

File: Rec. 7385B-I

August 4, 1336

State Realty Company, 602 Congress Street, Portiend, Meine

Cr. Lemans

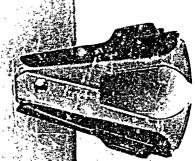
We are to-day issuing a permit for alterations including the enlargement of existing store at 616 Congress Street.

This permit is issued with the understanding that the existing rear exit door, which now swings inward, will be made to swing out and be equipped with such hardware that it may never be locked against persons on the inside.

Please be governed accordingly.

McD/H

Inspector of buildings



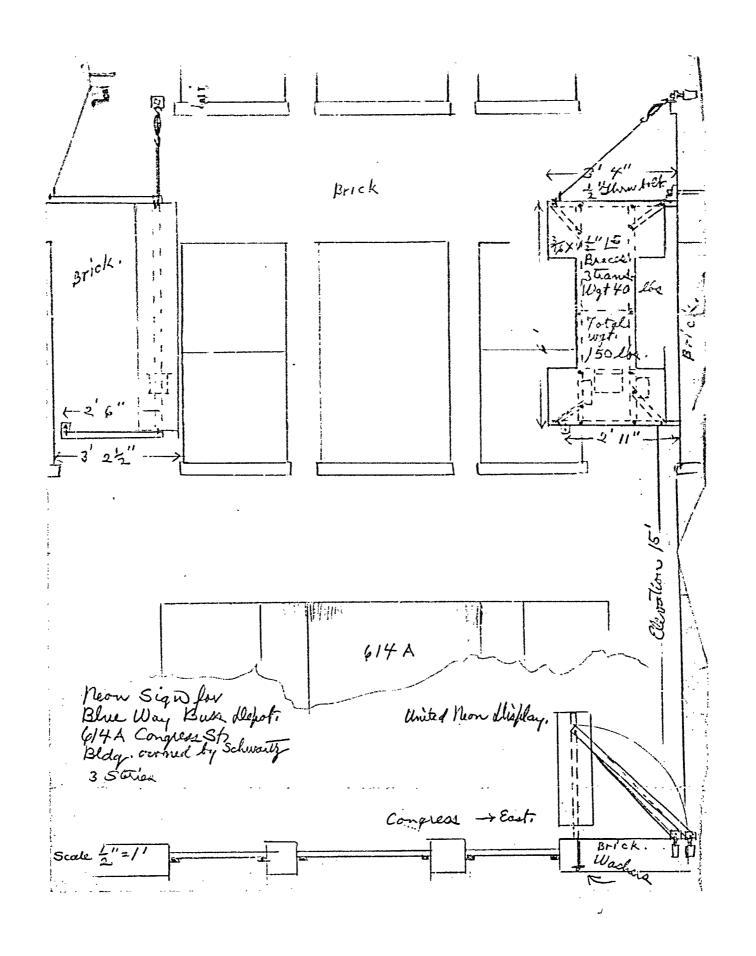


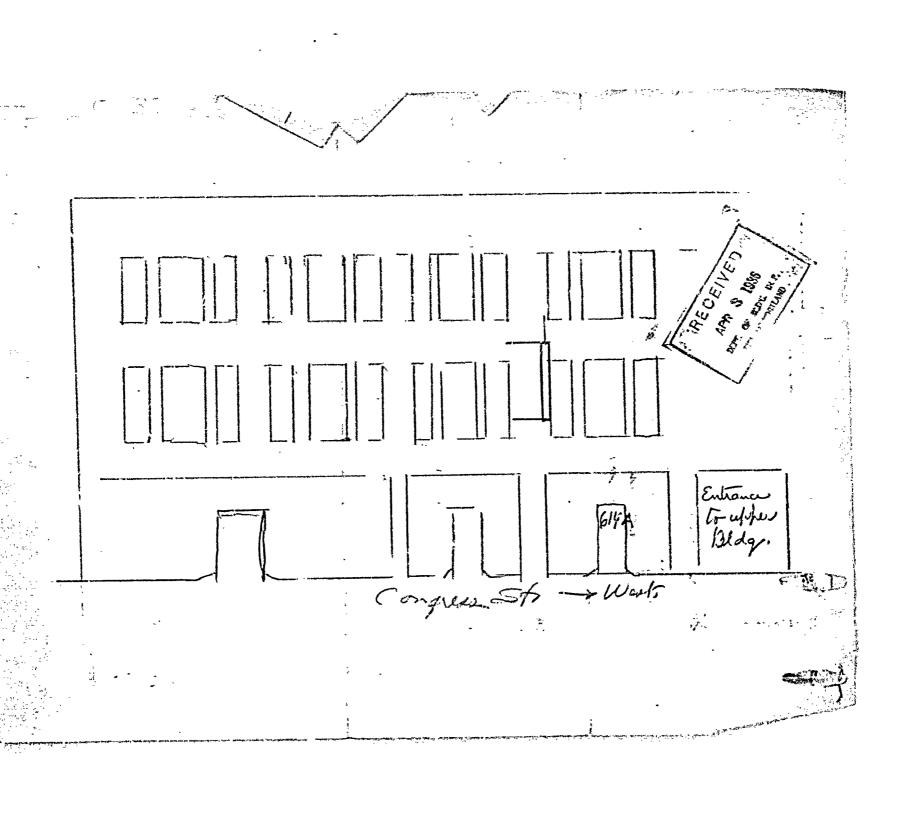
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	Portland,	Maine, 10,793	7, 1315
To the INSPECTOR OF BUILDINGS, P	ortland, Me.		and the second s
The undersigned hereby applies for accordance with the ! aus of the State of	r a permit to exact alter install the staine, the Building Code of the		
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Architect's name and address			4
Architect's name and address Proposed use of building Stores, vac	ent, Giffere		No. families
Proposed use of building Stayes, vas			
Other buildings on same lot P.ans filed as part of this application?		vo. of specis	Fe: \$75
7 . 1 . 1			
Descri	ption of Present Building to	of permitted	Roofing
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Material brick No. stories B Last use Stories	res, weest To, Ulliani -	3771-	
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bearing portitions, as also to change to existing store This change to exist one large To provide two new toilets in arts for ventilation of for ventilation of the	store of one existing see rear of store, existing one tollet, no mindows	window at less t lesst three	t three square feet in square feet in area
for wattlibition of the	Office		
It is understood that this permit does not include	ode installation of heating apparatus whi	ch is to be taken out	separately by and in the name of
the heating contracto			
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Size, frontdepth To be erected on solic or filled land?	C	arth or rock r	ottom
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Material columns under girders Studs (outside walls and carrying per span ever 8 feet. Sills and corner po	ests all one piece in cross section.		
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On centers: 1st flo	oor, 2nd	, 3rd	roof
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Maximum span: 1st in	valls, thickness of walls?		inglici
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No. cars now accommodated on same	lot,	to be accommodate	
	ccommodated		
Will automobile repairing be done of	ther than minor repairs to cars hab	itually stored in the	proposed building i
	Miscellaneous		
Will above work require removal or	disturbing of any shade tree on a p	oublic street?	70
Will there be in charge of the above	work a person competent to see th	at the State and Ci	ty requirements pertuning
are observed? VGS	State Real	KJ CO: 1- A	Lwar
Will above work require removal or Will there be in charge of the above are observed?	disturbing of any shade tree on a person competent to see the	at the State and Ci	ty requirements pertaining

INSPECTION COPY

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James and William Sound





TO GENERAL PUSINESS 20 PERMIT



APPLICATION FOR PERMIT TO ERECT SIGNOSTIS OVER PUBLIC SIDEWALK OR STREET -4 Mains April 3, 1976

CARTICLES TO SERVICE OF THE PROPERTY OF THE PR	OATIVIO		Antil 3, 1819	
	•	Portland, Maine,	111 110	
	OF BUILDINGS, PORTLAND, ME. ed hereby applies for a permit to ordance with the Buildir 3 Code of			
	OF DITH DINGS, PORTLAND, ME.	was the following described at	Unging specifications:	
To the INSPECTOR	OF BUILDINGS, PORTLAND, ME. ed hereby applies for a permit to ordance with the Buildir 3 Code of	City of Purtland, and the	londering spars	
The undersite	ed hereby the Buildir 3 Code of	the cut of a s	yes Dist. No	
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Half of the	Congress Street	and fone		
Lorence Dias	Congress Servet	d ELHEFEZ VICTO		
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Owner of building it	The Year IX	s Capole,	Telephone: 2-0895	
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Name and address of	n_4 and Boon [452	AY, 21 ADA	•	
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Contractor & Bank	or's bond expire? Cetober 1%. Information	0	DOOLER OF ULLUFARE	
san a does contract	or's bond expire.	Garagening Bullums		-
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APPLICATION FOR PERMIT PRINT

Class of Building or Type of Structure Second Bess JA 1 20 1938

Portland, Maine, Jennery 20, 1956

the INSPECTOR OF BUILD. The undersigned hereby a	INGS, portland, n'e	•		taring huildi	ne saucine edujón.	nt fi
The undersigned hereby a cordance with the Laws of the	pplies for a permit to	erect alte	er insual the fol Code of the City	of Portland,	plans and specificat	ars,
cordance with the Laws of the ty, submitted herewith and the	State of Maine. the	ous:			WAS TOUR NO	1
ocation 616 Congress Strawer's or Lessee's name and add	Stata Est	lty Co.	6024 COST	ess St.	Telephone_C=	<u> </u>
wner's or bessee's name and add	dress Diagram				Telephone	
ontractor's name and address	1975					
rchitect's name and address Proposed use of building Stor					No. families	
building blox	40)					
Proposed use of building Stor						
Other buildings on same lot	tion?n	ю.	No.	of sneets	Fee \$	50
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imated cost	- Description of P	resent l	Building to be	Altered		
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the means	D .	0,0110	Height avera	ge grade to to:	thest point of roof	4
Size, frontdept	h	(OIICa	eartl	n or rock?		- ; ;
To be erected on solid as fille	d laud?				bottom	- \
Material of foundation		T P-2-1-1	.,		Thickness	.
Material of underpinning-						
Kind of Roof	Rise per foo	<u> </u>	Root covering		of lining	
No of chimners	Material of chime	reys		T	Guing involved	
No. of chimneys.		Type of	fuel	1\$ ga	S Humb myore	i ``
Kind of heat Corner posts	ilsGirt	or ledger	board?		_ 5126	
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On centers:	1st floor		, 2nd	OLU	, roof	 ,
	1st floor		, 2ud	, örd	, roof height?	
Maximum span: If one story building with	masonry wails, thick	mess of w	alls?			
It one story building with		If				
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No. cars now accommodat	ec on same will	eted.				
Total number examercial	cars to be accommoda		nice to care habit	ually stored in	the proposed building	?
Total number commercial Will automobile repairing	g be done other than	minor rep	iscellaneous	,		
		2424		blic street?	ne	
Will above work require	removal or disturbing	g or any s	nade tree un a pu	t the State and	i City requirements pe	rtaining the
Will there be in charge	of the above we tal	person con	State Heal	Lty So.	1	
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INSPECTION COPY			-			*** (a)

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Vard 5 Permit No. 36/40			
Location 616 Conques Al.	*		
Owner State Reulty Co.			
Date of permit 1/20/36			
- }			
Notif. closing-in			
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Cert. of Occupancy issued North			·
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CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

November 15, 13:5

Oliver T. Samborn, Chief of the Pira Department

Dear Sirt-

اداد محسد شاطینی کا

In the three story building at 616 Congress Street, for only known as the Recreation building, the owner has relocated one of the 'ire escapes on the easterny side of the building and built one or more partitions in the third story dividing the front of the third story into the offices. The third story dividing the front of the third story into the owner. of these offices is occupied by some kind of an automobil a service company and the other side is occupied by what is called a navig iton school, thus school being on the westerly side of the third floor. This some has been done without a building parait.

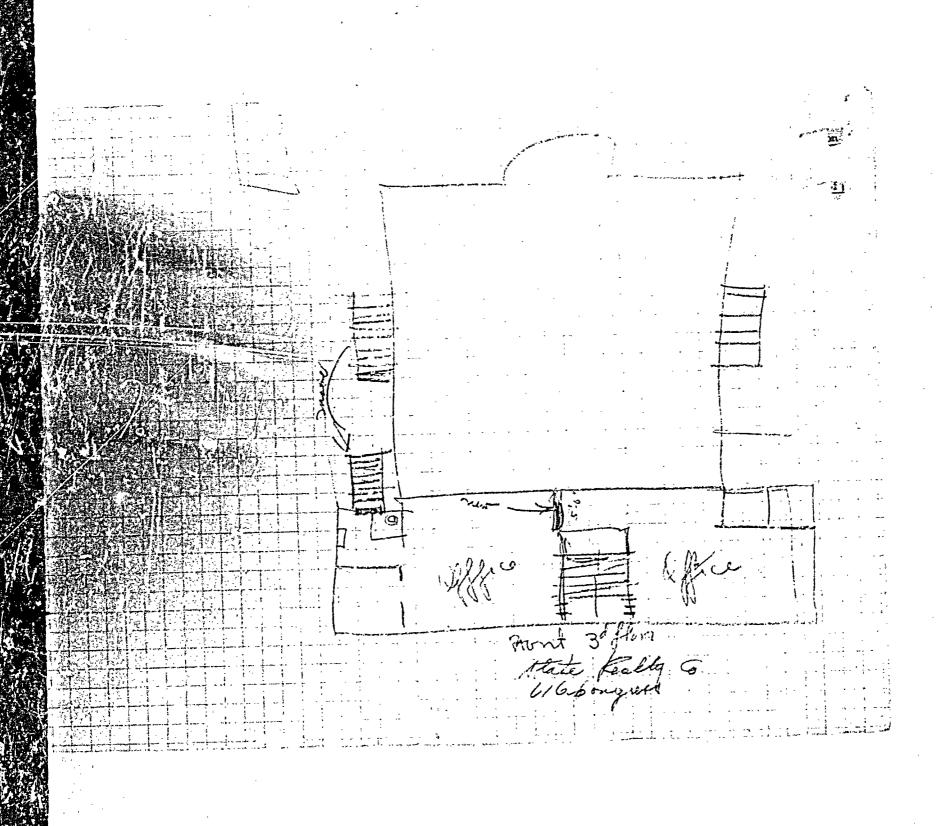
The range has applied after notice from us for a building permit to cover the work, but I find that the quarters used by the school have only one means of egress. It. Sidney actuarts, representive of the owner, only one means of egress. It. Sidney actuarts, representive of the owner, has suggested that permaps such free passageway could be provided through the office on the easterly side and thus reach the fire escape relocated.

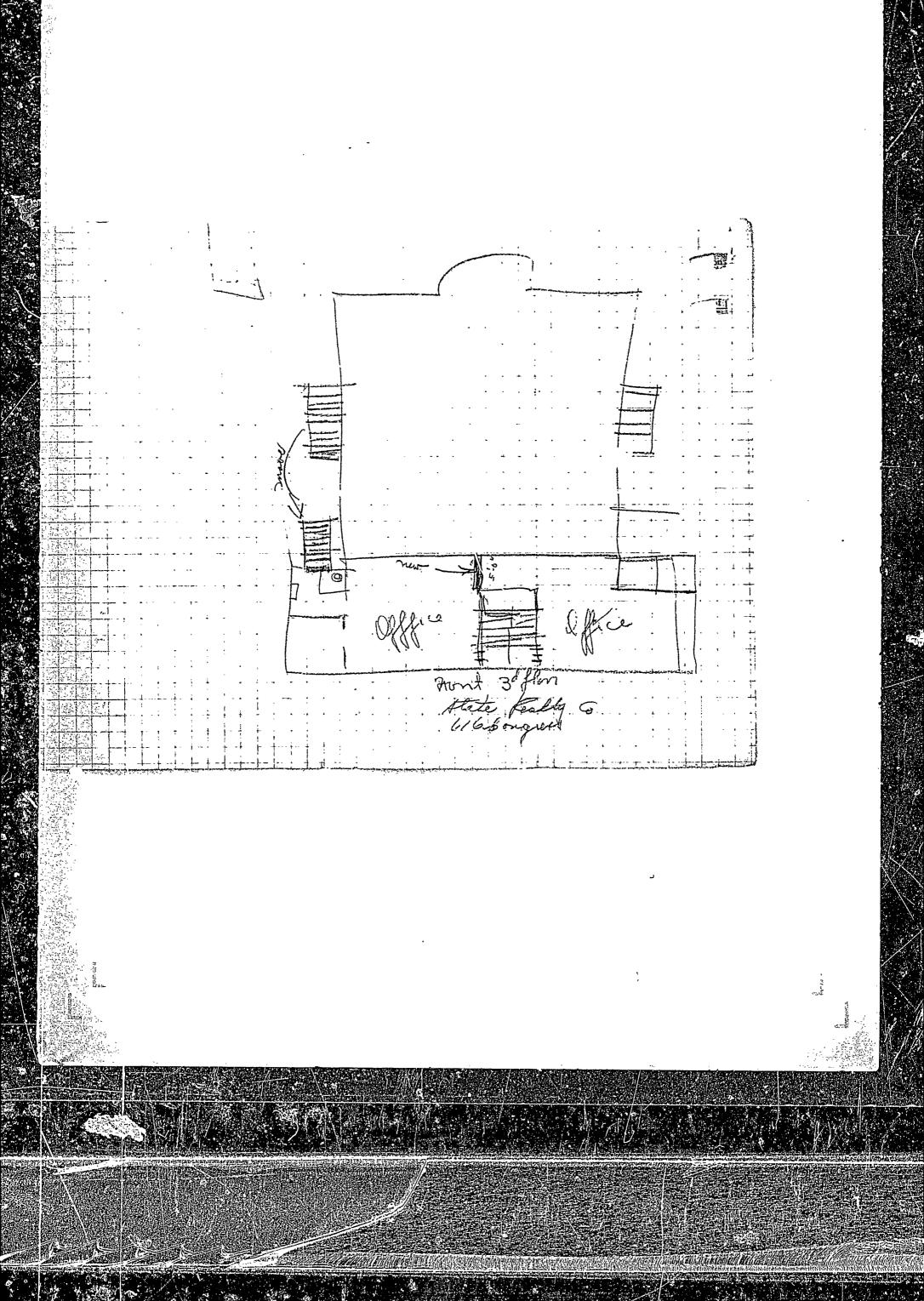
Will you be kind enough to look over this situation and see how you feel about the exite, leading me know so that semathing may be done to correct this situation which new exists.

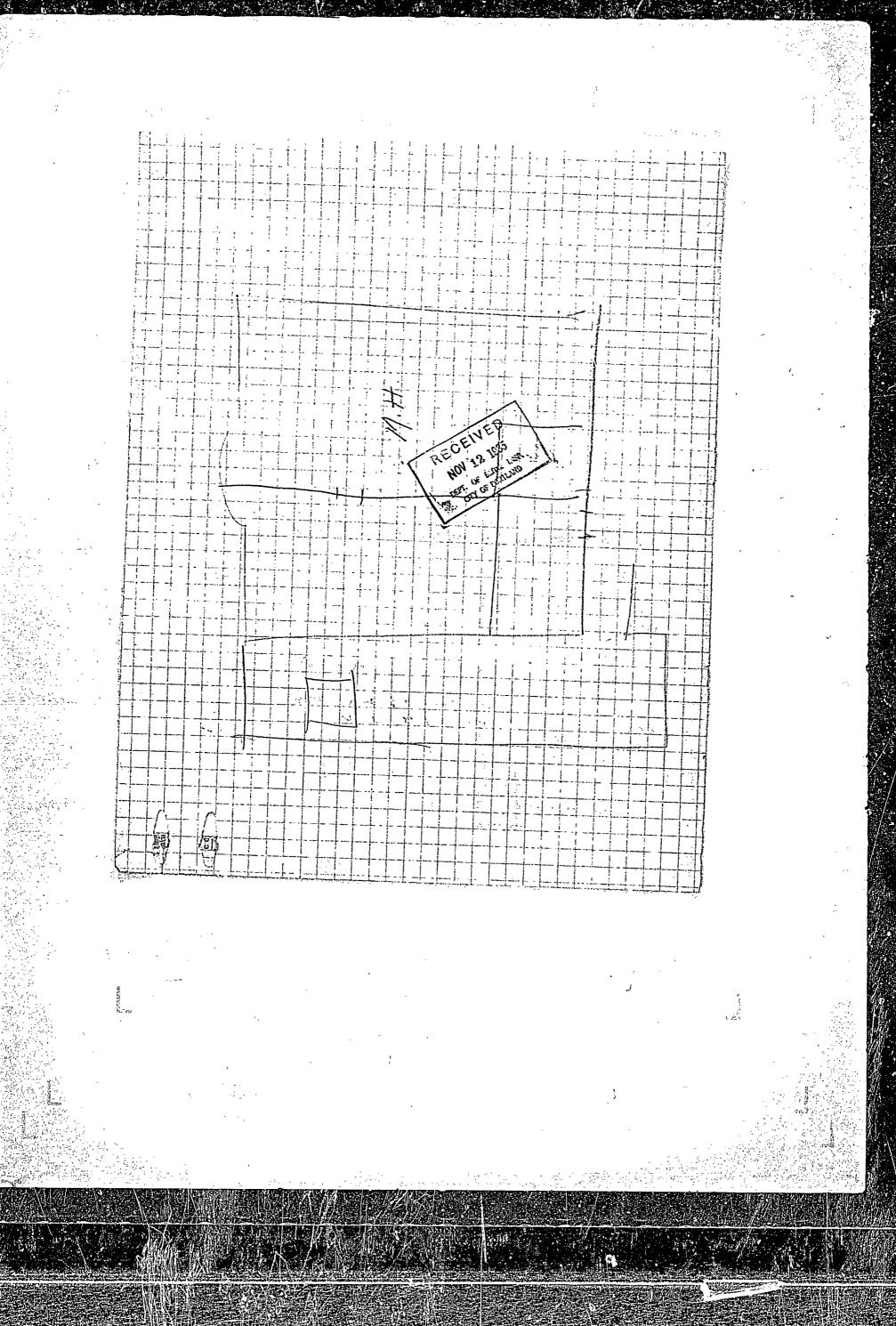
Very truly yours,

McD/H

Inspector of Buildings.









APPLICATION FOR PERMIT

Class of Building or Type of Structure

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.	Portland, Maine, Hovember 12, 1925
The undersigned hereby applies for a permit to creat a accordance with the Laws of the State of Maine, the Buildin any, submitted herewith and the following specifications:	ilter instail the following building structure equipment in g Code of the City of Portland, plans and specifications, if
Location 516 Songress Street	5
Contractor's name and address. Harquier & Jones Co.	Telephone 5-4161
Contractor's name and address Regulier & Jones Co. Architect's name and address	Telephone
Proposed use of building Stores and Offices Other buildings on same lot	
Other buildings on same lot	No. families
Plans filed as part of this application? yez	No. of the same
Estimated cost \$ 55.	IVO. Of sneets.
Description of Present B	Fee \$
No. stories 5 Heat	Style of root
Last use Stores and Offices	Roofing
General Description or relocate metal firs escape on side of building	af NT

To relocate metal firs escape on side of building, third to second floor, as shown on plan To put in 5' sheet rock partition to divide space on third floor into two separate offices

the heating contractor.	nit does not include i	installation of heating apparatus t	which is to be taken o	ut separately by and in the name
		Details of New Wo	ork	by and in the name
Size front	1			of plate
To be accorded an active	lepth	-ivo, stories Height		•
		Inickmess +		
			_	
-		an nnevs		
Corner posts	Sills	Girl o leden to 12	Is gas fi	of lining
itude (outside malle and) 2: 4-16" O. C. Girders 6x one piece in cross section.	Max. o	on centera ing in every floor and flat root
Joists and rafters:	1st floor	one piece in cross section.		a and that 100
On centers:	1st floor	01	, 3rd	, roof
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automobile repairing b	e done other than	minor repairs to cars habit.	ally stored in the new	pposed building?
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ill above work require rer	noval or disturbing	of any shade tree on a such	t 70	
ill there be in charge of t	he above work a r	Person competent to a 19901	ic street /	
observed? Yes		competent to see that t	n State and City re	equirements pertaining thereto
PECTION COPY	Signature (if owner	ey To the	

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Pile: P.34/664-I

November 9, 1935

Mr. Sidney Schwartz, 602A Congress Street, Portland, Maine.

Dear Sir:-

With reference to the building owned by the State Realty Company at 614-620 Congress Street and particularly to building permit No. 34/664 issued to cover such alterations in the first story and basement of that building, a part of the alterstions covered under the building parait consisted of construction of a new set of stairs between the first story and the basement. of construction of a new set of stairs between the little story and the baseautte. This building being a three story building the building being a three story building the building code required, as with all stairways in buildings of that or a greater height, by enclosed with a selfclosing fire door in the cellar.

This natter was brought to your attention before the permit was issued in my letter of May 18, 1954. After some discussion with you it was my impression that, in exchange for being permitted to leave the new stairm, open, you would discontinue the front stairway butween the first story and the cellar and floor over the stairsell tightly at the first floor level. The reasoning in this case was that the open stairway in front was an existing condition prior to the adoption of the requirements concerning enclosing such stairways, and that by exchanging one open stairway for another you would not be accreasing the number of unprotected openings between the cellar and the first story and thus would not be doing violance to the spirit of the Ordinance.

Now, I find that the front stairway has never closed so that the job is in violation of the law in that a new stairway has been provided between the cellar and the first story without a fire resistive enclosure as required by the Building Code.

I shall expect you to go through with your original arrangement and I shall expect you to go through with your original arrangement and permanently close the front cellar stairs, flooring the stairwell over tightly at the first floor level, or enclose the stairs constructed under the building permit as outlined in my letter to you of May 18, 1954, on or before November 26, 1955/

Very truly yours,

Inspector of Buildings.

Juna 23, 1034

Two Sidney P. Grants State Analty Corpany 602A Congress Street Portland, Laine

Dour Sir:

Congress Street miliorisid under building partit /34/664, the reinforcement of the original uplies of the steel bears over the entrance as designed by Fr. W. C. Attehins appears to reduce the stresses in this steel work well below the reminum ustablished by the Puilding Code.

Please consider this letter, therefore, as lifting the directions to stop work contained in my letter to you of June 22, 1954.

Very truly yours,

Inspector of Buildings.

TRI/IEC

·e:

W. O. HUTCHINS BUILDING SPECIALTIES

178 MIDDLE STREET PORTLAND, MAINE

June 26, 1934.

Wr. Warren McPonald, Inspector of Puildings, Portland, Waine.

Dear Tir:

Faving been employed by 'r. Lioney 1. Chwartz to make an investigation of the loads, stresses resulting therefrom and safety of the existing lintel over the store front in the Recreation Building, so called, on Congress Street, Fortland, ye., under the conditions caused by the recent alterations in the said store front, I am mending you herewith a copy of my computations, four sheets in all.

my opinion, based on these computations, is that the lintel in question, if spliced as indicated, will act as a fully continuous beam over three spans and as such is perfectly safe, with permissible unit stresses, for the existing dead loads and for light occupancy live loads on the second and third floors, and 40" per sq. ft. live load on roof,

I would not recommend that storage of merchandise be allowed on the section of floors adjacent to the front wall.

Yours very truly, Withhis.

34/004-1

Juno 22, 1934

Sidney P. Shwartz State Realty Company 2024 Congress Street Portland, Fains

Dear Sire

As authorized and directed by Section 37 of the Building Code of the City of Fortland, copy attached hereto, you are hereby directed to stop all work connected with the alterations of the building at Cis-Sis Congress Street authorized under building permit No. 34/864 issued from this Department on Nay 25th, 1934 because a certain part of the work has been designed and constructed in violation of the Building Code of the City of Portland in that the arrangement of structural steel intended to support the loads formerly supported by a brick pier is not adequate to support the probable loads that will come upon it without streaming the steel far beyond the maximum stresses permitted by the Building Code.

Very truly yours,

Larpector of Buildings.

W:/60

A true copy of the above order was posted by me on the premises
where the work is going on, and the original order was given in hand by
me to the above named Sidney P. Shwartz at 2:30 o'clock in the
afternoon of June 22, 1934.

Warrenn Donala

.

DAVID SHWARTZ, PRES & TREAS.

HARRY M. SHWARTZ

SIDNEY P. SHWARTZ. SEC'Y

DAVID SHWARTZ & SONS

Operators in Real Estate

LOANS AND MORTGAGES NEGOTIATED

SURETY BONDS FURNISHED

NOTES DISCOUNTED

602A CONGRESS STREET TELEPHONE FOREST 4605

NEW SHWARTZ BLOCK

Mr. Warren McDoneld Immector of Buildings City Fall Portland, Maine

Dear Sir:

We beg to acknowledge receipt of your letter of the 20th inst. regarding the alterations at building #615 - 618 Congress Street, and note your reference to the steel construction at the front of the building.

The Megquier & Jones Co. designed the steel for this mork in accordance with the standard requirements for steel designs and Mr. Elliot, their engineer, assures me that this work is well designed and properly erected. He states further that he has checked over his figures, has found the steel lintels adequate and since your conversation with him he has re-checked his figures several times.

Your attention is particularly called to the fact that Mr. Elliot furnished you with a design for the steel which you kent in your office for some two or three weeks without any comment and in the absence of any correction by you we proceeded with the rork. Your attention is also called to the fact that from the time the steel was fabricated to the time of the erection several more weeks elarsed without any comment from you. Frankly, we are imazed to receive your letter at a time when the steel and masonry work are completed.

Inasmich as the Vegquier & Jones Co. is stunding behind their work and their computations, we feel constrained to make any changes at this time as the store front work is practically completed. Mr. Elliot states that he is of the opinion you are figuring store loads for the second and third floors which, of course, is very improbable, and we would appreciate your going over the matter with him to see if there is not some error in your colculations.

Thanking you, we ere,

very truly yours,

SPS: MW

By Sedney 1. Thwants

√Copy to Mr. H. W. Rhodes, 512 Exchange Street 34/334-I Juno 20, 1834

/Copy to Regquier & Jones Co., ATT: Mr. H. C. Elliott State Realty Company 603 Cro, reco Stroot inriland, faino

ficial areas

With relation to the elterations in your building at 616-518 Congress Street, and particularly to his adjustment of the steel such intended to support the live and dead leads in the building formarly carried by a brick play, now recoved, I find that the centilever arrengement which you have adopted is far from adoquate to support the loads according to the loads assigned by the Building Code and according to the allerable stresses paralited by the Code.

The Building Code sets the clienthle taxing fibre etress in structural stool at 18,000 lbs. per square inch. Figuring the load at the checkure through permissible under the Building Code, shows that the fibre stress in the And is likely to be 27,000 lbs. per square inch-

Under these circumstances, it is necessary for no to require that you take immediate steps to have the steel sork properly reducered in such a say that the allowable stresses required by the Building Gods will not be exceeded, and that you do not close in the calling around this steel work until the retind and that you do not close in the calling around this steel work while the steel with the steel work has been accounted by the steel work and the steel work has been accounted by the steel steel work and the steel work has been accounted by the steel steel work as the steel work has been accounted by the steel steel work as the steel work has been accounted by the steel steel work as the steel work of strengthening has been approved by this lapartrent, the steel work has been actually strengthened, and redthen permission given to close in the works

It would no well for you to subrit a revised plan of the proposed readjustment of the steal for checking by this Department before the pork is satually done.

Very truly yours,

Inaportor of Buildings.

WE / BO

Copy to Fr. H. W. Rhodes, 511 Exchange Street

18600-1

8. mr. 34/66 W

Fay 18, 1954

State Realty Corpany 602 Jongress Street Portland, l'aine

Gentlement

inclosed is the building portit of vering alterations in the first story and barement of the building at 616-613 Congress Street.

At the proposed store front there is not sufficient detail of the adjustment of uteel lintels over the show windows so that we ray check the same. Please Turnish these details.

The proposed stairs from the first floor to the cultar are required to be enclosed in the cellar since the building is nore than two stories in height. You are referred to dection 74 of the Building Code. This succesing partition is required to he at least of wooden stud construction with noted lath and plaster on both sides of the partition, or, if you profer, noted lath and plaster may be applied on the cellar side only in which case it will be necessary to back planter and the study on the stair olds rust be left exposed. A self-closing noted clad thre door set in a notal covered frame is required at the foot of these stairs. By the warm "self-closing" is meent a door which is normally closed and kept closed when not actually in use by means of a suitable weight, spring, over check, or other suitable device. Er. Sidney Shwarts has suggested that perhaps the existing open stairs y leading to the cellar in the front of the building might be percenently closed up. If this is done and the oxisting stairvolls tightly floored over, I feel that the Building Code does not require the enclosure of the new stairs to the collar.

It is understood that the use of this bearment by the public is not contemplated.

Please be governed accordingly.

Vary truly yours,

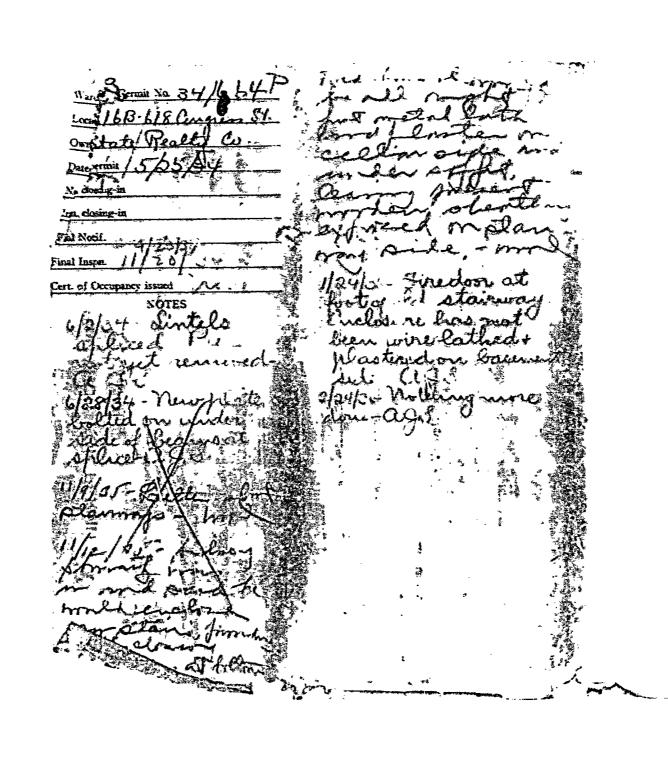
Inspector of Bull lings.

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alteration at 616-618 Conques St. Section 74 - new - to cell

7) GENERAL BUSINESS ZONG-APPLICATION FOR DEDA

		ATION FOR		4 4 4
The state of the s	Class of Building or Typ	pe of Structure.	Sacra	WIY SE IRU
To the INSPECTOR ()} JILDINGS, PORTLAND, MI	Pwrtland, M	laine, Mb [17, 1984	_
	I reby applies for a permit to use of the State of Vaine, the hand the following specificati on rass Street			
Owner	The second of th	Ward 5 Within	Fire Limite? Yes 1	Dist. No. 1
Archiver's Hank and	de la Estada Si		Tcks	du use
	bearing the state of the state			
94 4 1.00	And the same of th			
	and the state of the state of the same of the same of the state of the	resNo.	of sheets. 2	
Estimated cost § 400.			Fa. :	ş <u>,75</u>
M	Description of Pre	sent Building to be		
Material Brief N.	a atomina E 11			
Last use	Stores 124 Offi	Ces	No for	il.
	General Desc non-bearing partitions wilding out former roal			
to remove two exists the this sto	ting tollet on first fl. re in beseinst in main entrance hell t nit ders me include installation of be	crains and support oor, two existing he metal lith an	tollet: for use in	plan plan plan
	Details	of New Work		
Size, front	epth No stories		ravie to top of plate	
To be erected on solid or t	epth	Height average gr	ade to highest point of rue	·
Material of foundation.	1 hicks	earth or i	ock?	
Material of undersiming	D:	къз, (ор	buttom	
Kind of Roof	Rive year force	TI CIGHT	Thickness	
No of chinneys	Rist per fust			
Kind of her:	Material of chinneys	40.00	ef lining	
Strate Contrade walls and	rdersarrying partitions) 2x4-10" (). I corner posts all one piece in c			
Joists and refters:	Ist floor	ros section,		a mid reft tokal
On centers:	1st floor	310	, roof	
Махинани эран:	1st floor, g	nd, 3rd		Shame a compression and compression compre
If one stary building with a	1st flogr	:k1 , 3rd	roof.	the sale of the sa
	mannery walls, thickness of wall	6.	height?	2-00 ma
No. cars now accommedated	II d	Garage		
Total timber consucrial ca	on same lot	, to be accum	invidated	
Will automobile recairing to	rs to be account indated.			-
ietzeititä li	e done other than minor repairs	to cars habitually stored	I in the proposed building	7
	Misce	ellaneous		
Will there be in channel of	oval or disturbing of any shade	tree on a public street?		
are observed? Yes	he alsove work a person compete	ent to see that the State a	and City requirements pert	taining thereto
		DC_ 18 17 CG_	•	
INSPECTION COPY	Similare of owner.	- Co. A. Pro	des aucht.	B



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SEALDY, LICENIESE NORTH BOME No. APPLICATION FOR PERMIT

Class of Building or Type of S

· Para	of Diments of Type of	Structure Bi	
To the INSPECTOR	OF BUILDINGS, PORTLAND, ME.	Portland, Maire	10 d 1/13/36.
	ed hereby appliet for a permit to erec Laus of the State of Maine, the Build ith and the following specifications:	t vi tes install t he followi ling Code of the City of F	og building structure equipment
LICATION 313 From	the second second		
Owner's us Lessee's na	address and address and address	n thin Fire L	insits? you Dist No 1
Contractor's name and	address	المراسان ومع والمعالمة	th 3t. Telephone 2-0357
Architect's name and a	address James		Telephone
Proposed use of build	d ires		
Other buildings on san	e loc		No. families
Estimated cost \$		No. of sheet	<u>. l</u>
Mueria! Lete's	Description of Present	Building to be Alter	
Cast use	O. stories S Heat	_Style of roof	Roofing
			No. (a.nilies
	WOLLEGAL LIESCHINA	727 At Minne 111 1	
to stract own engli	tional (equal 25% x left on ro	of of building .c.	.
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			Maria
Orner of Duildin	Cata Ruller Ca		On CATION .
	s said said of.		SOCIETY ATHON HOS
It is under about that this per	This does not include to contract		CATE ICA
the heating comractor.	mix does not include installation of heating at Details of N	pparatus which is to be taken	out separately by Decry, the name of
	Details of N	ew Work	a District
Size, ii witt	depthNo stories	Transfer Break to the	op or prate
To be erected on solid or	depth No. stories filled land?	arerage grade to h	ighest point of roof
Material of foundation	This	earth or rock?	
Manerial of underpianing.		·	bottom
Kind of Roof	Rise per for	ht	Thirkness
No. of chimneys	Rise per foot Ro Material of chimness	of covering	
Kind of heat	Material of chimneys		of lining
Corner posts	Sills Girt or ledger board	Is gas	fitting involved?
Material columns under mi	Sills Girt or ledger board	?	Size
Study (outside walls and	rders Size Size	Max.	Off Centers
span over 8 feet. Sills at.	Size Arrying partitions) 2x4-16" O. C. Gi d corner posts all one piece in cross se	rders exe or larger. Brid	ging in every flow and flow
Joists and rafters:	1st floor	ction.	o a more and hat 1001
On centers:	1st floor, 2nd 1st floor 2nd	, 3rd	
Maximum span:			
	1st floor, 2nd masonry walls, thickness of walls?	, 3rd	, rool
•			height?
No. cars now accommodated	If a Gara	ge	
Total number commercia:	on same lot	, to be accommodated	
Marie Commercial Co	us to be accommodated		

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto INSPECTION GOES IN The See of owner Ex

Puritum Advortising Co.

Will amomobile repairing be done other than minor repairs to cars habitually stored in the proposed building?____

Will above work require removal or disturbing of any shade tree on a public street? 20

Miscellaneous

	- ~, -		A	
Permit No. 36)52			3	
wasion blb Congress St.		*		13 Am Tomore
Owne Printer	,			
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Inspn. closing-in	***			节 是被 产。
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Raman and reserve and	Marie Carlos Maries	The state of the s		
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May 15, 1955

File 2.85/1876-1

Sairs Anabura 1 Cospany, fill Congress Street, forthe d, later.

Gast.ex wi-

and . .

fit Congress Street which we are proupping in a massion with pulling at an early and services of the full live in the states with your water atture, and that the following was anytided under a building this passions; and a fire for man required and provided at man and of this passions.

An inspector from this office reports that the high Street suc of this passenguage the fire to r is obstructed by circles or other material chick tracted tracted tracted to present the fire distribute. In the other such for a passenguage that the door was or given equipment with a chick and a splight to do the other of smed. The spling at the at the time time of inspection time warre placed equipment to be been taken of and on who could not it could not be could not it fould.

Both of those dours are to be self-origing, that is so that they will oless of thesesques and area closed a realize. In Saliting and or wides that no such fire prevention device shall be described as as to perform the such devices out they were originally intended. The chose further provides a penalty for interpring with any of these devices or for falling to repair the devices show they are found to be out of order.

Please have both of these doors put fully in order and keep materials and other substances arey from the doors on that they will function properly at all times.

Very truly yours,

McD/H CC:David Shmartz & Sons, Inc.

laspector of Buildings.

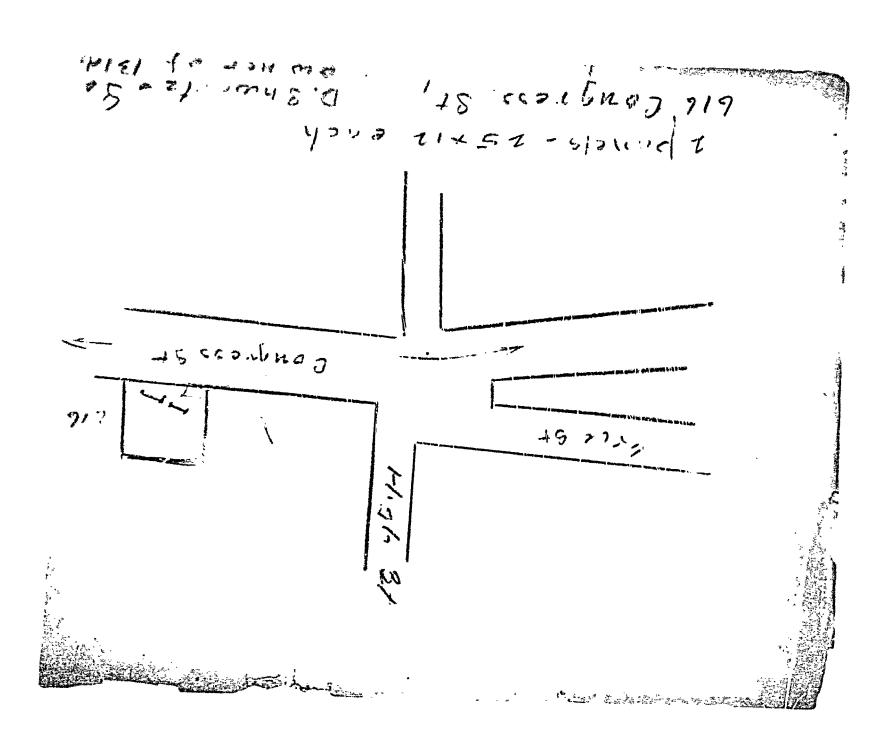
· · CLAINERS SOM

APPLICATION FOR PERMIT

Class of Building or Type of Structure Become Class

		Portland	l, Maine, Pabruary	11, 1985	
the INSPECTOR OF E	BUILDINGS, PORTLAND, A	ME.			
The undersigned her ordance with the Laus	eby applies for a permit of the State of Maine, the	to erect alzer install- ne Building Code of the stions:	ac sary of a service of	•	
618 Congress	Street	Ward 5 W	ithin Fire Limits?	yesDist No	1
rame 2	and address Eliate Res	elty Co., sone C	ogress St.	Telephone E-4	161_
ment springer and add	ress OFGET		4.12.3	Telephone	
Midelle ame and addre	CSS				
Careers manage and and	Stores, 2d vecent,	5d storege		Ni- familias	_
the building on some lot				- 1m	Va.
mer bendings on same ac-	pplication? 768		No of sheets		
stimated cost \$ 500.	The state of the s			Fee \$.75	
Paristed Cost 9	Description of 1	Present Building	to be Altered		
main brick No.	stories 5 Her	Style of x	cof flat	Roofing 740	
ast use		ed Id vacant		No. families	····
	e door at either er ng about 18" belor				(13) A 3 MC
				CERTIFICATE OF THE	S Y. A. DYFE
	to along most includes installation	n of heating apparatus wi	nich is to be taken out se	parately by and in the	name of
is understood that this peru we beating contractor.	cal cocs nor menore venezuen	71 At 44 10 LEL			
at between the manner was a service of	₽-	tails of Many VII	rke		
	, De	tails of New Wor Height a	rk verage grade to top of	plate	
ize front	feothNo. sto	ories Height a	verage grade to highest	point of root	
ize, frontd	fepthNo. sto	oriesHeight a	verage grade to highesterth or rock?	point of root	
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rize, front de consolid or cerial of foundation aterial of underpinning. Kind of Reof flat	filled land?	Thickness, top Height Roof cover	verage grade to highestarth or rock? bottThi ingTar_and_grayof	omckness	
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ize, front	Rise per foot Material of chimne Sills Girt or girders i carrying partitions) 2x4 and corner posts all one p	Thickness, top Height Roof cover ys Type of fuel r ledger board? Size -16" O. C. Girders 6	bott Thi ing Tap and gray of Is gas fitti Max. on x8 or larger. Bridgin	ckness ckness ining ng involved? centers g in every floor and	flar roof
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INSPECTION COPY





APPLICATION FOR PERMIT

PERMIT ISSUED

Cle s of Building or Type of Structure 51gn

Nov 95 1934

To the Overtowner of					
to the INSPECTOR O	OF BUILDINGS, PORTLAND, A	Portland, ;	Maine, Nov	ember 14, 1974	
The undersigned	hereby applies for a permit sus of the State of Maine, the hand the following specificat	to erect a lter install the	e following bu City of Portla	ilding s tructure eq	n <mark>ipment</mark> -in Scations ==
Location 616 Congre	==== ine jouowing specifical ==== Streat	ions:		- Pamar and opeco	ecusions, s
Owner's Antonio	ers Street	_Ward_5_With	n Fire Limits	Yes Dist No	<u> </u>
Contractor's name and a	ne and address Puriton &c	vartising to, les	High St.	Telephone	£035?
				Telephone	· • • • • • • • • • • • • • • • • • • •
Architect's name and ad	dress	<u> </u>			
Other Latt	8			No. families	
Other buildings on same	lot				
trans med as part of this	application?	No	. of sheets	11	
Estimated cost \$	•			Fee \$ 1.00	<u>)</u>
brick	Description of Pr	esent Building to b	e Altered	, €.	:
Material Brick No	o. stories 3 Heat	Style of roof_		Roofing	. 4,63
Last use	Stores and ap	i'taents		No. families	
	General Des	cription of New W	ork .	•	
To eract reaf sign (C-12x25)	o, all nevel construction	.33, 28 per plan		***	i j
Owner of building	D. Shrawka & Com	_			
	nt change of SOR	ing the age	A STATE OF THE STATE OF	ENTERING OF SE	, ₁ , -
,		`*	4	TOUR LEAT AND	Caran
	,			· .~ &	ALYLO
It is understood that this peri	mit does not include installation of	heating apparatus which is	a tu ha tahuu		
the heating contractor.	Detail	s of New Work	to be taken out ;	eparacily by and in th	e name of
*-		Hairbt asses	grade to top of	plate	
Size, front	depthNo, stories	Height average	and to be tell		
we entired but solld Of	imed land r	earth o	e engle 2		,
mixemal of foundation	Thic	eness, ton	bott	Om.	*
practitat of underprining.		Height	· m		
	Kise per foot	Roof covering	`*		
No. of chinneys	Material of chimneus				
***			-61	• • •	
Kind of heat	Tvis	of Cool		ining	٠
Ning of heat	Туре	of fuel	le one fittin	or involved 2	
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Corner posts Material columns under gi	Type	of fueler board?	Is gas fiuin	ng involved?	
Corner posts Material columns under gi	Type Sills Girt or ledg irders carrying partitions) 2x4-16" (nd corner posts all one piece in	of fueler board?	Is gas fittin Six Max. on rger. Bridging	e centers	
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Date of permit Notif. closing-in Inspir Final Notif. Final Inspin. 3/13 Cert. of Occupancy issued

MORCESTER SPRINGFIELD -C-I-BRINK BOSTON Claude Neon Tubes (1970) SO. BOSTON, MASS. July 23, 1934. City of Portland, Attention: Inspector of Buildings. Portland, Kaine. Mr. Werren McDonald. Dear Sir:-We wish to acknowledge your letter We wish to acknowledge your letter of July 18th and regret that you have found it necessary to remind us that the sign we erected for the Maine Hardto remind us that the sign we erected for the Maine Hardto remind us that the sign we erected for the Maine Hardto remind us that the sign we erected for the Maine Hardto remind us that the sign we erected for the Maine Hardton at July Company was not in accordance with our original drawings filed at your office. We have discussed this matter with our Mr. Hiff, who erected the sign and he states that the owner of the building objected strenuously to placing the owner of the building objected strenuously to placing the top through bolt through the copper flashing and this would necessary to go through the copper flashing and this would necessary to go through the copper flashing and this would necessary to go through bolts on this, our sign robably cause leakage. To compensate for this, our sign and installed four through bolts on this guy cables innanger installed four through bolts on this guy cables in stead of expansion shields and our engineer states that stead of expansion shields and our engineer that the still more than compensate for the alteration. The sign was inspected by the city electrician. We have discussed this matter with In future, we will be very specific about having your building inspector on the job to inspect signs before we erect them on the building. We are enclosing a drawing showing the alteration as outlined to us by Mr. Huff who erected the sign and trust that same will check with your inspection of the job. Portland and have purchased the best of hardware, as it is our desire to confirm to the regulations in every respect.

> LJW:S. enc.2

Yours very traly,

c. I. BRINK.

Eaveng of Works

Copy to Pittsburgh Plate class on., 199 Smbrock St., Doston, Mass. 14/881-1

C. I. Brink 147 dast laure, chapat Sauth conten, aug.

Centlebens

With reference to the sign mulch you have deported at 618 Con ress Street in this City for the rictioning distributed blank Corputy, your attention is called to by letter to you of June Mist, 1964, the next to the last paragraph of which reads as follows: "After the faster is approved and the partit issued, it will be necessary to have the righ exertined by an inspector from this office before creation."

Your exectors and not notify hims office for importion after the sign arrived in the city, and the sign has been exceed without that inspection.

Furthermore the sign has not been erroted in accordance with your application and your out plans covering this erection in that only one rigid consection (that in the contax of the sign), end the two lover cots of gays have bolts extending through the wall. Your plan calls for four bolts,— one at each of the rigid connections to pass through the wall. I can see no resonn for faviating from your agreement contained in the application upon which the permit was issued and performance of which is guaranteed by your boat.

Please take the arection cutply with your own specifications on or before July 30, 1834.

Vory truly yours,

Inspector of Buildings.

161/LIO

Į

#2122B-I

June 25, 1934

Mr. F. P. Tibletts C/o C. I. Brink 147 West Fourth Street South Boston, Kass.

Dear Sira

With relation to the bond which you furnished recently to the City of fortland, Maine to cover erection of signs projecting over public sidewalks and streets, our Corporation Councel has directed me to write to you and ask that you have the Astna Casualty and Surety Company forward to us a certificate showing that this company is licensed to issue such bond in the State of Maine.

Please attend to this matter promptly so that there may be no delay when the revised plans have been furnished.

Yery truly yours,

Inspector of Buildings.

YM/HC

PROVIDENCE

C-I-BRINK ELECTRIC SIGNS Claude Neon Tubes ESTABLISHED 1888 Cutdoor Advertising 147 WEST FOURTH STREET

SO. BOSTON, MASS.

June 25, 1934.

Building Inspector, City of Portland, Portland, Maine.

Dear Sir:_

As per your request, we are returning a new set of blue prints showing the sign kept within 6' of the building. Also showing the interior signs, placement of transformers, gauge of metal used and sizes of angles.

Trusting that this mests with your requitements and that you will issue cur permit as soon as possible, we are

Yours very truly,

FPT:S. enc.

#2122b-T

June 21, 1954

C. I. Brink 147 West Fourth Street South Boston, Mass.

ATT: Er. Frank P. Elboetts

Gentlemen:

Referring to your application for a permit to creet a sign for the Pitteburgh Plate Glass Company at 618 Congress Street in this City, and replying to your letter of June 20th on this subject, it is necessary for us to keep the bond in the files of our City Treasurer. This bond has been sent over to the Corporation Counsel for checking.

With relation to the sign itself, the proposed projection over the sideralk is shown as seven feet (7) while the maximum projection permitted by our Code is six feet (6).

It will be necessary for you to furnish additional information concerning the construction of the sign itself. This should include a framing plan showing the complete frame of the sign indicating all connections of guya, supports, etc., and whether or not the angles are continuous in length or spliced. This plan should also show the location and weight of transformers and how supported and how fastened. The gauge of the sheet metal box should also be indicated.

After the design is apply and and the permit issued, it will be necessary to have the sign and are inspector from this office before erection.

Please be governed where washing

Stry wally yours,

Inspector of Buildings.

Was HC

PROVIDENCE

-C-I-BRINK

Claude Neon Tubes ESTABLISHED 1000 Outdoor Advertising
147 WEST FOURTH STREET

FJ. BOSTON, MASS.

June 20, 1934.

Euilding Dept., City of Portland, Fortland, Maine.

Gentlemen: -

I am enclosing herewith two blue prints for the sign which we are making for the Pittsburgh Plate Glass Company pf 300 Babcock Street, Boston, which is to be erected at the Maine Hardware and Plumbing Supply Company on Congress Street, Portland, Maine. With these plans and specifications, I am enclosing a Bond for your inspection. enclosing a Bond for your inspection.

If it is necessary necessary for you to have this Bond on file in Portland, please advise us, but if it is not necessary for younto keep this Bond on file but merely to take data from it, will you please return it to us. We are enclosing return postage and addressed envelopes for this purpose.

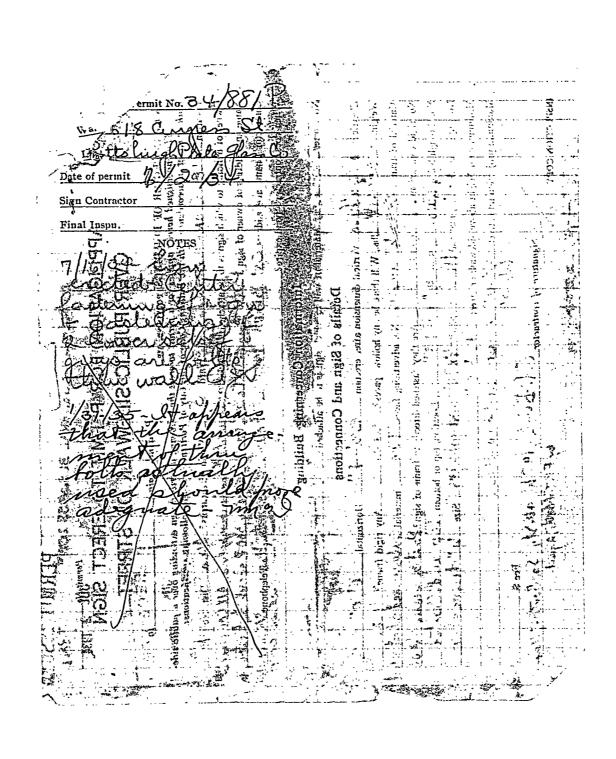
The check for \$1.00 enclosed herewith may not be enough to cover this permit, but if it is not, please advise what the correct amount will be and we will mail the belease to were standard. the balance to you at once.

Thanking you, we are

Yours very truly,

FPT:3. enc. 10 trank () Thathe

PERMIT ISSUEMA
GENERAL BUSINESS ZONE
Permit No. 2 1934
APPLICATION FOR PERMIT TO ERECT SIGN
OVER PUBLIC SIDEWALK OR STREET
Portland, Maine, RECEINED
To the INSPECTOR OF BUILDINGS, PORTLAND, Mc. The indersigned hereby applies for a permit to creek the following described sign extending over a publication will be sireet in accordance with the Building Code of the City of Portland, and the following specifications of the City of Portland, and the City of Por
Tocation 6 18 CONGRESS Ward 5 - Within Fire Limits? Wes Will And ADA 41 CONGRESS
Owner of building to which sign is to be attached Manue Hardware of Plusubing Stilly Co., 618 Congress of Name and address of owner of sign Patts Paral Plate Class Courbany 230 Baback & Boston Wass.
Name and address of owner of sign Latts Guagh. Plate Cano Countagy 30 Babrack A Doslow Mass. Contractor's name and address C. I. BRINK 147W at Fourth St. Boston, Mos relephone SOUth Boston
1 (Cather Some (Wasselling that 60) 0091
When does contractor's bond expire? Mule State 1935. Information Concerning Building No. stories 3 Material of wall to which sign is to be attached Buck TENTERIES WANTED. Details of Sign and Connections
Details of Sign and Connections
Electric? Les Metrical dimension after erection
Weight 500 - Will there be any hollow spaces? Yes. Any rigid frame? Yes.
Material of frame 2 x 2 4 augles No. advertising faces Two , material Calvaneded shoot steel
No. rigid connections Are they fastened directly to frame of sign? Food of 10000 - 90
No. through bolts Two., Size 5 14", Location, top or bottom Top and Center.
No. guys Six., material hour to side ax strangalv.quy., Size 4"diam eter
The state of the s
APPROVICE 11 OC
Signature of contractor C. Brinke, 147 W. 4th St., Sa. Botton, Mus.
Signature of contractor C. Brinke., 197 W. 4th St., Sa. Borton, Mass. INSPECTION CONVER OF FIRE DEPR. WYF. Cibett, Agast.



MEGQUIER & JONES COMPANY

STRUCTURAL STEEL

53 Pearl Street PORTLAND, MAINE

Feb. 28, 1934

Mr. Warren McDonald, Inspector of Buildings Portland, Maine. ALL ORDERS ARE SUBJECT TO DELAY CAUSED BY ACCIDENTS, STRIXES, FIRES, CARRIERS, OR OTHER CAUSES

Dear Sir:

As per request of Lir. Shwartz we are enclosing herewith blue prints of the original steel plans for the Recreation Building, on which he is now making repairs.

Yours truly,

Megquier & Jones Co

//34/141-1

Earch 20, 1934

State Realty Company 602 Congress Street Fortland, Faine

Gentlemen:

With relation to the former Recreation Building at 616 Congress Street now being repaired after fire, I note that the brick salls in the third story of the building are in bad condition in two places,—one place at the top of the wall as it now stunds on the easterly side and directly over the rear window in the side wall; the other is in the same corresponding location on the westerly wall, except that on the westerly side conditions are worse, several cracks being in evidence and some of the brick work appearing to be loose.

I explained this to your rason so that he would be aware of the location of these conditions.

Please take arrangements to have these portions of the well taken down and built back sound and secure while the new roof is being put on.

Very truly yours,

Inspector of Bulldings.

TAI/HO

Copy to Mr. H. W. Rhodes, 512 Exchange St.

#34/141-1

February 27, 1934

State Resity Company 602 Congress Street Fortland, 4aino

Gentleten:

in connection with the repair after fire and alterations to the forcer increation building at 616 Congress Street, I find the following details to be corrected or to be copified on the plans so it may be known in advance just what is proposed.

The return of the parapet wall on the northeast end of the building as shown on shoot β-1 should extend, at least, back as far as the adjoining building, and the low part of the parapet should extend, at least, two feet (2) above the roof level. If any part of the mar wall of the building, including the circular projection in the rear, is closer than five feet (5) to any of the property lines, that part should have a similar parapet wall extending at least two feet (2) above the roof level and capped with incombustible interval.

Portion k93, Paragraph d of the Building Code provides that a perspet wall scale not be higher than four three its thickness. The lower pertsof the front parapet wall scales as though they were intended to be conething over three feet (5) above the roof level and the thickness appears to be eight inches (3°). This thickness would limit the height of the parapet wall to thirty-two inches (32°). In the part of this parapet wall that are indicated about eight inches (8°) in thickness, panels of cast stone are evidently intended. These details do not appear to satisfy the requirements of the Building Code because the parapet wall is not allowed to be less than eight inches in thickness, and because we are not persitted to consider the cast stone panels as a part of the required thickness. In other words, the thickness of the lower part of the parapet wall from the standpoint of the Building Code requirements is shown as only four and one-half inches thick (4)°).

I can discover no details on the plans showing how the pitch of the roof is to be accomplished, and there appears to be no details to indicate in what manner the roof joists are to be supported on the steal bears. Neither is there any indication of wall anchors which are required to anchor the roof joists to the brick walls at approximately every eight feet (8) around the entire outside walls. There the joists are parallel with the walls, the iron anchors should be long enough to be spiked to at least three (3) roof joists. These anchors, of course, should be on the buttom of the joists in each case. Will you advise whether or not there is to be a calling, and if so, whether the strapping is to be fastened directly to the underside of the roof joists, or the cooling is to be suspended; also what kind of a calling is to be provided?

Shoet S-1 of the plans indicates 2x9 roof joists while shoet No. 4 of the plans

Sold of the second

#54/141-I

February 27, 1934

State Recity Company-2

indicates that all roof joints are to be Ex10, fir and 16° on centers with irridging. Ex8's are not. They enough. Therefore it is assumed that the note on sheet No. 4 is correct.

Apparently the original plans of the steel fracing do not show correctly the way the frace was built, especially the first floor frame of the building. If the building had been built as indicated, the new bally column in the third story at the front of the building which is offer from the line of the other columns and which supports one end of a liminch at 40.8 Abs. Imbeau, would eventually get its support upon a 6-inch at 12.5 lb. Imbeau in the first floor framing, which, of course, is absurd. Upon the amention of the building, we find that other columns have been introduced which are not shown on the original framing plan. Will you be kind enough to let up have plans which show completely the way in which the frame of the building was originally built, or at least, the situation as it exists now?

Please advise as soon as possible what you propose to do about these matters.

Very truly yours,

Inspector of Buildings.

Wi/HC



APPLICATION FOR PERMIT

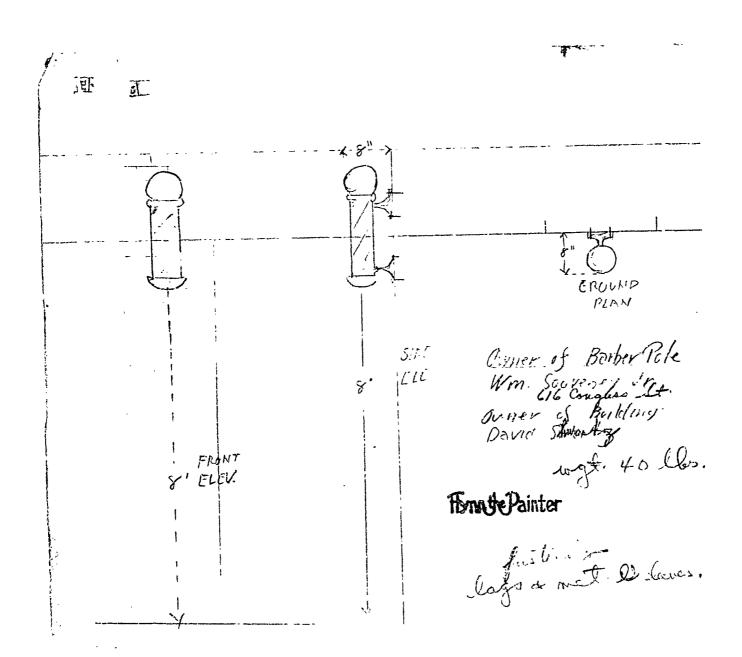
0141

Class of Building or Type of Structure Second Class IFT ISSUED

o the INSPECTOR OF BUIL	LDINGS, PORTLAND, MI	3.		₽₽B 21 1934	
The undersigned hereby ecordance with the Laws of t	y applies for a permit t the State of Maine, the	o erect alter-install the Building Code of the			, (
	and Shugat	Ward 5Wit	hin Fire Linfits?	No.45	
	Chada kat	THE LINE OUR CON	W7 000 604		
Dwner's o r Lessec's name and Contractor's name and address.	L. Entland	, 176 Coyle St.		Telephone_4-1701	
	THE PLANT ATTOM	e stores		No. families	
Other buildings on same lot Plans filed as part of this applic	cation?no	l	No. of sheets		
Estimated cost \$ 100.				Fee \$.50	
	Description of P	resent Building to	o be Altered		
Material brick No. stor	ies Heat	Style of ro	of	Roofing	
Last use	Hall, Bowling All	eys, stores		No. families	
	General De	escription of New	Work		
To Repair after Fire a	nd make alteratio	ns according to	plans to be a	nutmitted	, ·
To nepair aiter rive a	al los	in In	n'yme	Torres I	- b -
Januar V	tof low	for - de	vanlo	To the	سنتاء برتاب
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The Lerm	Adoes ,	not in	2 Park	OD-James	2
me 3 rd	flowa	of heating apparatus whi	ich is to be taken ou	t separately by and in the n	ame of
It is understood that this permit the heating contractor.	Det	ails of New Worl			
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	u. No sion	Height av	erage grade to top erage grade to higl	of plate	
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INSPECTION COPY

	to Colonia and Carto
Waru 5 Permit No. 34/14	ing whit as
Location with Company State	
Owner, State Rolly Cu.	
Date of permit 2/2-1/84	
Notis closing-in	
Insp. closing in	
Final Notif.	
Final Juspn. 8/9/34	
Cert. of Cocupancy issued Above.	
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4/21/34 Work Sprange	
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(G) GENERAL BUSINESS ZONE Permit No. 1200

APPLICATION FOR PERMIT TO ERECT 315 No 1931 OVER PUBLIC SIDEWALK OR STREET

TTATE		Portland, Maine,	July 13 - walle	19 . 51 .
To the INSPECTIVE under walk or street in	TOR OF BUILDINGS, PORTI Insigned hereby applies for a a accordance with the Buildin	AND, ME. permit to erect the following described	sign extending over a	public side- ons:
Timeston 44.	a comment of the said	Ward——	-	
Owner of buildi	ng to which sign is to be attach	Tor IFATC WELL ON DOCTORDER		
V. 35	.f of sign	ca souvincy, Jr. 610 Congress The Painter 245 Middle St.	Telephor	ne - F 7888
Conti-	me and address 21ymil,	Life remote	UP OF	TION P
When does con		mation Concerning Dunding	→" (L)	TION BEFORE LATHING SING IN IS WAIVED.
No. stories	Thet	o which sign is to be attached — brick ails of Sign and Connections	R	EQUIREMENT OF OCCUP
Electric?	708.	nsion after erection	Any rigid frame?_	yes _
Weight	49,	No. advertising faces barber not	naterial	
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No. rigid com	₩.	Tagestion ton or bot	tom	
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Mn ones	material			
Minimum clea	r height above sidewalk or str	eet3*		
Maximum pr	ojection into street 10"		Fee \$	1.00
APPROVE	D. Saukory Signature of	Flynn, The Pa	sinter	
DISPECTION	COPYLY OF FIRE DEPT.	contractortr E.J.S	facrey.	
1142r 270 r 1044				

Service of the first of the fifth of the fifth of the fitting of t OVER PUBLIC SIDEWALK OR STREET Person of the and Connections of the training of the public post of the property of the prop



APPLICATION FOR PERMIT

Cla	ass of Building or	Type of Structu	re Sesond Clean	
		Portl	and, Maine,Ootob	er 10, 1929
To the INSPECTOR OF I	BUILDINGS, PORTLAND	, ME.		444
The undersignd here accordance with the Laws any, submitted herewith an	of the State of Maine, t	the Building Code o	all the following build f the City of Portland	ling structure equipment in , plans and specifications, if
ecation 616 Congre	se Street	Ward_ 5	.Within Fire Limits?_	Yes Dist. No. 1
				Telephone B4695
Contractor's name and add	ress not let			Telephone
Architect's name and addres	SS			·
Proposed use of building_	mercantile			No. families
Other buildings on same lo	ot			
Ū		Present Building		
Material Stick No.	-		=	_Roofing
Last use	mercantile			No. families
	General 3	Description of No	ew Work 2	No. families
Ma and day on a sur-	and a farm of the state of the		2 & V	P. W.
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2-3' to re	ear lot line		20 Mr 31 6	ν. _Ν .
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No. of chimneys	Material of chimney	/S	of	lining
				to chimney
If oil burner, name and mo	odel			
Capacity and location of oi	il tanks			
Is gas fitting involved?		Size	of service	
Corner posts	SillsGirt or	r ledger board?	Siz	e
Material columns under gi	irders	Size	Max. o	n centers
Stude (outside walls and c	earrying partitions) 2x4-	-;6" O. C. Girders (luo an laman Duidmin	- in second floor and first mank
span over 8 feet. Sills and	d corner posts all one pi	ece in cross section.		
Joists and rafters:	1st floor	, 2nd	, 3rd	, roof
span over 8 feet. Sills and	1st floor		, 3rd	, roof
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span:	1st floor 1st floor		, 3rd , 3rd	, roof
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span:	1st floor 1st floor		, 3rd , 3rd	, roof
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span:	1st floor 1st floor		, 3rd , 3rd	, roof
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat	1st floor 1st floor 1st floor masonry walls, thicknessed on same lot	2nd, 2nd	, 3rd , 3rd , 3rd	, roof , roof height?
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat	1st floor 1st floor 1st floor masonry walls, thicknessed on same lot	2nd, 2nd	, 3rd , 3rd , 3rd	, roof , roof , roof height?
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat Total number commercial of	1st floor 1st floor 1st floor masonry walls, thicknessed on same lot cars to be accommodated	ece ir. cross section. , 2nd , 2nd , 2nd s of wails? If a Garage or repairs to cars hal	, 3rd , 3rd , 3rd , to be accommodated	, roof
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat Total number commercial of Will automobile repairing	1st floor 1st floor 1st floor masonry walls, thicknessed on same lot cars to be accommodated be done other than mine	ece in cross section.	, 3rd, 3rd, 3rd, -, to be accommodated	roposed building?
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat Total number commercial of Will automobile repairing	1st floor 1st floor 1st floor masonry walls, thicknessed on same lot cars to be accommodated be done other than minor	any shade tree on a section.	, 3rd, 3rd, 3rd, 3rd, to be accommodated bitually stored in the p	noof noof noof noof noof noof noof noof
span over 8 feet. Sills and Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat Total number commercial of Will automobile repairing Will above work require re Plans filed as part of this	1st floor 1st floor 1st floor 1st floor masonry walls, thicknessed on same lot cars to be accommodated be done other than minor than mi	any shade tree on a section.	, 3rd, 3rd, 3rd, 3rd, to be accommodated bitually stored in the p	roposed building?
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Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat Total number commercial of Will automobile repairing Will above work require re Plans filed as part of this Estimated cost	1st floor	any shade tree on a	, 3rd, 3rd, 3rd, 3rd, to be accommodated bitually stored in the public street?	, roof , roof , roof height?

Ward 5 Permit No. 29/213 Date of permit Notif. closing-in Inspn. closing-in Final Notif. Final Inspn. Cert. of Occupancy issued
NOTES 1 in activities that it is the interest are Mi wen to maintain



APPLICATION FOR PERMIT

M4R1712

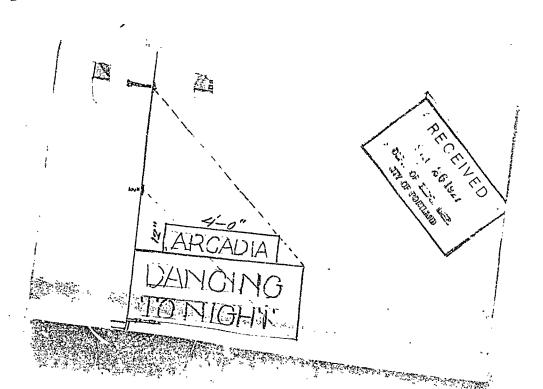
Class of Building or Type of Structure 300 ond Class

o the INSPECTOR OF BU			nd, Maine,Karc	
_			l th e following bu	ilding st racture equipment in ad. plans and specifications, if
ccordance with the Laws of nv. submitted herewith and	the 5!413 of Maine I the following spec	ifications:	inc dity of a comm	
ocation 620 Congress	Street	Ward	Within Fire Limits	Yes Dist. No. 1
owner's o n Lessee's name at	nd address State	Realty Co., 602A	Congress St.	Telephone F4605
	not let	±		Telephone
Contractor's name and address. Architect's name and address.				
Proposed use of building	Mercantile			No. families
Other buildings on same lot				
.		f Present Building		
Moterial Brick No. st	tories 3 Heat	Style of	roof	Roofing
ast use	38 - m & 5 9 m			No. families
		l Description of Ne	w Work	, , , r.i
	General market an a	finat Maan (2)	RII #618")	nitomatic or self-closing it is to to placed is y Shwarts 3/16/28). The self-closing of the self-closing
TO OUT GOOP IN BIG	Nomicale stor	al		Land Control of the C
ا ملايند د د د د س	a should be seen	ve na door to natel f	rame without s	utomatic or self-closing
This door is to be hardware on accoun	t of the fact	that the exterior	wall in which	it is to be placed is
practically on the	101, 11ne. (T	his addition author	mined by 31 and	indus instead of
& Pennet Lo Cond	le door twin	Defails of New Wo	AK 3, x 10,	Lake to the same of the same o
Size front de	othNo	storiesHeight	average grade to hi	ghest point of roof
To be arrested on solid or fil	lled land?		earth or rock?	
M social of foundation	illa illa illa illa illa illa illa illa	Thickness., top		_bottom
Material of Ioundation		Height		Thickness
Material of underpinning -		Roof cove	rine	
Kind of root	Motorial of chir	neve		_of lining
No. of chimneys	wrateria: or chin	Type of final	Distance, he	eater to chimney
Kind of heat				
If oil burner, name and mo	odel			
Capacity and location of or	il tanks	Size	of service	
Is gas fitting involved?			01 301 1100	_Size
Corner posts	SillsGI	rt or ledger board:		x. on centers for and flat root
Material columns under gi	irders	51ze	6v8 or larger Bri	dging in every floor and flat root
Studs (outside walls and c span over 8 feet. Sills and	n corner posts an or	ie biece in cross section.		
Joists and rafters:	1st floor	, 2nd	, 3rd	, roof
	1ct floor		3+4	, roof
-	131 11001	, 2nd	, ord	
On centers:	1st floor	2nd	, 3rd	, roof
On centers:	1st floor	2nd	, 3rd	, roof
On centers:	1st floor	2nd	, 3rd	, roof height?
On centers: Maximum span: If one story building with	1st floor	kness of walls? If a Garage	, 3rd	roof height?
On centers: Maximum span: If one story building with	1st floor	kness of walls? If a Garage	, 3rd	roof height?
On centers: Maximum span: If one story building with No. cars now accommodal	1st floor masonry walls, thic ted on same lot	kness of walls? If a Garage	, 3rd	height?
On centers: Maximum span: If one story building with No. cars now accommodal	1st floor masonry walls, thic ted on same lot	kness of walls? If a Garage lated minor repairs to cars h	, 3rd, to be accommo	roof height?
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Ward 5 Permit No. 28/3/-8
Location 620 Commences St
Owner State Realty Cv.
Date of permit 3/17/28
Notif. closing-in
Imspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
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(G) GENERAL BUSINESS ZONE



APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET 28 1927 Portland, Maine, Sept. 26-

o the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect the following described sign extending over a public side- The undersigned hereby applies for a permit to erect the following described sign extending over a public side- The undersigned hereby applies for a permit to erect the following described sign extending over a public side- The undersigned hereby applies for a permit to erect the following described sign extending over a public side- The undersigned hereby applies for a permit to erect the following described sign extending over a public side- The undersigned hereby applies for a permit to erect the following described sign extending over a public side- Which of the undersigned hereby applies for a permit to erect the following described sign extending over a public side- Ward Vithin Fire Limits? Dist. No. Dayld Shwartz Fornandino, 616 Congress to over the following described sign extending over a public side- The undersigned hereby applies for a permit to erect the following described sign extending specifications: Ward Vithin Fire Limits? Dist. No. Dist. No. The undersigned hereby applies for a permit to erect the following described sign extending specifications: Ward Vithin Fire Limits? Dist. No. Ward Vithin Fire Limits? Dist. No. The undersigned hereby applies for a permit to erect the following specifications: Ward Vithin Fire Limits? Dist. No. The undersigned hereby applies for a permit to erect the following specifications: Ward Vithin Fire Limits? Dist. No. Ward Vithin
Ward Within Fire Limits? Dist. No
Owner of building to which sign is to be attached Felix Fornandino, 616 Congress to provide the felix Fornandino,
When does contractor's bond expired. Information Concerning Building brick No. stories
When does contractor's bond expired. Information Concerning Building brick No. stories
When does contractor's bond expired. Information Concerning Building brick No. stories
When does contractor's bond expired. Information Concerning Building brick No. stories
Details of Sign and Connections Yes
Details of Sign and Connections Yes
Details of Sign and Connections ### 12" Horizontal 48" Weight 15 15 15 15 15 15 15 1
Electric? Vertical dimension after erection Horizontal Weight 15 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes Weight No. advertising faces two material enly. iron-glass Material of frame Solv. iron Are they fastened directly to frame of sign? Yes
Weight 15 lbs., Will there be any hollow spaces? YOS Any rigid frame? YOS Weight two material of frame Solve iron No. advertising faces two material of frame Solve iron Are they fastened directly to frame of sign? YOS
Material of frame Solv. 1ron No. advertising faces material Material of frame of sign? Yes
Material of frame Solve iron Are they fastened directly to frame of sign? Yes
No ligid connections 786 Are they fastened differly to Talling top or bottom
Location, top or bottom —————
No. through bolts
No. guys, material, Size, Size
Minimum clear height above sidewalk or street
Millimini Creat Registration 48"
Maximum projection i ato street 48" Fee \$ /. \(\tilde{\chi} \)
Production of contractor G. 3. Tas on Sign Co.,

Ward 3 Permit No. 27/899	/ -/	`, }		~		The second secon
	anto-lajor Osta			,		5
Location 616 Cengress.	77	<u> </u>	in a			
Owner Telix Furian	deno					
N +157					#	
Date of permit Lent 3-8/3-7	-		÷ ÷.		and the	
Sign Contractor				<u> </u>	- 1	
inspn. 10/31/291 MU NOTES				<u> </u>	<u> </u>	
inspn. 10/31/29 MM			****			
Notes						
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(J) GENERAL BUSINESS ZONE

City of Portland, Maine

27/6

COMMITTEE ON BIONE TO HARDY CITY ELECTRICIAN OF THE DEPARTMENT TO HARDY CITY ELECTRICIAN OF THE DEPARTMENT TO HARDY STATE OF THE DEP

OFFICE OF INSPECTOR OF BUILDINGS

FEN 25 10: 7 Februs ry 22/27

Whis may restify that Recreation Company (Tairsh Sign Co)

has permission to crect maintain a clement 514 Congress Street

Street,

Ward5

.....sign to be steadfast and free from oscillation, and not to extend over or upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk, and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.

All illuminated signs shall be constructed of metal.

For Committee on Signs.