

473-477 CONGRESS ST. #4

6



APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

AUG 1 1978
0 0665
CITY of PORTLAND

Portland, Maine, July 21 19 78

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications.

Location 477 Congress St. Within Fire Limits? Dist. No. _____

Owner of building to which sign is to be attached Anderson Tour & Travel

Name and address of owner of sign Same

Contractor's name and address Coyna Sign Co., -84 Cove Street Telephone _____

When does contractor's bond expire? Dec. 31, 1978

Information Concerning Building

No. stories 15 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric? yes Vertical dimension after erection 3 ft. Horizontal 5 ft.

Weight 100 lbs, Will there be any hollow spaces? no Any rigid frame? yes

Material of frame angle iron 1 1/2 in advertising faces 2, material plexiglass

No rigid connections yes Are they fastened directly to frame of sign? yes

No through bolts 4, Size 3/8 x 5 in, Location, top or bottom both

No. guys 1, material 3/16 stranded steel cable, Size _____

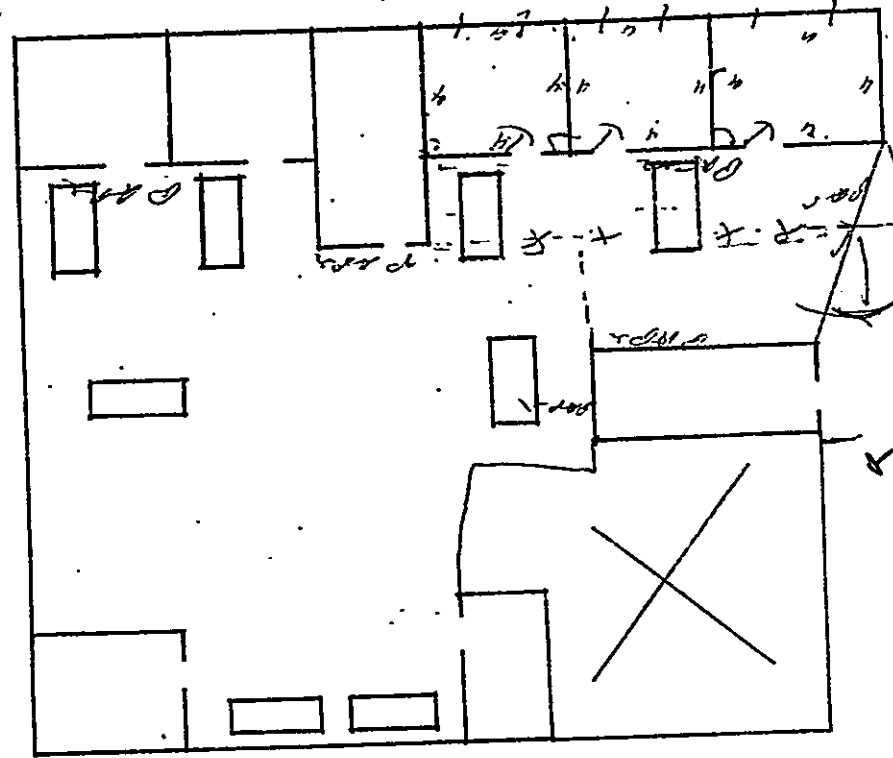
Minimum clear height above sidewalk or street 10 ft.

Maximum projection into street 5 ft. Fee \$ 6.50

Signature of contractor Robert Plau / Coyna Sign Co. Inc.

FILE COPY

RECEIVED
SEP 19 1977
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



10
6-5
76
76

477 CONGRESS ST.

Minor alterations to offices on
5th floor. No interference
of exit travel.

10
7-2
118
9

77



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 0822

SEP 19 1977

ZONING LOCATION PORTLAND, MAINE, Sept. 19, 1977

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 477 Congress St., 5th floor Prop. Management Services
1. Owner's name and address Monument Square Assoc. Telephone
2. Lessee's name and address Frank Morang - Dutton Hill Rd. Telephone 657-4018
3. Contractor's name and address Prop. Management Services Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building office bldg. No. families
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 4,000 Fes \$ 16.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Permit to make alterations to office on 5th floor, as per plans, 1 sheet of plans.
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..
ZONING:
BUILDING CODE: 0.4: 2.5: 9/19/77 Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? ..
Others: ..

Signature of Applicant Frank Morang Phone # same

Type Name of above Frank Morang 1 2 3 4

FIELD INSPECTOR'S COPY Other and Address

NOTES

9-28-77 work started - Expanded An Existing
Area Area - No bearing walls removed
~~10-4-77~~

Permit No. 77/0822
Location 177 Longview St.
Owner *[Signature]*
Date of permit 9-19-77
Approved 9-19-77 *[Signature]*

~~[Large X mark over the left column of the main body]~~

[Empty lined area on the right side of the main body]



APPLICATION FOR PERMIT

PERMIT ISSUED
SEP 16 1977
CITY of PORTLAND

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 081J
ZONING LOCATION PORTLAND, MAINE, Sept. 15, 1977

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION: 477 Congress St. Fire District #1 #2
1. Owner's name and address Monumet Square Assoc. Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address Peter Stuart - Sun Bldg. & Interior Design, 56 Maple St. Telephone 772-5503
4. Architect Specifications Plans No. of sheets
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 3,000 Fee \$ 12.00

FIELD INSPECTOR—Mr. Marge GENERAL DESCRIPTION
This application is for: @ 775-5451
Dwelling Ext. 234
Garage Permit to erect stairway 1st to 2nd floor as per plans. 1 sheet of plans.
Masonry Bldg.
Metal Bldg.
Alterations Stamp of Special Conditions
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..
ZONING:
BUILDING CODE: 3011-912177-000 Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?

Signature of Applicant: Peter Stuart, Sun Bldg. Int. Design Phone # same
Type Name of above: Peter Stuart 1 2 3 4
Other
and Address

FIELD INSPECTOR'S COPY



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date July 8, 19 77
 Receipt and Permit number A10147

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 477 Congress St. 10th floor
 OWNER'S NAME: Property Management ADDRESS: _____

OUTLETS: (number of)
 Lights _____
 Re. outlets _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____ FEES _____

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes amp disconnect 3.00
 Temporary _____

METERS: (number of) _____

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: -3.00

INSPECTION:
 Will be ready on _____, 19____; or Will Call

CONTRACTOR'S NAME: Aladdin Electric
 ADDRESS: 80 Pinecrest Road
 TEL.: 773-2296

MASTER LICENSE NO.: on file SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date May 17, 1977
 Receipt and Permit number 40996

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 477 Congress St. - 10th floor
 OWNER'S NAME: Prop. Management ADDRESS: _____

OUTLETS: (number of)
 Lights _____
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____

FEES

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 200 3.00
 Temporary _____

METERS: (number of) _____

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____
 Cook Tops _____
 Wall Ovens _____
 Dryers _____
 Fans _____
 Water Heaters _____
 Disposals _____
 Dishwashers _____
 Compactors _____
 Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16 b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: 3.00

INSPECTION:
 Will be ready on _____, 19____, or "Call" _____

CONTRACTOR'S NAME: Aladdin Elect. Co.
 ADDRESS: 80 Pinecrest St.
 TEL.: _____

MASTER LICENSE NO.: on file SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

Date May 17 1977
 Receipt and Permit number A09962

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 477 Congress St. 9th floor
 OWNER'S NAME: Prop Management ADDRESS: _____

OUTLETS: (number of)
 Lights 1-30
 Receptacles _____ FEES
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____ 3.00

FIXTURES: (number of)
 Incandescent _____
 Fluorescent 10 (Do not include strip fluorescent)
 TOTAL _____ 3.00
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 200 3.00
 Temporary _____

METERS: (number of) _____

MOTORS (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels 2 2.00
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, batteries _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: 11.00

INSPECTION:
 Will be ready on _____, 19__; or Will Call X

CONTRACTOR'S NAME: Aladdin Electric
 ADDRESS: 80 Pinecrest Rd.
 TEL.: _____

MASTER LICENSE NO.: on file SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

OFFICE COPY

477 Congress Street

April 14, 1976

Edward J. Motzenbecker
480 Congress Street
Portland, ME 04111

cc: Fire Department

As per our conversation of the 6th of this month, the main stairway within this building, located near the elevators, will need to be changed as to the fire doors. The double doors now serving as fire doors at each floor level, shall be changed to one single door. These doors shall be class B label fire doors at least 3' wide, with self-closers set in metal frames. The new fire doors shall replace the present door on the left as you enter the stair tower, so that when the door swings into the exitway, it will go back against the wall, so as not to block the stairway for the people coming down from above. The stairway should have pressure ventilation so as to keep the smoke from entering this main means of egress. Illuminated signs reading EXIT in red letters, at least six (6) inches high, on a white background or in other approved distinguish colors, shall be installed over all exit doors.

All the present offices, on each floor, that you must now go through to reach the rear fire escape on the back of the building shall have the hardware changed so that anyone within these offices may open the door to the corridor instantly, without special knowledge or ability, merely by turning the customary knob, or by pressure on a plate or lever. There shall be installed on the corridor side as you enter the offices, a small hammer enclosed within a box that states, "To be used in emergency only". We would need to approve this type of arrangement before it was installed.

Very truly yours,

R. Lovell Brown
Director

RLB/mt

477 Congress Street

March 18, 1976

Frederick J. Mahoney, Jr. cc: Fire Department
William I. Luce
Trustees
480 Congress Street
Portland, ME 04111

An inspection by this department reveals that the building at the above named location has had a number of alterations and changes in the last few years, which are in violation of the Portland Building Code, and other Ordinances of the City. Building permits are required for all structural changes so that they may be checked out by this department and other departments within the City. Our records show that in the past few years no permits have been taken out for construction work, except for the entrance to this building from Preble Street.

It is therefore necessary that you set up an appointment with Mr. R. Lovell Brown, Director of Building Inspections Services, within the next two weeks, and certainly by April 5, 1976, to go over these discrepancies with him.

Very truly yours,

A. Allan Soule
Assistant Director

AAS/mt

PERMIT ISSUED

01267

DEC 20 1966

CITY of PORTLAND



APPLICATION FOR PERMIT

Second Class

Class of Building or Type of Structure December 19, 1966

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 475 Congress St. Within Fire Limits? Dist. No. Owner's name and address Casco Bank & Trust Co. 475 Congress St. Telephone Lessee's name and address Contractor's name and address Grinnell Company Inc. 11 Cotton St. Telephone 773-3879 Architect Specifications Plans Yes No. of sheets 1 Proposed use of building Bank-Offices No. families Last use " " No. families Material 2nd. cl. No. stories 2-6 Heat Style of roof Roofing Other buildings on same lot Estimated cost \$ Fee \$ 5.00

General Description of New Work

To install wet sprinkler system on second floor in new office area as per plan. (addition to existing system)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? Is connection to be made to public sewer? If not, what is proposed for sewage? Has septic tank notice been sent? Form notice sent? Height average grade to top of plate Height average grade to highest point of roof Size, front depth No. stories solid or filled land? earth or rock? Material of foundation Thickness, top bottom cellar Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat fuel Framing Lumber-Kind Dressed or full size? Corner posts Sills Size Girder Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet Joists and rafters: 1st floor, 2nd, 3rd, roof On centers: 1st floor, 2nd, 3rd, roof Maximum span: 1st floor, 2nd, 3rd, roof If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

J. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner by:

Grinnell Company Inc. [Signature]

Permit No. 66/1497
Location 475 Oregon St.
Owner Charles R. Bull
Date of permit 12/20/66
Notif. closing-in _____
Inspr. closing-in _____
Final Notif. _____
Final Inspr. _____
Cert. of Occupancy issued _____
Staging Out Notice _____
Form Check Notice _____

NOTES

4-4-67 Completed

HL

X

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION #477 Congress St. (former site of Civic Theatre)

Issued to **Preble Inc.**
477 Congress St.

Date of Issue **September 16, 1966**

This is to certify that the building, premises, or part thereof, at the above location, ~~built~~ altered —changed as to use under Building Permit No. _____, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
Area as shown on plot plan.

APPROVED OCCUPANCY
**Off-street parking for
thirty-four passenger cars.**

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:
Nelson F. Coxtwright
(Date) Inspector

Gerald E. Mayberry
Inspector of Buildings

PORTLAND FIRE DEPARTMENT
FIRE PREVENTION BUREAU

November 16, 1965

Mr. Philip P. Snow
Casco Arcade
477 Congress Street
Portland, Maine

Re: Second means of egress at
24 Preble Street

Dear Mr. Snow:

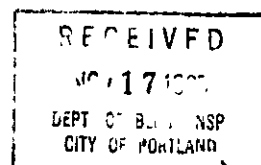
Since the demolition of the Civic Theatre, the building occupied by the Progressive Printing and Manifold Company and others has been without a second means of egress.

It is my duty to inform you that immediate steps must be taken to provide all tenants and employees with the required means of egress.

Sincerely yours,

Joseph K. Cremo
Chief of Fire Department

cc: Building Inspector
File



A.P.- 477 Congress St., (Rear)

August 27, 1965

Preble, Inc.
477 Congress Street
Philip P. Snow, Consulting Engineer
477 Congress Street

Gentlemen:

Permit to construct a parking lot for 24 passenger cars as per your plan at the above location is being issued with a recommendation as follows:

Although the Zoning Ordinance does not require a fence at this location it is suggested that either a fence or handrail be installed on top of the perimeter curb to prevent anyone from falling over this curb as there probably will be a 3 $\frac{1}{2}$ to 4 feet difference in elevation at the Cumberland Avenue end of the lot.

Very truly yours,

Gerald E. Mayberry
Deputy Building Inspection Director

GES:m

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

Portland, Maine August 20, 1965

Location 477 Congress Street Zone B-3 Zone

To the INSPECTOR OF BUILDINGS, Portland, Maine .

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for off-street parking, as set forth on the attached site plan (made by Philip Snow whose address is 477 Congress Street to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:

Owner (name, address and phone number) Preble, Inc., 477 Congress Street

Lessee (name, address and phone number) _____

Is proposed use to be accessory to a building or other use on this lot? yes
If so, what is use of building or other use _____

If off-street parking is sought, what is proposed maximum number of vehicles to be parked—passenger cars? 34, commercial vehicles? _____

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Pub. Works)? _____
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? _____?

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? _____

Do you propose to remove or disturb any tree on a public street? no
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner Preble, Inc.

By Philip Snow
(fully authorized thereto)

2.00 fee

THIS IS NOT A CERTIFICATE OF OCCUPANCY

To: Preble, Inc.
477 Congress Street

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below--notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:

DATE 8/27/65

Albert J. Sears
Inspector of Buildings

INSPECTION COPY

9-15-66 Fencoc completed

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 57877

Issued

Portland, Maine May 25, 1966

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address Cliff Jones Rec. Tel. _____

Contractor's Name and Address Marvin Elec Service Tel. 7-43129

Location 477 Cong. Use of Building _____

Number of Families _____ Apartments _____ Stores _____ Number of Stories _____

Description of Wiring: New Work _____ Additions _____ Alterations _____

Pipe _____ Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____

No. Light Outlets _____ Plugs _____ Light Circuits _____ Plug Circuits _____

FIXTURES: No. _____ Light Switches _____ Fluor. or Strip Lighting (No. feet) _____

SERVICE: Pipe _____ Cable _____ Underground _____ No. of Wires _____ Size _____

METERS: Relocated _____ Added _____ Total No. Meters _____

MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____

HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Electric Heat (No. of Rooms) _____

APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____

Elec. Heaters _____ Watts _____

Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____

Transformers _____ Air Conditioners (No. Units) _____ Signs (No. Units) _____

Will commence _____ 19 _____ Ready to cover in _____ 19 _____

Amount of Fee \$ 2.00 Inspection _____ 19 _____

Signed Edolph J. Morris

DO NOT WRITE BELOW THIS LINE

SERVICE	METER	GROUND
VISITS: 1 2 3 4	5 6	
7 8 9 10	11 12	

REMARKS:

INSPECTED BY J. W. [Signature]
(OVER)

LOCATION *Congress ST-477*

INSPECTION DATE *6/11/66*

WORK COMPLETED *6/11/66*

TOTAL NO. INSPECTIONS *1*

REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets (including switches) \$ 2.00
31 to 60 Outlets (including switches) 3.00
Over 60 Outlets, each Outlet05 (including switches)
(Each twelve feet or fraction thereof of fluorescent lighting or
any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
Commercial (Oil) 4.00
Electric Heat (Each Room)75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dish-
washers, etc. — Each Unit 1.50

TEMPORARY WORK (limited to 6 months from date of permit)

Service, Single Phase 1.00
Service, Three Phase 2.00
Wiring, 1-50 Outlets 1.00
Wiring, each additional outlet over 5002
Circuses, Carnival, Fairs, etc. 10.00

MISCELLANEOUS

Distribution Cabinet or Panel, per unit 1.00
Transformer, per unit 2.00
Air Conditioners, per unit 2.00
Signs, per unit 2.00



APPLICATION FOR PERMIT

PERMIT ISSUED
01326
DEC 1 1965
CITY of PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, November 26, 1965

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 477 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Preble, Inc., 477 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Robert M. Jackman, 58 Cross St. Telephone 772-4102
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Offices and bank No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 200. Fee \$ 3.00

General Description of New Work

To erect two (2) brackets on roof attached to penthouse as per plan for TV antenna ~~xx~~

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Jackman

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On center: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored 'n the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Preble, Inc.

CS 301

INSPECTION COPY

Signature of owner By: Robert M. Jackman

P.H.

12-8

Permit No. 1326

Location 477 Congress Street

Owner Paul J. Shea

Date of permit 12/1/65

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

12-8-65 Completed RD

X



B3 BUSINESS ZONE R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure - Second-Class
Portland, Maine, June 28 1965

JUL 00 1965
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 477 Congress St. 20-22 Park St Within Fire Limits? Dist. No.
Owner's name and address Casco Bank & Trust Company, 477 Congress St. Telephone
Lessee's name and address
Contractor's name and address Kibler & Storer Inc., 74 Main St., Yarmouth Me. Telephone 846-5533
Architect Specifications Plans yes No. of sheets 2
Proposed use of building Bank & Office No. families
Last use No. families
Material 2nd fl. No. stories 14 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 5000.00 Fee \$ 9.00

General Description of New Work

To make alterations to second floor as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chim of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Blank lines for signature and date

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 101

FILE COPY

Signature of owner by Kibler & Storer Inc. Ralph H. Pitt

Inspector Copy misplaced

KIBLER & STORER
INC.
ENGINEERS CONTRACTORS
74 MAIN STREET
YARMOUTH, MAINE 04096
Area Code 207 -- 846-5533

April 5, 1965

City of Portland
City Hall
Portland, Maine
Att: Mr. Mayberry

Re: Casco Bank Addition-6th floor

Gentlemen:

Enclosed please find copies of how we propose to fireproof
the beams and columns in order to get the required rating.

Very truly yours,

KIBLER & STORER, INC.

L.R.Dahlgren

LD/nc
Enc
cc:f

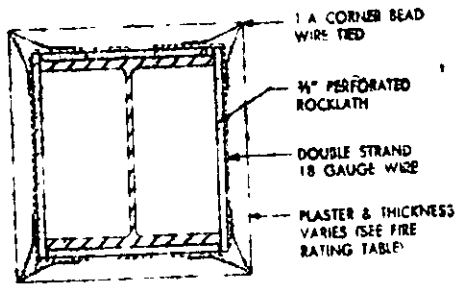


Plaster Base	Construction	Plaster and Aggregate Proportion	Plaster (1) Thickness	Fire Rating	Laboratory	Test No.
None	Direct Spray application	FIRECODE® Plaster "P" or "V" (2)	2 1/4"	4-hr.	U.L.	4142-6
	Direct Spray application	FIRECODE Plaster "P" or "V" (2)	2 1/4"	3-hr.	U.L.	4142-5
PYROBAR® Tile	3" Hollow, 12 ga. Metal crimp	Plaster—Sand 1:3	3/4"	4-hr.	BMS-92	Table #40
	2" Solid, 12 ga. Metal crimp	Plaster—Sand 1:3	3/4"	4-hr.	BMS 92	Table #40
Metal Lath	Furred out 1 1/4"	Plaster—Perlite 1.2, 1.3	1 1/2"	4-hr.	U.L.	3187-3
	Furred out 1 1/2"	Plaster—Perlite 1.2, 1.3	1"	3-hr.	U.L.	3187-1
	Furred out 3/4"	Fire Rated STRUCTO-LITE	1 1/4"	4-hr.	U.L.	3574-11
	Self furring, wrapped around	Fire Rated STRUCTO-LITE	1 1/4"	4-hr.	U.L.	Design #6
	Self furring, wrapped around	Plaster—Perlite 1.2, 1.3	1 1/4"	4-hr.	U.L.	Design #6
	Self furring, wrapped around	Plaster—Perlite 1.2, 1.3	1 1/4"	3-hr.	U.L.	Design #8
1/2" Long Length ROCKLATH® Plaster Base	Double layer, wired—20 ga. 1" hexagonal wire mesh	Plaster—Perlite 1.2, 1.3	1 1/2"	4-hr.	NBS	278
	Double Layer, wired—20 ga. 1" hexagonal wire mesh	Plaster—Perlite 1.2 1/2	1"	3-hr.	NBS	276
	Single Layer, wired—20 ga. 1" hexagonal wire mesh	Plaster—Perlite 1.2 1/2	1 1/2"	3-hr.	NBS	277
	Single Layer—wire tied	Plaster—Perlite 1.2 1/2	1"	2-hr.	NBS	275
3/8" Perforated	Single Layer—wire tied	Plaster—Sand 1.2 1/2	3/4"	1 1/2-hr.	NBS	274
	Single Layer—wire tied	Plaster—Sand 1.2 1/2	3/4"	1-hr.	NBS	273
	Single Layer—wire tied	Plaster—Sand 1.2 1/2	3/4"	1-hr.	NBS	273
None	Direct Contour application	FIRECODE Plaster, Perlite or Vermiculite	1 1/2"	4-hr.	U.L.	4142-3
	Direct Contour application	FIRECODE Plaster, Perlite or Vermiculite	1 1/2"	4-hr.	U.L.	4142-4
	Direct Contour application	FIRECODE Plaster, Perlite or Vermiculite	1 1/2"	3-hr.	U.L. Can.	4142-7
Metal Lath	Boxed Beam	FIRECODE Plaster, Perlite or Vermiculite	1 1/2"	4-hr.	U.L.	4142-2
	Boxed Beam	FIRECODE Plaster, Perlite or Vermiculite	1"	4-hr.	U.L.	4142-4
	Boxed Beam	FIRECODE Plaster, Perlite or Vermiculite	1"	3-hr.	U.L.	4142-1
	Wrapped—1/4", 3 1/2" Rib lath	Plaster—Perlite 1.2	1 1/4"	4-hr.	U.L.	Design #3
	Suspended Ceiling	Plaster—Perlite 1.2, 1.3, Acoustical Plaster	1 1/2" - 1 1/4"	5-hr.	NBS	338
	Suspended Ceiling	STRUCTO-LITE® Plaster Type S	1 1/2"	4-hr.	U.L.	Design #12
1/2" Perf. ROCKLATH	Suspended Ceiling	STRUCTO LITE® Plaster Type R	1 1/2"	3-hr.	U.L.	3574-5
	BRACETITE® Lathing System	Plaster—Perlite 1.2 1/2	3/4"	3-hr.	NBS	337
Direct application	Full Cellular Steel Floor	FIRECODE® Plaster, Contour Application	3/4" - 1/2"	3-hr.	U.L.	4142-3
	Full Cellular Steel Floor	FIRECODE Plaster, Contour Application	3/4"	2-hr.	U.L.	4142-1
	Cellular Steel Floor (Blend)	FIRECODE Plaster, Contour Application	3/4" - 1"	3-hr.	U.L. Can.	CR 252
	Cellular Steel Floor (Blend)	FIRECODE Plaster, Contour Application	3/4"	2-hr.	U.L.	4142-2
	Elect re-form Steel Deck	FIRECODE Plaster, Contour Application	3/4"	3-hr.	U.L.	4142-7
	Granco E/R Cofer	FIRECODE Plaster, Contour Application	3/4"	3-hr.	U.L.	4142-4
Metal Lath	Cellular Steel Floor—Suspended Ceiling	Wool Fiber (Neal)	3/4"	4-hr.	BMS 92	Table 45
	Cellular Steel Floor—Suspended Ceiling	Perlite 1.2 1/2, 1.2 1/2	3/4"	4-hr.	U.L.	2993
	Cellular Steel Floor—Suspended Ceiling	Fire-rated STRUCTO LITE® Plaster	3/4"	3-hr.	U.L.	3574-5
	Cellular Steel Floor—Suspended Ceiling	Perlite 1.2, 1.3	3/4"	3-hr.	U.L.	3789
	Roof Deck Steel Form	Fire rated STRUCTO LITE	1 1/4"	4-hr.	U.L.	Design #12
Rex Joists—2 1/4" Concrete Slab	Plaster—Perlite 1.2, 1.3	3/4"	4-hr.	BMS 92	Table 43	
			3/4"	3-hr.	BMS-92	Table 43

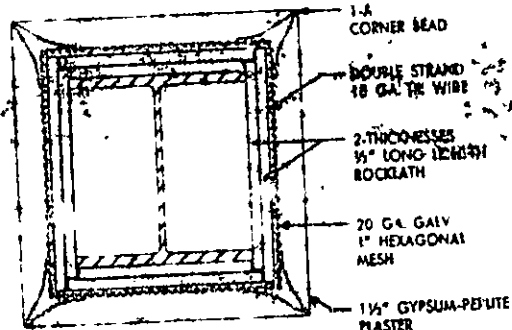


STEEL BEAM AND COLUMN FIREPROOFING

COLUMN FIREPROOFING ROCKLATH* Plaster Base

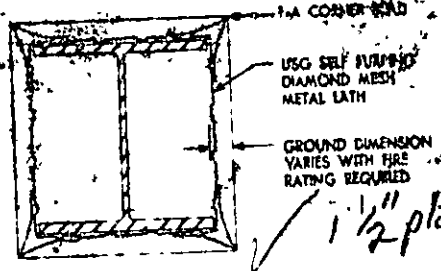


1, 1 1/2, 2 & 3 hr



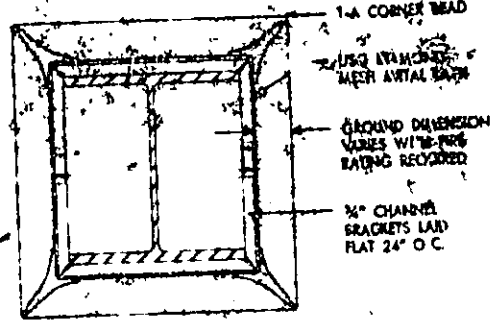
4 hr.

COLUMN FIREPROOFING Metal Lath



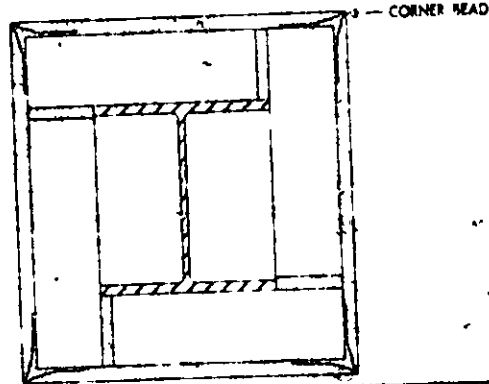
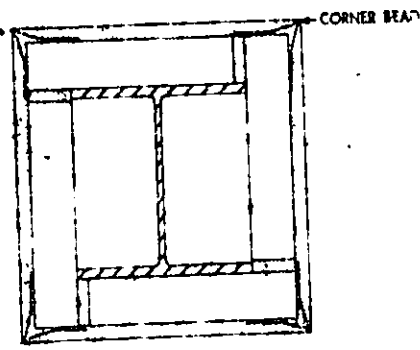
1-2-3-4 hour COLUMN FURRING

1 1/2" plaster



4 hr. (ALT METHOD)

COLUMN FIREPROOFING PYROBAR* TIE



PLASTER BASES

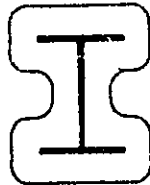
STEEL BEAM &
COLUMN FIREPROOFING

COLUMN FIREPROOFING FIRECODE® Plaster

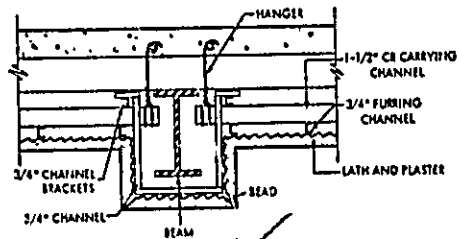
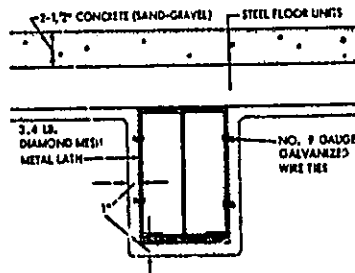
4 HOUR
COLUMN

3 hr.—Contour application 2 1/2"

4 hr.—Contour application 2 1/2"

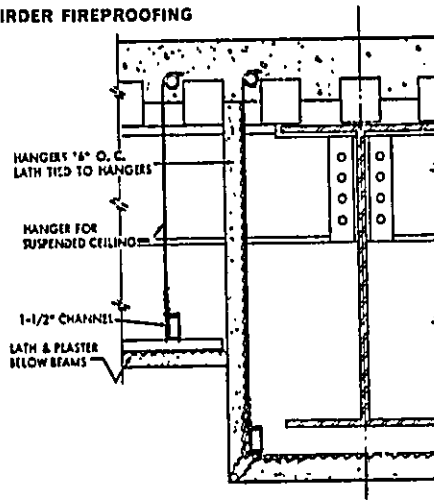


BEAM FIREPROOFING Metal Lath—CAGED BEAM & FIRECODE PLASTER



✓
1 3/4 plaster

GIRDER FIREPROOFING



A.P.-477 Congress St.

March 31, 1965

Kibler & Storer, Inc.
74 Main Street
Yeremouth, Maine

cc to: Philip F. Snow, 477 Congress Street
cc to: Canco Bank & Trust Co., 477 Congress Street

Gentlemen:

Building permit for alterations in sixth story of building at the above named location is issued herewith based on plans and specifications filed with application for permit but subject to the following conditions:

1. A vestibule latch set or equivalent is required on the entrance door to the offices from the elevator lobby. Since this is an aluminum door and the lock will probably be installed at the factory, it is important to make sure that the door comes through with the required type of locking device.
2. It is understood that locking device on double doors on opening to stair tower is to be such that the doors can be locked from the tower side but not from the office side. A vestibule latch set on the working door will be satisfactory if doors are to be at least three feet wide. If each leaf is to be only two feet six inches wide however, a vestibule latch set on the working door and anti-panic bar or similar device on the standing door will be needed.
3. Use of wood lintels or headers over main entrance door from elevator lobby, at entrance to Director's Room, and elsewhere is not allowable.
4. Since existing ceiling is to be left as fireproofing of floor framing, care will need to be taken to make tight any openings which may be made in it.
5. Where wood strapping is to be used on masonry walls, spaces between strapping are to be filled solidly with incombustible material.
6. Boxing in of pipes is to be done with incombustible material with plywood finish backed up with gypsum wallboard or other incombustible material.
7. There are to be no locking devices on doors to directors' quarters which will prevent access at any time to the fire escape from the main office area.
8. Exit signs or lights are to be provided over door to Directors' Anteroom and over window giving access to fire escape.

9. New steel beams in seventh floor framing are required to be fireproofed for three-hour fire resistance and the columns for four-hour fire resistance. Before this is done, approval is to be secured from this office of the method of fireproofing to be used to provide the required rating.
10. A separate permit issuable only to the actual installer is required for installation of the air conditioning system.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m

Alterations in Sixth Story at 477 Congress Street

3/23/65

- ✓ 1 - Filling spaces between wood strap-hung old masonry walls? Back up plywood with gypsum wall board?
- ✓ 2 - Is existing ceiling to be left intact?
- ✓ 3 - Is new ceiling to have rating?
- ✓ 4 - Should main entrance door swing out into lobby? Hardware?
- ✓ 5 - Use of wood framing over new aluminum entrance? and elsewhere
- ✓ 6 - Fireproofing of changes in structural steel.
- ✓ 7 - Enclosure of pipes? (Boxing)?
- 8 - Separate permit for air conditioning?
- 9 - Access to fire escape through director's room and exit sign for fire escape window. Hardware on door to director's room
- ✓ 10 - Hardware on doors to stair tower?
Opening?
- 11 - A. S. Steel
- 12 - Statement of design



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, March 22, 1965

PERMIT ISSUED
00310
MAR 31 1965
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 477 Congress St. Within Fire Limits? Dist. No.
Owner's name and address Casco Bank & Trust Company 477 Congress St. Telephone
Lessee's name and address Telephone
Contractor's name and address Kibler & Storer Inc. 74 Main St, Yarmouth Maine Telephone 846-6533
Architect Specifications yes Plans yes No. of sheets 7
Proposed use of building Banks & Offices No. families
Last use " " No. families
Material 2nd cl. No. stories 14 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 36,000 Fee \$ 72.00

General Description of New Work

To make alterations (interior) to sixth floor as per plans and specifications.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with letter by [Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Casco Bank & Trust Company
Kibler & Storer Inc.
Signature of owner by: Ralph N. Pitt

NOTES

4-13-65 Bldg opened.
 steel col. not cut AW
 5-28-65 Above beam
 in and all fireproofed
 New door OK to
 Elevator Hall.
 Exit stair doors not
 on yet AW
 7-26-65 Completed.
 Sign by Fire Escape AW

X

Permit No. 651-310
 Location 477 W. Superior Street
 Owner Chicago Board of Trade
 Date of permit 3/31/65
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

5-7
 Signature [Signature]

AW

Vec 17

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

February 19, 1965

Preble, Inc.
477 Congress St.

Gentlemen:

With relation to permit applied for to demolish a building or portion of building at 477 Congress St. (Arcade) it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

Albert J. Sears
Director of
Building Inspection

h

Eradication of this building has been completed.

[Signature]

D. F. Cook
2-19-65

REC
FE
DEPT
C



APPLICATION FOR PERMIT

Class of Building or Type of Structure brick
Portland, Maine, Feb. 19, 1965

PERMIT ISSUED
00164
FEB 23 1965
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 477 Congress Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address Prable, Inc., 477 Congress Street Telephone _____
Lesse's name and address _____ Telephone _____
Contractor's name and address Sam Serota, 43 Walton St. Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building _____ No. families _____
Last use Theatre No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To demolish existing theatre portion of building

Evacuation Notice Sent 7/19/65

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Sam Serota

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber--Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK - 2/23/65 - ags

Miscellaneous

Will work require disturbing of any tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES
Prable, Inc.

CS 301

INSPECTION COPY

Signature of owner

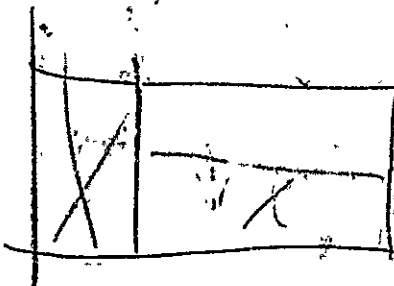
By:

Sam Serota

- A - Counter
- B - MORE ROOM
- C - Glass door with B foot
~~WATER~~ WIDE OF CASE

121

23	15
44	30
64	



111b

RECEIVED
 DEC 2 1964
 DEPT OF JUSTICE
 CITY OF WASHINGTON

RUDOLPH H. KOOPS
SPruce 9-2105

E. IRVING CHAPPELL
SPruce 9-1476

OFFICIAL FIRE EQUIPMENT CO., Inc.

~~178 MAIN ST. South~~
~~266 COMMERCIAL STREET~~, PORTLAND, MAINE

SPruce 3-5352

Fire Fighting and Safety Equipment

Dec 22, 1964

Fire Exts. CO₂

Fire Exts. Dry Chem.

Soda Acid Exts.

Foam Exts.

Water Exts.

Anti Freeze Exts.

Fire Hose

Nozzles

Axes

Uniforms, Police & Fire

Recharges

Liquid Foam

Alarm Systems

Foam Systems

Marine Systems

Industrial Systems

Dry Chem. Powder

Lights

Sirens

First Aid Kits

Rubber Clothing

Batteries

Emergency Lights

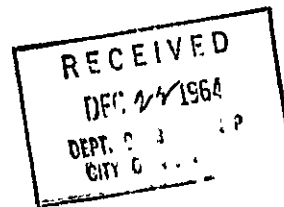
Safety Equipment

Inspections

Hydrostatic Testing

10th Floor, CascoBank, Preble, Inc.

Fire Detection System, Kidde Ultrasonic
Spot Detectors
To cover hall, & 5 offices facing
Congress Street, one bell on 10th floor,
one bell at request of Fire Chief on
11th floor. one break glass box which
will cause alarm bell to operate when
using for fire or to obtain emergency
key to open entrance to Fire Escape
thru adjacent office. System will
have independent power, dry battery &
full time supervision. One detector
to be located in stairwell on 8th floor.



Recharging, Hydrostatic Testing, and Repairs to any make Extinguisher
Annual Inspections and Marine Inspections



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation

Portland, Maine, December 22, 1964

PERMIT ISSUED

DEC 28 1964

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 477 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Preble Inc., 5 477 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Official Fire Equip. Co., 178 Main St., So. Portland Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Offices and stores No. families _____
 Last use _____ " _____ No. families _____
 Material dry No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____

Fee \$ 5.00

General Description of New Work

To install automatic fire alarm using Kidde Ultrasonic Spot Lowcaster to cover 5 offices on 10th floor, gongs of such tone, strength of signal, number and location as to arouse all persons for whose protection intended—current by dry batteries of capacity to ring all gongs simultaneously at full signal strength, to operate system for at least one year, installed in substantial cabinet of no less than 14 gauge steel or wall-seasoned wood at least 3/4" thick with hinged door and catch and located not less than 6" nor more than 6' above floor in dry, clean place where temperature will not go below 40 degrees F. nor above 100 degrees—test button rigidly fastened in place, conveniently located to permit and capable of testing bells and gongs frequently. Alarm silencing switch, if provided, will be so arranged that alarm will sound if switch, ~~it~~ is thrown to "silent" position when alarm is not sounding. Installer will fasten to control box full instructions as to operation and testing of system and where and how to secure servicing if system gets out of order.

Therostats Model 101—located not more than 30' apart nor more than 15' at right angles from any wall or partition extending to ceiling — 2-6" gongs — 1 on 10th floor and 1 on 11th floor.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Official Fire Equip. Co.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Carl F. Johnson
 CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Preble Inc.
 Official Fire Equip. Co. Inc

INSPECTION COPY

Signature of owner

By: B. H. Koops

P.H.

Amendment #3 - 477 Congress Street

Dec. 14, 1954

Freble, Inc.
477 Congress Street

cc to: Philip P. Snow
477 Congress Street
cc to: Fire Department

Gentlemen:

Permit amendment covering alterations to partitions in tenth and eleventh stories of Casco Bank Building is issued herewith based on plan filed with application for amendment and received at this office on Dec. 10th, but subject to the following conditions:

1. Approval of the Fire Department is to be secured for the arrangements concerning the pull box containing key to new entrance door to larger suite of offices, including the wording of instructions indicating its use.
2. Exit lights are to be on same circuit as main corridor lights and there are to be sufficient white lights on same circuit to light way through office area to be followed to reach fire escape. ✓
3. Door to office from which fire escape is reached is to be without locking devices of any kind. ✓
4. A separate permit issuable only to the actual installer is required for installation of the automatic fire detection and alarm system. With application therefore will need to be furnished information as to the type, location, and spacing of detectors and make, number, and model of the alarm bells. ✓
5. New entrance door to large suite of offices in tenth story and new main entrance door to offices in eleventh story are to be equipped with vestibule latch sets or equivalent.
6. In the eleventh story doors are to be provided in partitions separating offices along Congress Street front of building so that circulation can be made through them without going out into main corridor.

Very truly yours,

Albert J. Sears
Director of Building Inspection

AJS:m

AP - 477 Congress Street

November 18, 1964

Preble, Inc.
477 Congress St.

cc: Philip P. Snow
477 Congress St.

Gentlemen:

We are unable to issue an amendment to the permit now issued to make alterations to the tenth and eleventh floors as per plans received with application.

As our telephone conversation with Mr. Snow, November 16, 1964, the eleventh floor is to be occupied by one tenant. If a communicating door was added to each of the four offices on the Congress Street side so as to provide egress to the fire escape without entering the corridor the office arrangement for this floor would meet with our approval.

At the same time we were informed that the tenth floor was to have two separate occupants. The present arrangement for this floor does not allow direct egress to the fire escape from the offices on the Congress Street side.

We will hold this application until revised floor plans are submitted.

Very truly yours,

Archie L. Seekins
Deputy Director of
Building Inspection

ALS/h

7/8 Plywood @ 32" oc. = 60 #1

Phil Snow 11/16/64

11 TH FLOOR
ENTIRE AETNA.

10 TH FLOOR

MAJOR PART AETNA
ENTIRE FLOOR IN 1 year.

OFFICE NEXT TO FIRE ESCAPE
DOOR WILL NOT BE LOCKED
DIZ WILL TAKE FRONT WALL OUT.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #3
Portland, Maine, November 3, 1964

PERMIT 1

DEC 14

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 64-56, pertaining to the building or structure complete in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specification:

Location 477 Congress Street Within Fire Limits? Dist. No.

Owner's name and address Preble, Inc., 477 Congress St. Telephone

Lessee's name and address Telephone

Contractor's name and address Telephone

Architect Telephone

Proposed use of building Offices, stores, bank Plans filed Yes No. of sheets 2

Last use No. families

Increased cost of work 7,500. Additional fee .50

Description of Proposed Work

To make alterations to floors 10 and 11 as per plans

Permit Issued with Letter

Details of New Work owners

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Rise per foot Height Thickness

Kind of roof Roof covering of lining

No. of chimneys Material of chimneys Dressed or full size?

Framing lumber—Kind Sills Girt or ledger board? Size

Corner posts Size Columns under girders Size Max. on centers

Girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd

Approved: with letter by Ags Signature of Owner By: Robert P. Pitt
Preble, Inc.

Approved: Albert J. Sears Inspector of Buildings

INSPECTION COPY

CS. 103



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure 1st class

Portland, Maine, September 14, 1964

PERMIT ISSUED
SEP 15 1964
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 477 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address _____ Telephone _____
 Lessee's name and address Preble Inc., 477 Congress St. Telephone _____
 Contractor's name and address _____ Telephone _____
 Architect Kihler & Storor, Yarmouth, Maine Telephone _____
 Proposed use of building _____ Specifications _____ Plans yes No. of sheets 2
 Last use _____ No. families _____
 Material masonry No. stories 14 Heat _____ Style of roof _____ No. families _____
 Other buildings on same lot _____ Roofing _____
 Estimated cost \$ 1500.

General Description of New Work

Fee \$ 6.00

To make alterations on 13th and 14th floors as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO Kihler & Storor**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

CS 301

FILE COPY

Signature of owner by: Ralph H. Pitt
Preble Inc.

Inspection Copy misplaced

Memorandum from Department of Building Inspection, Portland, Maine

A.P. - 477 Congress St.

Nov. 13, 1964

Preble, Inc.
477 Congress Street

cc to: Philip P. Snow
477 Congress Street

Gentlemen:

We are unable to issue an amendment to the permit to make alterations to the tenth and eleventh floors as per plans submitted with application until we have further information as to the occupancy of each floor.

Should these floors have more than one occupancy, it would not seem possible to have direct access to the fire escape which is required as the second means of egress.

When this information is received we can continue to process your application.

Very truly yours,

Archie L. Seekins
Deputy Building Inspection Director

ALS:m

A.P.- 473-477 Congress Street

Jan. 15, 1964

Ribier & Steyer, Inc.
74 Main St., Yarcouth, Maine
Freble, Inc.
477 Congress Street

cc to: Philip R. Snow
477 Congress Street
cc to: Fire Department

Gentlemen:

Permit for construction of two additional stories on top of the building at the above named location, making fourteen stories in all, is issued herewith based on plans and specifications filed with application for permit, but subject to the following conditions:

1. Permit is issued on the understanding that R. Snow is to have supervisory authority over all details of the work, including the removal of existing cornice and the manner in which protection is to be provided for the public sidewalk and street whether located at the present roof level or elsewhere. Details of protection and use of a portion of the public sidewalk or street are under the control of the Department of Public Works and a permit is required from that department for such operations. The Traffic Division of the Police Department should be consulted concerning any problems about closing off a portion of the street or changes in parking regulations or flow of traffic. Because of the location of the building and the heights involved, it is imperative that operations be conducted at all times so as not to create undue hazards to the general public or to the personnel employed on the job.
2. A new standpipe with hose is to be provided up through the building with a standard Fire Department connection outside the building. Details of this installation are to comply with requirements of that department.
3. Exit arrangements for the existing building and addition are to be provided as follows:
 - a- A new stairway at least three feet wide is to be provided from roof outside exit door from existing stair tower at fourth floor level down to arcade roof and details of its construction are to be filed with application for a new permit, or an amendment to the permit now being issued, for approval before work is done.
 - b- Instead of relying upon an existing fire escape leading down into theater alley from Freble Street as a means of

Jan. 15, 1964

reaching the ground from the roofs to which fire escapes from the upper stories of different sections of the building lead, suitable rail passageways are to be provided from the foot of the various fire escapes across the roof to connect with the existing stairway in the parking structure. Permit is issued on the basis that this will be done before either of the additional stories are occupied and that details of the proposed arrangement will be furnished for approval as soon as disposition of the theater building has been determined.

- c- Exit signs where not now existing are to be provided in all stories of existing building to indicate windows giving access to fire escape and, in those stories where partitions have been built across corridors leading to fire escape windows, over doors in such partitions. Where not now so indicated, directions are to be painted on glass panels in these doors to use hammer hanging nearby to break glass and reach through to open doors in case of emergency.
 - d- Exit signs are to be provided to indicate location of entrance doors to both stairway enclosures in new 13th and 14th stories and to new stairway enclosure in 12th story.
 - e- Lights at all floor levels outside windows and doors giving access to existing fire escape are to be put in working order, and lighting adequate to illuminate in a proper manner all new and existing walkways across roof is to be provided.
 - f- Hold-open device on closer on door installed in new partition at head of existing stairs from Arcade is to be eliminated.
4. A partition of at least one-hour fire resistance with a self-closing Glass "C" or better labelled fire door on opening is to be provided at foot of stairs leading to elevator penthouse at fourteenth floor level in stairway enclosure.
5. In view of a recent amendment to the Building Code, exterior walls are not required to have a fire-resistive rating. It is understood therefore that masonry backing originally planned below and above window openings is to be omitted. While ceiling construction to be used will provide for the spandrel beams in these walls the three-hour fire protection required from inside the building, the outside faces of these beams will not be so protected. Therefore, details of how the required fire protection at such locations is to be provided needs to be furnished this department for approval.

Jan. 15, 1964

6. Openings to accommodate electric outlets, etc. in fire-resistive ceilings furnishing required fireproofing of steel in floor and roof construction are limited to 100 square inches in any 100 square feet of ceiling area; duct openings penetrating such ceilings are required to be protected with approved non-combustible fire dampers.
7. Duct shafts penetrating more than one story are required to be enclosed in partitions of at least two-hour fire-resistance.
8. A window glazed with plain glass not over one-eighth of an inch in thickness and having a total glass area of not less than 10 per cent of the area of the shaftway is to be provided in southwesterly wall of new penthouse.
9. This permit does not cover the erection of any partitions in the two new stories; if any are to be erected, they will need to be covered by a separate permit or an amendment to this permit and will be limited as to the use of combustible materials as specified in Section 302-a-2 of the Building Code. The use of combustible windowing, wall covering, etc. is also limited as provided in this section. Approval should be secured from this department for any such material to be used.
10. A separate permit issuable only to the actual installer is required from this department for the installation of mechanical systems of ventilation and air-conditioning.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:2

PHILIP P. SNOW
CONSULTING ENGINEER
477 CONGRESS STREET
PORTLAND, MAINE
SPRUCE 5-0436

10 January 1964.

Building Inspector
City of Portland
Portland, Maine

Gentlemen:

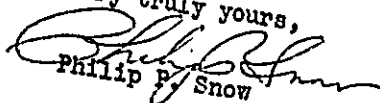
RE: Casco Bank Building.

In answer to the several questions you raised at our recent meeting, please be advised as follows:

1. All basement columns of Main Building are fireproofed for four hours.
2. Stairway from 4th floor exit door to Arcade, roof will be provided under a separate permit request.
3. Passageway from theater lobby roof to Parking structure will be provided as soon as fate of theater has been decided.
4. No concrete blocks will be used on chimney unless voids are filled. Probably concrete brick will be used.
5. Ceilings, as specified, provide for 2 hours on floors and 3 hours on beams.
6. Fire screen on 12th floor will have to remain until Travelers take all of floor.
7. There are no partitions planned on 13th & 14th floor at present. If partitions are required by Travelers, plans will be submitted for approval.
8. Elevator Penthouse will be cut off from rest of building by a door on 14th floor.
9. A window has been provided for in the Penthouse adjacent to the elevator equipment.
10. Brickties spacing will meet City of Portland standards, namely 12" spacing vertically and 16" spacing horizontally.
11. A Siamese Fire Dept. connection will be provided for building as required.
12. Narrative of development steps is attached.

pps/cs
1 encl.
Narrative

Very truly yours,


Philip P. Snow

ADDITION OF 2 STORIES TO CASCO BANK BLDG.

When it was tentatively decided to add two stories to the building, I instituted a search for building plans. None were available, however, Megquier & Jones Corp. had column detail sheets. On this basis, we reconstructed the columns and now have in our files complete column details of the structure. The column sections were checked against the existing calculated loads and anticipated loads. All columns were oversized for the requirement.

Next we had a Contractor dig up two representative footings and one exterior footing. The footing sizes were consistent with the anticipated column loadings.

Next we engaged Robbins Engineering Co. to make test borings at six representative points in the basement. The report is summarized as follows:

"The material found underlying the above referenced structure is composed of a very thoroughly compacted clay and sand with a small amount of small pebbles, indicating that this was a water borne deposit. It is found that this material becomes more compact as the depth increases. The material encountered would be classified as a hard clay and sand, and the material at the bottom would be classified as a hard pan."

The sub-basement is just above hardpan and probably ledge. The basement itself is above the compacted clay and sand and I assumed a soil value of 8000 lbs. per sq. ft. The EN formula when applied indicates this to be most conservative.

Next I found that the building had been originally engineered by Thomas Worcester Co. and Gilbert Small & Co. of Boston who now have the original framing plans. We were able to get a column schedule which agreed with M & J shop drawings. The original calculations checked with our figures. The exterior wall section indicates a foundation wall superior to our assumption. A soil pressure of 10,000# was assumed originally.

Finally I hired W. O. Hutchins, P. E. to review my calculations and procedure which he approved.

It was decided that no special wind bracing for the existing structure was needed as the beams and columns have been connected in such a manner as to provide rigid connections. This together with the concrete floor system, the L-shape of the building, and the ratio of height to width have combined to produce a structure that has stood 40 years without any evidence of strain. Two other factors are significant in this

Addition of Two Stories to Casco Bank Building

4/1/63

1 - Zoning: B-3 Zone - Use O.K.
Section 10-A-6 - Maximum height limited to 10 stories or 125 feet.

2 - Building Code:

a - Section 102-f - A bldg. increased in height or number of stories shall be made to conform with Code requirements as to egress and fire prevention and protection.

b - Section 205-e-3 - At least one system of means of egress in every bldg more than 3 stories in height shall be enclosed for safe egress by separations of one-hour fire resistance, or shall be outside of the main exterior walls of the building?

c - Section 212-e-1.4(b) - Standard fire escapes shall not be used above the level of third floor above grade in new buildings or in existing buildings increased as to height of highest floor for human occupancy.

d - Section 205-f-1 - Every stairway in bldgs. more than two stories high, or more than four stories high if sprinklered shall be enclosed to stop passage of fire and smoke by separations of one-hour or more fire resistance.

e - Section 205-f-4 - Bldgs more than four stories in height shall be equipped with standpipes + hose.

f - Section 303-g-2 - Fire escapes designed to serve 50 or more persons shall extend full width to the ground or equipped with a counter-balanced stairway for lowest run to the ground.

g - Section 115-a-1 - Appeal to M.C. possible where increase in height of bldg. is involved.

?
Fire escape probably complies

Existing fire escape to non-conforming new enclosed stairway will comply

Existing inside stairway is not enclosed in fact three stories.

To be equipped

Existing fire escape complies

(Over)

Addition of Two Stories to Casser Bank Building

2

4/2/63

7-1 Present means of egress consist of 48" wide stairs in stair tower extending from 12th floor to 3rd floor, where they connect with an open 48" wide stair extending from 3rd floor to 2nd floor, which connects with an open 50 inch stairway leading to Arcade. Cut from enclosure to outside at 4th Floor.
2 - Also 24" wide fire escape extending from 12th story to roof of 3rd story building (about 4th floor of main building), thence across roof and down to roof of 2 story building, thence across roof to fire escape leading to ground in alley with lowest section counter-balanced. All parts of fire escape are 24 inches wide. Fire escapes are not properly lighted.

11- There are 3-3' wide doors at Congress Street entrance and a similar number at Preble Street entrance.
3-3' doors will care for 450 persons

Requirements of Building Exit Code Relating to Inside³ Stairways.

Sect. 2632 - Relating to Office Occupancies

Where stairways or fire escapes serve two or more upper floors, the same stairway required to serve any upper floor may also serve other upper floors, except that no inside open stairway may serve as a required egress from more than one floor. ?

Arcade floor consists of stores and offices

$$\frac{3500}{35} = 100$$

$$\frac{3500}{100} = 35$$

135

Second floor consists of offices

$$\frac{7000}{100} = 70$$

Third floor consists of offices

$$\frac{7000}{100} = 70$$

$$70 + 70$$

Addition of Two Stories to Casco Bank Building 2

4/2/63

7-1 Present means of egress consist of 48" wide stairs in stair tower extending from 12th floor to 3rd floor, where they connect with an open 48" wide stair extending from 3rd floor to 2nd floor, which connects with an open 50 inch stairway leading to Arcade. Out from enclosure to outside at 4th Floor.
2 - Also 24" wide fire escape extending from 12th story to roof of 3rd story building (about 4th floor of main building) thence across roof and down to roof of 2 story building, thence across roof to fire escape leading to ground in alley with lowest section counter-balanced. All parts of fire escape are 24 inches wide. Fire escapes are not properly lighted.

11- There are 3-3' wide doors at Congress Street entrance and a similar number at Preble Street entrance
3-3' doors will care for 450 persons