

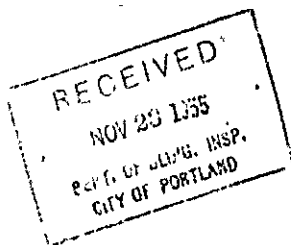
ROBERT E. JOHNSON
ARCHITECT
5 COMMONWEALTH PARK
WELLESLEY HILLS, MASS.

Page 3.

In closing, I trust all matters have been cleared up to your satisfaction. If it would be helpful or desirable I would be glad to see you the afternoon of November 25, or 28, preferably the latter date.

Yours very truly,

Robert E. Johnson



REG. PROF. ENGR.
NEW YORK, MAINE.

HAMILTON GRAY
CONSULTING ENGINEER
~~XXXXXXXXXX~~
1775 Arlington Avenue
Columbus, Ohio

November 14, 1955

Mr. Philip G. Clifford
J. B. Brown & Sons
57 Exchange Street
Portland, Maine

Dear Mr. Clifford:

I wish to acknowledge your letter of November 4th and the accompanying copy of letter from Mr. McDonald dated November 3. I am not overly concerned about the projection mentioned in Mr. McDonald's letter. I believe that this masonry projection would be amply stable if unreinforced by additional steel work. The architect, however, has elected to introduce some additional steel framing which would presumably provide a margin of safety well above any normal requirements. Since this additional steelwork is actually shown on his drawings I think that to make it most effective a little change in details might be adopted. Specifically, the architect's drawing shows a horizontal 10 inch channel which presumably would stiffen or support against lateral thrust the upper edge of this masonry projection. Instead of supporting this channel upon small vertical channels it would appear preferable to weld it to plates extending horizontally to the lower flanges of the existing lintel beams and to weld these plates to those lintel flanges. The plates, in other words, would lie in a horizontal plane and provide a relatively rigid connection between the lintel beams and the 10 inch channel. This would be far more effective than supporting the 10 inch channel upon 2 or 3 three inch vertical channels as proposed by the architect.

I would not be concerned particularly with this projection, but as long as the architect has shown this additional steel I think that it might be just as well used in the most efficient possible manner.

I have not been sure whether Mr. McDonald expects me to check all details of the proposed alteration or not. I have so far devoted most of my attention to the actual underpinning operation and to consideration of the major supporting items such as the masonry columns. Consequently, I cannot say that I have checked every single detail in the proposed scheme, rather I have checked important items and a good many of the minor ones. I have already mentioned the fact that the architect in a number of places failed to specify sizes of plates and dimensions of welds and that I thought that all such information would be required by Mr. McDonald's office.

There is a detail shown on the architect's plan, sheet 3, for which I do not care particularly. This is at the mid-height extreme right hand side of the sheet titled "Section 3-3". Not only does the vertical 4" L-beam appear inadequate to sustain the moment transmitted to it from the steel fascia beam, but whatever vertical beam is used in this location would create a thrust of the order of one half ton on the lower flanges of the lintel beams. The vertical L-beam should certainly be made heavier and I

To: Mr. Philip G. Clifford

-2-

November 24, 1955

believe that some other type of connection is desirable so that the lintel beams are not subject to a fairly large horizontal thrust.

✓ The 12" x 12" timbers carrying second floor loads to the existing pilasters are not long enough to obtain direct bearing on the new Lally columns. The architect's most recent revision shows this beam bolted with 4 3/4" bolts to two channels which extend to the Lallys. These bolts do not appear to me to be adequate to develop, as they should, the allowable beam reaction.

✓ Depending, of course, upon the assumptions made as to the weights of the existing walls, it is possible that the smaller Lally columns, eight-5/8" extra heavy-weight, are not entirely adequate to carry the loads to which they would be subject. I would be interested to see the architect's figures on the loads which these smaller Lally columns will be called upon to support. My own figures leave some doubt in my mind as to the adequacy of anything less than 10" Lally columns.

I have been working under the assumption that Mr. McDonald would specify his own requirements on the general structural design and that he would require my recommendations as a basis for his issuing a building permit only with respect to the temporary timbering and method of transferring loads. I am, in short, a little uncertain as to the exact intent to which Mr. McDonald wishes to rely on my comments. Perhaps it may be that it would be best to have no division of responsibility, and that he would be willing to rely upon my approval of the entire plans in deciding whether to issue a building permit.

I rather imagine that Mr. McDonald would issue a permit only the basis of a set of final architect's plans and the corresponding set of final contractor's plans together with the supporting specifications. Such plans should show all necessary dimensions and figures. Should Mr. McDonald wish to proceed on the basis of my recommendation I would also wish to have the same sets of plans for approval.

I gather from Mr. McDonald's letter that many of his earlier objections to the architect's plans have been discussed and changes made in accordance therewith.

cc:
Mr. Warren McDonald
Inspector of Buildings
Portland, Maine

Very truly yours,

H.G.
Hamilton Gray

HG:rt

November 10, 1955

At 529 Congress St.—Alterations for Mines Bros. Co.,

Mr. Bernard Koep
Bernard Koep Associates
711 Boylston St.
Boston, Mass.

Copies to Messrs Ebenstein, Clifford, Linnan,
2 copies to Mr. Koep for Messrs. Johnson
and Mallon

Dear Mr. Koep:

It may be that I owe you an apology in that through lack of knowledge of the organizational setup of Bernard Koep Associates, none of my several letters with regard to the above job have been addressed to you, and, therefore, I can not be sure that you are fully advised of all of the developments. Since our negotiations have been long drawn out and of considerable volume since the permit was applied for on June 29 this letter to you seems necessary to help clear the atmosphere and to disprove the claim, so often and so easily made, that a job does not get started because for some mysterious reason the City is withholding the building permit. This seems particularly appropriate because no answer has been received to our letter of October 3 addressed to Mr. Johnson, which, as explained above, you may never have seen. There was in this letter, by the way, an error with regard to fireproofing steel, and that will be taken up later on in this letter. Mr. Ebenstein is receiving a copy of this letter, and will be good enough to note that later on a statement as to the maximum number of persons to be on the new mezzanine, is requested. The same manner of paragraph numbering will be used as in the four preceding letters to Mr. Johnson, this being the fifth letter, the number of the paragraphs will begin with the figure 5, the figures after the decimal point indicating the next numerical paragraph, the first paragraph in the letter of July 7 being numbered 1.

5.22 Reference par. 1.1, 3.9, 4.15 Probably the diagrams and specifications for fireproofing lally columns, struts and brackets on Sheet J (this last revision 9/19/55) are meant to follow one of the nine specifications for securing 4-hour fire resistance of columns in NFPA "Fire-resistance Ratings" but cannot determine which of them. Par. 4.15 was somewhat in error since it indicated that vermiculite fill should be used. Some of NFPA standard methods call for fill. It is still not clear whether plaster or solid concrete is to be used for fireproofing the Lucia beam. All of this should be determined and conclusive and inclusive specifications given in writing to the contractor with copy to this office, thus to inform us that the contractor has the same information we are approving and is authorized by the owner to follow it.

5.23 Reference par. 1.2, 3.10 Standards for the terrace veneer were approved by our Board on October 3, thus allowing this part of the work, and a copy of these standards is enclosed to you and the contractor. If your proposal will work out under these standards, there is no need to do anything further about it, but the permit will be issued subject to them.

5.24 Reference Par. 2.1, 2.2, 3.11 to 3.14 inclusive. There had been such confusion about these structural matters since the beginning before Dr. Gray entered the

Job as a consultant, we being particularly concerned about the approximately four foot projection of the masonry wall from the side wall of the building over the Casco St. sidewalk. We have very little of Dr. Gray's comments on the job, but in his letter of October 4 to Mr. Johnson, ¹⁸indicates that at that time he was fairly well satisfied with the job, but he did not then give his whole approval, but rather named certain details that he thought ought to be changed. Presumably those certain details which he mentioned are not shown the way he would prefer on the latest revised plan. It is important for you to decide whether or not you mean to follow his suggestions in that letter, and, if so, to so advise the contractor, with copy to us, and a print of the revised plan.

All along we have been concerned about the lateral stability against vibration of the projection of the facia wall over the Casco St. sidewalk—prompted not by any fear that that portion of the wall would fall, but that it might crack due to the vibration or deflection caused by severe wind load on either side, gusts of winds seeming to be particularly violent at the corners of side streets with Congress St. I have heard only indirectly that Dr. Gray is satisfied with this arrangement, but I understand that we will soon have either his approval of the entire job, as far as structural work is concerned, or additional suggestions.

5.25 Reference Par. 2.3, 2.4, 4.16 In case the matter of means of egress from the new mezzanine escapes Mr. Steinman, will you be good enough to ask him to give this department a letter establishing that there will never be more than five persons on the mezzanine at one time. We have been told verbally that this number would never exceed three or four. This is important because if more than five were to be accommodated the ladder would not be adequate but a regular stairway would be necessary for the emergency means of egress. If no more than five persons would be involved, the Fire Chief is authorized to approve any means of egress satisfactory to him. On the basis of not more than five persons the Fire Chief has approved the general arrangement of the ladder but only on the condition that the proposed arrangement be changed by moving the door from the mezzanine further from Casco St. and providing a platform with railing around it outside of the door and at the same level as the mezzanine floor, the platform to be at least two feet wide, the railing to extend clear to a secure fastening at the outside wall of the building, the ladder to be no less than 18 inches wide, and a space left between the edge of the platform and the ladder and adequate for a person to comfortably pass down the ladder. Please revise the plan accordingly and furnish prints of the revision to the contractor for him to file one here.

5.26 Reference Par. 4.17—Projection of entrance doors over public sidewalk;
 4.18—Locks and hardware on entrance doors; 4.19—Projecting sign; 4.20—Adjustment and extension of sprinkler system and 4.21—Clearances for future awning are still undetermined; but we have been told that the projecting sign will not go ahead for the present and the matter of type of awning is not included in the building permit anyway, but lessee will have to take care to get the right type according to the location of the awning box. Presumably, if the projecting sign is over to be erected, its weight and reaction from wind load upon it have been taken into account in the design of the facia wall and frame; and one would think that anchorage and supports would be provided when the wall is being built. A separate permit for the projecting sign is required anyway, which is issuable only to the actual boxed sign hanger who is to erect it.

5.27 Reference P.S. letter of October 3. Nothing has been heard about this, but a reasonable solution of the matter of water from the top and the face of the facia wall falling on the public sidewalk, should be sought to avoid embarrassment to owner, lessee and the City and perhaps added expense to someone if the arrangements shown on the plans ²¹³⁴ to be such a nuisance after it was constructed that the City would be compelled to take some action to get correction either on the ground that the arrange-

Mr. Bernard Soep

November 10, 1955

ment did not comply with the Building Code or under the police power giving the City jurisdiction over the public sidewalks.

Now, Mr. Soep, without the fault being that of anyone in particular, this job has been delayed far beyond the plans and expectations of the lease, and this letter is the best effort I know how to make to "roundup" the outstanding details to the end that we may very soon be in possession of the facts so that the Building Code will allow issuance of the permit. While I am not presuming to act as a referee in this matter, it is the hope that you will take the initiative, whether it is yours or not, so that all of the loose ends may be gathered together and the job get underway shortly.

Very truly yours,

Warren McDonald
Inspector of Buildings

NWCD/13

Enclosure to Mr. Soep and Mr. Cullinan: Copy of standards for terrazzo veneer

HAROLD LEE BERRY
PRESIDENT
GEORGE K BRADFORD
VICE PRESIDENT
PHILIP GREELY CLIFFORD
TREAS. & GENL. MGR.
WILLIAM A. MCCANDLESS
CLERK
WILLIAM H. CLIFFORD SRD
ASSISTANT TO GENL. MGR.

J. B. BROWN & SONS
57 EXCHANGE STREET
PORTLAND, MAINE

DIRECTORS
PHILIP GREELY CLIFFORD
WILLIAM H. CLIFFORD
HARRISON J. HOLT
HAROLD LEE BERRY
WILLIAM H. CLIFFORD SRD
WILLIAM A. MCCANDLESS
HERBERT PAYSON, JR.
HASKET CERBY
GEORGE K. BRADFORD

November 4, 1955

Mr. Warren McDonald, Inspector of Buildings
Department of Building Inspection
City Hall
Portland, Maine

Dear Mr. McDonald:

I have your letter of November 3 and I am sending a copy of it to Dr. Gray.

On October 21 I wrote Dr. Gray a letter, a copy of which I enclose. He answered me by letter of October 28, a copy of which I enclose. I sent a copy of Dr. Gray's letter of October 28 to the architects, to Rines Brothers and to Cunningham & Sons. I answered Dr. Gray's letter by one of October 31, of which I enclose a copy. I have later received a letter of November 1 from Cunningham & Sons and I enclose here-with a copy and I sent a copy of that letter also to Dr. Gray.

It seems to me that as soon as Dr. Gray answers the second paragraph of Cunningham's letter of November 1 the matter will be closed.

Yours very truly,

J. B. BROWN & SONS

By *Philip Greely Clifford*
Treasurer

PGC:eq



November 3, 1955

AP 529 Congress St.—Alteration of store front for Kines Bros.

Philip G. Clifford
J. B. Brown & Sons
57 Exchange St.

Copy to Mr. Arthur Cullinan
P. W. Cunningham & Sons
181 State St.
Mr. Clifford

Dear Mr. Clifford:

This letter is an effort to clear up the confusion still surrounding the Kines job, so that the building permit may be issued and all preparations made so that the job may be started after the holidays. Though I know that the delay is no fault of yours, I note that the permit was originally applied for on June 29. Now the delayed date of starting, which I understand would probably be about January 1, is fast approaching.

We are ^{close to} being able to issue the building permit, but there are a few details in connection with Dr. Gray's work which I would appreciate having cleared up, so that when the architect has taken care of the few details about which I shall write to him in a few days, the way will be clear to proceed.

After he began active work, Dr. Gray has had no direct communication with this department. It is understood that he has examined the architect's plan, and has had conferences and inspections with the architect and the contractor, but we have no record of any of this, nor do we need any.

Since I had raised a number of seemingly important structural questions early in the negotiations some of which have not been fully cleared up, it would be most helpful if we could know whether or not Dr. Gray has examined the entire job and whether or not he approves it. When a man of his standing in his profession approves a job we feel that there is little for this department to be concerned about. The only indication which we have of his approval is a copy of his letter to Architect Johnson dated October 4 in which he seems to partially approve the job but then goes on to make further suggestions as to certain details of the steel work.

I mean to communicate with the architect within a day or two and find out whether or not he plans to follow Dr. Gray's suggestions in the letter of October 4, for I am sure that you will understand that we are required to have plans which show actually the way the job is to be built.

There is one particular feature, a structural one, about which I have been much concerned from the beginning, and that is the projection of the fascia wall a distance of about four feet over the Oak Street sidewalk in such a way that there will be a masonry wall with terrazzo veneer with wind exposure on both sides of it and braced only by a sort of cantilever support from the main building at the corner column. You will perhaps remember that I mentioned this problem in one or

Philip G. Clifford, Esq.-----2

November 3, 1955

more of my letters last summer and the designer added some additional stiffening members. Because of this peculiar structural situation, however, I am still concerned that this projection, if built that way, will be permanently secure, realizing that masonry is quite susceptible to any type of vibration.

I am wondering if you would feel free to secure a statement from Dr. Gray as to whether or not he has approved the entire job, whether or not he has taken into account this particular projecting wall and does approve it. If these answers are in the affirmative we are in good position to issue the permit with a letter to clear up some of the things still in doubt. While it is no great concern of mine, if he has not approved the entire job, it is certain that his action would be appreciated all around if he would quickly send a directive to the architects so that they can incorporate any changes in their plans and file them here and get the permit issued at an early date.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMC/B

P. S. I am enclosing a copy of this letter so that it may be sent to Dr. Gray if you think best.

copy

November 2, 1955

F.W.Cunningham & Sons
181 State Street
Portland, Maine

Att. Mr. Arthur J.Cullinan

Dear Arthur:

I have your letter of November 1 with respect
to the Rines' matter:

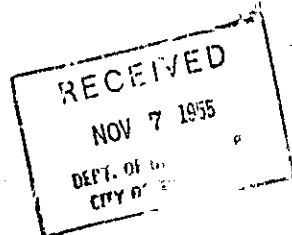
I am sending a copy of it to Mr.Gray with the
request that he answer the second paragraph
in your letter. Please let me hear from you
if you do not hear from him.

Very truly yours,

J.B.BROWN & SONS

By
Treasurer

PGC:ea



COPY

November 1, 1955

Mr. Philip G. Clifford, Treasurer
J.E. Brown & Sons
57 Exchange Street
Portland, Maine

Dear Mr. Clifford:

With reference to the copy of Mr. Grey's letter of October 28th, and which you have sent us under date of October 31st, we would say that we will agree to do this work in accordance with Mr. Grey's letter of October 3rd.

We would like to know, however, whether he thinks it necessary to have shoring in the center of the span over the present entrance, as the tenant is likely to find this objectionable.

This matter of shoring is not one which affects in any way the granting of the Building permit.

Very truly yours,

F.W. GUNNINGHAM & SONS

(s) Arthur J. Cullinan
President.

AJC:aml

CC/Mr. Soep



COPY

October 28, 1955
107 Brown Hall
Ohio State University
Columbus 10, Ohio

Mr. Philip G. Clifford
J.B. Brown & Sons
57 Exchange Street
Portland, Maine

Dear Mr. Clifford:

I have received your letter of October 21st. I have not heard anything further from Mr. Johnson, the Architect, in reply to my letter to him of October 4th, copy of which was sent to you. The matters mentioned in that letter are relatively minor and yet I think they would be well worthwhile looking into in order to improve the respective details of the job.

I was a little puzzled by a notation on the contractor's drawings indicating that if intermediate shores were placed at the middle of the lintel spans somewhat lighter main shores would be used at the pilasters under the ends of these spans. This led me to believe that possibly he had contemplated the omission of the intermediate shores entirely. Mr. Culinan's letter to me of October 10th indicates that they were considering the possibility of using a single intermediate shore at the center of the spans rather than two intermediate shores placed at the third points. At any rate, I am not in favor of any such reduction as was indicated on these plans which F.W. Cunningham had prepared. I have not heard from Mr. Culinan anything further in reply to the suggested increase in dimensions of scoring which I outlined in my letter to him of October 3rd.

I would say that if they are willing to go along with the recommendations in my letter of October 3rd, I would be perfectly well satisfied. Similarly if Mr. Johnson would make the slight modifications which I suggested to him in my letter of October 4th I would be satisfied with the architectural plan.

I have, in other words, been more or less waiting to hear of further developments from both Mr. Johnson and F.W. Cunningham and him. I do not imagine that either would have any particular objection to the modifications suggested in my letters of early October.

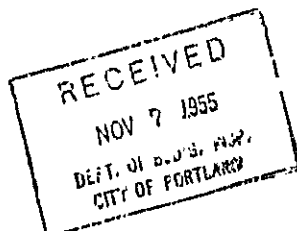
Thank you for your good wishes. I am plenty busy I can assure you, but nevertheless am enjoying the new environment and the new section of the country.

With best regards,

Sincerely yours,

HAMILTON GRAY
Hamilton Gray

HG:rt



copy

October 21, 1955

Dr. Hamilton Gray
1775 Arlington Avenue
Columbus 12, Ohio

Dear Dr. Gray:

I have read over your various letters which came during my vacation:

I am writing to ask you if you are now satisfied with the plans of the architects and the methods to be employed by architects and contractors on the Rines' job.

I would appreciate an answer to this matter at your earliest convenience.

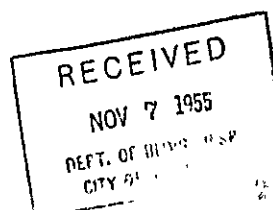
I hope you are enjoying your new work. With kind regards, believe me

Yours sincerely,

J.B.BROWN & SONS

By
Treasurer

PGC:ea



C
O
P
Y

HAMILTON GRAY
Consulting Engineer
1775 Arlington Ave.
Columbus 12, Ohio

October 4, 1955

10/16

Bernard Sweet

Mr. Robert E. Johnson
Architect
5 Commonwealth Park
Wellesley Hills, Mass.

Dear Mr. Johnson:

This will acknowledge receipt of your letter of September 28th enclosing print of alterations to Rinos store revision dated September 19. I am pretty well satisfied with the details shown on this revised drawing. I would feel a little happier if it were arranged to have a short piece welded to the ends of the outer lintel beams. This piece may be triangular or rectangular, but should be of the same section, as near as possible as the existing lintels. An enclosed sketch illustrates the manner in which this should be done. The purpose is to lengthen the amount of bearing of the outermost lintel on the steel capital at the corner column. This lengthening of the bearing will tend to move the working points closer to the outer corner of the steel capital and provide a better distribution of bearing pressure.

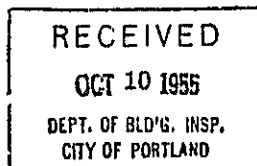
In the upper left hand corner of this sheet no dimensions are given for the plate used to connect the fascia beam to the corner column. As a final minor point I suggest that the ends of the mezzanine beams which bear upon the collar at the corner column be cut so that the centers of bearing of these two beams rest on the extensions of a diameter of the column.

Very truly yours,

HG
Hamilton Gray
Consulting Engineer

cc
Mr. Philip G. Clifford

HG:rt



October 3, 1955

AP 529 Congress St.--Alteration of store front for Rines Bros.

Mr. Robert E. Johnson
Architectural Associate
Earnard Soap Associates
711 Boylston St.
Boston, Mass.
F. W. Cunningham & Sons
181 State St.

Copies to Rines Brothers
529 Congress St.
J. B. Brown & Sons
57 Exchange St.

Gentlemen:

It is likely that our Board of Municipal Officers will approve a new standard, which will allow the use of the precast terrazzo veneer, on October 3. We have been "marking time" on checking this job against the Building Code because of the negotiations with the consulting engineer of the owners of the building, Dr. Gray.

We do not know what instructions the consultant gave, nor the findings resulting from the investigation which he requested in his letter of August 23. Evidently as a result of these negotiations, we received a print of Sheet 3 of the plans revised Sept. 19, 1955. We have been over all of the plans revised since the original set was filed here in a general way; but we were advised that the revised plans have been sent to Dr. Gray for his consideration and approval.

Naturally we will not be able to issue a building permit until the results of his check are known. However, in going over the plans and our former notes, we find a few questions which may well be settled now and avoid possible delays when the structural plans have been approved. Numbering system of paragraphs will take up where our letter of August 9 left off, this being the fourth letter of this character.

4.15 It is noted that Vermiculite plaster fireproofing is now indicated for the columns, the brackets and struts. The only record which we have of Vermiculite plaster being allowed to afford 4-hour fire-proofing of columns calls for the lath to be spaced out one inch from the column, the plaster to be one inch thick measured from the face of the lath, but it calls for loose vermiculite fill. The plan makes no mention of this vermiculite fill, and it would seem practically impossible to use it.

The best schedule we have of fire-proofing is the pamphlet entitled Fire-Resistance Ratings by the National Board of Fire Underwriters, January, 1954. Our Code allows acceptance of the ratings given as long as they are based on standard fire tests. There are many combinations for fire-proofing columns for 4-hours. It is suggested that this list be gone over and find one that will actually work and afford 4-hour fire-resistance and then specify it, including the make-up of the plaster as specified in the list. Thus this matter will be settled and we will not have it to delay us further when everything else is ready.

4.16 Allowance of the ladder for an emergency means of egress from the new mezzanine depends upon the approval of the Fire Chief, and we will seek that approval at once. Obviously the locks, if any, provided on the door leading to this ladder will have to be always openable from the mezzanine side, and there must be careful arrangements to avoid accident by opening the door, thinking there is a floor on the other side. Please specify this hardware. This arrangement is, of course, only allowable on the basis of a verbal statement that we have that there will never be more than five persons on the mezzanine. It is hoped that Rines Brothers will check the proposed use carefully, and if more than five persons might be there at one time, some other arrangement than the ladder must be made--one that complies with the Building Code for a standard means of egress, Section 2120M.

Mr. Robert E. Johnson-----2

October 3, 1955

✓ 4.17 It appears from the plan that the outside entrance doors may project over the public sidewalk about six inches when wide open. These doorways should be recessed so that no part of the doors will project over the public sidewalk.

✓ 4.18 The specifications call for dead bolt locks on the inner and outer entrance doors. We had some verbal communication in answer to one of our earlier letters to the effect that this would be taken care of since it does not comply with Section 212e2.5 of the Code. We have had considerable difficulty with the matter of locks on entrance doors, and it is hoped that the architect will send a directive in writing to the contractor with regard to the locks on these doors and let us have a copy so that detail will not bother us when we are otherwise ready to issue the permit.

✓ 4.19 In an earlier letter we have called attention to the projecting sign shown on the plans. Somewhere we got the verbal information that nothing would be done about the projecting sign for the present. The attention of Hines Brothers is particularly called to this sign, since if it is ever erected, it will have to be under a separate permit to be applied for by and issuable only to the actual sign hanger. Naturally at that time the question will be raised as to whether or not the weight of the sign and the wind load upon either face have been cared for in the original design of the front, which we are now engaged in.

4.20 We find nothing about adjustment and extension of the sprinkler system to care for the new mezzanine, the new stairs and the new arrangement of show windows. Perhaps that is not in the general construction contract, but, of course, this work will have to be cared for as the construction work progresses. The work on the sprinkler system requires a separate permit to be applied for by and issuable only to the sprinkler contractor. Complete plans of the changes must be filed with the application for that permit and the plans are required to bear upon them the stamp of approval of the New England Fire Insurance Rating Association or some equivalent authority.

✓ 4.21 Care should be taken in the location of the awning box and the selection of type of awning, so that no part of the awning will be closer ^{than 18 inches} to the plans of the curb line projecting upward, and so that no part of the awning can over be closer ^{than seven feet} to the surface of the public sidewalk at any point.

Very truly yours,

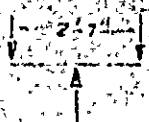
Warren McDonald
Inspector of Buildings

WHCD/B

✓ P. 3. Since dictating this letter I have become concerned about the drainage of what amounts to a shallow roof over this projection over the public sidewalk of Congress St. The Municipal Officers in approving this projection added the condition that all terms of the Building Code should be complied with. I am concerned with the likelihood that snow accumulating on the top of this projection and melting, and in case of heavy rain the water landing on the top of the projection and against this 9-foot high projecting wall will have no other place to go but to pour down upon the public sidewalk, which would certainly be contrary to the spirit of the Building Code if not the letter. On all sizable projections such as marquees the Building Code requires that the roof shall be drained in such a way that water will not run upon the public sidewalk. It may be a "far cry" to call this a roof; but it is better to have the matter cleared up now than to have the work completed and receive severe complaints from the pedestrians compelled to use the public sidewalk. It seems necessary that the architect take steps to design some relief from this situation.

80

BY _____ DATE _____ SUBJECT RINES WAREHOUSE SHEET NO. 10 OF 18
 CHKD. BY A. Miller DATE 8/15 JOB NO. 771



LOAD TO CORNER PISH
 ON 7TH FLOOR 254' TRUSS
 (INCLUDES 2000 TRUSS LOAD)
 AREA OF PIER
 $16' \times 2'-4" \times 1-9' \times 2$
 $1.32 (2.75 + 1.75) \times 2 = 6$ SILLER
 2

DESIGN OF CORNER
 COLUMN
 CRIP
 THIS COPY FOR
 MR. McDONALD

SHEAR IN COLUMN PERIMETER = $(C - 3) \frac{254}{6} = 216$
 OR SHEAR IN BEAM

PERMISSIBLE \checkmark FOR 1-16KFTS WEB = 78K
 3 = 234K

HOWEVER, I ADD 2-3" WEB STIFFENERS, 10" O.C. BETWEEN
 INSIDE FLANGES

STATIC MOMENT IN LINE CONSIDER 50% OF 254' AS WORKING POINT

M	$102,900 \times 10'' = 1,029,000''$	for 50% ea. W.P.
S	121	
f	5800 #/sq	f _s = 10,500 #/sq

MOMENT IN HEAD CAP, @ EDGE OF BEAM.

ASSUMED 254' UNIFORMLY OVER PIER $p = \frac{254,000}{6 \times 144} = 295$ #/sq
 THEN IN ONE EACH STRIP, unless otherwise shown
 $M = 295 \times 8^2 \times \frac{1}{2} = 9450$ #
 $S = 1 \times \frac{3}{4} = .67$
 $f_s = 14,100$ #/sq

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Column Design - 1 CORNER

$$P = (C + 12.22BC) \left(1600 - \frac{24.12.15}{10.75} \right)$$

$$= (279 + 2725) (1600 - 209)$$

$$= 340 \times 1390 = 470,000 \text{ CAPACITY}$$

LARRY FERNAN
 $P = (A_c + 12A_s) \left(1600 - \frac{24.12.15}{10.75} \right)$
 USING 10% C.H.W. @ 4.32 x 4.32 #
 WITH CONCRETE CORE
 FIRE PROOFING TO BE BY L. LATHING +
 PLASTER IN ADDITION TO ABOVE.

LOAD WILL BE 254 VS
 + R. TRUSS)
 FACTS
 $\frac{25}{279}$
 E.O.L. $\frac{82}{361}$ TOTAL LD.

GROSS AC =	74.6	STEEL P =	16.10
4-23	5.76	45	6.76
NET	67.90	TOTAL	22.86
50% 54 x 3 =	610''	4.8' for ea. 10,000 #	
210,000 ÷ 4.8 =		Moment by 20' added	
		as shown on plan	

BY _____ DATE _____
 CHKD. BY _____ DATE _____

SUBJECT TRINES

SHEET NO. 26 OF 8
 JOB NO. _____

CORNER COLUMN -
ECCENTRICITY ANALYSIS

ACTUAL LOAD 254,000
 Less STRUT
 LOAD 38
 Net 216,000
3
 648,000

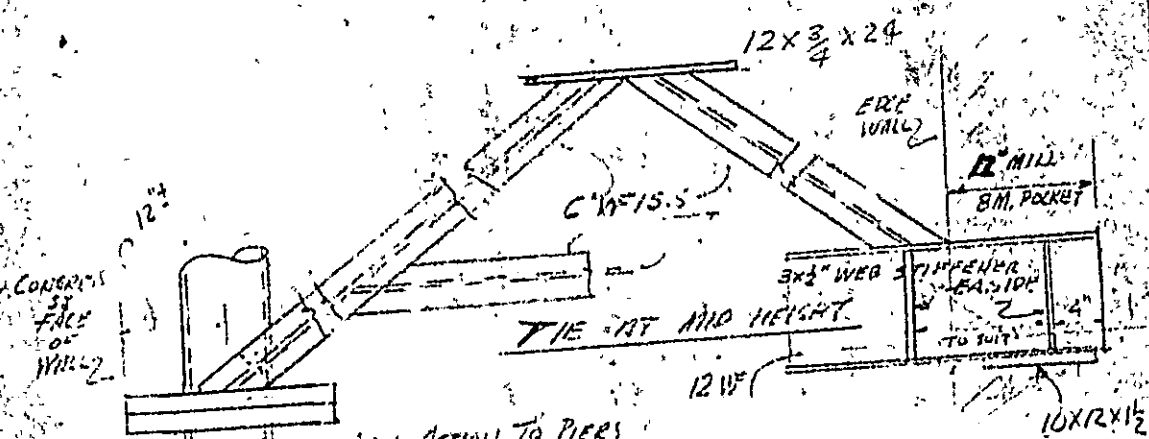
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STRUT LOAD
 WITH 5" OFFSET E.C. 5X24 @ 12" - 190,000
 658,000

Less FACIO BEAM E.C. 24" @ 12" - 288,000
 Net Eccentricity 170,000 x 0.8 = 136,000
 10,000

STRUTS & TIE CHAFIS, F.L.G. VERTICAL,
CASCO ST DIAGONALS
8 to 12 SLOPE (APPROX)

CASCO ST SIDE
 1/2 of Wall Load on each of 2 struts



TRUSS REACTIONS - ARCH ACTION TO PIERS
 MIDDLE HALF OF WALL CARRIED TO STRUTS

WALL	1535 x 7/8 =	768	CF		
DOOR		82			
PILASTER		36			
CORNICE		18			
		<u>904</u>			
OUTS.	2-3x4 @ 30'	312			
	6-4x8 @ 24' @ 25' @ 175'	<u>592</u>			
		592 x 1.40 =	828	= 2.415	

416 x 7/8 =	71,000	
CHAFIS	r = 215	2:12 = 56.3
	r = 145	2:12 = 49.6
ALLOWABLE L.D.	15.12 x 1.62 =	24,500

BY: _____ DATE _____
 SHKD. BY: _____ DATE _____

SUBJECT _____

SHEET NO. 3 OF 8
 JOB NO. _____

MIDDLE 14' Less Outs

AMT. OF WALL
 TAKEN BY STRUT
 IN WALL

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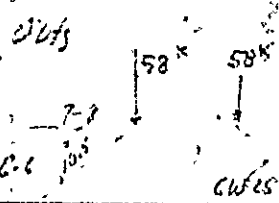
Outs $1500 \frac{14}{21} = 1000$
 225
 705

7' $552 \times 140 = 49^k$
 45° SLOPE (APPROX.) $= 49(1.41) = 69^k$
 USE C W# 20

$\frac{2}{3}$ of Wall Less Outs $\div 2$

AMT. OF WALL
 TAKEN BY STRUT
 IN WALL C

$1683 \times \frac{2}{3} = 1120$

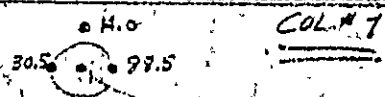


293
 $835 \div 2 = 417 \times 140 = 58^k$

$58 \frac{10.5}{6.5} = 93.5$ USE C10F25



from face beam 12'0" with 11" ECC.



At top 14.0
 30.5
 88.5
 41.1 of which $19.0 + 88.0 = 72$ is ECC.

CAPACITY OF $\frac{5}{8}$ E.W.W
 REINFORCED WITH 4-21x21x1/2 W

45.66 12.76
 $- 4.76$ $+ 4.76$ 4-21x21x1/2
 40.90 17.56 A5
 35

$1366 \times 551 = (1600 - \frac{29.7 \times 12}{8.13}) 251 = 409 A_c + 210 12 A_s$

844^k CAPACITY $\therefore 89^k$ plus 445 OK

BY _____ DATE _____
CHKD. BY _____ DATE _____

SUBJECT _____

SHEET NO. 7 OF 8
JOB NO. _____

CONTINUATION OF CAL #1

At splice 58^k ECC IS REMOVED
& New 12^k ECC IS ADDED

DIRECT LOADS 250 + 12

$$ECC. - 11 \times 12 + 14 \times 16 = 92000$$

$$\frac{4.8}{10000} \times 92000 =$$

$$44^k \text{ EQUIV. DIR. LD} \\ + 202 \\ \underline{\hspace{1cm}} \\ 306 \text{ TOTAL}$$

for UNCREASED L of 10.5 for bottom half

$$= (Ac + 12As) \left(1600 - \frac{20 \cdot 10.5 \cdot 12}{8.63} \right)$$

$$= (251) (1600 - 334) = 318^k \text{ OR}$$

Col #2

SIMILAR

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SUBJECT Mr. R. F. Johnson
ROOFS - ALTERATIONS

SHEET NO. 6 OF 8
 JOB NO. _____

LOADS 16" Brick Wall @ 140 lbs/lf.

AREA A
 $21.10 \times 42.5 \times 1.33$ 1305.0 C.F.
 Dormer $[7 \times 5 + (7 \times 4\frac{1}{2})] \times 1.33$ 66.0
 Cornices $4 \times 4 \times 3 \times 21.1 \times 0.12 = 7.6$ 26.1
 $8 \times 8 \times 2 \times 21.1 \times 0.12 = 18.1$ 44.0
 PILASTERS $2 \times 4 \times 0.33$ 1500.1 C.F.

OUTRACES
 $6 - 4' \times 8.5' = 204$
 $1 - 3' \times 5.5' = 16.5$
 $221.5 \times 1.33 = 295$
 $1206 \times 140 = 168,840 \times \frac{1}{2} = 84,420$

AREA B
 $21.45 \times 42.5 = 1040.33 \times 1.33$ 1387.1 C.F.
 Dormer $21.45 \times 19\frac{1}{2} = 1398$ 185.8
 Pilasters $5 \times 4 \times 3 = 220$ 83.3
 $3 \times 10 \times 3 \times 250 \times 0.33$
 Cornices $2 \times 21.45 \times 0.44 = 190$ 26.7
 $3 \times 21.45 \times 0.12 = 7.7$ 1682.9 C.F.

OUTRACES
 $10 - 3.3 \times 8.5 = 291$
 $2 - 3.0 \times 5.5 = 33$
 $314 \times 1.33 = 418.6$
 $1264.3 \times 140 = 177,002 \times \frac{1}{2} = 88,501$

AREA C
 PILASTERS $3 \times 4 \times 0.33$ 1487.5 C.F.
 CORNICES $2 \times 23.1 \times 0.12 = 5.5$ 44.0
 $1 \times 23.1 \times 0.44 = 10.1$ 15.6
 DORMER - Same as 'A' 66.0
 1613.1
 - 297.6
 1320.5 C.F.
 $184,270 \times \frac{1}{2} = 92,135$



LOADS - 16" BRICK WALL @ 140#/C.F.
CASCO ST. SIDE

$23.8 \times 48.5 \times 1.33$	1535.0 C.F.
DORMER - Same As 'B'	185.8
Pilasters $5 \times 44 \times 0.33$	72.6
CORNICES $3 \times 23.8 \times 0.44 = 31.4$	
$2 \times 23.8 \times 0.12 = 5.7$	
	<u>37.1</u>
	1830.5 C.F.

Outs. $2 - 3 \times 5 = 30$
 $10 - 4 \times 8 \times 2340 \rightarrow 375 \times 133$

	-493.0
	<u>1337.5</u>
	$1337.5 \times 140 = 187250 \times \frac{1}{2} = 93625$

ROOF LOADS

$65 \times 7.5 \times \frac{1}{2} \times 60 = 14,625$	
$25 \times 5 \times \frac{1}{2} \times 60 = 3750$	
	<u>18,375</u>

ROOF TO TRUSS END

OVER 'A'

$60 \times 10.3 \times 21.1 = 13,040 \times \frac{1}{2}$	C.570
--	-------

OVER 'B'

$60 \times 10.3 \times 21.45 = 13252 \times \frac{1}{2}$	C.628
--	-------

OVER 'C'

$60 \times 10.3 \times 23.19 = 14,215 \times \frac{1}{2}$	7,142
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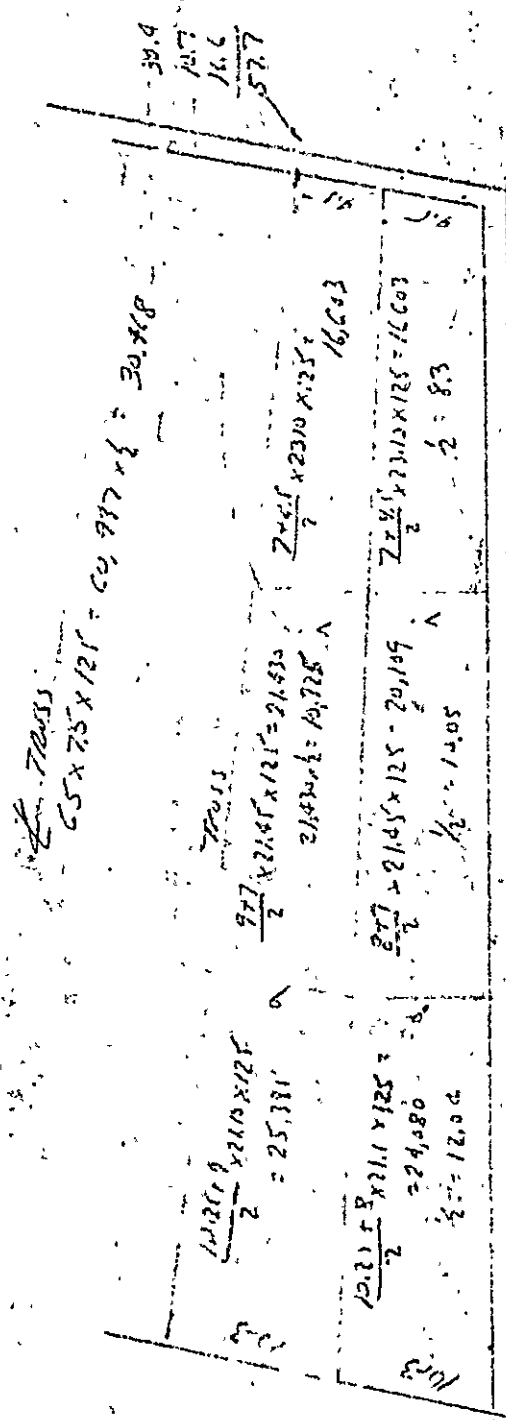
SUBJECT P. R. E. L.
RIVER - 12.12.1955

SHEET NO. 2 OF 2
 JOB NO. _____

572 - F.L.P.

257100 = 715

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 CITY OF PORTLAND



23.10
 21.41
 10.05
 8.30
 18.14

21.1
 12.00
 11.61
 27.09

23.10
 27.09

BY _____ DATE _____
CHKD. BY _____ DATE _____

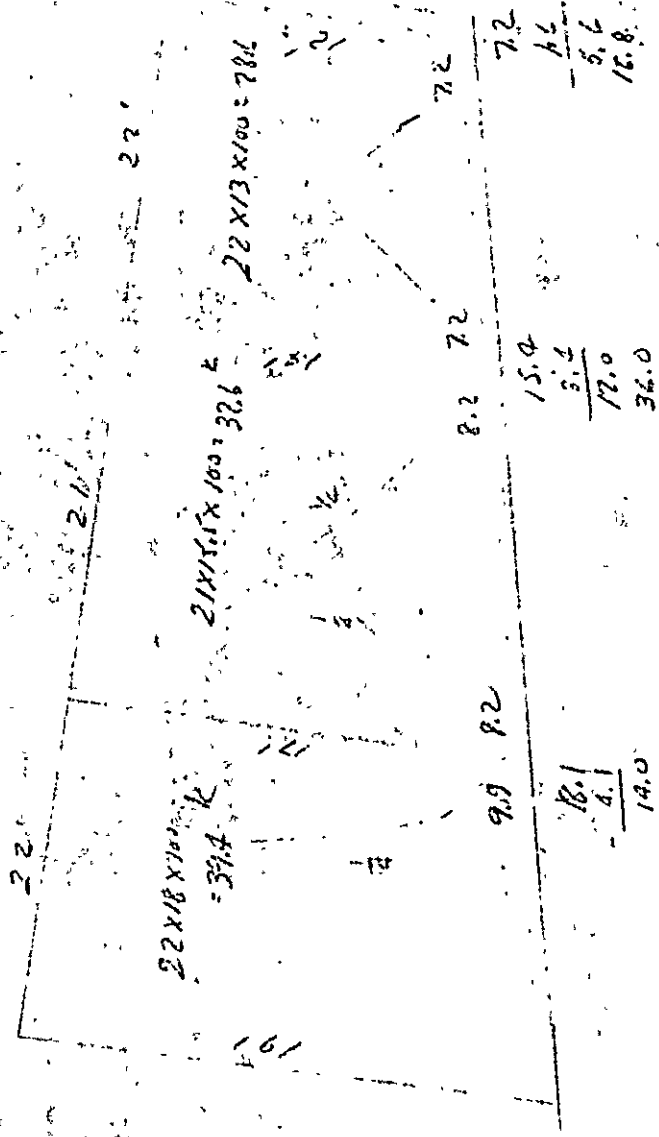
SUBJECT

KINES

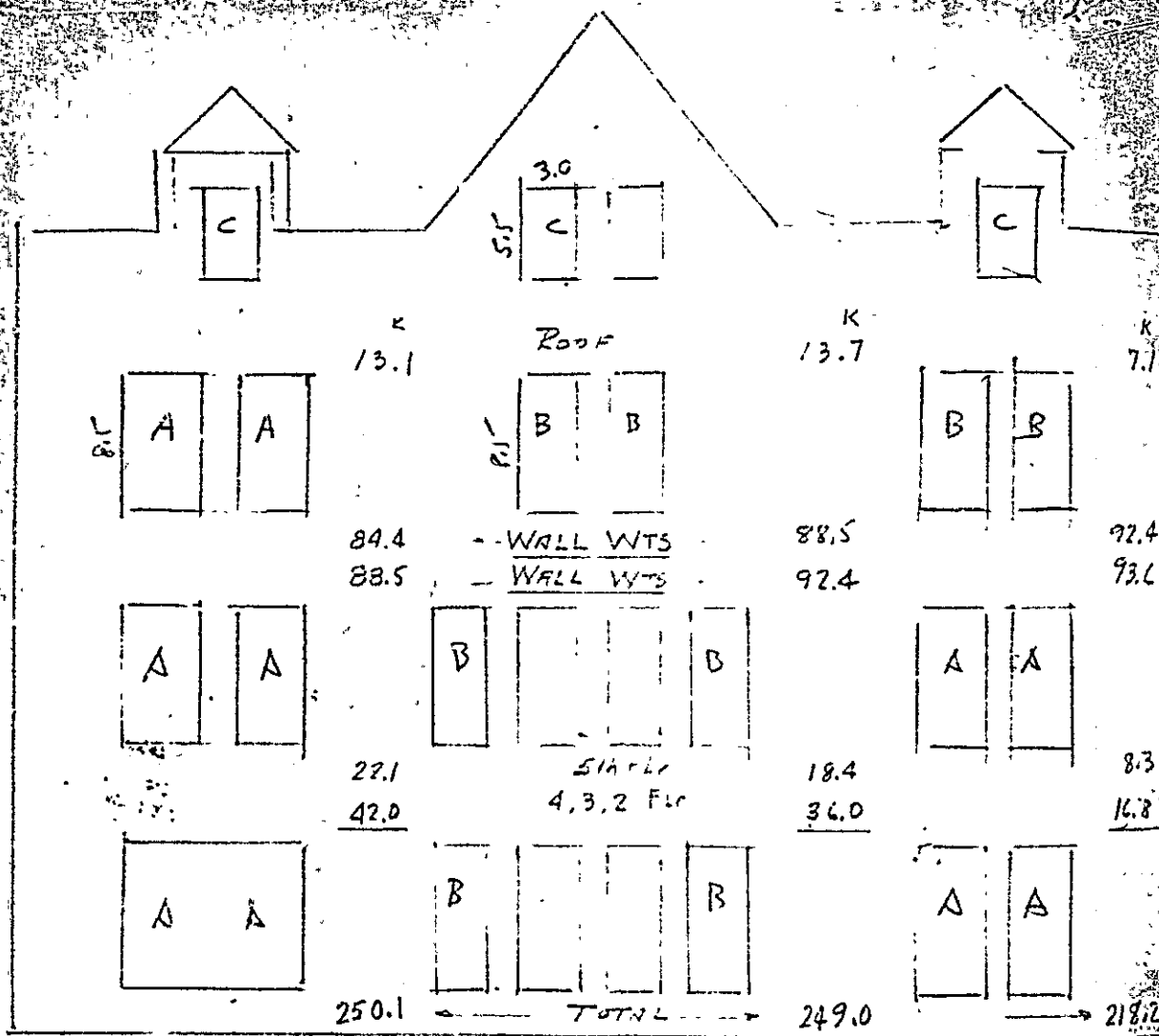
SHEET NO. 9 OF 8
JOB NO. _____

2, 3, 4th loads

2, 3, 4th Flrs

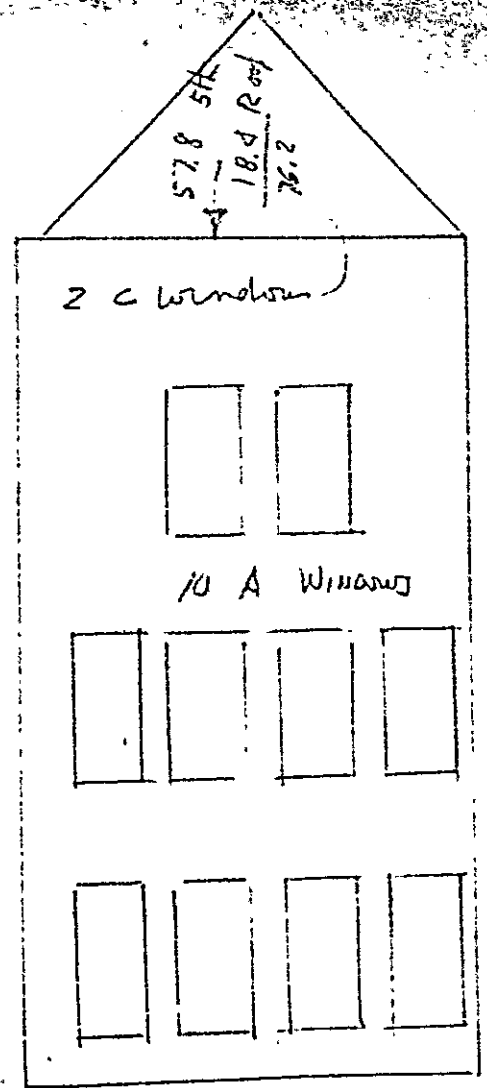
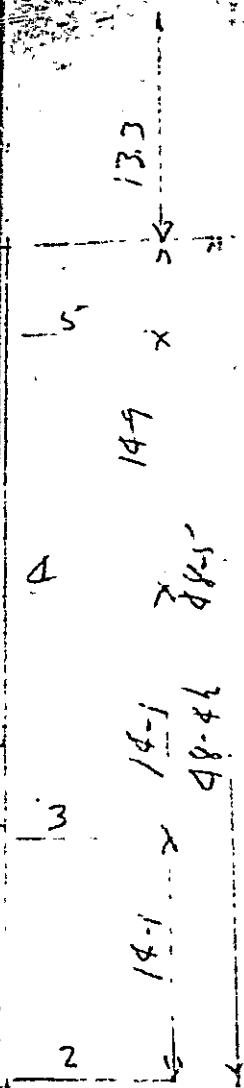


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CITY OF PORTLAND



K 13.1
 ROOF 3.0
 WALL WTS 84.4
 WALL WTS 88.5
 22.1
 42.0
 250.1
 TOTAL 249.0
 K 13.7
 WALL WTS 88.5
 WALL WTS 92.4
 18.4
 36.0
 218.2
 K 7.1
 WALL WTS 92.4
 WALL WTS 93.6
 8.3
 16.8
 218.2

'A' 21-1 1/2
 'B' 21-5 1/8
 'C' Top of Beam 23-0 3/4



57.8 5th
 18.4 Roof
 76.2

2 C Windows
 10 A Windows
 (ASCS)

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 CITY OF PORTLAND

Takeoff
 Sheet
 RINES
 PORTLAND

F. W. CUNNINGHAM & SONS ENGINEERS - CONTRACTORS
I N C O R P O R A T E D 1 9 0 5

ARTHUR J. CULLINAN
President

WILLIAM H. GILL
Vice-President

THOMAS P. FALLONA
Vice-President

JOHN J. CUNNINGHAM, JR.
Treasurer

ROBERT V. CULLINAN
Asst. Treasurer

181 STATE STREET
PORTLAND 3, MAINE

August 25, 1955.

Mr. Warren McDonald
Building Inspector
City of Portland, Maine
City Hall
Portland, Maine

Dear Mr. McDonald:

Herewith are computation sheets of Mr. Mallon, in connection with the Alterations at the Rines Building for J. B. Brown and Sons.

Very truly yours,

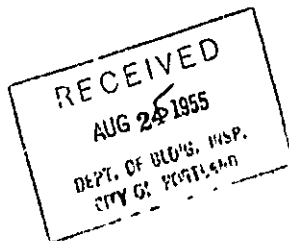
F. W. CUNNINGHAM & SONS



President

AJC:aml

Encl.



HAROLD LEE BERRY
PRESIDENT
GEORGE K. BRADFORD
VICE-PRESIDENT
PHILIP GREELY CLIFFORD
TREAS. & GENL. MGR.
WILLIAM A. MCCANDLESS
CLERK
WILLIAM H. CLIFFORD 3RD
ASSISTANT TO GENL. MGR.

J. B. BROWN & SONS
57 EXCHANGE STREET
PORTLAND, MAINE

DIRECTORS
PHILIP GREELY CLIFFORD
WILLIAM H. CLIFFORD
HARRISON J. HOLT
HAROLD LEE BERRY
WILLIAM H. CLIFFORD 3RD
WILLIAM A. MCCANDLESS
HERBERT PAYSON, JR.
HASKET DERBY
GEORGE K. BRADFORD

August 24, 1955

Mr. Warren McDonald
Inspector of Buildings
City Hall
Portland, Maine

re. Rines Brothers Company
529 Congress Street
Portland, Maine

Dear Mr. McDonald:

I enclose, herewith, copy of a letter received from Dr. Hamilton Gray this morning. I am arranging to have F.W.Cunningham & Sons supply us with a man who will cut and dig under Mr. Lund's direction in order to acquire the information requested in the enclosed letter.

Yours very truly,
Philip Greely Clifford
Treasurer
J.B.BROWN & SONS

PGC:a

P.S.

Thank you for the copy of the letter you sent me this morning.

P.G.C.

Rec'd
8/25/55

Copy

August 23, 1955

Mr. Philip G. Clifford, Treasurer
J. B. Brown and Sons
57 Exchange Street
Portland, Maine

Dear Mr. Clifford:

The answers to the following questions should be obtained in order to plan the details of substituting Lally columns for brick piers, and the elimination of mullions in the display windows of the Brown Block:

1. Are the existing steel lintels continuous over the mullions and through the brick piers? If not, what are the widths of the gaps between the ends of the individual beams? Has any extensive corrosion occurred such as to seriously reduce the strength of the lintels?
2. What are the loads on the lintels? If these have not been computed by the architect, the dimensions of the supported wall and of the floors and roof tributary to the wall should be secured so that the loads can be estimated.
3. What do the existing Lally columns, alongside the brick piers, support?
4. How are the lintels tied to the second floor framing?

The following dimensions should be secured:

1. Depth, flange width, web and flange thicknesses of lintel beams.
2. Cross sections of brick piers.
3. Length and width of each stone slab in each footing which supports a pier.

The nature of the material upon which the lowest footing stones bear should be ascertained.

The foregoing information may prove sufficient, but conditions uncovered in obtaining it may require supplementary investigation.

I think Mr. Lund can secure all the required dimensions without excessive trouble. In case the footings are found to bear upon soil rather than rock, some examination of the soil may be needed if the alterations will increase the bearing pressures appreciably.

Rec'd 8/27/55

Mr. Philip G. Clifford

-2-

August 23, 1955

The verb "underpin" is commonly associated with subsurface and foundation work. However the proposed alterations to the Brown Block constitute a form of underpinning operation and must be carried out in a very careful manner if the brick wall above the lintels is not to be damaged. The average contractor is not familiar with, nor experienced in, this type of work and hence the details of transferring loads must be very clearly specified if the work is not done by a specialist. I am sure that all concerned would agree that the lintels must not be permitted to deflect sufficiently from their present position to cause cracking of the brickwork. This requirement will undoubtedly require the application of the best of underpinning techniques, and the work is likely to be considerably complicated by absence of continuity in the lintel beams.

Very truly yours,

Hamilton Gray
Consulting Engineer
Orono, Maine

HC:del

HAROLD LEE BERRY
PRESIDENT
GEORGE K BRADFORD
VICE-PRESIDENT
PHILIP GREELY CLIFFORD
TREAS. & GENL. MGR.
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J. B. BROWN & SONS
57 EXCHANGE STREET
PORTLAND, MAINE

DIRECTORS
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HERBERT PAYSON, JR.
HASKET DERBY
GEORGE K. BRADFORD

Philip Greely Clifford

August 16, 1955

Mr. Warren McDonald
Inspector of Buildings
City Hall
Portland, Maine



Dear Mr. McDonald:

Re.: #529 Congress Street
Brown Block

I have your letter of August 15 and am grateful to you for having written it.

I talked with Mr. Sears on the telephone this morning and told him that we could not approve any plan for the new front until we had the favorable opinion of some competent engineer whose services I would immediately try to obtain and whose fees I felt should be paid by Rines Brothers. I shall get in touch with Mr. Ebenstein today and tell him in effect what I have written you.

Thanking you again, I remain

Very truly yours,

Philip Greely Clifford

Treasurer
J.B.BROWN & SONS

PGC:a

CONFERENCE CONCERNING THE RINES JOB AT 529 CONGRESS ST.
ON AUGUST 16, 1955

Two Copies to Mr. Johnson (one for Mr. Mallon).

Copies to: Rines Bros.
529 Congress St.
F. W. Cunningham & Sons
181 State St.
J. B. Brown & Sons (2)
57 Exchange St.

Messrs. Johnson & Mallon came in from Boston and Mr. Clifford came up and talked with us. Mr. Clifford said that his Board of Directors had instructed him to procure the services of an independent designer to check through the foundation problems, if any, and the entire structural arrangements proposed by the Rines architect and engineer. He talked of contacting Dr. Gray of the University of Maine and said he would write to him that afternoon. Mr. Clifford was particularly concerned lest foundation difficulties be encountered later as had been the case of another building of the same ownership (Loring Short & Earnon). Mr. Clifford asked me to let him know when we had reached the point that under the Building Code we could issue the permit. He expressed the opinion that the period of time to complete the job was such that it seemed most likely that it would be better to postpone the work until after the Christmas shopping season.

Messrs. Johnson and Mallon went over with me our letter of August 9th in considerable detail and the following references are to the paragraph numbers in that letter.

3.9 The plans will be revised to show completely the materials and thicknesses of fireproofing of beams supporting fascia wall and the bracket supporting these beams. Mr. Mallon said that it was the intention to use two inch thick pre-cast concrete hung from the bottom flange of the beam to fireproof that flange and that unit masonry would be used above--this to be detailed.

In the absence of any other method which may comply with the Code, the Lally columns will be fireproofed with two inches of poured concrete (this was later confirmed by Mr. Cullinan of the contractors).

3.10 They were told that approval of the pre cast terrazzo veneer would have to await consideration of our Board of Standards and Review, that we have some tests of strength of this product and a partial report on freezing and thawing tests.

3.11 Mr. Mallon said that most of the roof was a steep pitch so that he feels that the 30 pounds per square foot live load is sufficient. He said that the Congress St. floor of the fifth floor is used for offices and only a small portion of that floor between the Congress St. wall and the nearest supports of the girders at right angles to that wall would probably never be used for storage (it appears that the floor joists in all cases run parallel to the Congress St. wall). It was concluded that we could accept the 75 pound per square foot load for that floor, but the condition would have to be attached that the portion of the floor toward Congress St., indicated above, would never be used for storage.

Mr. Mallon explained that his figures actually allow for only a 30% reduction in the live loads of the floors on the Lally columns, and this turns out to be true.

The 8 5/8-inch Lally columns will be reinforced to take the full load without any reliance on fireproofing concrete.

Mr. Mallon was not sure as to whether or not he had taken into account the eccentric loads from the steel knee braces designed to support the existing lintels against

the lally columns on one side only of the columns. He is to look into this and give us his calculations and conclusions.

3.12 Attempt will likely be made by the contractors to determine whether or not and how the existing lintels of spandrel beams are anchored back to the second floor framing. If that is not done before the issuance of the permit, investigation and correction of any defects will be made a condition of the issuance.

3.13 Mr. Mallon is to reconsider the supports of the cantilevered wall over Oak St. sidewalk and to review the plans to assure proper support and stiffness and precautions against vibration and deflection together with calculations.

3.14 Apparently there are no "as is" plans of the structural part of the present building though Mr. Johnson said that he had an ~~elevation~~ elevation of the Congress St. wall. Mr. Clifford told us that the building was built in 1892. Thus the existing "steel" is probably wrought iron or cast iron. It developed that no one knows whether the existing lintels are spliced over the cast iron columns, (which may be only mullions or divisions of the windows) or whether or not these cast iron members afford any support to the existing lintels. The structural steel knee braces were designed as a precaution in case it was found that these cast iron members do furnish support for the existing lintels. Whether or not these knee braces are designed to take the full reaction which would occur if the cast iron members do give full support to the lintels, was not developed.

Warren McDonald
Inspector of Buildings

conference with
Messrs. Johnson & Mallon and
for a time Mr. Gilford
8/16/55

August 9, 1955

AP 529 Congress St.—Alteration of store front for Rines Brothers in building
owned by J. E. Brown & Sons

Mr. Robert E. Johnson
Architectural Associate
Bernard Seep Associates
711 Boylston St.,
Boston, Mass.

Copies to Rines Brothers
529 Congress St.
F. W. Cunningham & Sons
181 State St.
J. E. Brown & Sons
57 Exchange St.
Mr. Johnson for Mr. Mallon

Dear Mr. Johnson:

Evidently the owners of the building were not consulted in detail as to the proposal of Rines Brothers for ornamenting the first story, and we still have not the assurance that the owners approved the plans—an assurance that we must have before a building permit can issue. In the meantime, when time was found to examine your plans revised on July 12, we were quite dismayed to find that so little had been done to meet the requests in our letters of July 7 and 8. This is our third letter and the paragraphs will be numbered accordingly:

3.8 Approval of the Municipal Officers of the projection over the public sidewalk has been secured but subject to full compliance with all terms of the Building Code.

3.9 Details of the materials and thicknesses of fire-proofing of the beams supporting the fascia wall and the brackets supporting these beams from the lally columns have not been shown. The only indication in reply to our letter in this connection appears to be a notation that those members will be fire-proofed and another one that two inches of fire-proofing will be used on the beams. These details should also include the fire-proofing of the angle strut which seems to support the bracket in Section 3-3.

The Lally columns formerly shown as 10 and 3/4 inch ϕ have now been changed to 12 and 3/4 inch ϕ —an increase of two inches in diameter (one inch all around the circumference) perhaps half of this one inch being steel instead of concrete. Our Code requires a two inch thickness of concrete for the 4-hour fire-proofing required for these columns. We have been unsuccessful in securing from the Lally column Co., any particular rating for their so-called "fireproofed columns"; but their handbook indicates that they will manufacture these columns to any degree of fire-resistive rating desired.

Additional confusion appears from Mr. Mallon's description because he indicates that the Lally columns will be 8 and 5/8 inches encased in a 12 and 3/4 inch heavy weight shell with structural concrete core and fire-proofing. If his statement is correct, it appears that you would still be lacking about 1/2 inch thickness of concrete for 4-hour fire-proofing. It may be possible that some allowance should be made for the outer metal shell, but the column people have never been interested enough to have such an allowance established by a competent testing laboratory as far as we can determine. We are aware that the Boston Building Department has allowed something less than the usual thickness of concrete in Lally columns, but we have never had this allowance justified in any way. If you or the Lally column company, or any other competent party, can support such an allowance, we shall be glad to learn of it.

3.10 There is still a question as to whether or not this department has authority to allow the use of the 2-inch thick Terrazzo veneer since we are authorized only to allow such thin veneer of granite. Your plans seem to indicate anchorage about

August 9, 1955

the same as required for thin granite, and we may be able to accomplish the allowance without recourse to the Board of Steniaris.

3.11 There has not been opportunity to study Mr. Mallon's figures thoroughly, but some questions arise, and I am giving you a copy of this letter for him. I believe the roof is flat and the live load, therefore, should be taken at 40 pounds per square foot instead of 30. It is my impression that the fifth floor is used for storage in which case the live load should be 100 pounds per square foot instead of 75. I have not been able to satisfy myself about his method of taking reductions for live loads on the Lally columns. Since the Lally columns are the only ones involved and they support four stories, some reason appears to say that a straight 30 percent reduction should be taken from the total loads on the columns instead of accumulating the reductions for each story. Perhaps he will be good enough to support this method.

His figures seem to show a maximum load on one column as 189,600 pounds. He figures the capacity of the columns by using the Lally column company formula at 256,000 pounds. The Lally handbook which we have is 1946 and that gives the allowable load on 8 and 5/8 inch heavy weight Lally column as 155,800 pounds. I have roughly tried to check his area of concrete and am wondering if he took into account the concrete used for fire-proofing, which is not allowable according to Lally column standards or any other that we know of.

We have not been through all of his figures and computations but if he has not given us the design of the brackets and especially the angle strut in Section 3-3, we would like them.

3.12 Nothing has been found to give an answer to our paragraph 2.1. Nothing appears on the plans to show how the second floor framing gets support on the existing lintels, if indeed that framing gets its support on the lintels, and nothing is shown as to how the floor construction is tied into these lintels.

3.13 Very little additional detail has been shown in reply to our query as to how the projection of the fascia wall nearly four feet beyond the side wall is to be made stiff and properly supported--only a few vertical and horizontal rods are indicated, presumably embedded in the concrete block in some manner. We would like Mr. Mallon's figures on this also for it appears very much as though a definite cantilever beam is needed at the top of this projection as well as at the bottom. Mr. Mallon has signed the required statement of design without any reservations, and it is assumed, therefore, that he is taking responsibility for this design as well as all other parts.

3.14 We have no plan whatever showing the present structural arrangement. It seems as though you must have, or you could not have worked out these plans of the new work. It appears that there are more vertical columns in the first story now than there will be, and that you propose to remove certain existing castiron columns over which there may be splices in the lintels or spandrel beams. We can only guess that you mean to replace the support afforded by those columns by the steel knee braces indicated in framing elevations on Sheet 3.

Now, Mr. Johnson, we are not trying to be unkind or unkindly critical; but we do have a duty to perform toward the owners, the lessee and the general public to see to it that the job is constructed in compliance with Building Code standards. It will be much appreciated if you will promptly give us the information that we need for that purpose. It seems to me that the information needed should include an "as is" plan of the framing and supports of this part of the building.

Very truly yours,

Warren McDonald, Inspector of Buildings
P. S. on page 3

Mr. Robert B. Johnson-----3

August 9, 1955

P. 3. It may be that a considerable portion of the roof has a pitch steeper than 4 inches to the foot where normally the roof load allowance is 25 pounds per square foot.

Since this letter was dictated, we have received a letter from the owners of the building giving qualified approval to the project.

2A

HAROLD LEE BERRY
PRESIDENT
GEORGE K. BRADFORD
VICE-PRESIDENT
PHILIP GREELY CLIFFORD
TREAS. & GENL. MGR.
WILLIAM A. MCCANDLESS
CLERK
WILLIAM H. CLIFFORD 3RD
ASSISTANT TO GENL. MGR.

J. B. BROWN & SONS
57 EXCHANGE STREET
PORTLAND, MAINE

DIRECTORS
PHILIP GREELY CLIFFORD
WILLIAM H. CLIFFORD
HARRISON J. HOLT
HAROLD LEE BERRY
WILLIAM H. CLIFFORD 3RD
WILLIAM A. MCCANDLESS
HERBERT PAYSON, JR.
HASKET DERBY
GEORGE K. BRADFORD

August 5, 1955

Mr. Warren McDonald
Building Inspector
City Hall
Portland, Maine

Dear Mr. McDonald:

I understand from F. W. Cunningham & Sons that you want an approval of the general appearance of the new front at Rines Brothers Company. Therefore, I submit herewith a copy of my statement to Mr. Ebenstein contained in my letter to him of July 19, 1955.

"At a meeting of my Directors this morning it was voted to approve in general the appearance of the new front, colored sketches of which you have sent me. I presented them to the meeting and, after long discussion, it was decided to approve them, subject, of course, to our being convinced that whatever structural changes were made would in no sense weaken the strength of the building. It may be that we will require the opinion of an engineer in addition to Mr. McDonald's assurances, because the question of the removal of the pilasters is a very serious one."

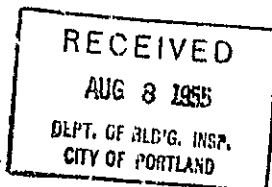
I hope this will be satisfactory to you.

Yours very truly,

J. B. BROWN & SONS

By

Philip G. Clifford
Treasurer



FGC:A

BY A DATE 6/55
 CHKD. BY AM DATE 7/55
William N. McLean

SUBJECT R.E. JOHNSON
"RINES DEPT. STORE
ALTERATIONS"

SHEET NO. 1 OF 1
 JOB NO. 5308

UNIT LOADS

	D.L.	L.L.	TOT. LD.
Roof	30	30	60
5th	25	75	100
4th	25	75	100
3rd	25	75	100
2nd	25	75	100

FLOOR LOAD ACCUMULATIONS TO COLS. & PUSHERS

TRIBUTARY AREA →

FLOOR	TRIBUTARY AREA	LOAD
Roof	$\frac{21}{2}$	$(.02 + 9\frac{1}{2}) \frac{1}{2}$
5	"	"
4	"	"
3	"	"
2	"	"

MAXIMUM COMBINATION

FLOOR	UNIT TOT.	UNIT LIVE	TOT. LD.
Roof	60	30	10.8 ^K
5	100	75	18.0
4	100	75	18.0
3	100	75	18.0
2	100	75	18.0

DESIGN ED RIPS

FLOOR	L.L.O.	L.L.A. REQ.	DESIGN ED RIPS
Roof	0	0	10.8 5" x 8"
5	18.5	0	28.8 4" x 8"
4	13.5	0	42.8 2" x 8"
3	13.5	4.0	56.7 2" x 8"
2	13.5	8.1	66.6 1" x 8"

RV. WALL LD. $6300 \frac{1}{2} \text{ L.F.} \times 21' = 132000 \# - 66,600 = 198,600 \text{ LBS}$

BY A DATE 4/58
 CHKD. BY M DATE 7/58
Chas. R. Miller

SUBJECT R.E.J.'s
"RINES DEPT. STORE
ALTERATIONS"

SHEET NO. 2 OF
 JOB NO. 5508

WALL LOADS - DEAD LOAD ONLY.
 LIVE LOAD ACCOUNTED
 for on COL. SHEET

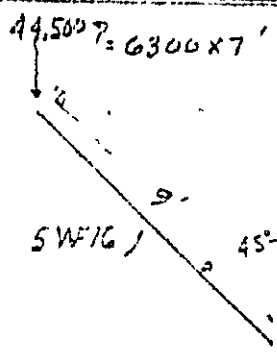
See sketch of FRONT ELEV.	BAY 1-2	6900 #/L.F.
	2-3	5700 #/L.F.
	3-4	6900 #/L.F.
	4-5	5700 #/L.F.

ECCENTRIC LOAD DUE TO NEW FRONT

at SECOND FLR.
 600 #/L.F. x 21 = 12,600 ?
 See R.E.J. dwg. #2

MEZZANINE LOAD - CONCENTRIC

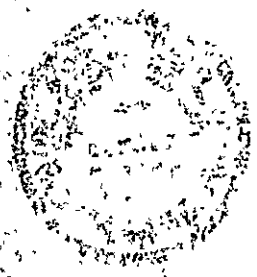
See R.E.J. dwg. #4
 180 #/L.F. x 21 = 3800 # ?

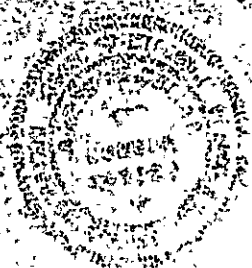


DIAGONAL BRCCG

$S_y = \frac{4.12}{176} = 96$
 $P_A = 17000 - 485(96) = \text{Allowable}$
 $= 17000 - 3600 = 13,400$
 Load Allowed = $13,400(4.70) = 63,000$

STRESS IN MEMBER $1.41 \times 44,500 = 62,600 \text{ vs. } \text{OK.}$





DESIGN OF AN EXTRA HEAVY WEIGHT
 8 1/2" DIA. GEORGIE LALLY
 COLUMN ENCASED IN A
 12 3/4" HEAVY WEIGHT SHELL
 WITH STRUCTURAL CONCRETE
 CORE & FIREPROOFING

SAFE CAPACITY - 17' UNBRACED LENGTH

REFS. LALLY COLUMN CATALOGUE RIM FILE No 13-C pages 19 + 23

$$P = (A_c + 12A_s) \left(1600 - 24 \frac{L}{d} \right)$$

$$= (94.7 + 153) \left(1600 - 24 \frac{17 \cdot 12}{8.75} \right)$$

$$= (247.7) (1600 - 520)$$

P = safe capacity in pounds
 A_c = concrete area sq. inches
 A_s = steel " " "
 L = length column in inches
 d = diameter " " "
 L/d < 120

$$P = 247.7 \times 1080 = \underline{256,000}$$

234
74
315
12
13

from page 11 of references

ECC. MOM. $12,000(12) = 151,000 \text{ " "}$
 $\frac{151,000 \times 2.0}{12000} = 75.5$

A_c = Gross Area of 12.75" circle
 less Area of 2 steel
 columns
 $= \frac{12.75^2 \times \pi}{4} - 12.76 - 14.58$
 $= 122 - 27.3 = 94.7$

LOAD @ 12' length

from top of column 198,000
 ecc. load 12,600
 equivalent load 75,500
 = 286,100

12 A_s = 12(12.76) = 153

Actual
 Allowable

$$247.7 \left(1600 - 24 \frac{12 \cdot 12}{8.75} \right)$$

$$= 247.7 (1600 - 396)$$

Allowable = $247.7 \times 1204 = \underline{298,000}$

UNIT WT. OF FIBER
 8" C.B. 34#/ft.
 2" TECTA 13

59.000 60'/ft. of length
 9' high x 60 = 540 #/ft.
 plus decim etc 60
 60 #/ft.
 21' x 600 = 12,600 #
 applied 12' above col. base

55/2216

City of Portland, Maine
IN BOARD OF MUNICIPAL OFFICERS

July 18, 1955

ORDERED :

That a building permit, to include projection of about 10 inches over the public sidewalks from the building occupied by Rines Brothers Company and owned by J. B. Brown & Sons at 529-535 Congress Street and 2-10 Casco Street of a masonry fascia wall (bottom of wall about nine feet above sidewalk and wall to extend upwards about nine feet generally on both streets, and at the street corner to project over Casco Street about three feet six inches), be and hereby is approved, subject to compliance with all terms of the Building Code's applying thereto.

INTER-OFFICE CORRESPONDENCE

CITY OF PORTLAND, MAINE

BUILDING INSPECTOR

July 14, 1955

TO: Julian H. Orr, City Manager

CC: Corporation Counsel

FROM: Warren McDonald, Insptr. of Bldgs.

SUBJECT: Proposed M.O. Order for Approval of Projections Over Public
Sidewalks at 529-535 Congress and 2-10 Casco

This project is to "beautify" (?) the first story front of Rines Bros. on Congress and Casco. It is unusual in that they propose to project a light-weight masonry wall from the face of the present wall above the show windows to effect some appearance which is not now clear. Architects are from Boston, and the contractor is F. W. Cunningham & Sons.

Important engineering problems are involved and we are awaiting better plans. There are other extraordinary features, but because of the infrequency of Board meetings, it seemed best to give it to you in time for July 18.

Philip Clifford, who represents the owners of the building, is quite concerned about the appearance of this odd arrangement. He has known that Rines wanted to modernize, but was not told of the details up to the time he received a copy of a letter from us. He is in the middle of it now, however, and means to be satisfied before he gives his required approval.

As I go on my vacation I am leaving it so that we will get Mr. Clifford's approval of the step before this memo and proposed order is sent to you on Thursday.

WMcD/H

Inspector of Buildings

HAROLD LEE BERRY
PRESIDENT
GEORGE K. BRADFORD
VICE-PRESIDENT
PHILIP GREELY CLIFFORD
TREAS. & GENL. MGR.
WILLIAM A. MCCANDLESS
CLERK
WILLIAM H. CLIFFORD 3RD
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J. B. BROWN & SONS
57 EXCHANGE STREET
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HERBERT PAYSON, JR.
HASKET DERBY
GEORGE K. BRADFORD

July 8, 1955

Rines Brothers Company
529 Congress Street,
Portland, Maine

Gentlemen:-

I have a letter from Mr. Warren McDonald addressed to Mr. Robert E. Johnson, dated July 7, 1955, with the respect to the new front which Rines Brothers proposes building. I have looked at the plans in the Building Inspectors office.

I have perfect confidence in Mr. McDonald so far as the supervision of all structural work, and stresses and strain, are concerned. However, the outward appearance of the building is very difficult to visualize without some more detailed plan of the elevation on Congress Street. Would it be possible to obtain such an elevation and in color?

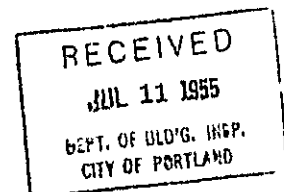
Very truly yours,

Philip G. Clifford

Treasurer
J. B. BROWN & SONS

PGC:nf

cc: Mr. Warren McDonald



July 8, 1955

A.P. 529 Congress St.—Alteration of store front for Rines Bros.
(This is the second of two letters and numbered paragraphs will
be designated as 2.1 etc. Please consider the numbered para-
graphs in the first letter as 1.1 and 1.2.)

Mr. Robert E. Johnson,
Architectural Associate Bernard Seep Associates
711 Boylston St.
Boston, Mass.

Copies to: Rines Bros.
529 Congress St.
J. B. Brown & Sons
57 Exchange St.

F. W. Cunningham & Sons
181 State St.

Gentlemen:-

Paragraph 2.1. Bearing in mind that you plan to remove one or more massive brick and stone piers and perhaps a few cast iron columns which now support the masonry walls and presumably floor and roof loads of this multi-story building, it appears that the large Lally column at the street corner would be fairly well braced in two directions. However, the lateral bracing of the other large Lally columns in a direction at right angles with Congress St., including the eccentric load of the masonry fascia is not in evidence. Please furnish in detail what is planned in this connection and your reasoning as to its adequacy.

2.2. Please furnish theory and computations together with details of existing conditions to show:

- the cantilever arrangement for supporting the new fascia wall, including the effect of the eccentricity on the auxiliary framing above the 12-inch wide flange, upon the inner wide flange beam and upon the column.
- the projection of the fascia wall about four feet out into Casco St., the main support of which appears to be projection of the outer wide flange beam as a cantilever from its eccentric support upon the corner Lally. How is this nine foot high wall to be stiffened at the top and at the outer edge?
- it is my impression that there are at present certain columns or piers or supports for existing lintels between the locations shown for the large Lally columns and that the truss arrangements shown on Framing Elevations on Sheet 3 are for the purpose of supporting the lintels where present supports are to be removed. Please show all of these details and furnish computations etc. to justify the arrangement.

2.3 What precisely is to be the use of the mezzanine marked for Display Department? How many persons will be habitually there? If more than five persons might be there at one time, difficulty will arise as regards the ladder intended for emergency exit. If five or less, the emergency exit or the type of it, since it does not comply with specific Building Code requirements for a means of egress, would have to receive the approval of the Chief of the Fire Department. 3 or 4

2.4 In any event, it will have to be demonstrated that these two means of egress from the mezzanine will be so located with relation to means of egress to the exterior of the building that one fire or emergency in the main store near the entrance would not block all means of egress from the mezzanine, as per Sect. 212a.2(a) of the Code. 9 B

Mr. Robert E. Johnson - - - #2

July 8, 1935

2.5 The projecting sign requires a separate permit from this department which must be applied for by and is issuable only to the actual installer who must be a bonded sign hanger. The weight and eccentricity effect of this sign should be taken into account in the design of the supports of the fascia wall. *- correct for present*

2.6 What is the significance of the "booster heater" indicated ~~as~~ over the vestibule? *- Unit steam heater connected to heating plant*

2.7 All of the new doors will require what we term "vestibule latchesets" which are a type whereby any person can always leave the building from the inside merely by turning the knob or pressing on the usual thumb lever without requiring a key or any special knowledge. Of course anti-panic hardware with "crash bar" full width of each door will be satisfactory. *- O.K.*

Now that there has been application for the building permit, all changes in the plans and specifications should be indicated eventually (before the permit is issued) by written instructions to the contractor to carry out the revisions, giving this office a copy.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

P. S. We still cannot guarantee an exhaustive check of the plans which can hardly be completed until the revised plans are received. Please also attach to the revised plans Mr. Johnson's signed statement of design as called for by Sect. 104b3 of our Code.

10"
3ft more
3L6 over Brown & B

8'9"

July 7, 1955

AP 527 Congress St.—Alteration of store front for
Rines Brothers

Mr. Robert M. Johnson
Architectural Associate
Bernard Seep Associates
711 Boylston St.
Boston, Mass.
F. W. Cunningham & Sons
151 State St.

Copies to Rines Brothers
529 Congress St.
J. B. Brown & Sons
57 Exchange St.

Gentlemen:

If we understand the plans, you propose to construct a fascia of light-weight concrete blocks faced with precast terrazzo slabs with the bottom of what amounts to a masonry wall varying from nine feet to 11 feet above the public sidewalk and projecting perhaps as much as eight inches over the public sidewalk on both Congress Street and Casco with a section of this fascia wall at the corner of the streets projecting about four feet over the public sidewalk of Casco St.

These features of projection over the public sidewalk will cause much delay in issuing the permit because all such projections must be authorized by the approval of the Board of Municipal Officers on the building permit. In order for such approval to receive consideration at the earliest possible date, the order for their consideration must be on file with the City Clerk before the close of business on Thursday, July 14. This order cannot be prepared until we have much more accurate information than now as to the amount of projection over the sidewalk.

Someone, presumably Mr. Johnson, phoned me a few weeks ago indicating the intention of coming here to talk over the important features. Unfortunately no one came; so this and other important questions must be settled now before we can issue any permit. We can discover no indication of the street line (inside edge of public sidewalk) on the plans, but examination of Public Works Department records indicate that while the main entrance is recessed considerably the existing corner of the building at Congress and Casco is on the street line, as is also the pier or pilaster at the upper end of the Rines occupancy. We have no "as is" plans of the front, and it is expected that these plans will be quickly revised to show clearly how much projection there is to be and this information filed at this office by Wednesday if you are to get consideration of the Board as soon as possible.

While we have not completed check of the plans and specifications against the Building Code, there are a few important details called to your attention below:

1. All of the steel, including the large Lally columns, which contribute to the support of the masonry fascia wall require 4-hour fireproofing. The plans do not make clear that this is intended. - Only 1" of fireproofing indicated.

2. Difficulties arise as to the precast terrazzo veneer for the fascia. Copies of page 112 and 203 of the Building Code are enclosed to Mr. Johnson so that he can size-up the problem. Note that Section 308b3.5 (a) allows this type of veneer if approved, but requires that it shall be no less than three inches thick except as provided in 308c for less thickness, the latter reference being to our stock reference clause as adopted by the Municipal Officers and published in Appendix B. The only equivalent standard we have is for thin granite veneer shown on page 203. If we are to stand on this precisely, approval of the veneer would have to wait for a long time

Mr. Robert E. Johnson
P. W. Cunningham & Sons

2

July 7, 1955

to be referenced to our Board of Standards and Review. Perhaps a way can be found to include this under the allowance for thin granite veneer, but we shall need written record of approval by authoritative testing laboratories as to the stability, and weather-standing capacity of the material and the erection would have to be as stipulated for thin granite veneer.

You will hear more as we proceed with the check.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHed/D

34



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure . . . Second Class

Portland, Maine, June 29, 1955

PERMIT ISSUED
02236
NOV 29 1955
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter ~~repair or remodel~~ all the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 529 Congress St. Within Fire Limits? **yes** . . . Dist. No. **1** . . .

Lessee's name and address **Rines Bros., 529 Congress St.** Telephone

Owner's name and address **J. B. Brown & Sons, 57 Exchange St.** Telephone

Contractor's name and address **F. W. Cunningham & Sons, 131 State St.** Telephone **A-0246**

Architect Specifications Plans **yes** No. of sheets **5**

Proposed use of building store No. families

Last use " No. families

Material **brick** No. stories **5** Heat Style of roof Roofing

Other building on same lot

Estimated cost \$ **30,000** Fee \$ **30.00**

General Description of New Work

To make alterations to ground floor as per plans.

Permit Issued with Letter

Issued by Municipal Officers: 7/18/55

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO F. W. Cunningham & Sons**

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Column under girders Size Max. on centers

Studs (outside walls and carrying partitions) **2x4-16" O. C.** Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Harry J. Clark, Chief
Portland, Me. Sept. 11/4/55

Miscellaneous

Will work require disturbing of any tree on a public street? **NO**

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **YES**

F. W. Cunningham & Sons

NOTES

12/7/55 - Work started - Allen
 1/9/56 - Work started - Allen
 2/7/56 - No work going on - Allen
 3/29/56 - No work started - Allen
 4/18/56 - No work started - Allen
 5/2/56 - Job started - Allen
 5/13/56 - Putting in corner post
 at the corner - One corner of corner
 the part of work not started - Allen
 6/7/56 - Work still going on on
 the corner of, corner of corner
 only - Allen
 6/18/56 - Let 6.7 to stop -
 removed beams with concrete
 so that to put them
 checked welding & beams - Allen
 7/2/56 - Work progressing on
 the back of the store - Allen
 7/11/56 - No work started
 on the mezzanine to speak
 of - Allen
 7/19/56 - Work over the front
 door with John Maloney. He
 says door will be suitable
 later on or equivalent - Allen
 7/26/56 - Checked the framing
 of the platform for all emergency
 work from mezzanine. Work
 on the anchoring of terrazzo
 versus with the installation
 of this work Allen in accordance
 with the building code - Allen
 8/29/56 - Work on front door
 is to be done. Mezzanine
 not yet finished. - Allen
 9/11/56 - Work the same as
 above - Allen
 9/25/56 - Mezzanine need to be
 checked for fire door - Check for
 fire door in mezzanine

8/29/56
 9/11/56
 9/25/56

Permit No.	55/237
Location	1529
Owner	Greenland
Date of permit	11/29/55
Permit closing-in	11/29/55
Permit closing-in	11/29/55
Final Inspr.	10/29/56
Cert. of Occupancy issued	
Standing Out Notice	
Form Check Notice	

10/29/56 - Work finished

August 15, 1955

AB 529 Congress St.--New store fronts

Mr. Philip G. Clifford
Treasurer J. D. Brown & Sons
57 Exchange St.

Dear Mr. Clifford:

Your letter of August 10 relating to the above job is sincerely appreciated.

It is doubtful if any Municipal Building Department is competent or should be relied upon for procuring the right answer to the technical and engineering problems which arise in such jobs as this. The answers cannot be found in the Building Code, but must come from sound engineering experience and judgment.

Inasmuch as contractor, architect and even the lessee are acting as agents of the owner in the matters of applying for and securing the building permit, I certainly would welcome the employment of an independent engineer by the owner to pass upon these details of design (several of them I consider very important) before the building permit has been issued.

In a somewhat similar job, with which I am sure you are familiar, this was done with considerable advantage to all concerned; and it further relieved this department of a great deal of responsibility which it ought not to be called upon to bear.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

P. S. I am to have a conference with the architect and his engineer tomorrow at 2 o'clock, and I shall do the best I can to handle the situation fairly. In the final analysis, however, I shall be compelled to issue the permit unless it is clear that some features do not comply with the Building Code.

18



HAROLD LEE BERRY
 PRESIDENT
 GEORGE K BRADFORD
 VICE-PRESIDENT
 PHILIP GREELY CLIFFORD
 TREAS. & GENL. MGR.
 WILLIAM A. McCANDLESS
 CLERK
 WILLIAM H. CLIFFORD 3RD
 ASSISTANT TO GENL. MGR.

J. B. BROWN & SONS
 57 EXCHANGE STREET
 PORTLAND, MAINE

DIRECTORS
 PHILIP GREELY CLIFFORD
 WILLIAM H. CLIFFORD
 HARRISON J HOLY
 HAROLD LEE BERRY
 WILLIAM H. CLIFFORD 3RD
 WILLIAM A. M. CANDLESS
 HERBERT PAYSON, JR
 HASKET DERBY
 GEORGE K. BRADFORD

*File
 Rines
 job.*

August 10, 1955

Mr. Warren McDonald
 Inspector of Buildings,
 City Hall,
 Portland, Maine

Dear Mr. McDonald:-

Thank you for the copy of your letter of August 9th
 addressed to Mr. Robert E. Johnson with respect to
 the Rines improvements.

I want to say that we have perfect confidence in you
 and we never should give our approval to improvements
 or repairs until such improvements or repairs have
 your approval. It might be that, if you were doubtful
 about some point, or we were, we would require the
 services of an outside engineer before giving our
 approval.

In all events, do not feel that you are in any way
 treading on our toes by adhering strictly to the
 code as you have it.

Thanking you again, I remain

Very truly yours,

Philip G. Clifford

Treasurer
 J. B. BROWN & SONS

PGC:nf

RECEIVED
 AUG 11 1955
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

AP 543 Congress St.

May 21, 1953

Mr. J. H. Kennedy
105 Proble St.
Portland, Maine

Copy to: J. E. Palmer Co.
543 Congress St.

Dear Mr. Kennedy:-

Building permit to enlarge existing opening in wood stud partition in third story of building at 543 Congress St. from six feet to sixteen feet is issued herewith subject to the following conditions:-

1. It is thought that the partition where the opening is located is non-bearing. On this basis it is understood that a header is to be provided for the opening consisting of two 2x10's separated by solid bridging or fillers to furnish support for the full thickness of the partition of that portion of it above the opening. The permit is issued on this basis.

2. Should it turn out after tearing out has been started that the partition involved is a bearing one, an application for an amendment to this permit is to be filed giving full particulars as to the loads carried and the header to be provided on that basis for the new opening.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G



AGS

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
60778
MAY 21 1953
CITY OF PORTLAND

Class of Building or Type of Structure Second Class
Portland, Maine, May 20, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ ~~or~~ ~~repair~~ ~~or~~ ~~maintain~~ ~~or~~ ~~improve~~ all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 543 E. Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address J. E. Palmer Co., 543 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address J. H. Kennedy, 105 Preble St. Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building Stores No. families _____
 Last use _____ " _____ No. families _____
 Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 300. Fee \$ 2.00

General Description of New Work

To widen existing archway on third floor from 6' to 16' - wood partition

Permit Issued with Letter

REQUIREMENTS

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO J. H. Kennedy**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
with letter by AGS

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 J. E. Palmer Co.

INSPECTION COPY

Signature of owner BY: [Signature]

0/1

NOTES

5-25-53, ~~Mr. Kennedy~~ ~~visit~~ ~~this~~ ~~is~~ ~~9:15~~
 6-10-53, Mr. Kennedy visit this is ~~9:15~~
 leaving to get to be and there is a ~~single~~
~~timber~~ ~~9~~ ~~under~~ ~~ground~~ ~~pipe~~ ~~at~~ ~~the~~
 ceiling level. He ~~was~~ ~~informed~~ ~~of~~
 2x12 ~~to~~ ~~be~~ ~~used~~ ~~and~~ ~~to~~ ~~be~~ ~~at~~ ~~least~~
 50' ~~not~~ ~~collected~~ ~~the~~ ~~specimen~~ ~~to~~ ~~min~~
 at ceiling level ~~with~~

Permit No. 53/776
 Location 523
 Owner ~~W. C. Kennedy~~
 Date of permit 5/21/53
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 1-23-53
 Cert. of Occupancy issued ~~1/23/53~~

Blank lined area for additional notes or drawings.



(C) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00302
MAR 7 1953

Class of Building or Type of Structure Second Class

Portland, Maine, March 6, 1953

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS PORTLAND, MAINE

The undersigned hereby applies for permit to erect alter repair demolish or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 537 Congress St. Within Fire Limits? yes Dist. No. 1
 Owner's name and address J. B. Brown & Sons, 57 Exchange St. Telephone _____
 Lessee's name and address Day's Jewelry Store, 537 Congress St. Telephone _____
 Contractor's name and address A. E. Coy, 13 Leavitt St., So. Portland Telephone 2-2407
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building stores No. families _____
 Last use _____ " _____ No. families _____
 Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 1,200. Fee \$ 5.00

General Description of New Work

To change store front as per plan. *NO STRUCTURAL CHANGE*

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS NOT MET

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO A. E. Coy

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

 A. E. Coy - 3/7/53 - A. E. Coy

Miscellaneous

Will work require disturbing of any tree on a public street? NO
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
J. B. Brown & Sons
Day's Jewelry Store

INSPECTION COPY

Signature of owner by:

A. E. Coy

Statement of Agreement Relating to Removal of
Stairway Enclosure in Second Story of Building at 543
Congress Street

This Statement of Agreement is to be considered as such a part of the application for a building permit to make certain alterations in the second story of the building at 543 Congress Street as though written on the application form; but failure to mention herein any requirements of the Building Code or any other law relating to the same subject matter shall not relieve lessee, contractor or any other person from compliance therewith.

In consideration of the requirements of the Building Code as to omission of stairway enclosures, it is agreed that the arrangement at third floor stairwell will be made such that the well is completely separated from the third story by one-hour fire-resistive partitions, with the existing fire doors made self-closing by automatic door-closers, and that the stairway to the fourth floor is or will be separated from the enclosure thus formed by one-hour fire resistance. It is also agreed that the automatic sprinkler system will be altered and extended and other features provided to protect the stairwells which are open to both first and second stories, in accordance with current recommendations of the National Fire Protection Association.

J. E. Palmer Co., Lessee,

By: _____

February 3, 1953

J. E. Palmer Co.,
Att: Mr. John E. Palmer
543 Congress St.,
Portland, Maine

Dear Mr. Palmer:

Please find enclosed two copies of agreement concerning proposed alteration to stairway in your store, one to be signed and returned to this office and one for your files.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/D

AP 543 Congress St.,

January 17, 1953

Mr. J. H. Kennedy
105 Preble St.,
Portland, Maine

Copy to: J. E. Palmer Co.,
543 Congress St.,

F. O. Bailey Co., Inc.
72 Forest St.

Dear Mr. Kennedy:

As indicated in a previous letter, we are unable to approve removal of the existing enclosure around the stairway in the second story of the building at 543 Congress St., because Sect. 205-f-1 of the Building Code specifies that every stairway in sprinklered buildings more than four stories high, except stairways leading directly to the open air from the first floor or basement, shall be enclosed by separations of one-hour fire resistance to stop passage of smoke or fire.

Sect. 212-f-5 of the Code provides that such an enclosure may be in the story in which the stairs are located or around the stair well in the floor at the top of the stairway. Since in this case the stairway in question is not enclosed in the first story but is enclosed in the stories above, the present arrangement meets Code requirements, and to remove the enclosure in the second story would be a violation of the Building Code.

We understand that the new opening shown in the brick wall between the dress shop and the coat department in the second story is not to be provided, and since the other opening proposed in the brick wall between the coat department and the stairway enclosure in the same story would open up that enclosure, we cannot approve cutting in of that opening. Therefore we are unable to issue a permit for any of the work indicated in the application for Amendment #1 to permit 53/38 as filed at this office.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
 00168
 FEB 5 1953
 CITY of PORTLAND

Class of Building or Type of Structure _____
 Portland, Maine, Feb. 3, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 543 Congress St. Within Fire Limits? yes Dist. No. 1
 Owner's name and address J. B. Brown & Sons, 57 Exchange St. Telephone _____
 Lessee's name and address J. E. Palmer Co., 543 Congress St. Telephone _____
 Contractor's name and address K. J. H. Kennedy, 105 Preble St. Telephone 3-5639
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building store No. families _____
 Last use " No. families _____
 Material masonry No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2,000 Fee \$ 5.00

General Description of New Work

To remove existing partitions around stairwell, in second story, providing protection in third story for stairs above as indicated in supplementary statement attached.
 To cut in an 8-foot opening in brick wall beside head of stairs in second story, providing steel lintel as indicated on plan.

QUALIFICATION OF CONTRACTOR
 REQUIREMENT IS W

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Column under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" C. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK - 2/5/53 - A.J.S.

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

J. B. Brown & Sons

Signature of owner

K. J. H. Kennedy

INSPECTION COPY