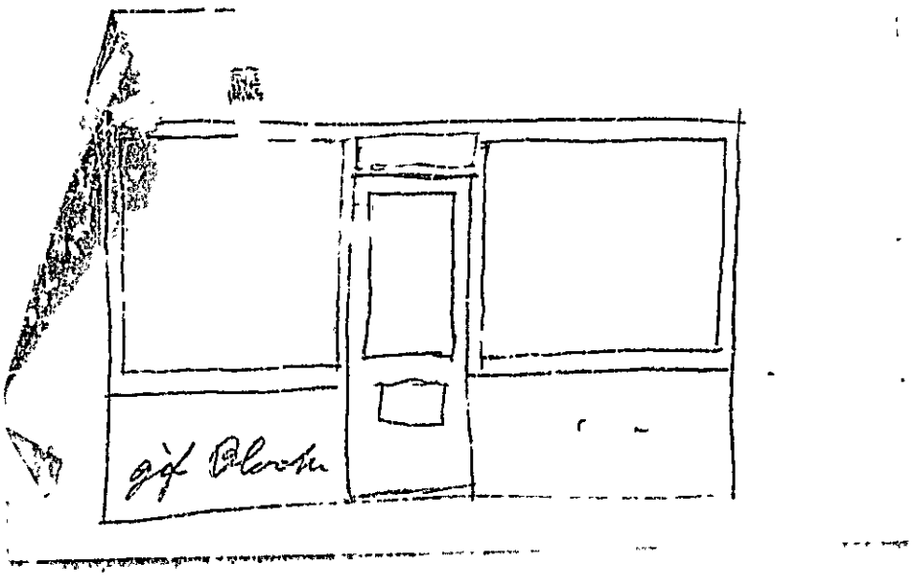


GENERAL BUSINESS ZONE

# APPLICATION FOR PERMIT

PERMIT No. 0867

JUN 21 1932

*Class of Building or Type of Structure* First Class

*Portland, Maine,* June 14, 1932

INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 477 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1

Owner's or lessee's name and address Preble Corporation, 477 Congress St. Telephone

Contractor's name and address A. J. Bird Co., 52A Portland St. Telephone P-4220

Architect's name and address

Proposed use of building Bank, stores and offices No. families

Other buildings on same lot

Plans filed as part of this application? No. of sheets

Estimated cost $ 35. Fee $ .50

## Description of Present Building to be Altered

Material Br. and stone stories 12 Heat Style of roof Roofing

Last use Bank, stores and offices No. families

## General Description of New Work

To put sheetrock and glass partition 12' long to provide additional office space in balcony, second floor

6/21/32 Partition to be of gypsum block and glass
A.J.B 6/21

CERTIFICATE OF OCCUPANCY NOT DESIRED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor

## Details of New Work

Height average grade to top of plate

Size front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

## If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED
Alva J. Robinson

*Signature of owner* Preble Corporation
By A. J. Bird Co.
By A J Bird

INSPECTION COPY

No. 32/867

477 Congress St.

Owner: Preble Corp.

Date of permit 6/21/32

closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 6/25/32

Cert. of Occupancy issued None

EXPIRED

FILL IN COMPLETELY AND SIGN WITH INK

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
Permit No. 0130
Feb 18 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, February 13, 1952

*The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:*

Location 477 Congress Street

Name and address of owner Ideal Cleansers, Inc. 550 Forest Ave. Use of Building stores and offices

Contractor's name and address Owner Telephone Ward

## General Description of Work

To install gas fired steam boiler for pressing machine in store 8 Chapman Arcade

NOTIFICATION BEFORE LATHING OR CLOSING IS WAIVED

CERTIFICATE OF OCCUPANCY

## IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? No If not, which story 1st Kind of Fuel gas

Material of supports of heater or equipment (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, from top of smoke pipe, from front of heater, from sides or back of heater no woodwork

## IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

*Signature of contractor* By Ideal Cleansers, Inc.

6865

Card 4 Permit No. 32/130

Location 477 Congress St. 8 Chapman Arcade.

Owner Ideal Cleansers Inc

Date of permit 2/13/32.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/23/32.

Cert. of Occupancy issued None

NOTES

2/23/32 - Boiler installed.
A.J.S.

Permit No. ISSUED 0015 JAN 7 1951

# APPLICATION FOR PERMIT

*Class of Building or Type of Structure* First Class

*Portland, Maine,* January 7, 1951

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 477 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Monroe Loan Society of Maine, 465 Congress St. Telephone

Contractor's name and address Arthur Luke, 20 Falconer St. Telephone P 2379

Architect's name and address

Proposed use of building stores and offices No. families

Other buildings on same lot

Plans filed as part of this application? yes No. of sheets 1

Estimated cost $ 200. Fee $ .75

## Description of Present Building to be Altered

Material stone No. stories 1&1 Heat Style of roof Roofing

Last use stores and offices No. families

## General Description of New Work

To divide off one large room in Arcade Balcony (formerly Commercial Acceptance Corp.) as shown on plan submitted - office partitions next to Balcony to be sheathing and glass to ceiling - other partitions to be three-quarters height

NOTIFICATION REQUIRED ON CLOSING-IN IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

## If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Monroe Loan Society of Maine

*Signature of Owner* By Arthur Luke

INSPECTION COPY

..d 4 Permit No. 31/15

Location 479 Congress St.

Owner Vincent Frank [illegible] of Me

Date of permit 1/7/31

Notif. closing-in

Inspn. closing-in

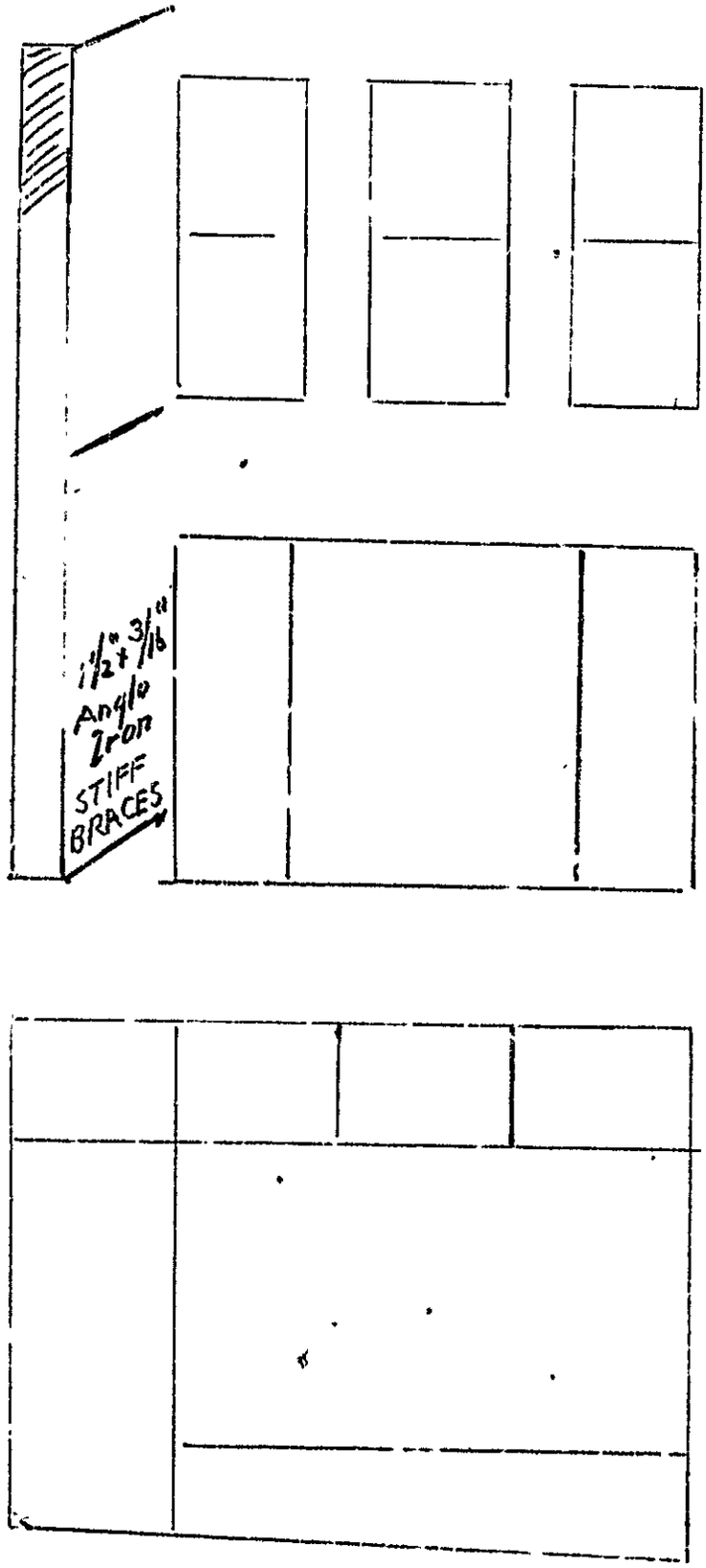
Final Notif.

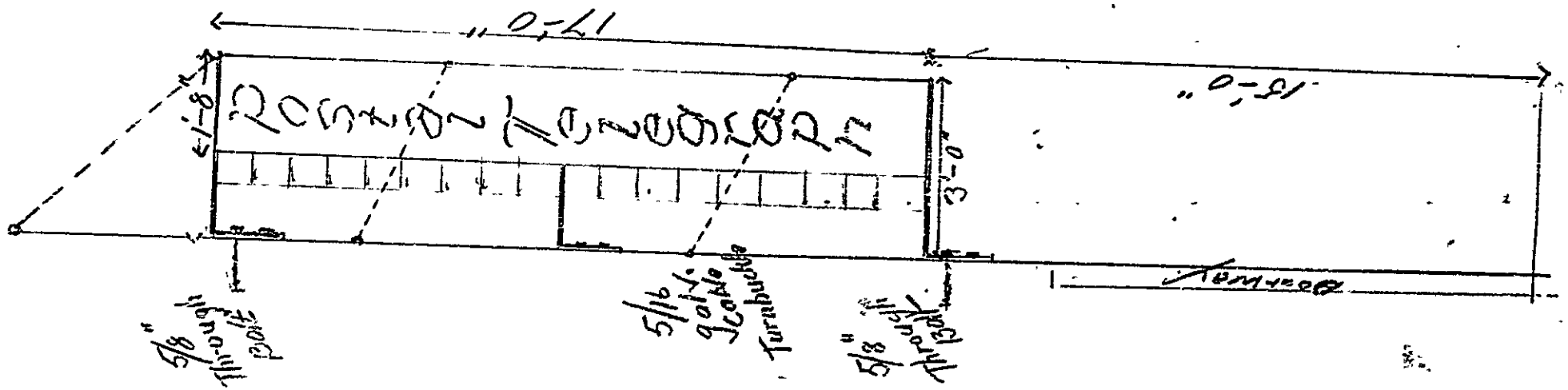
Final Inspn. 1/19/31

Cert. of Occupancy issued None

NOTES

1/19/31 - Work done [illegible]


1 1/2" x 3/16"
Angle
Iron
STIFF
BRACES


17'-0"
18'-0"
1'-6"
3'-0"
5/8" through bolt
5/16 galv. cable turnbuckle
5/8" through bolt
Terrace

(G) G..TER. BUSINESS ZONE

PERMIT ISSUED
AUG 8 1930
13373

Permit No.

# APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Portland, Maine, July 2- 1930.

*The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:*

Location 8 Preble St., Ward ____ Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached ~~Preble Corporation~~

Name and address of owner of sign Postal Telegraph Cable Co., 8 Preble St.,

Contractor's name and address ~~C. C. Taintor Sign Co., 14-16 Free St~~ Oct. 3-1930. Telephone F 4245

When does contractor's bond expire? Oct. 3-1930.

## Information Concerning Building

No. stories Ten Material of wall to which sign is to be attached concrete and brick

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

## Details of Sign and Connections

Electric? Yes Vertical dimension after erection 17 feet Horizontal 20"

Weight ~~Approx 300~~ lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces two, material galv. iron

No. rigid connections 3 brackets Are they fastened directly to frame of sign? yes

No. through bolts 2, Size 5/8", Location, top or bottom top and bottom

No. guys 3, material galv. cable, Size 5/16"

Minimum clear height above sidewalk or street 15 feet

Maximum projection into street 5 feet

APPROVED

INSPECTION COPY

Signature of contractor C. C. Taintor Sign Co. By A. W. Trussell

Fee $ 1.00

Oliver T. Sanborn
CHIEF OF FIRE DEPT.

Ward: Permit No. 30 / 373

Location: 8 Pickle St.

Owner: Pacific Tile & Glass Co.

Date of permit: 7/31/30

Sign Contractor:

Final Inspn.

NOTES

7/17/30 Sign as erected is much smaller than shown in application and is hung with the length lengthwise instead of vertical as shown. A.J.

7/18/30 This sign is to be properly hung in manner intended and covered until this application is completed. A.J.

8/2/30 Space to sign lock on front of windows. A.J.

8/14/30 Pass up brass across windows as less can be had through the windows. O.K. unless sign is objected. A.J.

Permit No. 1328

# APPLICATION FOR PERMIT

*Class of Building or Type of Structure* First Class

*Portland, Maine,* March 17, 1930

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to erect alter repair the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 8 Preble Street Ward 4 Within Fire Limits? Yes Dist. No. 2

Owner's or Lessee's name and address Postal Telegraph Co. 8 Preble St. Telephone

Contractor's name and address F. A. Rumery Co., 653 Forest Ave., Telephone 4343

Architect's name and address

Proposed use of building Stores and offices No. families

Other buildings on same lot

## Description of Present Building to be Altered

Material brick No. stories 2 Heat Style of roof Roofing

Last use stores and offices No families

## General Description of New Work

To alter store front, changing as per plan submitted - no structural change.

To relocate basement stairs as shown on plan

New doors (both outside and vestibule doors) will swing outward or be double-acting.

## Details of New Work

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of roof Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Is gas fitting involved? Size of service

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section

| | | | | |
|---|---|---|---|---|
| Joists and rafters: | 1st floor | 2nd | 3rd | roof |
| On centers: | 1st floor | 2nd | 3rd | roof |
| Maximum span: | 1st floor | 2nd | 3rd | roof |

If one story building with masonry walls, thickness of walls? height?

## If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? one No. sheets one

Estimated cost $ 600 Fee $ 1.00

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Postal Telegraph Co.

*Signature of owner* By F. A. Rumery Co.

By A. J. Bird

INSPECTION COPY

1328A

Ward 4 Permit No. 30/413

ion 8 Preble St.

Owner Postal Telegraph Co

Date Permit 3/29/30

Notif. closing-in

closing-in

Final Notif.

Fin on.

Cert. of Occupancy issued

NOTES

4/28/30 - Just beginning work to-day. G.J.

5/16/30 - Still in same location. Watch for bids on new toilets. G.J.

5/24/30 - Vent in. Waiting for finish for show windows. G.J.

6/13/30 - Working on store front. G.J.

6/26/30 - Store front completed. G.J.

Permit No. 0199

# APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

ISSUED FEB 14 1930

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME. *Portland, Maine,* February 4, 1930

*The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:*

Location 477 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

Owner of building to which sign is to be attached Preble Corporation

Name and address of owner of sign Maine Amusement Co., (Keith's Theatre)

Contractor's name and address Chas. Carter, Jr. 453 Congress St. Telephone F 1430-W

When does contractor's bond expire? November, 1930

## Information Concerning Building

No. stories On marquee Material of wall to which sign is to be attached Iron

## Details of Sign and Connections

Electric? yes Vertical dimension after erection 6'9" Horizontal 11'3"

Weight 175 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame iron No. advertising faces 1, material galv. iron

No. rigid connections 6 Are they fastened directly to frame of sign? yes

No. through bolts see plan, Size, Location, top or bottom

No. guys 3, material galv. angle iron, Size 2x2x¼

Minimum clear height above sidewalk or street 16'0" from grade in center

Maximum projection into street 11'9" marquee 15'0" from grade on end

Fee $2.00

*Signature of contractor* Charles Carter Jr.

INSPECTION COPY Oliver T. Sanborn

CHIEF OF FIRE DEPT.

Ward 4 Permit No. 30/129

Location 477 Congress St

Ow Maine Amusement Co

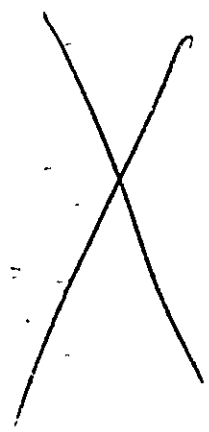
Date of permit 2/12/30

Sign Contractor

Final Inspn.

NOTES

3/01/30 - Signs erected -
A.J.S.



...ONE

Permit No. PERM 10032

# AP. LICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

JAN 9 1930

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME. *Portland, Maine,* January 7, 1930 *19*

*The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:*

Location 475 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

Owner of building to which sign is to be attached Preble Corporation

Name and address of owner of sign Preble Corporation, 477 Congress St.

Contractor's name and address Charles Carter, Jr. 453 Congress St. Telephone 7-1680-W

When does contractor's bond expire? October November 1930

## Information Concerning Building

No. stories 12 Material of wall to which sign is to be attached sandstone

3 weeks

## Details of Sign and Connections

To put temporary new (one on each side) faces 6'x8' on existing sign

Electric? No Vertical dimension after erection 8' Horizontal 6'

Weight add'l. 40 lbs., Will there be any hollow spaces? no Any rigid frame? yes

Material of frame 3" spruce stiffening No. advertising faces 2 material Galv. iron

No. rigid connections as shown on plan Are they fastened directly to frame of sign?

No. through bolts, Size, Location, top or bottom

No. guys, material, Size

Minimum clear height above sidewalk or street 17'9"

Maximum projection into street 6'

Fee $ 1.00

APPROVED

Signature of contractor Charles Carter Jr.

Oliver T. Sanborn

CHIEF OF FIRE DEPT.

918A

INSPECTION COPY

Ward 4 Permit No. 3037

Location 415 Congress St.

Owner Public Corporation

Date of permit 1/9/80

Sign Contractor

Final Insp.

NOTES

Sign erected

1/15/80

PUBLIC SIDEWALK OR STREET
CITION FOR PERMIT TO ERECT SIGN

Ward 4 Permit No 29/1856.

at 477 Cong. St.
Pseble Corp. Thespian Folks

Date of permit 9/17/29

Notif closing-in

Inspn closing-in

Final Notif.

Final Inspn

Cert of Occupancy issued

NOTES

10/17/29. Work completed. A.J.S.

(G) GENERAL ZONE

# APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 1688
AUG 26 1929

*Class of Building or Type of Structure* First Class

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*Portland, Maine,* August 26, 1929

*The undersigned hereby applies for a permit to* ~~erect~~ *alter* ~~install~~ *the following building* ~~structure equipment~~ *in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 477 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

~~Owner's or~~ Lessee's name and address Federal Mutual Liability Ins. Co. Telephone

Contractor's name and address Brown & Berry, Inc. 22 Monument Sq. Telephone

Architect's name and address Telephone F 4695

Proposed use of building Office Building

Other buildings on same lot No. families

## Description of Present Building to be Altered

Material Tile No. stories 14 Heat Style of roof Roofing

Last use Office Building No families

## General Description of New Work

To divide one room in suite of offices into two two rooms with temporary partition

NOTICE OF COMPLETION REQUIREMENT IS WAIVED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

## Details of New Work

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of roof Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Gas fitting involved? Size of service

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

## If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? no No. sheets

Estimated cost $ 75. Fee $ .50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

*Signature of owner* Federal Mutual Liability Ins. Co.
By Brown & Berry, Inc.
By [signature]

10132

Ward 4 Permit No. 29/1688

Location 477 Congress St.

Owner Fed'l Mutual Liability Ins Co

Date of permit 8/6/29

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

9/6/29 - No insp'ection made A.J.S.

8186-I

November 23, 1928.

oble Corporation
77 Congress Street
ortland, Maine.

Gentlemen:

Referring to your application filed by the F. A. Rumery Company for a building permit to cover alterations in the offices on the eighth floor of the Chapman Building, I am unable to issue the permit for this work because the plan contemplates providing a partition with doors for entrance across the corridor leading to the existing fire escape! The law requires two separate and distinct means of egress accessible without any obstructions for all the occupants of the building.

This situation together with a similar one which has arisen on several of the other floors of the building--the work having been done without permits--was examined on the 23rd instant together with Chief Sanborn, Mr. Dunton, Mr. Higgins, and A. J. Bird.

It is necessary to withhold the permit awaiting some alternate proposal from you which will provide adequate means of egress in case the contemplated change is made.

Very truly yours,

Inspector of Buildings.

WM/EP
CC-F. A. Rumery
Chief Sanborn.

Permit No. 2691

ISSUED DEC 1 1928

# APPLICATION FOR PERMIT

*Class of Building or Type of Structure* First Class

*Portland, Maine,* November 30, 1928.

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 477 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

Owner's name and address Preble Corporation, 477 Congress Street Telephone

Contractor's name and address F. A. Rumery Co., 137 Congress Street Telephone F 4343

Architect's name and address

Proposed use of building Offices No. families

Other buildings on same lot

## Description of Present Building to be Altered

Material Terra Cott No. stories 12 Heat Style of roof Roofing

Last use Offices No. families

## General Description of New Work

To rearrange partitions on eighth floor as per plan submitted.

Whereas the proposed change in office arrangement in the Chapman Building includes the construction of a partition with doors across the public hall leading to the fire escape on the rear of the building, the Preble Corporation, hereby, agree by Guy F. Dunton its Treasurer duly authorized to make this agreement, that no locks or fastenings of any description shall be placed upon the doors in the above partition; that the office furniture etc. shall be arranged so as not to obstruct the passageway to the fire escape; that a red light with sign indicating "to fire escape" shall be placed over the new doors in the corridor. It is understood that this is a temporary arrangement only and permitted to give sufficient time to arrange for an alternate means of egress satisfactory to the Chief of the Fire Department and to the Inspector of Buildings, and said Corporation further agrees to immediately undertake the construction of the alternate means of egress above referred to and that such means of egress shall be completed to the satisfaction of the Inspector of Buildings and Chief of Fire Department within three months from the date hereof.

Preble Corporation
By G F Dunton
TREASURER

Material columns under girders ... max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof.

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

## If a Garage

How many now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost $ 300. Fee $ .75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

*Signature of owner* Preble Corporation by G F Dunton Treas

INSPECTION COPY

Permit No. [illegible]

Location 427 Congress St

Owner Pretle Corp

Date of permit 12/1/28

Notif. closing-in

Insp. closing-in

Final Notif.

Final Insp.

Cert. of Occupancy issued

NOTES

3/29/29 - 20 [illegible] doors - no red exit light - no alternate means of egress. [illegible]

SEE VIOLATIONS FILE

SEE VIOLATIONS FILE

SEE VIOLATIONS FILE

(G) G

Permit No. [illegible]

# APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

*Portland, Maine,* Oct. 5 — 19 26

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:*

Location 477 Congress St/. Ward 3 Within Fire Limits? ____ Dist. No ____

Owner of building to which sign is to be attached Preble Preservation

Name and address of owner of sign Am. Felt'n Lead Co., Chapman Co.

Contractor's name and address G. W. Lutnah Sign Co., 14-16 Doo St Telephone 4166

When does contractor's bond expire? Oct. 5-1929

## Information Concerning Building

No. stories 12 Material of wall to which sign is to be attached Stone eye bolts

## Details of Sign and Connections

Electric? yes Vertical dimension after erection 16' Horizontal 72"

Weight 50 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame Galv. Iron angle iron No advertising faces two, material Cast Iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts ____, Size ____, Location, top or bottom bottom

No. guys ____, material ____, Size ____

Minimum clear height above sidewalk or street Height of marquee

Maximum projection into street 1.0

Fee $ ____

Signature of contractor G. W. Lutnah Sign Co. By [illegible]

INSPECTION COPY [illegible]

Ward 4 Permit No. 28/2410

Location 417 Congress St.

Owner Wm. Filenes Sons Co

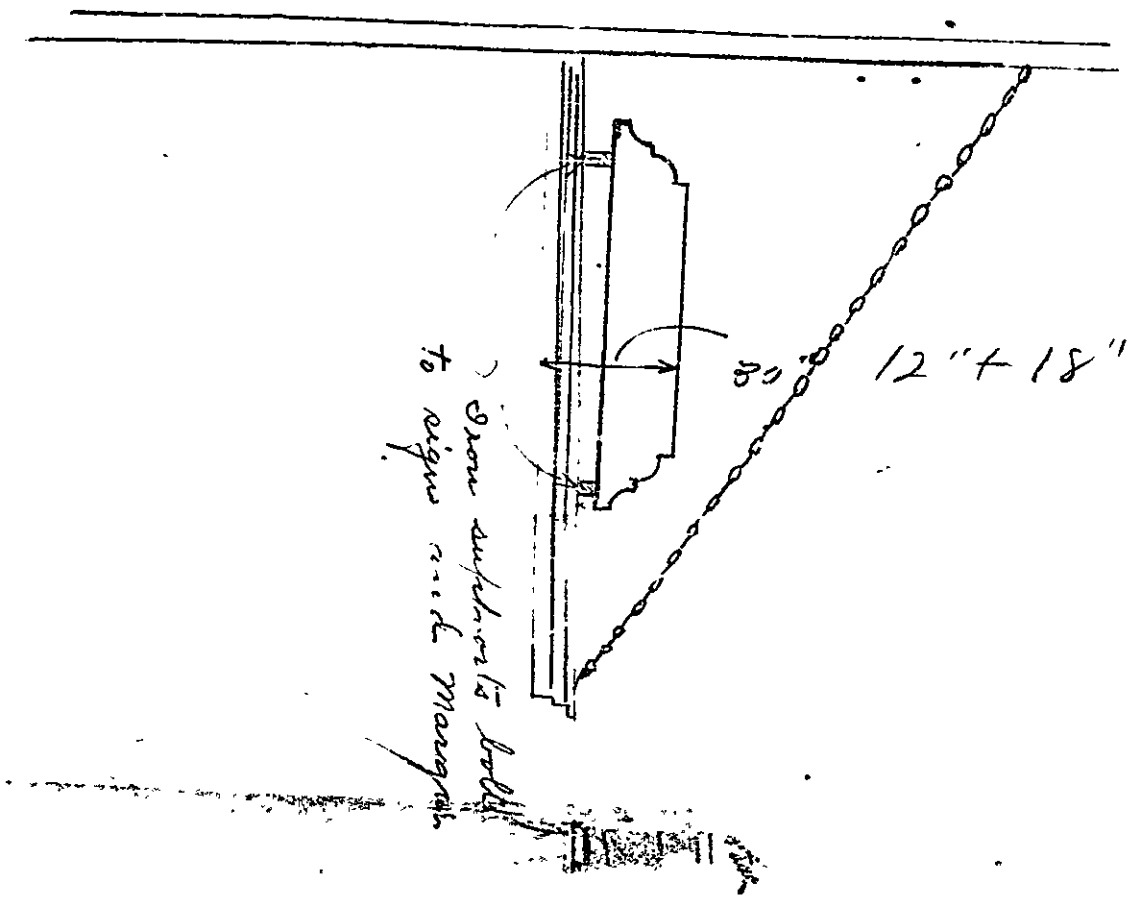
Date of permit 11/7/28

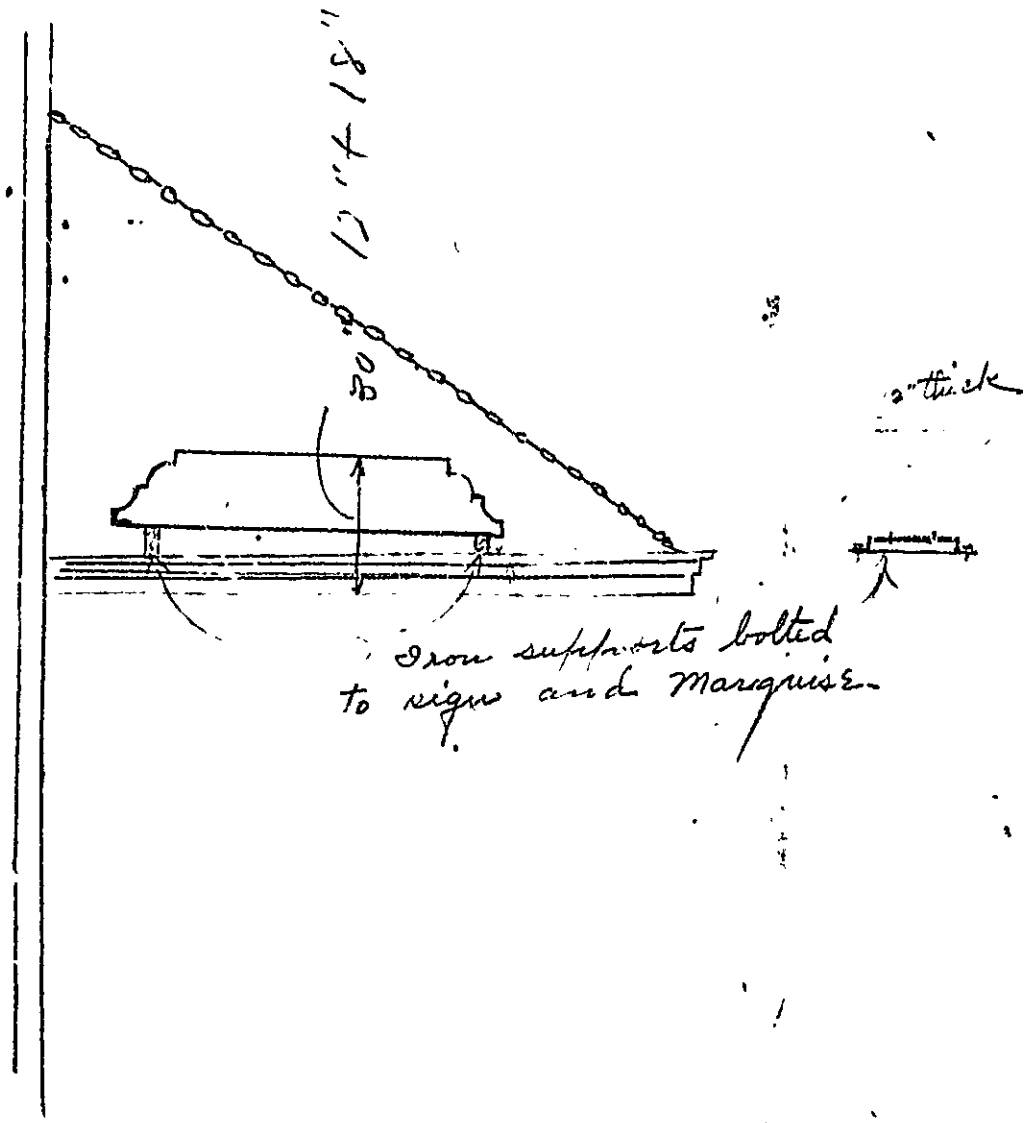
Sign Contractor

Final Inspn.

NOTES

REMOVED BY THEFT
REPORTED TO POLICE


12" + 18"
80
Show outline to follow
right side Margin


12" + 18"
30°
2" thick
Iron supports bolted
to sign and Marquise.

PERMIT ISSUED
Permit No. 2409
NOV 7 1928

# APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME. *Portland, Maine,* Oct. 30 1928

*The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:*

Location 477 Congress St. Ward 4 Within Fire Limits? _____ Dist. No. _____

Owner of building to which sign is to be attached Preble Corporation

Name and address of owner of sign Am. Sign Co., Chapman Arcade

Contractor's name and address N. J. Lainsh Sign Co., 14-16 Free St Telephone F 4246

When does contractor's bond expire? Oct. 3-1929

## Information Concerning Building

No. stories 12 Material of wall to which sign is to be attached steel one-hour

## Details of Sign and Connections

Electric? yes Vertical dimension after erection 18" Horizontal 7'

Weight 3 lb lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame galv. iron enclosure No. advertising faces two, material galv. iron

No. rigid connections two Are they fastened directly to frame of sign? yes

No. through bolts _____, Size _____, Location, top or bottom bottom

No. guys _____, material _____, Size _____

Minimum clear height above sidewalk or street height of marquise

Maximum projection into street _____

Fee $1.00

INSPECTION COPY

Signature of contractor Oliver P. Lawson
Chief Inspector

N. J. Lainsh Sign Co.
by Alin M Lainsh

8062

Ward 4 Permit No. 28/2409

Location: 477 Congress St.

Owner: Wm Zilesik Sons Co.

Date of permit 11/7/28

Signature of contractor

Final Inspn.

NOTES

Expired 4/7/3

OCT 2 1928

CHIEF INSPECTOR OF BUILDINGS

Permit No. _____

# APPLICATION FOR PERMIT

SEP 21 1927

*Class of Building or Type of Structure* First Class

*Portland, Maine,* September 21, 1927

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following ~~building~~ structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 477 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

Owner's ~~or lessee's~~ name and address Preble Corporation, 477 Congress Street Telephone _____

Contractor's name and address G. C. Tilinch Sign Co. 27 Monument Sq. Telephone _____

Architect's name and address _____

Proposed use of building _____ No. families _____

Other buildings on same lot _____

## Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

## General Description of New Work

To attach metal signs 1/16" thick to three sides of marquee over entrance (bolted to girder)

NOTIFICATION OF ISSUING PERMIT REQ'D.

## Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

## If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

## Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? no No. sheets _____

Estimated cost $ 6 50. Fee $ .50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Preble Corporation

*Signature of owner* By _____

INSPECTION COPY

1723

Ward 4 Permit No. 27/1439

Location 407 Congress St.

Owner Pebble Corporation

Date of permit Sept 21/27

Notif. closing-in

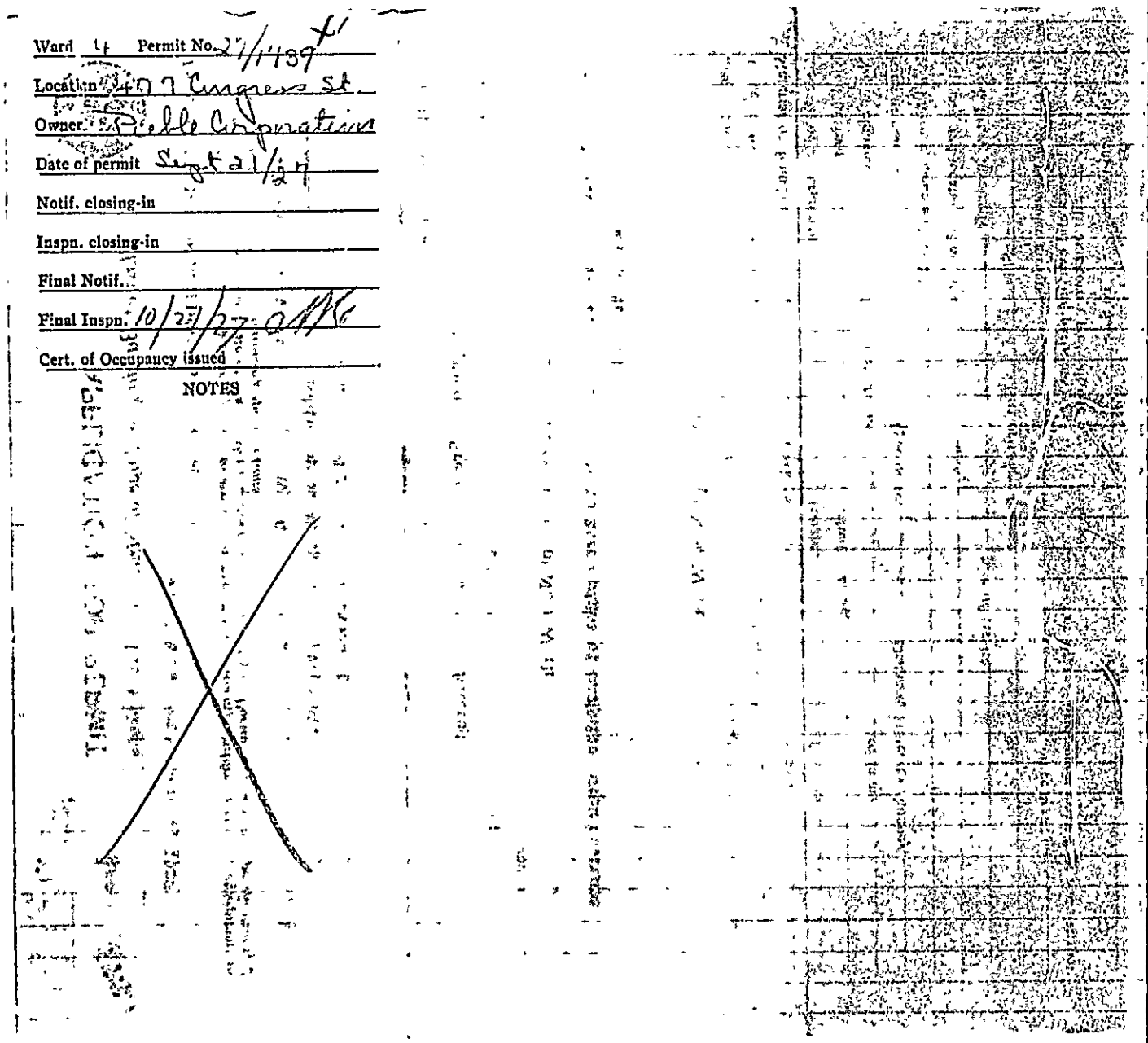
Inspn. closing-in

Final Notif.

Final Inspn. 10/21/27 OMG

Cert. of Occupancy issued

NOTES



July 20, 1927

Preble Corporation
477 Congress Street
Portland, Maine

Gentlemen:

Referring to the application which F. A. Emery Co. has filed in your name for a permit to remove three partitions on the fourth floor and put in new partition across the corridor with proper light and sign showing exits to the fire escapes in the Chapman Building at 477 Congress Street, it will be necessary for you to furnish the floor plan of this fourth floor showing the changes that you propose to make and all of the definite particulars as to how you propose to comply with the fact that you are going to construct a new partition with a locked door in it in the corridor, this partition to act as a barrier between a large part of the office floor and the fire escape.

It will be necessary to hold the permit in this office awaiting further information from you, and in the meantime, it is unlawful for you to proceed with any of the work until the permit card is actually in your possession and posted upon the premises.

Yours truly,

Inspector of Buildings

Copy to:
F. A. Emery Co.
477 Congress Street
Attention Mr. Bird

WJ/P

JUL 21 1927

*Type of Structure* First Class

*Portland, Maine,* July 18, 1927

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure equipment~~ in dance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if submitted herewith and the following specifications:*

tion 477 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

's ~~or Lessee's~~ name and address Preble Corporation, 477 Congress St. Telephone

or's name and address F. A. Emery Co., 537 Congress St. Telephone PA343

's name and address

uilding Mercantile Building No. families

same lot

## Description of Present Building to be Altered

Brick

No. stories 12 Heat Style of roof Flat Roofing

entile Building No. families

## General Description of New Work

ove three partitions on the fourth floor and put in new partition making corridor with proper lights and signs showing exit to fire escapes

OCCUPANCY
CERTIFICATE OF OCCUPANCY
REQUIREMENTS WAIVED
NOTIFICATION F
OR CLOSING

## Details of New Work

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness,, top bottom

Material of underpinning Height Thickness

Kind of roof Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Is gas fitting involved? Size of service

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If masonry building with masonry walls, thickness of walls? height?

## If a Garage

How accommodated on same lot, to be accommodated

Number commercial cars to be accommodated

Will public repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will work require removal or disturbing of any shade tree on a public street? NO

Is part of this application? NO No. sheets

Estimated cost $ 800.

Fee $ .75

Will charge of the above work a person competent to see that the State and City requirements pertaining thereto be observed? Yes

Preble Corporation

*Signature of owner* By F. A. Emery Co.

By

4074

ion:
ner: Publicum
te of permit July 30/70

Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 10/7/70
Cert. of Occupancy issued
NOTES

APPLICATION FOR PERMIT

27/49

(G) GENERAL BUSINESS ZONE

# Application for Permit for Alterations and Miscellaneous Structures

CLASS OF BUILDING OR TYPE OF STRUCTURE 1st

*To the* INSPECTOR OF BUILDINGS, PORTLAND, ME.

*Portland, Maine,* February 2, 1927.

PERMIT ISSUED

FEB 8 1927

*The undersigned hereby applies for a permit to alter the following described building erect the following described structure according to the following specifications, the Laws of the State of Maine, and the Building Ordinance of the City of Portland:*

Location 4-6 Preble Street Ward 4 Within Fire Limits? Dist #2

Owner's name and address? Preble Corporation, Chapman Bldg

Contractor's name and address? Richard Kennedy & Co, 270 Middle Street

Architect's name and address? no

Last use of building? store No. Families? -

Proposed use of building? store No. Families? -

## Description of Present Building

Material brick No. of Stories 1 Style of Roof flat Roofing t & g

## General Description of New Work

Close up two doorways with granite and cut in one large door as per plans submitted

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

## Size of New Framing Members

Corner posts? Sills? Rafters or roof beams? on center?

Material and size of columns under girders? on center?

Ledger board used? Size? . Studs (outside walls and carrying partitions) 2 x 4 16" O. C.

Girders 6" x 8" or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts will be all one piece in cross section.

Floor timbers: 1st floor, 2nd, 3rd, 4th

On centers: 1st floor, 2nd, 3rd, 4th

Span: 1st floor, 2nd, 3rd, 4th

## If 1st or 2nd Class Construction

External walls / Party walls } thickness { 1st story, 2nd story / 1st story, 2nd story

## Other Details New Construction

To be erected on solid or filled land? earth or rock?

Material of foundation? Thickness, top? bottom?

Material of underpinning? over 4 ft. high? thickness?

Kind of roof (pitch, hip, etc.)? Kind of roofing?

No. of new chimneys? Material of chimneys? of lining?

## If a Private Garage

No. cars now accommodated on lot? Total number to be accommodated?

Other buildings on same lot?

Distance from nearest present building to proposed garage?

**All parts of garage, including eaves, will be at least 2 ft. from all lot lines.**

Garage will be at least feet from nearest windows of adjoining property.

## Miscellaneous

Will the above construction require the removal or disturbing of any shade tree on the public street? no

Plans filed as part of this application? plan No. sheets? 1

Estimated total cost $ 750.

Fee? 1.00

*Signature of owner or authorized representative?*

Ward 4 Permit No. 27149

4-6 Preble

Preble Corp

Feb 8/27

Notif. Closing

Insp. Closing

Final Insp.

Issued 4/5/27

2317

NOTIFICATION before LATHING OR CLOSING IN is WAIVED

**Location, Ownership and detail must be correct, complete and legible!**
**Separate application required for every building.**
**Plans must be filed with this application.**

YOU! Responsible for complying with the law, whether you know

# Application for Permit for Alterations, etc.

READ!
This Application and Get All Questions Settled BEFORE Commencing Work. Failure to do so

*Portland, Me.,* October 19, 1926

To the INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

**Description of Present Bldg.**

Location F X F475 Congress Street Ward 4 in fire-limits? yes
Name of Owner or Lessee, Preble Corporation Address 475 Congress St
" " Contractor, F A Rumery Co " 537 Congress St
" " Architect, " "
Material of Building is brick Style of Roof, flat Material of Roofing, t & G
Size of Building is ..... feet long; ..... feet wide. No. of Stories, .....
Cellar Wall is constructed of ..... is ..... inches wide on bottom and batters to ..... inches on top.
Underpinning is ..... is ..... inches thick; is ..... feet in height.
Height of Building ..... Wall, if Brick; 1st, ..... 2d, ..... 3d, ..... 4th, ..... 5th, .....
What was Building last used for? office bldg No. of Families? .....
What will Building now be used for? office building

## Detail of Proposed Work

Build enclosure for restaurant in ~~basement~~ cellar; the rear wall and one side wall of the kitchen to be of incombustible material, the balance of the side walls and the ceiling to be covered with incombustible plaster board. There will be a door in the kitchen leading to the rear stairway to the arcade, this door to be accessible at all times to the patrons as an emergency exit, the Passageway from this door to the rear stairway to be always lighted & an Emergency Exit Sign indicating the location of this door to be exposed to view in the dining room. The entire restaurant will be adequately ventilated.

Estimated Cost $
Est. Cost $600.00

all this work will comply with the Building Ordinance

## If Extended On Any Side

Size of Extension, No. of feet long .....; No. of feet wide .....; No. of feet high above sidewalk? .....
No. of Stories high? .....; Style of Roof? .....; Material of Roofing? .....
Of what material will the Extension be built? ..... Foundation? .....
If of Brick, what will be the thickness of External Walls? ..... inches; and Party Walls ..... inches.
How will the extension be occupied? ..... How connected with Main Building? .....

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? ..... Proposed Foundations? .....
No. of feet high from level of ground to highest part of Roof to be? .....
How many feet will the External Walls be increased in height? ..... Party Walls .....

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? ..... in ..... Story.
Size of the opening? ..... How protected? .....
How will the remaining portion of the wall be supported? .....

Signature of Owner or Authorized Representative Preble Corp
Address By A J Bird

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Permit given 75¢

**Location, Ownership and detail must be correct, complete and legible.**
**Separate application required for every building.**
**Plans must be filed with this application.**

# Application for Permit for Alterations, etc.

*Portland, Me.,* Oct. 15, 1925

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 477 Congress St. Ward 4 in fire-limits? Yes.
Name of Owner ~~of Lessee~~, The Preble Corporation Address 477 Congress St
" " Contractor, M. J. Green Construction Co. " 390 Congress St.
" " Architect, " "
Material of Building is Brick Style of Roof, Flat Material of Roofing,
Size of Building is feet long; feet wide. No. of Stories,
Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
Underpinning is is inches thick; is feet in height.
Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
What was Building last used for? Office Bldg. No. of Families?
What will Building now be used for? Same

NOTIFICATION before LATHING OR CLOSING-IN is WAIVED

## Detail of Proposed Work

Build 12" brick parapet wall five feet high on part of two sides to match present cornice in height. This wall will be securely anchored to top of present brick wall, all to comply with the building ordinance.

Estimated Cost $1000.00

## If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
No. of Stories high?; Style of Roof?; Material of Roofing?
Of what material will the Extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative Preble Corporation
By W. J. Greene
Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Separate application required for every building.
Plans must be filed with this application.

with the law, whether you knew the requirements or not.

READ!

This Application and Plans must be filed BEFORE Commencing Work.

# Application for Permit for Alterations, etc.

Portland, Me., January 5, 1925 19

To the
INSPECTOR OF BUILDINGS:

PERMIT ISSUED

The undersigned applies for a permit to alter the following described building:—

Location 477 Congress Street Ward 4 in fire-limits? yes

Name of Owner or Lessee, Preble Corp Address Chapman Block

Description of Present Bldg. " " Contractor, F. L. Rumery Co " 537 Congress Street

" " Architect, " "

Material of Building is brick Style of Roof, flat Material of Roofing, tar &gravel

Size of Building is ..... feet long; ..... feet wide. No. of Stories, .....

Cellar Wall is constructed of ..... is ..... inches wide on bottom and batters to ..... inches on top.

Underpinning is ..... is ..... inches thick; is ..... feet in height.

Height of Building ..... Wall, if Brick; 1st, ..... 2d, ..... 3d, ..... 4th, ..... 5th, .....

What was Building last used for? stores No. of Families? .....

What will Building now be used for? stores

## Detail of Proposed Work

Cut in new store fronts (3) in brick wall, change partitions
no exterior woodwork to be used
all to comply with the building ordinance

Estimated Cost $ 5,000.

## If Extended On Any Side

Size of Extension, No. of feet long? .....; No. of feet wide? .....; No. of feet high above sidewalk? .....

No. of Stories high? .....; Style of Roof? .....; Material of Roofing? .....

Of what material will the Extension be built? ..... Foundation? .....

If of Brick, what will be the thickness of External Walls? ..... inches; and Party Walls ..... inches.

How will the extension be occupied? ..... How connected with Main Building? .....

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? ..... Proposed Foundations? .....

No. of feet high from level of ground to highest part of Roof to be? .....

How many feet will the External Walls be increased in height? ..... Party Walls .....

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? ..... in ..... Story.

Size of the opening? ..... How protected? .....

How will the remaining portion of the wall be supported? .....

Signature of Owner or Authorized Representative F. L. Rumery Co

Address 537 Congress St

By A. J. Dick

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

25

477 Congress St.

GEO. C. TAINSH

**Commercial Signs**

CARD, CLOTH,
WOOD, GLASS,
METAL AND

**Electric Signs**

TELEPHONE 4246

G. C. TAINSH SIGN CO.

27 MONUMENT SQUARE
PORTLAND, MAINE

ESTABLISHED 1905

**Out Door Advertising**

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

**Locations Secured**

SKETCHES FURNISHED

28

Oct. 15-1924.

Oct 18,1924

Sign Committee,
Portland, Maine.
Gentlemen,-

We wish to secure permit for hanging two sided projecting electric sign, size 6' X 16', for Chapman Building ( Preble Corporation) located at Congress & Preble Sts., as per sketch submitted.

Very truly yours,
G. C. Tainsh Sign Co.,
G C Tainsh

GCT/AMT

OK Lumber 10/17

Electrical Dept
10/18/24

477 Congress St.

GEO. C. TAINSH

ESTABLISHED 1905

**Commercial Signs**

CARD, CLOTH,
WOOD, GLASS,
METAL AND

**Electric Signs**

TELEPHONE 4246

G. C. TAINSH SIGN CO.

27 MONUMENT SQUARE
PORTLAND, MAINE

**Out Door Advertising**

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

**Locations Secured**

SKETCHES FURNISHED

14

June 24-1924.

Sign Committee,
Portland, Maine.
Gentlemen,-

We wish to secure permit for hanging two sided projecting electric sign size 4' X 40' for B. F. Keith Theatre sign to be located on Chapman Building 477 Congress St., as per blue print and sketch submitted, same to be hung 15' above sidewalk.

Very truly yours,
G. C. Tainsh Sign Co.,

GCT/AMT

G C Tainsh

Bldg Insp 6/30/24

OK by Chief Sanborn

Chief Sanborn:
Pls. OK. and return if satisfactory
MMcDonald
6/30

Separate application required for every building.
Plans must be filed with this application.

# Application for Permit for Alterations, etc.

To the *Portland,* December 24, 1923 *192*

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 475a Congress Street Ward, 4 in fire-limits? yes

Name of Owner or ~~Lessee~~, Preble Corporation Address 187 Middle Street

" " Contractor, M A Long Co " 478½ Congress Street

" " Architect " "

**Description of Present Bldg.**

Material of Building is brick Style of Roof, flat Material of Roofing, tar &gravel

Size of Building is 60ft feet long; 40ft feet wide. No. of Stories, 2

Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.

Underpinning is brick is inches thick; is feet in height.

Height of Building 30ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? hotel No. of Families?

What will Building now be used for? store

## DETAIL OF PROPOSED WORK

Excavate and place foundations ,tear out and shore up part of old building adjoining courtyard of Preble H use in prepration for remodeling those buildings into stores, any new exterior woodwork to be covered with metal all to comply with the building ordinance

Estimated Cost $ 10,000.

## IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? , No. of feet wide? ; No. of feet high above sidewall:?

No. of Stories high? ; Style of Roof? ; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

## IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative The M A Longley By Wm. J. Martin

Address 478½ Congress St. Portland, Me.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

1.73

Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

# Application for Permit to Build

(1st and 2nd CLASS BUILDING)

To THE INSPECTOR OF BUILDINGS,

Portland, Me., June 9, 1923 19

The undersigned hereby applies for a permit to build according to the following Specifications:—

Location, No 473-475 Congress Street

Name of owner is? Preble Corporation ... Wd. 4

Name of mechanic is? The M A Long Company, Address, 185 Middle Street

Name of architect is? Herbert J Rhodes, 17 Guilford Ave, Baltimore, Md

Material of building? concrete " 574a Congress Street

Building to be occupied for? office building 1st or 2d class?

How many families? No of Stores?

How near the line of the street?

Will the building be erected on solid or filled land? solid If in block, how many?

Size of lot. No of feet front? 97ft; feet rear? 97ft; feet deep? 85ft

Size of building. No. of feet front? 97ft No. of feet rear? 97ft No. of feet deep? 85ft

No. of stories in height, above basement? 12; No. of feet in height from sidewalk to highest point of roof? 125ft

Material of foundation? concrete If concrete, submit specifications.

Will foundation be laid on earth, rock or piles? earth

Length of piles?

Number of rows? Wood or concrete piles?

Distance on centres?

Diameter top? Bottom?

Capped with stone or concrete?

Piles cut off at what grade?

External walls, Party walls, } thickness { 1st 12in 2d, 3d, 4th, 5th, 6th, 7th, 8th, 9th, / 1st, 2d, 3d, 4th, 5th, 6th, 7th, 8th, 9th,

steel construction, curtain wall

Are the walls solid or vaulted? solid Material? concrete

What will be the materials of front? concrete & glass

Will the roof be flat pitch, mansard or hip? flat Material of roofing tar & gravel

What will be the material of cornice? metal & terra cotta

What will be means of access to roof?

Are there any hoistways or elevators? yes How protected? brick walls

How is building heated? steam Thickness of shell of flue? 8in tile lined

Fire stops provided? yes Method of fire stops?

Means of extinguishing fire? fire extinguisher

Stairways enclosed in brick walls? yes Thickness of such walls? 12in

Means of egress: Iron stairs, fire escapes with one more added than what plan calls for

**If the building is to be occupied as a Tenement House, give the following particulars:**

Height of cellar? Height of basement?

Height of first story, second, third, fourth, fifth, sixth, seventh, eighth, ninth, tenth,

Is the cellar or the basement to be occupied for habitation?

Distance from surrounding buildings? front, ; side, ; side, ; rear,

If there is a building already erected on the front or rear of lot, give height?

State how many ways of egress are to be provided,

Style of egress? Inside stairs or outside fire escapes, or both?

Will the building comply with the requirements of statutes?

Estimated Cost,

$ 350,000

*Signature of owner or authorized representative,* The M A Longley, Wm F Martin

Address, 17 Guilford Ave., Baltimore, Md.

Plans submitted? Received by?

54.50

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate, bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand to any Building of the City of Portland

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK.

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

# Application for Permit for Alterations, etc.

To the

Portland, April 2, 1923 192

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 473 Congress Street Ward 4 In fire-limits? yes

Name of Owner or Lessee W. S Tingley Address So. Portland, RFD #6

" " Contractor owner "

" " Architect "

**Description of Present Bldg.**

Material of Building is brick Style of Roof flat Material of Roofing tar & gravel

Size of Building is 90ft feet long; 90ft feet wide. No. of Stories 4

Cellar Wall is constructed stone is inches wide on bottom and batters to inches on top.

Underpinning is brick is inches thick; is feet in height.

Height of Building 50ft Wall, if Brick; 1st 2d 3d 4th 5th

What was Building last used for? hotel No. of families?

What will Building now be used for? demolish

## Detail of Proposed Work

To demolish 90 feet of Preble Street portion and 90 feet of Congress Street portion, demolish a portion of the building known as the Preble House measuring 90ft on Preble and 90ft on Congress, and I, Walter S. Tingley assume all responsibility by way of any damage or accident that may happen to the public or anyone during the time of demolishing the above mentioned work and if any accident should happen I hereby hold myself fully liable to all damage. I am fully covered by accident insurance.

Estimated Cost $ 4,000.

## If Extended On Any Side

all to comply with the building ordinance of the city of Portland.

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?

No. of Stories high?; Style of Roof?; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative W S Tingley

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

FINAL REPORT

Plans must be filed with this application.

# Application for Permit for Alterations, etc.

To the *Portland* April 2,1923 *192*

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 473 Congress Street Ward 4 in fire-limits? yes

Name of Owner or Lessee Preble Corporation Address Preble Street

" " Contractor W S Tingley " S. P RF F #6

" " Architect " 

**Description of Present Bldg.**

Material of Building is brick Style of Roof flat Material of Roofing tar & gravel

Size of Building is 90ft feet long; 90ft feet wide. No. of Stories 4

Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.

Underpinning is brick is inches thick; is feet in height.

Height of Building 50ft Wall, if Brick; 1st 2d 3d 4th 5th

What was Building last used for? hotel No. of families?

What will Building now be used for? hotel(Preble House

## Detail of Proposed Work

To erect covered staging over entire sidewalk,this to be a tight stage,90 feet on Preble and 90 feet on Congress Street, the sides next to the building to be closed up so as not to leave any open space to endanger the public by material falling through the stage the whole to be built satisfactory to the Inspector of Buildings

Estimated Cost $ 500.

## If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?

No. of Stories high?; Style of Roof?; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative W S Tingley

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

FINAL REPORT

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

# Application for Permit for Alterations, etc.

the Portland, March 2, 1923 192

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 473 Congress Street Ward 4 in fire-limits? yes

Name of Owner or Lessee W S Tingley Address So Portland, R F D #6

" " Contractor W S Tingley " " " "

" " Architect " "

**Description of Present Bldg.**

Material of Building is brick Style of Roof flat Material of Roofing tar & gravel

Size of Building is 90ft feet long; 90ft feet wide. No. of Stories 4

Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.

Underpinning is brick is inches thick; is feet in height.

Height of Building 50ft Wall, if Brick; 1st 2d 3d 4th 5th

What was Building last used for? hotel No. of families?

What will Building now be used for? demolish

## Detail of Proposed Work

Demolish interior work only
( I, W STingley) assume all responsibility by way of any damage or accident that may happen to the public or otherwise during the time of demolishing the above mentioned work, and if any accident should happen in any way I hereby hold myself wholly liable for all damage.) No floors, partitions, roof or walls to be removed until another permit is taken out and a satisfactory bond given. Estimated Cost $500.

## If Extended On Any Side

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?

No. of Stories high? ; Style of Roof? ; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative W S Tingley

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

477 Congress st.

ESTABLISHED 1905

al Signs

D, CLOTH,
OOD, GLASS,
METAL AND

Electric Signs

TELEPHONE 4246

G. C. TAINSH SIGN CO

27 MONUMENT SQUARE
PORTLAND, MAINE

Out Door Advertising

WALL OR BULLETIN
TO PROMOTE THE
SALE OF ANYTHING

Locations Secured

SKETCHES FURNISHED

Permit issued November 3, 1921

Nov. 2-1921.

Sign Committee,
City Hall,
Portland, Me.
Gentlemen,-

We wish to secure permit for hanging two sided duck banner size 9' X 20' for Annual Red Cross Roll Call. Banner to be located on Congress St., between Preble House and Loring short & Harmon store and to be hung on 5/16" wire cable.

Very truly yours,
G. C. Tainsh Sign Co.,

G C Tainsh

GCT/AHT

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

# Application for Permit for Alterations, etc.

Portland, March 16, 1920 191

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following-described building:—

Location 475 Congress Street Ward, 4 in fire-limits? yes

Name of Owner or Lessee, Portland Savings Bank Address 475 Congress St

" " Contractor, F. A. Rumery Co, " 21 Portland St

" " Architect, "

Description of Present Bldg.

Material of Building is brick Style of Roof, flat Material of Roofing, tar & gravel

Size of Building is 100ft feet long; 100ft feet wide. No. of Stories, 5

Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.

Underpinning is brick is inches thick; is feet in height.

Height of Building, 50ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? hotel No. of Families?

What will Building now be used for? hotel

## DETAIL OF PROPOSED WORK

Put in new door in place of old ones to comply with the building ordinance

Estimated Cost $ 200.

## IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?

No. of Stories high? ; Style of Roof? ; Material of Roofing?

Of what material will the Extension be built Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How may feet will the External Walls be increased in height? Party Walls

## IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative F A Rumery Co

Address 21 Portland St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

26/220

Location, Ownership and detail must be correct, complete and legible.
Plans must be filed with this application.
Separate application required for every building.
You are responsible for complying with the law, whether you know the requirements or not.

READ!
This Application and Get All Questions Settled BEFORE Commencing Work. Failure To Do So Proves EXPENSIVE!

# Application for Permit for Alterations, etc.

To the INSPECTOR OF BUILDINGS:

*Portland, Me.,* April 16, 1923 *19*

The undersigned applies for a permit to alter the following described building:—

Location 473 Congress St. Ward 4 in fire-limits? Yes.

Name of Owner or Lessee. United Cigar Stores Co. Address 473 Congress St.

" " Contractor, P. G. & F. Const. Co. " 293 Greenpoint Ave., Brooklyn, N. Y.

" " Architect, L. E. Donslow " N. Y. City.

Material of Building is Stone & Brick Style of Roof, Material of Roofing,

Size of Building is feet long; feet wide. No. of Stories, 12

Cellar Wall is constructed of 13 inches wide on bottom and batters to inches on top.

Underpinning is 8 inches thick; is feet in height.

Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? This part for store No. of Families?

What will Building now be used for? Same

Description of Present Bldg.

## Detail of Proposed Work

Build tile partition in cellar dividing in two parts and provide self-closing kalamein doors leading to public passageway. Alter location of show windows and entrance doors on Congress St. and Preble St. fronts without disturbing lintels columns and other main supports. no woodwork to be exposed on the outside of the building. All work will comply with the building ordinance.

Estimated Cost $ 3000.00

## If Extended On Any Side

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?

No. of Stories high? Style of Roof? ; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

## If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative United Cigar Stores Co.

Fee $ 2.00 Address By A. H. Chychoff

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

P.9.

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

# Application for Permit for Alterations, etc.

To the

INSPECTOR OF BUILDINGS:

Portland, April 10, 1917 191

The undersigned applies for a permit to alter the following-described building:—

Location 475 Congress St. (Preble House) Ward, 4 in fire-limits? Yes

Name of Owner or Lessee, Chas. W. Gray, Lessee Address Preble House

" " Contractor, F. A. Rumery Co. " 51 Preble St.

" " Architect, " " "

**Description of Present Bldg.**

Material of Building is brick Style of Roof, flat Material of Roofing, tar & gravel

Size of Building is about 200 feet long; about 150 feet wide. No. of Stories, four

Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.

Underpinning is brick is inches thick; is feet in height.

Height of Building, 45 ft. Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? hotel No. of Families?

Building to be occupied for hotel Estimated Cost, $ 750.00

## DETAIL OF PROPOSED WORK

Remove portion of brick front and put in new plate glass window; alterations to comply with the written specifications as presented to Mr. Gray by the Building Inspector under date of April 2, 1917

## IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?

No. of Stories high? ; Style of Roof? ; Material of Roofing?

Of what material will the Extension be built Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

## WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised or Built upon? Proposed Foundations?

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

## IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? external in first Story.

Size of the opening? 7 x 12 How protected? plate glass

How will the remaining portion of the wall be supported? by steel columns

Signature of Owner or Authorized Representative. F A Rumery Co by E N Makewe

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

**ELECTRICAL INSTALLATIONS —**

Permit Number 00218

Location 477 Crescent St.

Owner R. Champaign

Date of Permit 5-14-85

Final Inspection 5-16-85

By Inspector Libby

Permit Application Register Page No. 71

INSPECTIONS: Service ✓ by Libby

Service called in 5-16-85

Closing-in _____ by _____

PROGRESS INSPECTIONS: 5-15-85 / / / / / / / / / / / / / / / / / /

CODE COMPLIANCE COMPLETED 5-16-85

| DATE: | REMARKS: |
|---|---|
| 5-15-85 | Meter line side fed to bottom instead of top. Change and notify. |
| 5-16-85 | OK |

PERMIT ISSUED
AUG 2 1985
City Of Portland

# APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....0..838.....

ZONING LOCATION ... ..... . PORTLAND, MAINE ...July.29,..1985

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

*The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:*

LOCATION ..477.Congress.Street - 7th floor. ..... ..... Fire District #1 ☐, #2 ☐

1. Owner's name and address ..... Telephone .....
2. Lessee's name and address ...Jensen, Baird, Gardner & Henry ..... Telephone .....
3. Contractor's name and address ..Fifth Season Assoc. Box 909 ..... Telephone .892-6485..
N. Windham 04062 ..... No. of sheets .....

Proposed use of building ..... No. families .....

Last use ..... No. families .....

Material ..... No. stories ... Heat ... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $..10,000...

FIELD INSPECTOR—Mr .....
@ 775-5451

| | |
|---|---|
| Appeal Fees | $ ..... |
| Base Fee | ...70.00..... |
| Late Fee | ..... |
| TOTAL | $ ..70.00..... |

to make interior renovations; move walls as shown

Stamp of Special Conditions

send to #3

***NOTE TO APPLICANT:*** *Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.*

## DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

| | | | | |
|---|---|---|---|---|
| Joists and rafters: | 1st floor ..... | 2nd ..... | 3rd ..... | roof ..... |
| On centers: | 1st floor ..... | 2nd ..... | 3rd ..... | roof ..... |
| Maximum span: | 1st floor ..... | 2nd ..... | 3rd ..... | roof ..... |

If one story building with masonry walls, thickness of walls? ..... height? .....

## IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

| *APPROVALS BY:* | *DATE* | MISCELLANEOUS |
|---|---|---|
| BUILDING INSPECTION—PLAN EXAMINER ..... | | Will work require disturbing of any tree on a public street? ..... |
| ZONING: | | |
| BUILDING CODE: | | Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ..... |
| Fire Dept.: James V. Colbassani | | |
| Health Dept.: | | |
| Other: | | |

*Signature of Applicant:* Warren E. Dow Phone # .....

Type Name of above ..Warren Dow ..... 1☐ 2☐ 3☐ 4☐

Other .....
and Address .....

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

Permit No. 85/838

Location 477 Congress St

Owner Jones, David, Gardner

Date of permit 7-29-85

Approved 8-2-85

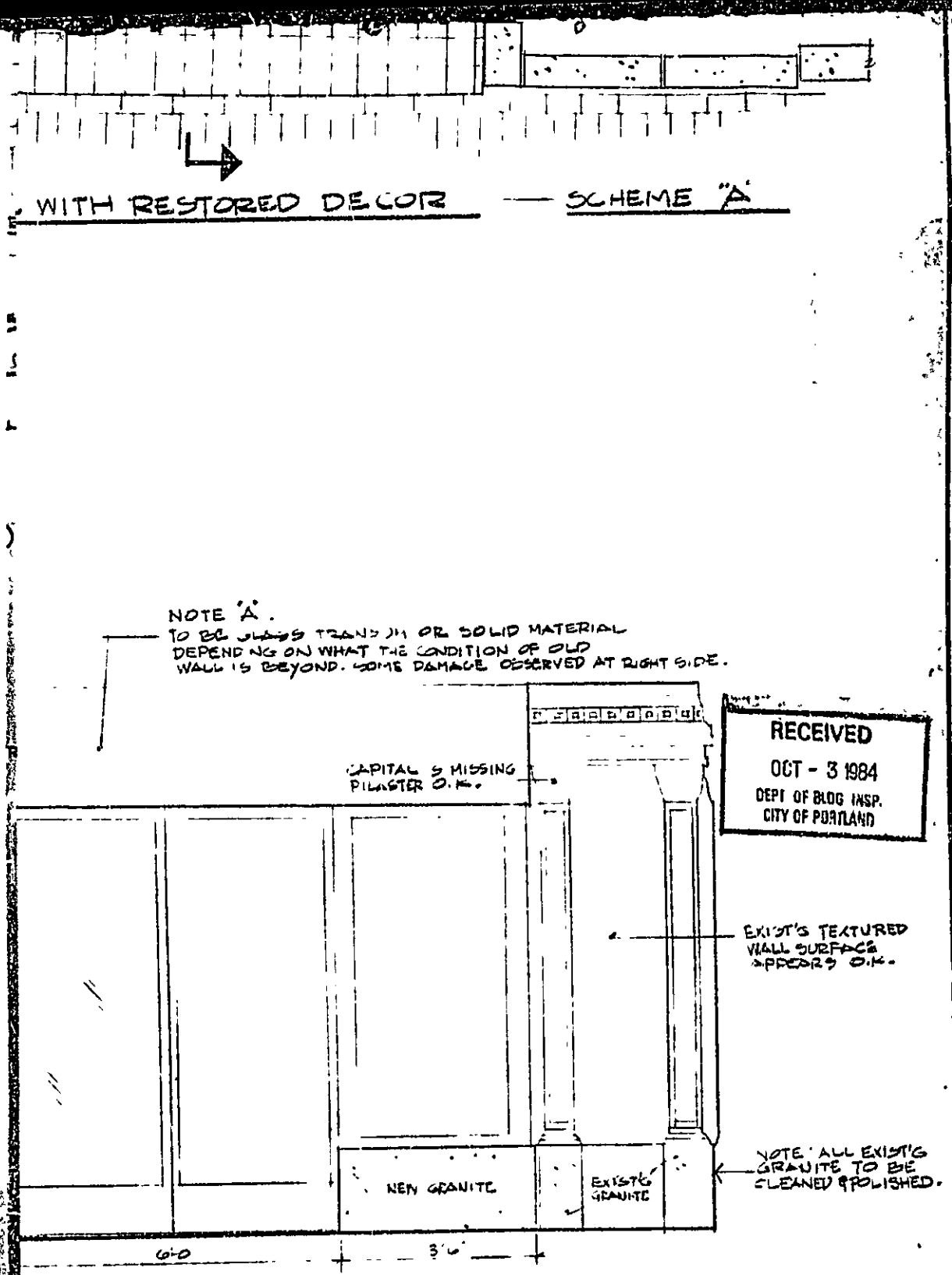
Dwelling

Garage

Alteration to Stria

NOTES

12/9/85 Complete OK






| REV. | DESCRIPTION | DATE |
|---|---|---|
| | | |

THE VILLAGE GREEN
ENTRANCE RESTORATION PROJECT

PROPERTY MANAGEMENT SERVICES, INC.
PORTLAND, MAINE

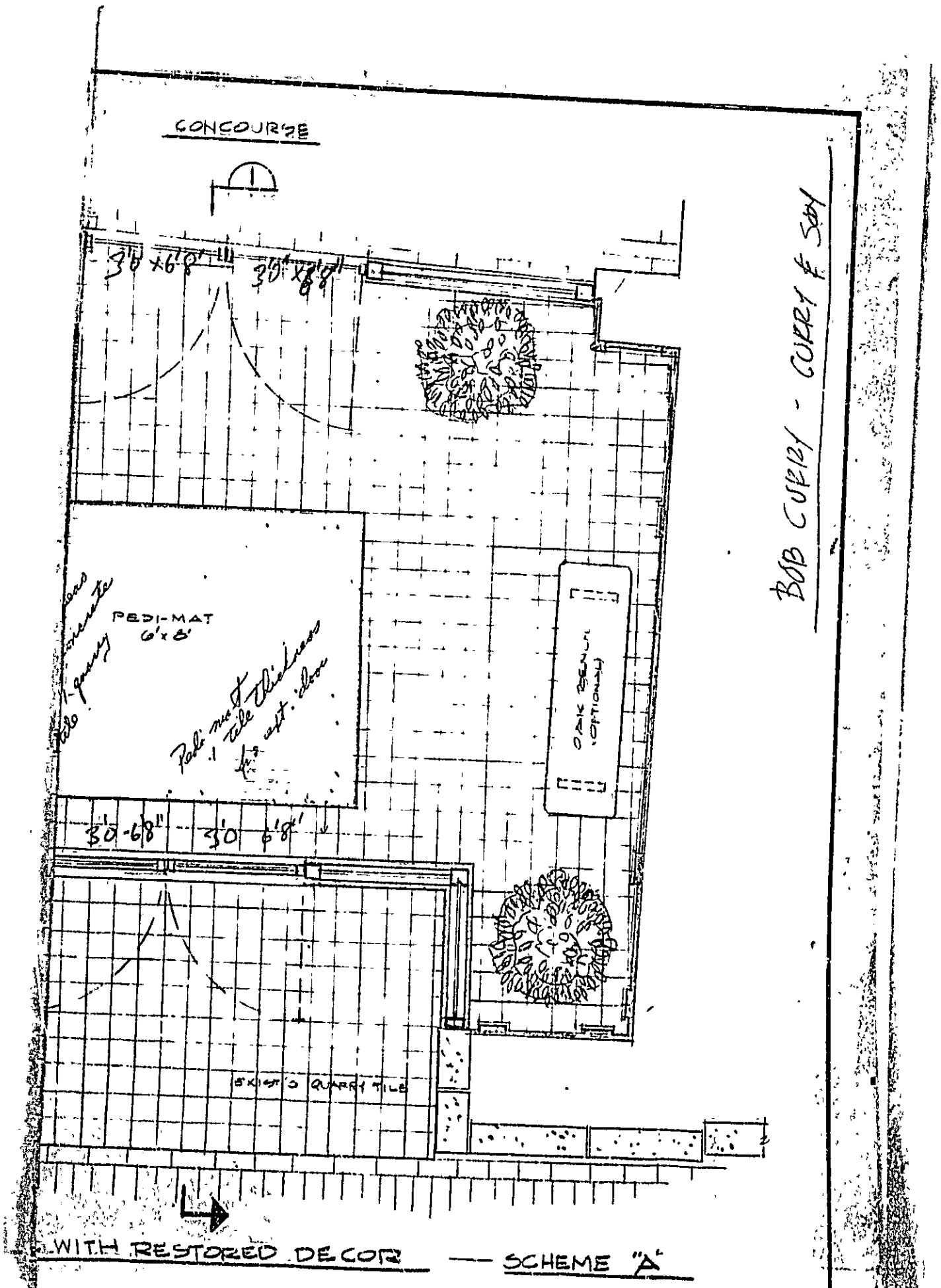
SCALE: AS NOTED

DATE: 8-2-84

STEVENS ASSOCIATES
ARCHITECTS & ENGINEERS
73 OAK ST 772-3846
PORTLAND MAINE 04101

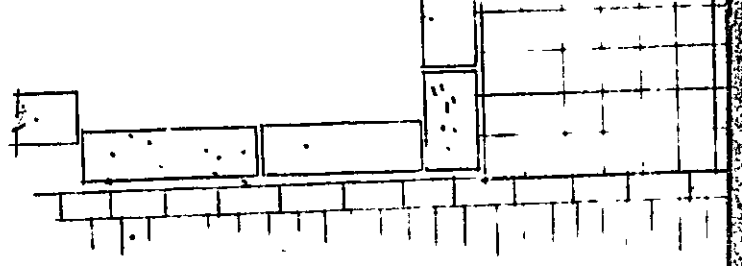
JOB NO. 3411

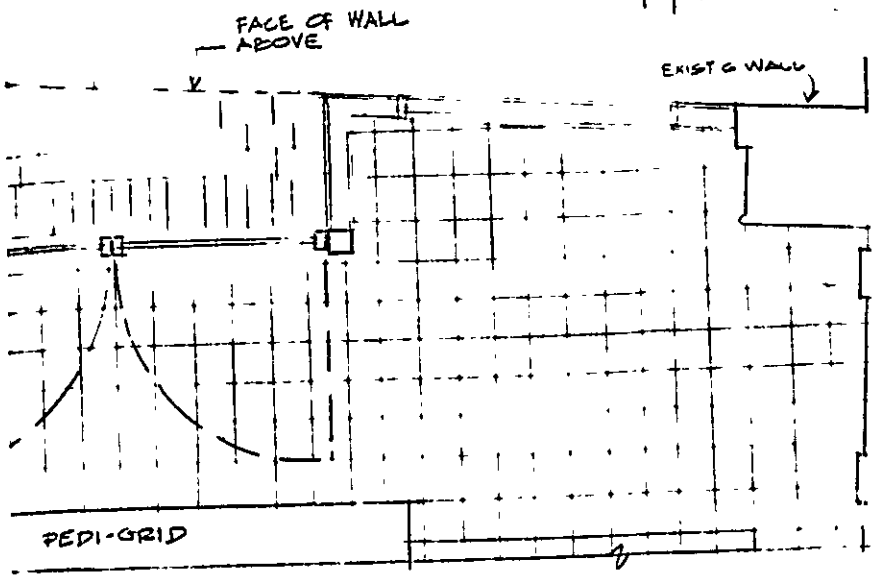
A-1
DRAWING NO.




WITH RESTORED DECOR — SCHEME "A"

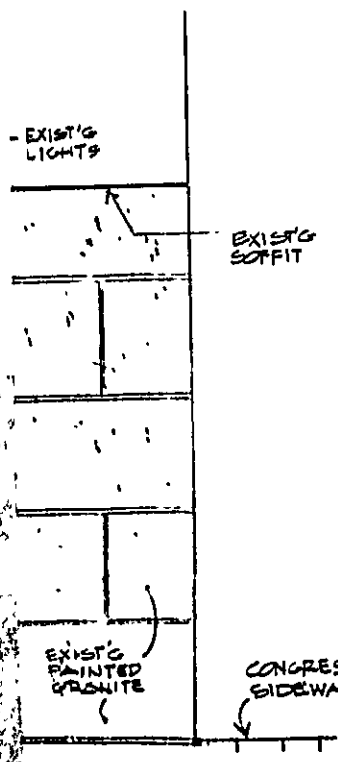
ON COURSE

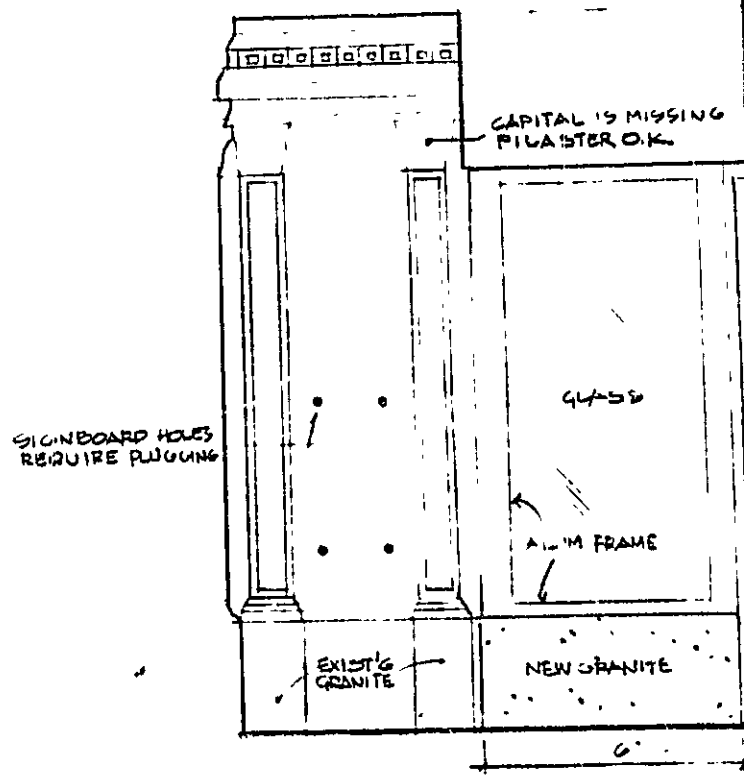





NEW ENTRANCE
SCALE: 1/2" = 1'0"

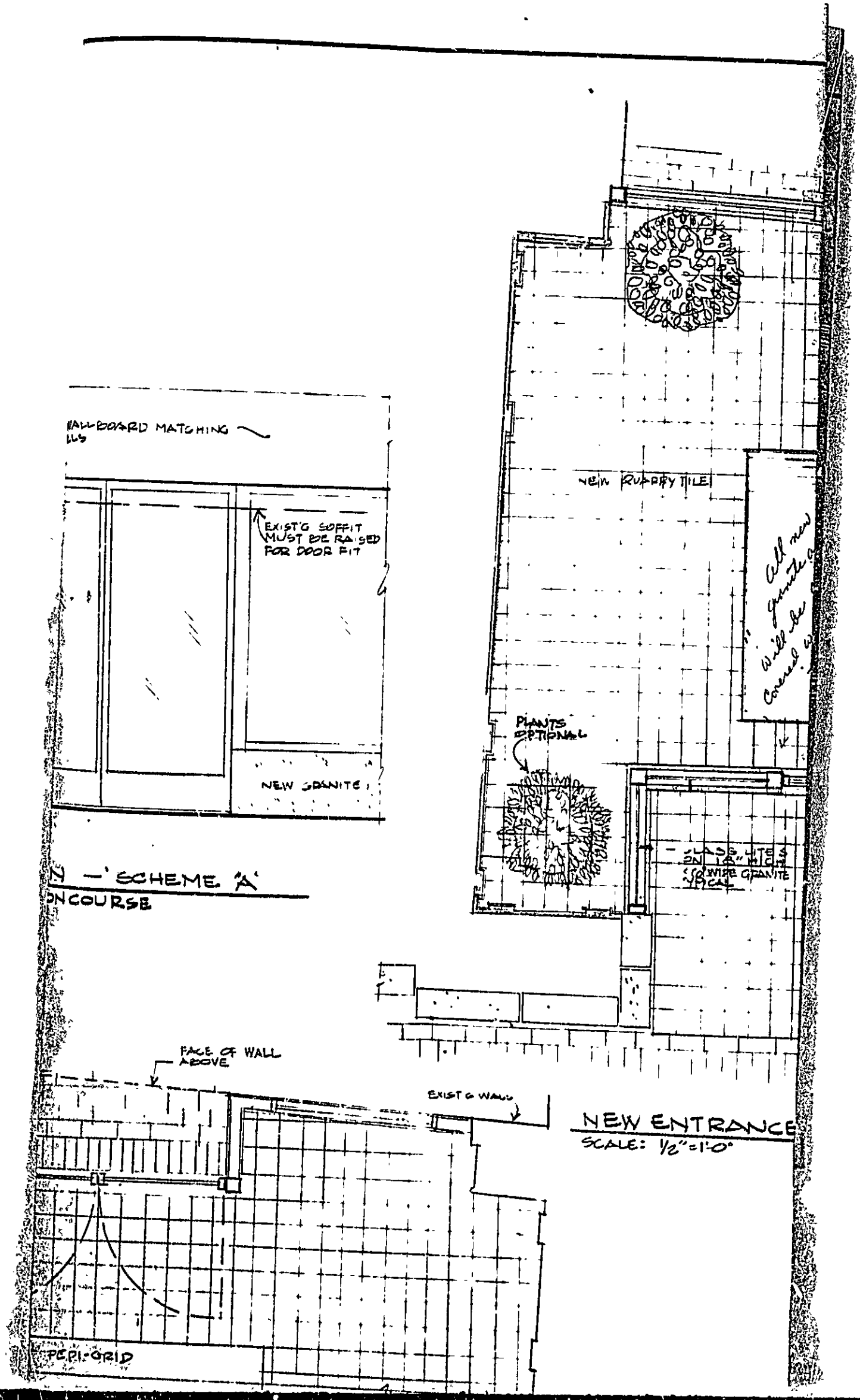
DORS PARALLEL TO CONGRESS ST. DOORS




VESTIBULE ELEVAT
SCALE 1/2" = 1'0"
SCHEMES "A" & "B"

PRELIMINARY

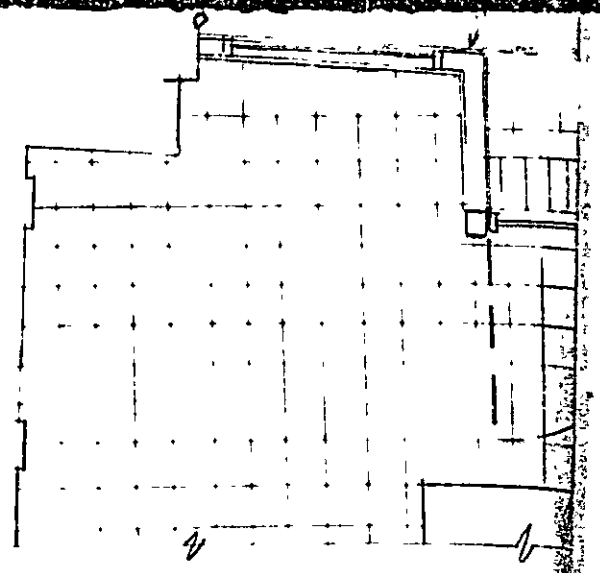

WALLBOARD MATCHING
EXIST'G SOFFIT MUST BE RAISED FOR DOOR FIT
NEW GRANITE
SCHEME 'A'
ON COURSE
NEW QUARRY TILE
all new granite will be covered w
PLANTS OPTIONAL
GLASS LITES ON 1'-6" HIGH 5/8" WIRE GRANITE TYPICAL
FACE OF WALL ABOVE
EXIST'G WALL
NEW ENTRANCE
SCALE: 1/2"=1'-0"
PERI-GRID

REBLE STREET

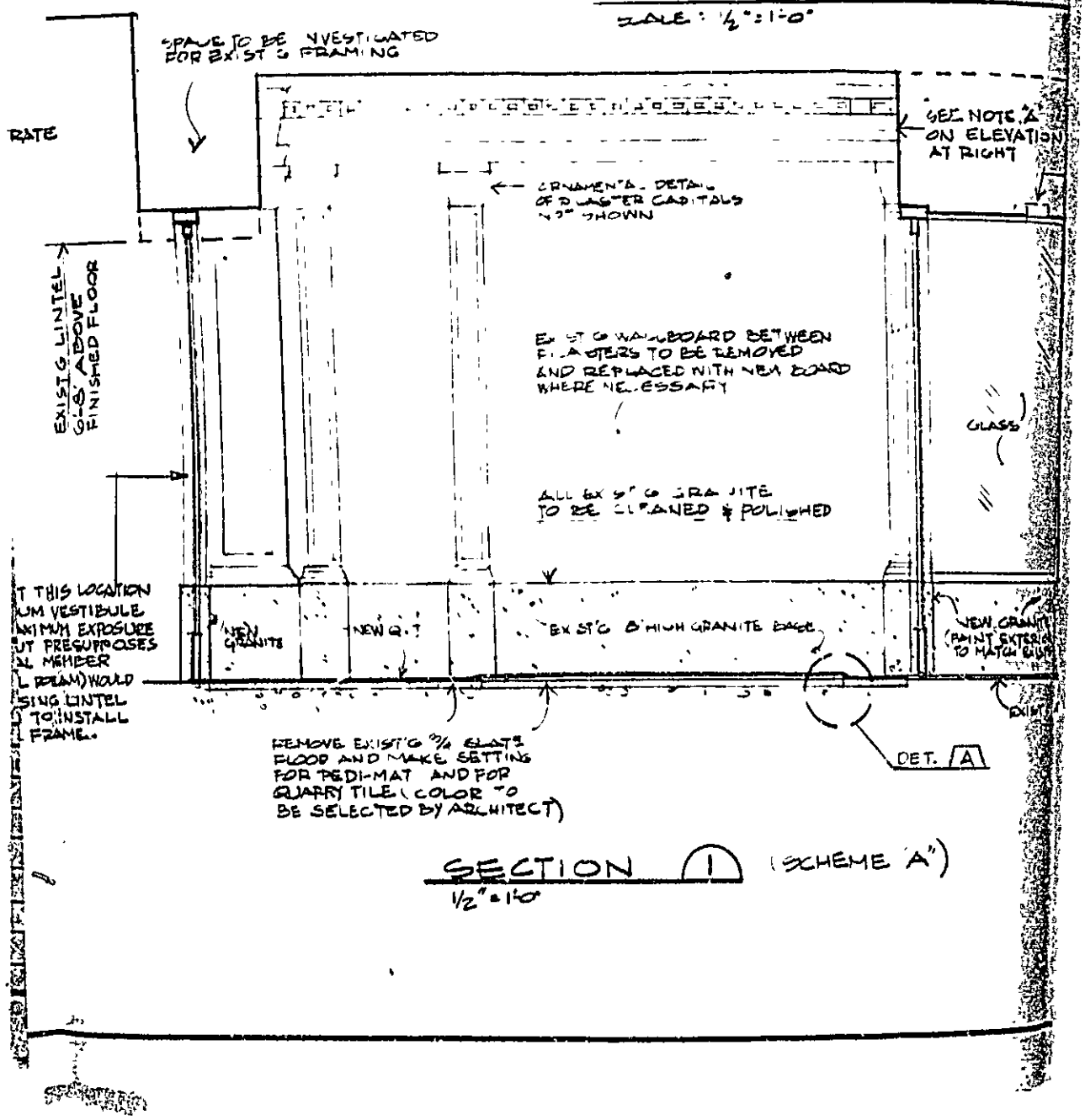
## S STREET ENTRANCE
## ONS

ASED ON SUCH, AND ARE TO BE REGARDED

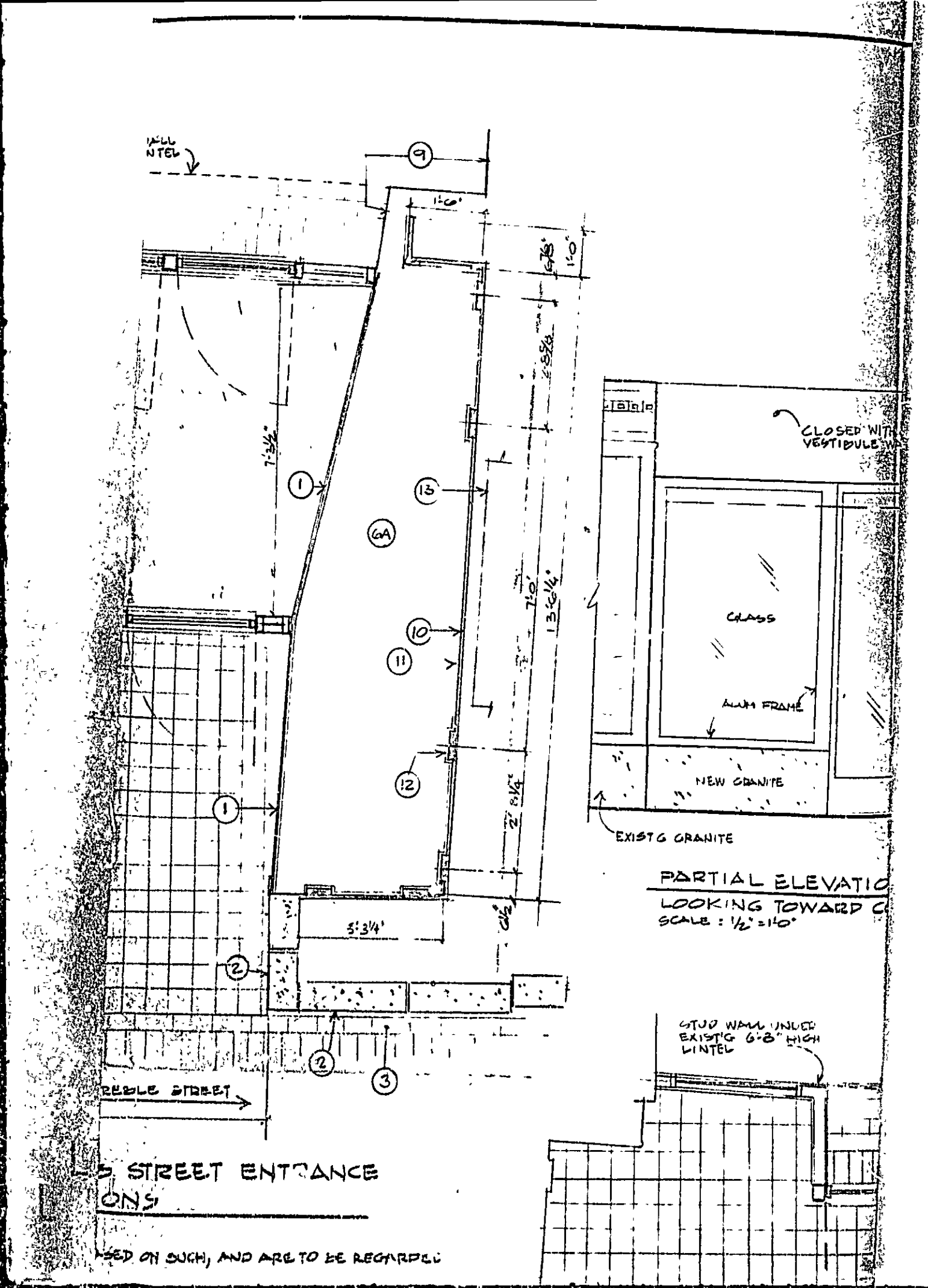
)

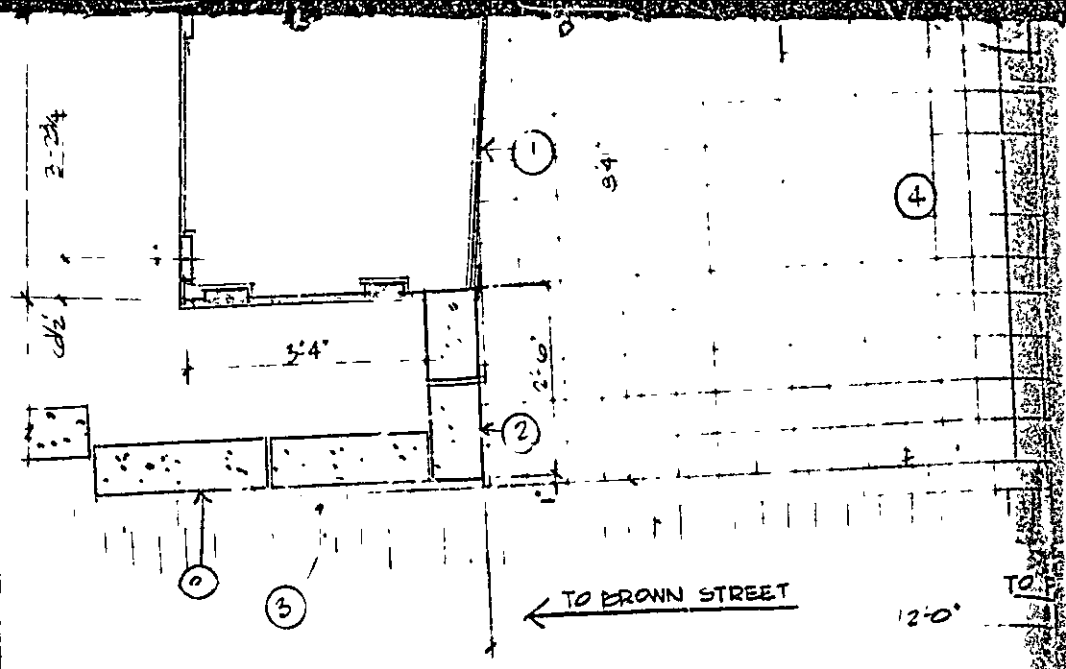


SCHEME "B" - CONCOURSE D
SCALE: 1/2" = 1'-0"




SECTION 1 (SCHEME "A")
1/2" = 1'-0"


NTEL
9
1'-6"
1'-0"
7'-3½"
1
13
6A
10
11
12
1
2'-8¼"
13'-6¼"
7'-0"
5'-3¼"
2
2
3
CLOSED WITH
VESTIBULE W
GLASS
ALUM FRAME
NEW GRANITE
EXIST'G GRANITE
PARTIAL ELEVATIO
LOOKING TOWARD C
SCALE : ½" = 1'-0"
STUD WALL UNDER
EXIST'G 6'-8" HIGH
LINTEL
REBLE STREET
STREET ENTRANCE
ONS
SED ON SUCH, AND ARE TO BE REGARDED



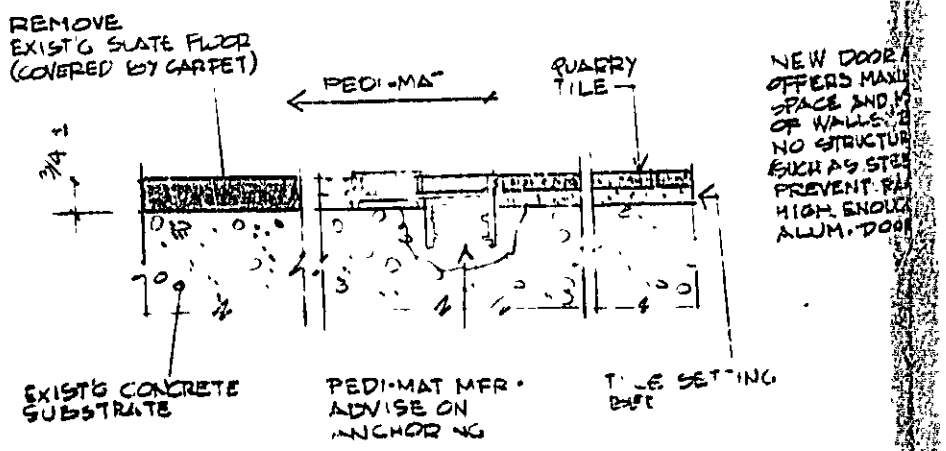

# VILLAGE GREEN - CONGRES
## EXISTING CONDIT

SCALE : 1/2" = 1'-0"

NOTE : DIMENSIONS SHOWN ARE FIELD MEASUREMENTS, OR
AS APPROXIMATE.

## LEGEND

1. ALUMINUM PANEL ON ½ PLYWOOD -- TO BE REMOVED. 12x4 STRUCTURAL FRAME & TIES TO COMMON WALLS NOT SHOWN
2. PAINTED GRANITE. ASSUMED 8" THICK
3. BRICK SIDEWALK
4. QUARRY TILE
5. 4½" WIDE ALUMINUM FRAME, DOORS & SIDELIGHTS
6. CARPET ON SLATE FLOOR
6A. 3/4" SLATE FLOOR ON CONCRETE SUBS
7. CONCOURSE FLOOR - BRICK
8. ALUMINUM THRESHOLD
9. PLASTER WALL SURFACE
10. KEITH'S ORIENTAL ERA PAINTED PLASTER WALL ON 11. 8" HIGH GRANITE BASE
12. 7" WIDE ORNAMENTAL PILASTER ON 9" WIDE X 18" HIGH GRANITE BASE
13. STRUCTURAL CLAY TILE BLOCK IN COMMON WALL
14. 3/4" SLATE FLOOR ON CONCRETE SUBSTRATE




DETAIL A