though they were intended to be something over three feet (3') above the roof level and the thickness appears to be eight inches (8"). This thickness would limit the height of the parapet wall to thirty-two inches (32"). In the part of this parapet wall that are indicated about eight inches (8") in thickness, panels of cast stone are evidently intended. These details do not appear to satisfy the requirements of the Building Code because the parapet wall is not allowed to be less than eight inches in thickness, and because we are not permitted to consider the cast stone panels as a part of the required thickness. In other words, the thickness of the lower part of the parapet wall from the standpoint of the Building Code requirements is shown as only four and one-half inches thick (4½").

I can discover no details on the plans showing how the pitch of the roof is to be accomplished, and there appears to be no details to indicate in what manner the roof joists are to be supported on the steel beams. Neither is there any indication of wall anchors which are required to anchor the roof joists to the brick walls at approximately every eight feet (8') around the entire outside walls. Where the joists are parallel with the walls, the iron anchors should be long enough to be spiked to at least three (3) roof joists. These anchors, of course, should be on the bottom of the joists in each case. Will you advise whether or not there is to be a ceiling, and if so, whether the strapping is to be fastened directly to the underside of the roof joists, or the ceiling is to be suspended; also what kind of a ceiling is to be provided?

Sheet S-1 of the plans indicates 2x9 roof joists while sheet No. 4 of the plans

#54/141-1

February 27, 1934

State Realty Company--2

Indicates that all roof joints are to be 2x10, fir and 16" on centers with bridging. 2x9's are not heavy enough. Therefore it is assumed that the note on sheet No. 4 is correct. *OK*

Apparently the original plans of the steel framing do not show correctly the way the frame was built, especially the first floor frame of the building. If the building had been built as indicated, the new lally column in the third story at the front of the building which is offset from the line of the other columns and which supports one end of a 12-inch at 40.8 lbs. I-beam, would eventually get its support upon a 6-inch at 12.5 lb. I-beam in the first floor framing, which, of course, is absurd. Upon examination of the building, we find that other columns have been introduced which are not shown on the original framing plan. Will you be kind enough to let us have plans which show completely the way in which the frame of the building was originally built, or at least, the situation as it exists now? *with limited plan*

Please advise as soon as possible what you propose to do about these matters.

Very truly yours,

Inspector of Buildings.

WJ/HC



(2) GENERAL BUSINESS  
APPLICATION FOR PERMIT

Permit No. 0141

Class of Building or Type of Structure Second Class

Portland, Maine, February 15, 1934

PERMIT ISSUED

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

FEB 21 1934

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 618 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 11

Owner's or Lessee's name and address State Realty Co., 602 Congress St. Telephone 4-1101

Contractor's name and address L. E. Rutland, 176 Coyle St. Telephone 4-1101

Architect's name and address \_\_\_\_\_

Proposed use of building Hall, Bowling Alleys, stores No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Plans filed as part of this application? no No. of sheets \_\_\_\_\_

Estimated cost \$ 100. Fee \$ .50

Description of Present Building to be Altered

Material brick No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use Hall, Bowling Alleys, stores No. families \_\_\_\_\_

General Description of New Work

To Repair after Fire and make alterations according to plans to be submitted

*Permit issued based on Magnient Jones' statement of design - details not checked.*

Preliminary Permit given "TO TEAR OUT BURNED FLOOR ONLY." 2/15/34

*This permit does not include right to use 3rd floor as assessed by hall - issued 2/21/34*

It is understood that this permit does not include installation of heating apparatus which is to be taken, out separately by and in the name of the heating contractor.

Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls: \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner State Realty Co.  
L. E. Rutland

By

1370B

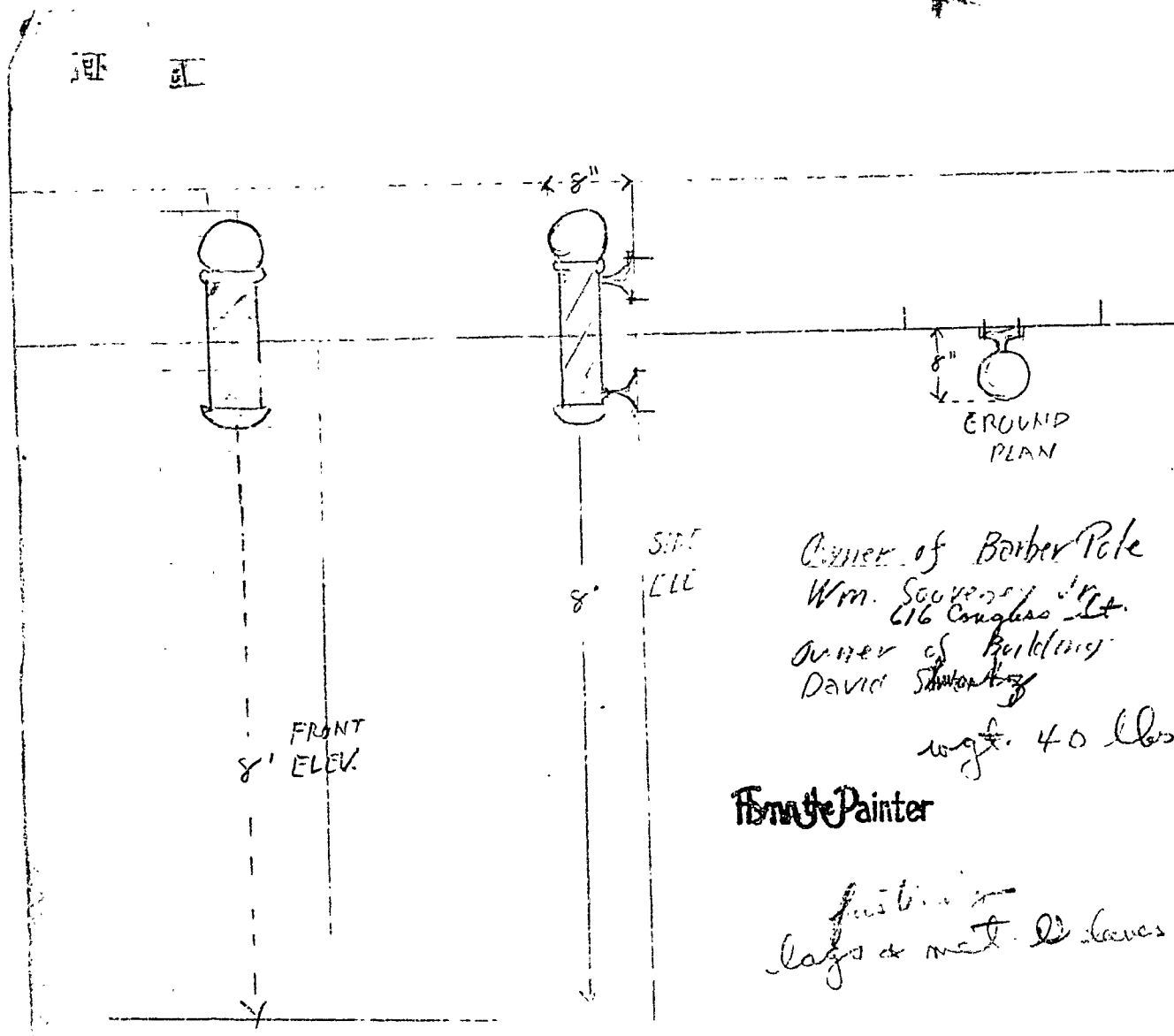
War. 5 Permit No. 34/141 P  
Location 616 Congress St.  
Owner State Realty Co.  
Date of permit 2/21/34  
Notif. closing-in  
Insp. closing-in  
Final Notif.  
Final Inspn. 8/9/34  
Cert. of Occupancy issued None

NOTES

3/15/34 -  
3/28/34 - Mr. Rhodes  
came in and  
affirmed that  
the work was  
3/30/34 - Still working  
on the roof  
3/30/34 - Electric place  
3/30/34 -  
3/30/34 - Roof on A.S.  
3/31/34 - Working on  
the roof  
4/1/34 - Roof on work  
on walls nearly  
completed - A.S.  
4/2/34 - Work on roof  
walls completed  
inside plastering &  
finish probably not

to be done until building is let - A.S.





Corner of Barber Pole  
 Wm. Sweeney Jr.  
 616 Congress St.  
 Owner of Building  
 David Sweeney  
 wgt. 40 lbs.

From the Painter

finished in  
 lags & mat. 2 leaves.



(G) GENERAL BUSINESS ZONE **PERMIT ISSUED**  
Permit No. **1200**

# APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, July 1, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 610 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached Level 1st 610 Congress Street

Name and address of owner of sign William Souvinoy, Jr. 610 Congress Street

Contractor's name and address Flynn, The Painter 745 Middle St. Telephone F 7833

When does contractor's bond expire? May 1952

## Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached brick

## Details of Sign and Connections

Electric? yes Vertical dimension after erection 2'11" Horizontal 14"

Weight 40 lbs., Will there be any hollow spaces? no Any rigid frame? yes

Material of frame iron No. advertising faces barber pole material glass

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. thru bolts 2 Size 1/2" Location, top or bottom top

No. guys no material no Size no

Minimum clear height above sidewalk or street 8'

Maximum projection into street 16"

Fee \$ 1.00

APPROVED  
William P. Sanborn

Signature of contractor

Flynn, The Painter

INSPECTION COPY OF FIRE DEPT.

E. J. Feeney

NOTIFICATION BEFORE LATHING  
OR CLOSING-IN IS WAIVED.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

Permit No. 31/1200  
 Location 616 Congress St.  
Wm. Murray, Jr.  
 Date of permit 7/6/31  
 Sign Contractor \_\_\_\_\_  
 Final Inspn. 9/28/31

NOTES

OVER PUBLIC SIDEWALK OR STREET  
 APPLICATION FOR PERMIT TO ERECT SIGN

The applicant shall be responsible for the safety of the public and the property of the city and shall be held responsible for any damage to the sidewalk or street or to the property of the city or to the person or property of any third party.

The applicant shall be responsible for the safety of the public and the property of the city and shall be held responsible for any damage to the sidewalk or street or to the property of the city or to the person or property of any third party.

VERIFICATION COPY

Signature of Inspector

1931



Permit No. \_\_\_\_\_

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

2134

Portland, Maine, October 10, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 616 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1  
Owner's or Lessee's name and address State Realty Co., 402 1/2 Congress St. Telephone 24695  
Contractor's name and address not let Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_  
Proposed use of building mercantile No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_

## Description of Present Building to be Altered

Material brick No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use mercantile No. families \_\_\_\_\_

## General Description of New Work

To cut in one new window, first floor rear,

2-3' to rear lot line

*Required to  
be metal pan  
and wire glass  
immed.*

## Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_  
If oil burner, name and model \_\_\_\_\_  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? \_\_\_\_\_ Size of service \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Plans filed as part of this application? no No. sheets \_\_\_\_\_  
Estimated cost \$ 12. Fee \$ .25  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

State Realty Co.

Signature of owner

By

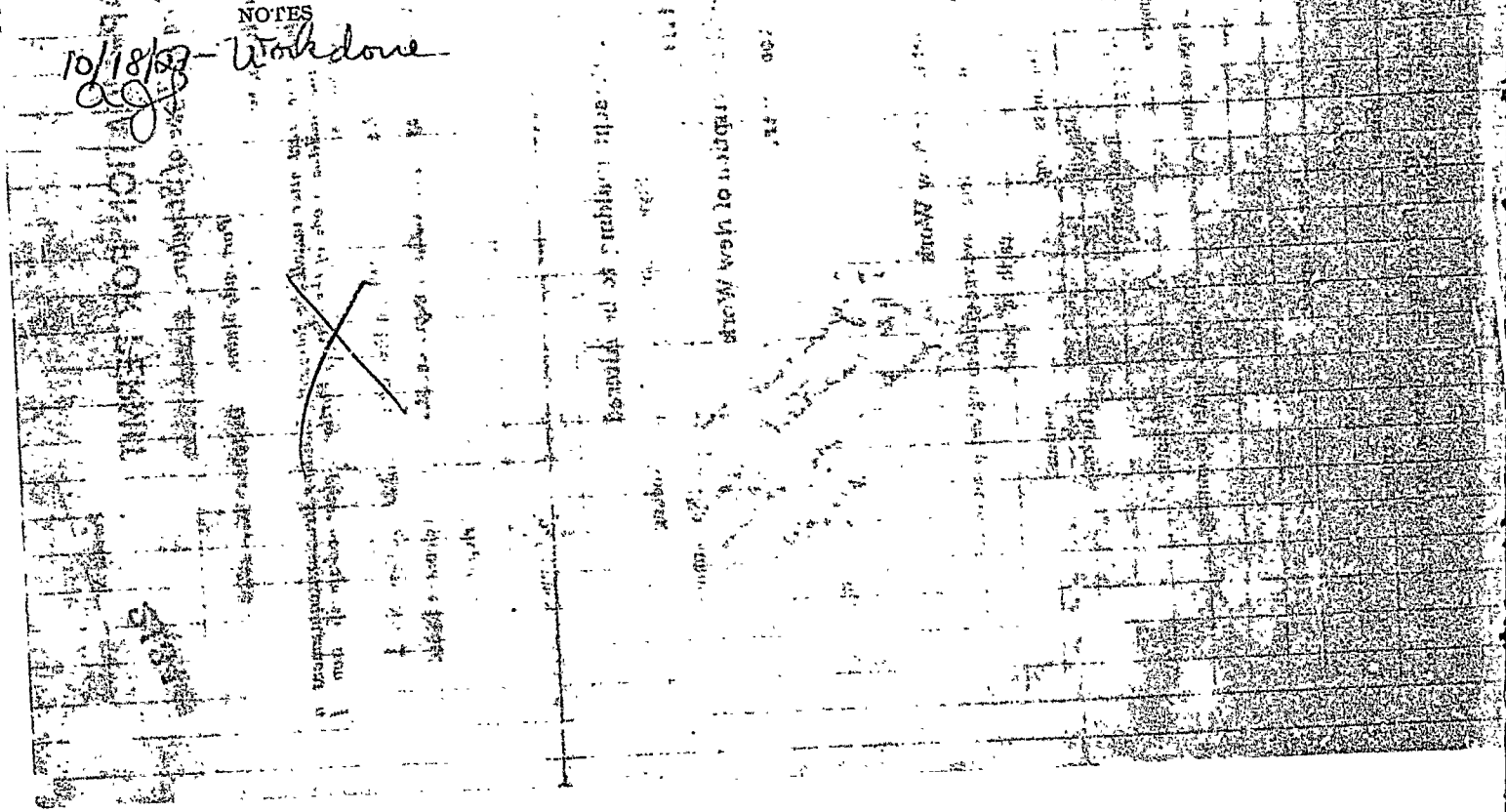
*Edmund J. Swan* 386A

INSPECTION COPY

Ward 5 Permit No. 292134  
Location 616 Congress St  
Owner State Realty Co  
Date of permit 10/10/59  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_

NOTES

10/18/59 - Work done  
Agg







# APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, March 13, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 620 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1  
Owner's or ~~Lessee's~~ name and address State Realty Co., 602A Congress St. Telephone F4605  
Contractor's name and address not let Telephone \_\_\_\_\_  
Architect's name and address \_\_\_\_\_  
Proposed use of building Mercantile No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_

## Description of Present Building to be Altered

Material Brick No. stories 3 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Mercantile No. families \_\_\_\_\_

## General Description of New Work

To out door in side of building, first floor, (2'8" x 6'8")  
(Mercier's store)

This door is to be a standard fire door in metal frame without automatic or self-closing hardware on account of the fact that the exterior wall in which it is to be placed is practically on the lot line. (This addition authorized by Sidney Shwarts 5/16/28).

3/25/28 Permit to enlarge side door window to be 3' x 10' cutting in side door window to be 3' x 10'

## Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Distance, heater to chimney \_\_\_\_\_  
If oil burner, name and model \_\_\_\_\_  
Capacity and location of oil tanks \_\_\_\_\_  
Is gas fitting involved? \_\_\_\_\_ Size of service \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Plans filed as part of this application? no No. sheets \_\_\_\_\_  
Estimated cost \$ 20. Fee \$ 25

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes State Realty Co.

Signature of owner By Sidney Shwarts

INSPECTION COPY

5879

Ward 5 Permit No. 28/318

Location 620 Congress St

Owner State Realty Co.

Date of permit 3/17/28

Notif. closing-in

Inspn. closing-in

Final Notif.

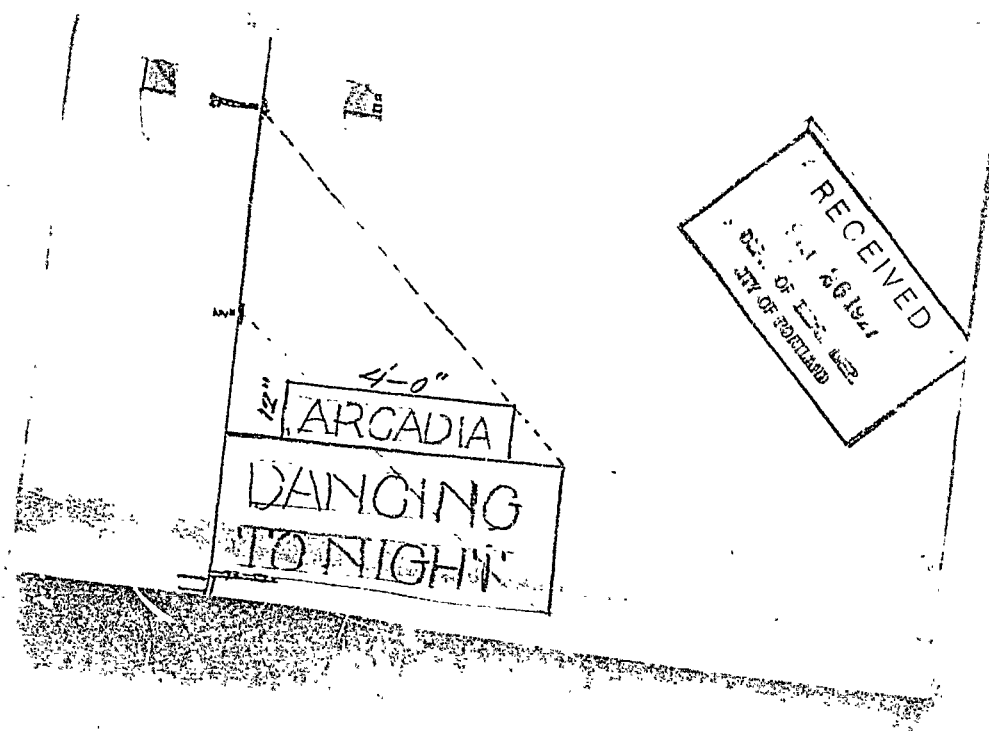
Final Inspn.

Cert. of Occupancy issued

NOTES

Not started  
2/24/28  
Not started 7/27/28

*[Large handwritten signature]*  
1/1/28





(G) GENERAL BUSINESS ZONE

# APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Sept. 26-

Permit No. \_\_\_\_\_

SEP 28 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.  
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 616 Congress St. Ward 85 Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_

Owner of building to which sign is to be attached David Schwartz

Name and address of owner of sign Felix Fernandez, 616 Congress St.

Contractor's name and address G. C. Tainish Sign Co. Telephone 4246

When does contractor's bond expire? Oct. 3-1927

## Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached brick

## Details of Sign and Connections

Electric? yes Vertical dimension after erection 48" 12" Horizontal 48"

Weight 15 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame galv. iron No. advertising faces two, material galv. iron-glass

No. rigid connections yes Are they fastened directly to frame of sign? yes

No. through bolts \_\_\_\_\_, Size \_\_\_\_\_, Location, top or bottom \_\_\_\_\_

No. guys \_\_\_\_\_, material \_\_\_\_\_, Size \_\_\_\_\_

Minimum clear height above sidewalk or street approx 30 feet

Maximum projection into street 48"

Fee \$ 1.00

APPROVED

Signature of contractor G. C. Tainish Sign Co.

INSPECTION COPY

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED  
NOTIFICATION OF CLOSING IN 12 HOURS

Ward 5 Permit No. 27/822 H  
Location 616 Congress St  
Owner Felix Fernandez  
Date of permit Sept 28/27  
Sign Contractor  
Inspn. 10/31/27 C. M. H.

NOTES

OVER EXISTING SIDEWALK OR STREET  
FOR PERMIT TO ERECT SIGN

ADMIT





(C) GENERAL BUSINESS ZONE  
City of Portland, Maine

27/6

Barry McDonald  
JAMES McROBERTS  
COMMITTEE ON SIGNS  
INSPECTOR OF BUILDINGS  
GEO. W. HARDY, CITY ELECTRICIAN  
OLIVER P. SULLIVAN, CHIEF OF FIRE DEPARTMENT

OFFICE OF INSPECTOR OF BUILDINGS

PERMIT ISSUED

FEB 25 1917  
February 22/17

This may certify that Recreation Company (Fairish Sign Co)  
has permission to erect maintain a electric sign on 612 Congress Street  
Ward 5 Street,

Provided said electric sign to be steadfast and free from oscillation, and not to extend over or  
upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk,  
and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars  
to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.

All illuminated signs shall be constructed of metal.

For Committee on Signs.