



(G) GENERAL BUSINESS 2011
City of Portland, Maine

Warren McDonald
INSPECTOR OF BUILDINGS
Oliver T. Sanborn
CHIEF OF FIRE DEPARTMENT

OFFICE OF INSPECTOR OF BUILDINGS

PERMIT ISSUED

FEB 25

February 23/27 191

This may certify that Tainsh Sign Co)
has permission to erect a electric sign on 614 Congress Street
Ward 5

Provided said electric sign to be steadfast and free from oscillation, and not to extend over or
upon the sidewalk of said street more than 6 feet from the building line or the inside line of said sidewalk,
and the lower edge of said sign to be fifteen feet or more above the grade of said sidewalk, and in all other particulars
to be erected and maintained in accordance with the ordinances of the City of Portland relating to signs.
All illuminated signs shall be constructed of metal.

For Committee on Signs.

9) GEO. C. TAINSH

Commercial Signs

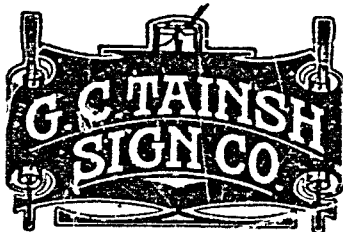
CARD, CLOTH,
WOOD, GLASS,
METAL AND

Electric Signs

TELEPHONE FOREST 4246

(G) GENERAL BUSINESS ZONE

ESTABLISHED 1905



27 MONUMENT SQUARE
PORTLAND, MAINE

Out Door Advertising

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

Locations Secured

SKETCHES FURNISHED

Feb. 23-1927.

Sign Committee,
Portland, Maine.
Gentlemen,-

We wish to secure permit for hanging two sided
electric transparent sign size 18" X 72" reading "BOWLING"
for Recreation Co., located at 614 Congress St., as per
sketch attached, sign to be hung over 15 feet above sidewalk,
weight approximately 85 lbs., 1/4" hanging irons.

GCT/AMT

Very truly,
G. C. Tainsh Sign Co.,



MEMBER OF ASSOCIATED SIGN CRAFTS OF NORTH AMERICA



Location, Ownership and detail must be correct, complete and legible.

Y.C. Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the
INSPECTOR OF BUILDINGS

Portland, Me., March 28, 1925

Description of
Present
Bldg.

The undersigned hereby apply for a permit to alter the following described building:—
Location 615 Congress Street Ward 5 in fire limits yes
Name of Owner or Lessee, State Realty Co Address 602a Congress
" " Contractor, owner " "
" " Architect, " "
Material of Building is brick Style of Roof, pitch Material of Roofing, slate
Size of Building is _____ feet long; _____ feet wide. No. of Stories, _____
Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is _____ is _____ inches thick; is _____ feet in height.
Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? recreation hall No. of Families? _____
What will Building now be used for? recreation hall

Detail of Proposed Work

Repair after fire
all to comply with the building ordinance
Estimated Cost \$ 1,000.

If Extended On Any Side

Size of Extension, No. of feet long _____; No. of feet wide _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

GEO. C. TAINSH

Commercial Signs

CARD, CLOTH,
WOOD, GLASS,
METAL AND

Electric Signs

TELEPHONE 4246



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PORTLAND, MAINE

ESTABLISHED 1905

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Locations Secured

SKETCHES FURNISHED

321

21
Nov. 19-1924.

Sign Committee,
Portland, Maine.
Gentlemen,-

We wish to secure permit for hanging two sided
projecting electric sign size 3' X 5'-10" weighing approx-
imately 175 lbs., to be hung as per sketch 75' above side-
walk for Recreation Building, 618 Congress St.

Very truly yours,
G. C. Tainsh Sign Co.,

G. C. Tainsh

GCT/AMT

Permit Issued Nov 21, 1924

OK
Electrical Dept
11/19/24

APPROVED
Chief of Fire Dept.
CHIEF OF FIRE DEPT.

"all connections to be at least
1/4" in thickness, all anchor bolts
to be at least 5/8" diam. and
at least one bolt at both top and
bottom to pass through wall with
washer on the inside.
No wood plugs.

GEO. C. TAINSH

Commercial Signs

CARD, CLOTH,
WOOD, GLASS,
METAL AND

Electric Signs

TELEPHONE 4246



27 MONUMENT SQUARE
PORTLAND, MAINE

ESTABLISHED 1905

Out Door Advertising

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

Locations Secured

SKETCHES FURNISHED

618 Congress St.

Jan. 4-1924.

Sign Committee,
Portland, Maine.
Gentlemen:-

We wish to secure permission for hanging two sided
projecting electric transparency, size 4' X 7'-10" (to ex-
tend over city property not more than six feet); sign to be
placed on veranda of Recreation Building located at 618 Congress
St., for William Souviacy; as per sketch.

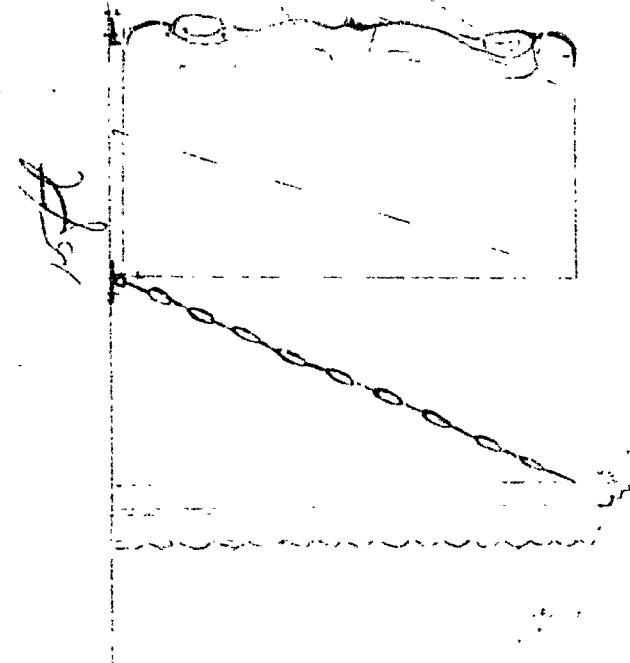
GCT/MT

Very truly yours,
G. C. Tainsh Sign Co.,

G. C. Tainsh

Permit issued Jan 4, 1924

Not less than 15 ft from sidewalk



CATERING TO THOSE

WHO DISCRIMINATE

SOUVINEY'S RECREATION BUILDING

1/2 x



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, March 22, 1923 192

INSPECTOR OF BUILDINGS:

The under-signed applies for a permit to alter the following described building:—

Location 614-618 Congress Street Ward 5 in fire-l units yes
Name of Owner or Lessee State Realty Co. Address 602a Congress Street
" Contractor owner
" Architect
Description of Present Bldg. Material of Building is brick Style of Roof flat Material of Roofing tar & gravel
Size of Building is 89ft feet long; 60ft feet wide. No. of Stories 3
Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.
Underpinning is brick is inches thick; is feet in height.
Height of Building 30ft Wall, if Brick; 1st 2d 3d 4th 5th
What was Building last used for church No. of families
What will Building now be used for stores

Detail of Proposed Work

Build new front to old building 16 inch wall, change interior of front so as to make 4 new stores and a passageway to rear as shown in plan, rear portion of the building will not be occupied at present
all to comply with the building ordinance

Estimate Cost \$12,000.

If Extended On Any Side

Size of Extension, No. of feet long; No. of feet wide; No. of feet high above sidewalk
No. of Stories high; Style of Roof; Material of Roofing
Of what material will the Extension be built; Foundation
If of Brick, what will be the thickness of External Walls; and Party Walls
How will the extension be occupied; How connected with Main Building

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon; Proposed Foundations
No. of feet high from level of ground to highest part of Roof to be
How many feet will the External Walls be increased in height; Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls; in Story
Size of the opening; How protected
How will the remaining portion of the wall be supported

Signature of Owner or Authorized Representative

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, March 8, 1923 192

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 616-618 Congress Street Ward 5 in fire limits ☒ Yes
Name of Owner or Lessee State Realty Co Address 502 Congress Street
" Contractor DiBiase & Chessi & Co 20 Newbury Street
" Architect _____
Description of Present Bldg. Material of Building is brick Style of Roof flat Material of Roofing tar & gravel
Size of Building is 90ft feet long; 89ft feet wide. No. of Stories 1
Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.
Underpinning is brick is inches thick; is feet in height.
Height of Building 20ft Wall if Brick: 1st 2d 3d 4th 5th
What was Building last used for church No. of families 1
What will Building now be used for not known

Detail of Proposed Work

Put on two new additions to present building on easterly and westerly sides to extend the entire depth of the building but not beyond the side walk line. 12 inch brick wall, 14 feet high tar & gravel roof. all exterior finish to be of metal, additions to be used as stores, concrete and stone foundations 24 inches thick, all to comply with the building ordinance Estimated Cost \$3,000.

If Extended On Any Side

Size of Extension, No. of feet long 85ft; No. of feet wide 11 1/2ft; No. of feet high above sidewalk 14ft
No. of Stories high 1; Style of Roof flat; Material of Roofing tar & gravel
Of what material will the Extension be built brick Foundation concrete & stone
If of Brick, what will be the thickness of External Walls 12in inches; and Party Walls inches
How will the extension be occupied stores How connected with Main Building joined

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon _____ Proposed Foundations _____
No. of feet high from level of ground to highest part of Roof to be _____
How many feet will the External Walls be increased in height _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Wall _____ in _____ Story.
Size of the opening _____ If w protected _____
How will the remaining portion of the wall be supported _____

Signature of Owner or
Authorized Representative

DiBiase & Chessi & Co.
20 Newbury St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, March 11, 1923

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 616-618 Congress Street Ward 5 in fire-limits? yes
Name of Owner or Lessee State Realty Co Address Shwartz Block
" " Contractor Blackstone & Smith " 187 Middle Street
" " Architect _____ " _____
Material of Building is brick Style of Roof pitch Material of Roofing Slate
Size of Building is 100ft feet long; 64ft feet wide. No. of Stories 1
Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is brick is _____ inches thick; is _____ feet in height.
Height of Building 65ft Wall, if Brick; 1st _____ 2d _____ 3d _____ 4th _____ 5th _____
What was Building last used for? church No. of families? _____
What will Building now be used for? unknown

Description of
Present
Bldg.

Detail of Proposed Work

Demolish steeple and front wall of a one described building
(We, the Blackstone & Smith, assume all responsibility for any
damage or accident that may happen to the public or otherwise during
the time of demolishing the above mentioned work and if any
accident should happen in any way we hereby hold ourselves
liable for all damage. Estimated Cost \$ 2,000.

If Extended On Any Side

Size of Extension, No. of feet long _____; No. of feet wide _____; No. of feet high above sidewalk _____
No. of Stories high _____; Style of Roof _____; Material of Roofing _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon _____ Proposed Foundations _____
No. of feet high from level of ground to highest part of Roof to be _____
How many feet will the External Walls be increased in height _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative _____

Address 187 Middle St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

To
Doug Mason
Approval
Per Paul Patton
Jim

CONTRACTOR: LEAVITT & PARRIS
P O BOX 3926
PORTLAND, MAINE 774-5618

BLDG. OWNER: JEFFREY RICE

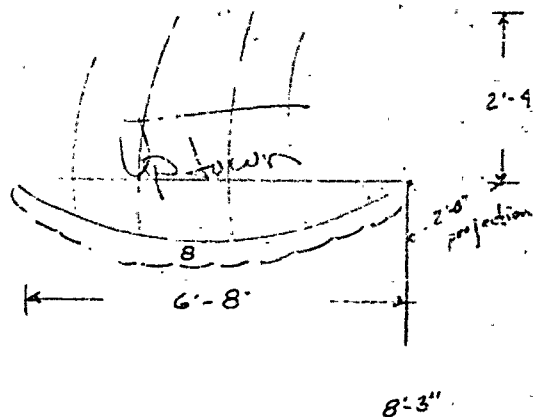
BUSINESS: UPTOWN HAIR DESIGN
620 CONGRESS STREET
PORTLAND, ME.
c/o BILL BEMIS 772-4552

INSTALLATION: LAGGED INTO WOOD

JOB COST: \$678.00

MATERIAL: # 17209 terrance red

ok
2 Mason
5/22/84



RECEIVED
MAY 17 1984
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

SIDE VIEW

6' +

SCALE
3/8" = 1'-0"

48

Certificate of Flame Resistance



Issued By
THE ASTRUP COMPANY
39 WALKER STREET
NEW YORK, N.Y. 10013
212-226-6444

Date treated or
manufactured
2/1/74

This is to certify that the materials described on the reverse side
hereof have been flame-retardant treated (or are inherently nonflammable.)

FOR Leavitt & Parris, Inc. ADDRESS 448 Payne Rd.

CITY Scarboro, Maine

RECEIVED
MAY 17 1984
DEPT. OF FIRE, JMS

The articles described on the reverse side hereof are made from a flame-resistant
fabric or material registered and approved by the New York Board of Standards
and Appeals.

Trade name of flame-resistant fabric or material used solartone Code No. 1-7209

THE FLAME RETARDANT PROCESS USED WILL NOT BE REMOVED BY WASHING

Name of Applicator or Director of Research

By

THE ASTRUP COMPANY

Approved Signature

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION 557
 ZONING LOCATION PORTLAND, MAINE May 17, 1984

PERMIT ISSUED

MAY 24 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 620 Congress Street Fire District #1 ☐ #2 ☐
 1. Owner's name and address Jeffrey Rice - Telephone
 2. Lessee's name and address Uptown Hair Design - 620 Congress St. Telephone .. 772-4552 ..
 3. Contractor's name and address Leavitt & Parris - Box 3926 - 04104 Telephone
 Proposed use of building beauty salon No. of sheets
 Past use same No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$.....678.....

FIELD INSPECTOR—Mr. B. J. L.
 @ 775-5451

Appeal Fees \$
 Base Fee 15.00
 Late Fee
 TOTAL \$ 15.00

To erect awning over beauty salon -front of building as per plans. 1 sheet of plans, flame proof certificate enclosed.

Stamp of Special Conditions

send permit to # 3 04104

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work?no..... Is any electrical work involved in this work?no.....
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING:
 BUILDING CODE:
 Fire Dept.:
 Health Dept.:
 Others: Doug. MASON 5/21/84

MISCELLANEOUS
 Will work require disturbing of any tree on a public street?no.....
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?yes.....

Signature of Applicant: Paul B. L. L. S. Phone # same
 Type Name of above David Swanson for Leavitt & Parris
 Other
 and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

MR. BOWE

Permit No. 84/ 85-9
Location 6241 1st Ave. S.W.
Owner J. H. [unclear]
Date of permit 11-17-84
Approved 5-24-84
Dwelling [unclear]
Garage [unclear]
Alteration [unclear]

NOTES

7/25/84 OK.

[The notes section contains a large 'X' drawn across the lined area, indicating that the notes are void or unused.]

PERMIT # 002034

TOWN OF Portland BUILDING PERMIT APPLICATION

MAP # LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Geoffrey Rice 773-1814 Main-Portland

Address: 655 Congress St. Room 205 Portland, Maine 04101

LOCATION OF CONSTRUCTION 614 Congress St. 1st floor

CONTRACTOR: Self SUBCONTRACTORS:

ADDRESS:

Est. Construction Cost: 1,500 Type of Use: Dance Studio

Past Use: Sale and Service of Business Equipment

Building Dimensions L W Sq. Ft. # Stories Lot Size:

Is Proposed Use: Seasonal Condominium Apartment
Conversion - Explain as per plan (2 sheets) Change of Use with interior renov. plans

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Building Only:
Of Dwelling Units # Of New Dwelling Units

Foundations:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size: Spacing 16" O.C.
4. Joists Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

For Official Use Only

Date July 5, 1989 Subdivision: Yes / No
Inside Fire Limits Name
Bldg Code Lot
Time Limit Block
Estimated Cost 1500 Permit Expiration
Value/Structure Ownership: Public
Fee \$30.00 Private

Ceiling:

1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings:
4. Insulation Type
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Spacing
2. Sheathing Type
3. Roof Covering Type
4. Other

Chimneys:

Type: Number of Fire Places

Heating:

Type of Heat:

Electrical:

Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required 00.00 Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Zoning:

District: E-3 Street Frontage Required: Provided

Review Required:

Required Setbacks: Front Back Side Side
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shore and Floodplain Mgmt. Special Exception
Other (Explain)
Date Approved: 7-13-89

Permit Received By:

Signature of Applicant: 4/11/89 Date: 7/5/89

Signature of CEO:

Date: 7-13-89

Inspection Dates:

White Tag - CEO

White-Tax Assessor

Yellow-GPCOG

© Copyright GPCOG 1987

PERMIT ISSUED
WITH LETTER

PLOT PLAN



FEES (Breakdown From Front)
 Base Fee \$ 30.00
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS Change of Use with interior renovations as per 2 (sheets) plans

Signature of Applicant

J. M. Rice

Date July 5, 1989



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

July 17, 1989

Mr. Geoffrey Rice
655 Congress Street
Portland, Maine

Re: 614 Congress Street

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

Dear Sir:

Your application to make renovations (Dance Studio) has been reviewed and a permit is herewith issued subject to the following requirements:

- 1.) Two separate and remote means of egress are required.
- 2.) Exits are to be marked with illuminated exit signs.
- 3.) Emergency lighting to be provided to illuminate the path of travel to the exits.

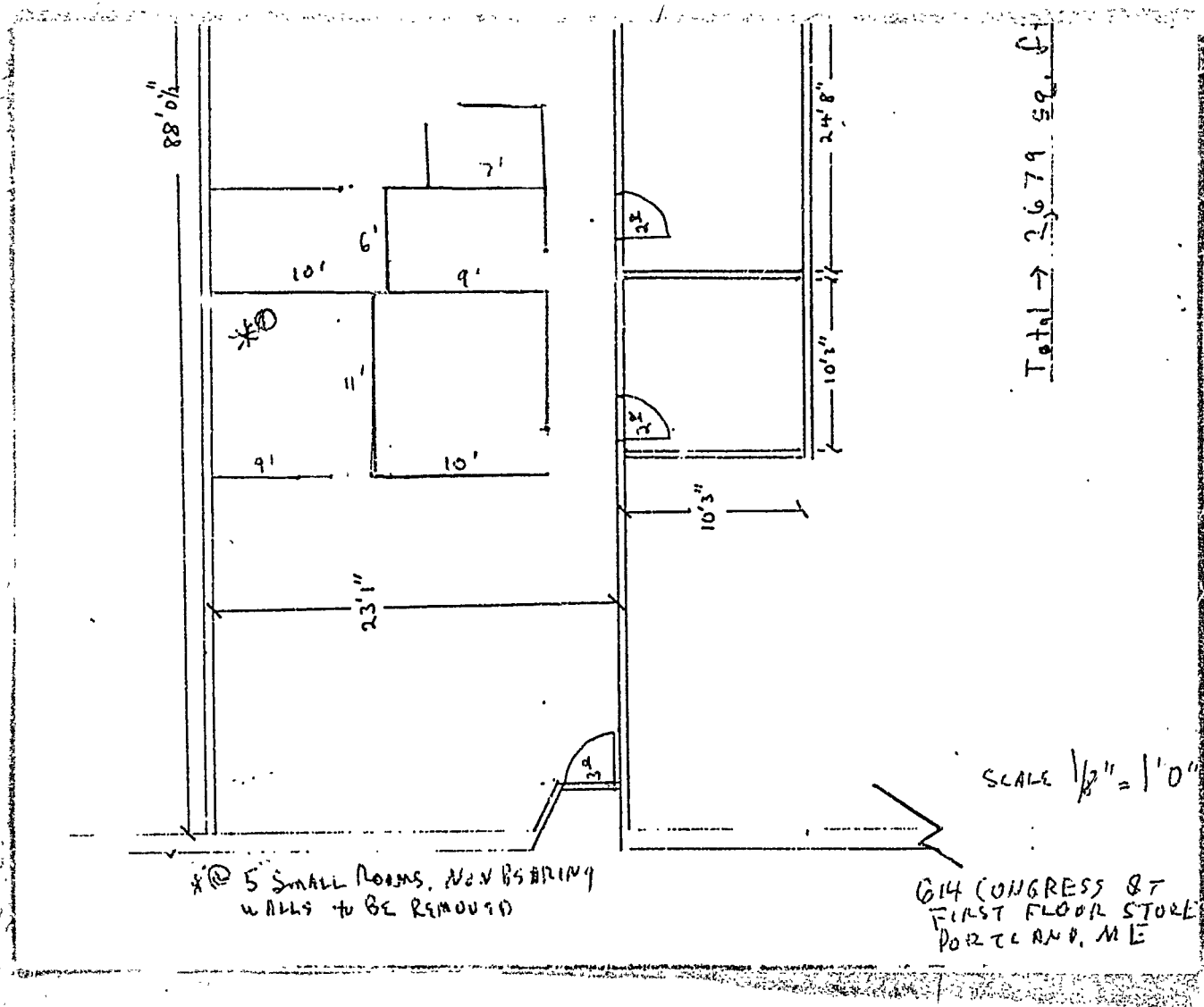
If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in dark ink, appearing to read "P. Hoffses", is written over the typed name.

P. Samuel Hoffses
Chief, Inspection Services

cc: Lt. Garroway, Portland Fire Department



JUL 05 1989

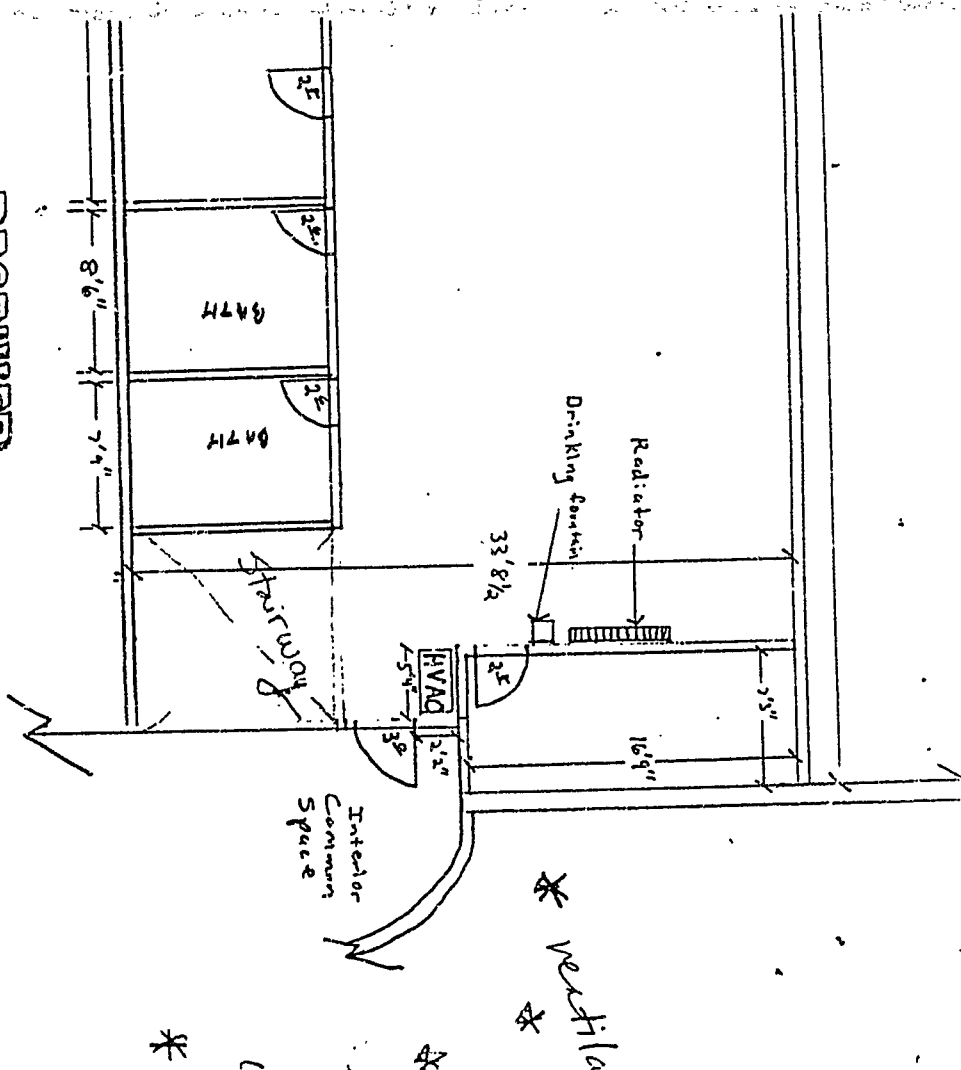
DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

111

Manley Sec 1 & 1/8

Dawn
June 17

6/1/22





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date July 10, 1989, 19
Receipt and Permit number 00490

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 616 Congress Street

OWNER'S NAME: Jeff Rice

ADDRESS: 655 Congress St

OUTLETS:	FEES
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____	
FIXTURES: (number of)	
Incandescent <u>2</u> Fluorescent _____ (not strip) TOTAL <u>2</u> exit lights	3.00
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____
TOTAL _____	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires <u>2.00</u>	2.00
Repairs after fire _____	
Emergency Lights, battery <u>2</u>	1.00
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:

TOTAL AMOUNT DUE: 6.00

INSPECTION:

Will be ready on _____, 19__; or Will Call XX

CONTRACTOR'S NAME: Alan Eger

ADDRESS: P.O. Box 238 Gorham Me

TEL.: 854-4846

MASTER LICENSE NO.: 4590

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

Alan Eger

ELECTRICAL INSTALLATIONS—

Permit Number CA 498

Location 416 Coughlin

Owner John J. Givens

Date of Permit 6/17/1968

Final Inspection

By Inspector T. J. [Signature]

Permit Application Register Page No. 68

[illegible]

ICE
ED

DE
LA
ET

CC
IP
IP

CO
CC
DATE

by

_____ /

n _____

CONCLUSIONS

Series
Close
ECT

NSF

ESS

DGR

PR

1. The first part of the document is a list of names and titles, including "The Hon. Mr. Justice" and "The Hon. Mr. Justice".

!

100

ELECTRICAL PERMIT **City of Portland, Me.**



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations
in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
National Electrical code and the following specification:

Date 28 April 1995

LOCATION: XXX 618 Congress St

Permit # 4590

OWNER Mesa Verde - G. Rice

ADDRESS _____

						TOTAL EACH FEE	
OUTLETS	Receptacles	15	Switches			.20	3.00
FIXTURES	(number of)						
	Incandescent	30	fluorescent			.20	6.00
	fluorescent strip					.20	
SERVICES	Overhead			T/L AMPS TO	800	15.00	
	Underground				800	15.00	
TEMPORARY SERV.	Overhead			AMPS OVER	800	25.00	
	Underground				800	25.00	
METERS	(number of)	1				1.00	1.00
MOTORS	(number of)					2.00	
RESID/COM	Electric units					1.00	
HEATING	oil/gas units					5.00	
APPLIANCES	Ranges		Cook Tops	Wall Ovens		2.00	
	Water heaters		Fans	Dryers		2.00	
Disposals	Dishwasher	1	Compactors	Others (denote)		2.00	6.00
MISC. (number of)	Air Cond/win					3.00	
	Air Cond/cent					10.00	
	Signs					5.00	
	Pools					10.00	
	Alarms/res					5.00	
	Alarms/com					15.00	
	Heavy Duty					2.00	
	Outlets						
	Circus/Carnv					25.00	
	Alterations					5.00	
	Fire Repairs					15.00	
	E Lights	2				1.00	2.00
	E Generators					20.00	
	Panels	1				4.00	4.00
TRANSFER	0-25 Kva					5.00	
	25-200 Kva					8.00	
	Over 200 Kva					10.00	
TOTAL AMOUNT DUE							
MINIMUM FEE						25.00	25.00

INSPECTION: Will be ready 5/1 or will call _____

CONTRACTORS NAME Alan Eger

ADDRESS P.O. Box 238 Gorham

TELEPHONE 839-2411

MASTER LICENSE No. 4590

LIMITED LICENSE No. _____

SIGNATURE OF CONTRACTOR

Alan Eger

PERMIT NO 4590

INSPECTIONS:

SERVICE 5-1-95 BY SB

SERVICE CALLED 8:00AM 5-2-95 BY SB

CLOSING 5-1-95 BY SB

LOCATION: 618 Congress

OWNER: MESA-URDO G. RICE

REMARKS

FINAL INSPECTION 5-1-95 BY Shan Boreg

City of Portland, Maine - Building or Use Permit Application 38th Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 620 Congress St.		Owner: G. Rice		Phone:		Permit No: 050447	
Contract Address: Lessee: 620 Congress St-PTld,ME		Lease/Buyer's Name: Coffee by Design		Phone: 772-5533		Business Name:	
Contractor Name: 04101		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED 05151995 CITY OF PORTLAND </div>	
Past Use: coffee house		Proposed Use: coffee house w outside dining area		COST OF WORK: \$		PERMIT FEE: \$ 25	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
Proposed Project Description: create outside dining area				Signature:		Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)		Zoning Approval: 39A5	
				Action: Approved Approved with Conditions Denied		<input type="checkbox"/> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: L Chase		Date Applied For: 5/5/95		Signature: D. Adams		Date: 5/12/95	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Zoning Appeal

- ☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation

- ☐ Not in District or Landmark
☐ Does Not Require Review
☒ Requires Review

Action:

- ☒ Approved
☐ Approved with Conditions
☐ Denied

Date: **5/12/95**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant: Alan J. S. Lewis **Address:** 620 Congress St., Apt 610 **Date:** 5/3/95 **Phone:** 772-5533

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE:

CEO DISTRICT

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White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

T. M. Mason