



APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class

Portland, Maine, February 11, 1960

PERMIT ISSUED

MAR 7 1960

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 238 Congress St. Within Fire Limits? yes Dist. No. Telephone
Owner's name and address Estate of Fred N Dow, 97 Exchange St. Telephone
Lessee's name and address Boston Shoe Store, 548 Congress St. Telephone
Contractor's name and address not listed Maine State Builders, Inc. Telephone
Architect Specifications Plans yes No. of sheets 3
Proposed use of building Retail Store No. families
Last use " " No. families
Material brick No stones 4 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 20,000 Fee \$ 20.00

General Description of New Work

To make alterations to store and store front as per plans and specifications.

This permit to include removal of sky lig. (about 5'6" x 8') existing over mezzanine and to frame in the opening as per sketch filed with application.

Permit issued with letter (2)

Approved by Municipal Officers 2/15/60

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO be picked up contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED: 3/7/60 with letter

Miscellaneous

Will work require disturbing of any tree or a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Boston Shoe Store
Estate Fred N Dow

INSPECTION COPY

Signature of owner by

Fm

NOTES

Amendment to the store -
 - Amendment for island
 - Amended for stairs to
 2nd floor + flooring over well
 1st floor
 - Permit for air conditioning
 - Amendment plan of fire
 escape
 - Grand doors - One fiddle +
 1/2 for other - Bill
 - Lights and door - Light - 3/15/60
 3/11/60 - Left to T. to close in
 ceiling - Allan
 3/17/60 Work progressing -
 Allan
 3/29/60 - Work on floor 2nd
 floor over - Door closed needed on
 in first door to roof -
 - Exit lights needed -
 Allan
 4/5/60 - Same Allan
 4/6/60 - Left work for Mrs
 Shorbas to fill amendment
 on flooring over well on floor
 Allan
 4/12/60 - Same as 3/29/60
 Allan
 5/9/60 - Mr. Shorbas
 came in and will
 fix things up before
 5/16, including
 furnace, new size
 snakes + hot + large
 of pin of coils +
 filling of audit
 Allan
 7/13/60 - Exit lights
 to show the way to exit
 door on 2nd floor
 needed - Hole wanted
 one foot square on 2nd
 floor (1st floor ceiling)
 needed to be filled in
 Allan

Permit No. 60/197
 Location 538 Lincoln St.
 Owner George W. Shorbas
 Date of permit 3/7/60
 Notif. closing-in
 Insign. closing-in
 Final Notif.
 Final Insign.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

5-7/26/60 - Left work for
 Mrs. Shorbas about (7/13/60)
 Allan
 7/9/60 - Hole about one foot square
 on 2nd floor (1st floor ceiling)
 needed to be filled in -
 wallboard to be used
 Allan
 of the store Allan



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, May 24, 1960

PERMIT ISSUED

AUG 12 1960

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 60/177, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 538 Congress St. Within Fire Limits? yes Dist. No. 97
Owner's name and address Boston Shoe Store (Estate of Fred N Dow) 97 Exchange St. Telephone
Lessee's name and address Boston Shoe Store, 538 Congress St. Telephone
Contractor's name and address Maine State Builders Inc., 181 Craigie St. Telephone
Architect Plans filed yes No. of sheets
Proposed use of building Ret. 1st Store No. families
Last use No. families
Increased cost of work 110.00 Additional fee 1.00

Description of Proposed Work

To floor over the first floor stairwell or air to basement as shown on plan, but to strengthen the floor trimmer beams in first floor framing by using a #97 Tel-O-Post with 1" pin under each trimmer where it picks up the header beam. The load of these columns is spread on the existing concrete floor by using 18x18" x 1" steel plate for bearing.

*26/31
each side lower section 4' high 2 3/4" φ
upper section 3' to beam, 2 1/2" OD
Pin 1 1/2"*

Permit issued with Letter

Related

Details of New Work permit to contractor

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof

Approved: 8/11/60 with letter

Boston Shoe Store
Maine State Builders Inc.

Signature of Owner

Approved: Albert J. Sears

Inspector of Buildings

INSPECTION COPY

CS-105



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, March 11, 1960

PERMIT ISSUED

MAR 16 1960

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 60/177

I, the undersigned hereby applies for amendment to Permit No. 60/177 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 538 Congress St. Within Fire Limits? yes Dist. No.
Owner's name and address Estate of Fred M. Dow, 97 Exchange St. Telephone
Lessee's name and address Boston Shoe Store, 538 Congress St. Telephone
Contractor's name and address Maine State Builders Inc. 181 Craigie St. Telephone
Architect Plans filed yes No. of sheets 2
Proposed use of building Retail Store No. families
Last use No. families
Increased cost of work Additional fee 50

Description of Proposed Work

Details of marble front and window box and display case as given on sheets "D"
1 and 2

Permit Issued with Letter

Details of New Work permit to contractor

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and floor roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof

Approved: 3/16/60 with letter Maine State Builders Inc.

Signature of Owner by: J. Skovlien

Approved: Albert J. Lewis Inspector of Buildings

INSPECTION COPY
CS. 105

BP- 538 Congress Street
Alterations for Boston Shoe Store in the building of Estate of Fred H. Dow

August 12, 1960

Mr. Martin H. Glenott, Agr.
Boston Shoe Store
538 Congress Street
Estate of Fred H. Dow
97 Exchange Street

cc to: Maine State Builders, Inc.
181 Craigie Street

Gentlemen:

Our Field Inspector finally reports that the necessary exit signs and lights have been provided to show the way to the rear exit from the first story store, and that the adjustable columns which Mr. Skoelicas has installed in the basement to strengthen the floor around the former stairwell, have been installed and satisfy Code requirements. Accordingly we are issuing the belated amendment to the original permit concerning these columns to Mr. Skoelicas and we are closing the job out from our records.

However, our inspector noted a few conditions which offer considerable fire hazard, and these are brought to your attention below with the thought that you may not be aware of these conditions and will proceed to correct them for the best interests of both of you.

There is a small opening at the west side of second floor not far from the rear of the building which would be likely to spread quickly any fire which might occur and take the heat away from the nearer sprinkler heads.

The space between the basement and that space beneath the former stairway from first floor to basement (the stairwell at first floor level has been floored over, has been partly enclosed, and it would be very natural to use it to some extent for storage. While the rest of the basement is covered by the sprinkler system, there is no sprinkler head in this enclosure. At time of inspection there was also an opening from this space beneath the former stairs to the space between the basement ceiling and first floor. This opening should be closed tightly and the sprinkler system extended to provide one head in the space beneath the former stairwell. If a fire should start in this space beneath the former stairwell it is likely that it would spread quickly to the space between the ceiling of the basement and the first floor without setting off the sprinkler heads in the open basement, and, thus, a disastrous fire occur even though the building is sprinklered. It may be that you are already suffering a small penalty in fire insurance rates because of this unprotected area. If you provide the head it would be well to check to make sure that any such penalty is removed.

At the rear of the basement there are quite a number of large openings in the wall board covering the foundation wall and some of the other walls leaving an opportunity for fire taking place in that vicinity to spread quickly up into the walls of the building before the sprinkler heads operate and because a wholly unnecessary fire loss, nullifying the cost of installation of a fine sprinkler system.

Very truly yours,

FU - 5/12/60 WHCD.

BP-538 Congress St., Alterations for Boston Shoe Store in
the building of Fred N. Dow Estate by Maine State Builders.

, 1960

Mr. Steven Skoolicas
181 Craigie Street

Dear Steve:

Having left a request at your home to call me without result and having tried several times to reach you by phone about the Boston Shoe Store job, I am pretty well puzzled as to the reason why you have not carried through the job to completion.

We all know from the architect's letter that the trimmer beams around the stairwell in first floor (now floored over) are very substantially overloaded. The arrangement was that you were to file application for amendment to floor over the stairwell (this has already been done without permit) and, with the application for amendment you were to tell us what you proposed to do to strengthen the trimmers, and if posts were to be used (four of them) what would serve for their foundation. On my part I agreed if you would come in here with your own ideas we would try to check it up and save going back again to the architect.

Field Inspector Smile also reports the following items which have not been completed.

Exit lights to show the way to the exterior exit door on second floor have not been provided.

A hole in second floor (about 12 inches square) is not filled in and appears to offer opportunity for the travel of fire above the ceiling in first story.

Now, Steve, it has been several weeks since you have finished (except for the above details) this, which it must have been for you a trying job. It was not without some aggravation on our part. It is our sworn duty to get these matters all cleared up in compliance with Building Code. I am taking this personal approach because I want to believe that this delay is caused only because you have been much occupied elsewhere. However, if these matters are not cleared up and the application for amendment filed with suitable information before May 12, 1960, it will be our duty, whatever procedure the law calls for, and, of course all concerned will have to know about it.

Very truly yours,

WHCD/jg

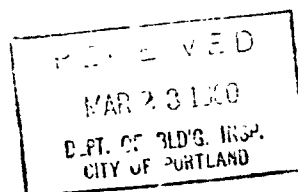
Warren McDonald, Acting Deputy Insp. of Bldgs.

S. S. EISENBERG
ARCHITECTS AND ENGINEERS
739 BOYLSTON STREET
BOSTON 16
TEL. CO 7-5840-1

S. S. EISENBERG-A. I. A.
L. M. McKINNA-R. A.

March 22, 1960

Department of Building Inspection
City of Portland
Maine



RE: BP Alterations at
538 Congress Street

Gentlemen:

Reference is made to your letter of March 16, 1960 regarding strengthening of the trimmer beams on the first floor where a stairwell has been framed-in and floored over. Our calculations indicate that the trimmer beams are overloaded by some 10.5 kips and that there was an existing overloaded condition that was unknown to us. In order to correct this condition we have proposed the introduction of columns at the four points where the double-header beams intersect the trimmer beams. The columns should be $3\frac{1}{2}$ " light weight jack columns with a standard 8 x 8 base. Column shall be placed on an 18 x 18 x $\frac{5}{8}$ " base plate set directly on the existing slab.

We have suggested jack columns for their flexibility of adjustment; however, a standard light weight column may be substituted if desired.

Very truly yours,

Herbert W. Eisenberg
Herbert W. Eisenberg

HWE:ss
cc Maine State Builders, Inc.
181 Craigie Street

*Wm Moody of Rufus Deering
said on 3/25/60 that these
jack posts are Telecast #79
5'-7'-9" unsupported height -
He said guaranteed strength is
12,500 - max 25,000
WMSD 7/1/60*

MP 538 Congress St.
Alterations to fit 1st story and basement for use of Boston Shoe Store in bldg. owned by the
Estate of Fred A. Dow

March 16, 1960

Maine State Builders, Inc.
181 Craigie Street
Att: Mr. Skoolicas

cc to: Mr. S. S. Eisenberg
739 Boylston St., Boston, Mass.
cc to: Boston Shoe Store
548 Congress Street
cc to: Estate of Fred A. Dow, 97 Exchange St.

Gentlemen:

Amendment #1 to the building permit for the above job - - the amendment to cover details of the store front and exterior display case - - is issued to the contractor, herewith, based on architects plans D-1 and D-2, both dated March 8, 1960, but subject to the following.

A brick pier no less than 12 inches by 12 inches at the left of the front is to be constructed to support the marble ornamentation, the pier to be securely anchored to the fireproofed steel beam overhead.

Anchor for the marble (not shown on the plan) are required not more than 24" from center to center, wherever possible to apply, along the vertical edges of the slabs (each slab about 42" high) at the brick pier at the left and the fireproofed column on the right, and along the vertical edges of the end slabs of the sign base; also along the horizontal upper slabs forming the sign base. Code standards require that each of these anchors be dowelled into the veneer at least 1 inch.

On the vertical surfaces of the show window bulkheads metal lath and plaster is to be applied, the plaster scored and later the bluestone veneer is to be laid up with setting mortar between its back and the scored plaster, the bluestone to be supported upon the masonry of the floor. The underside and exposed edges of the bulkhead overhang are to be covered with steel.

All woodwork of the open air display case, which would otherwise be exposed to the open air, including the underside of the floor and the upperside of the ceiling, is to be covered with metal or equivalent incombustible material. The two upright supports of the display case are to be supported on top of the concrete under slab instead of being carried down to the wooden floor beneath the slab, to avoid early deterioration of the wood.

Adjustment of the fire escapes on the roof at the rear is included in this amendment, but the proposed arrangement is to be approved before that part of the work is commenced.

Two features are still excluded from the permit: (1) The finishing-off of the front at the sides of and over the doorway leading to the stairs to upper floors; (2) Flooring over the stairwell at about the center of the first floor - - awaiting decision of the architect as to the needs of strengthening the trimmer beams, and, if needed the details of the proposed strengthening.

W.M.M.
Enc. approved Amend.#1

Very truly yours, Warren McDonald, Acting Deputy Insptr. Bldgs.

BF Alterations at
538 Congress Street

March 16, 1960

Mr. J. S. Eisenberg
739 Boylston St.
Boston, Mass.

cc to: Maine State Builders, Inc.
181 Craigie Street

Dear Mr. Eisenberg:

Sheets D1 and D2 of the plans dated March 8th, contain no reference to the matter of the strength of the trimmer beams in first floor where the plans show some load to be added because the stairwell is to be framed-in and floored over.

Upon inquiry we learn that there has been some thought of introducing 4 columns of some kind in the basement to make good any deficiency in strength that may appear. We are unable to handle this detail in this informal manner because to a considerable degree, it would make this office a designing office which it is not permitted to be.

In order that we may get the job all cleared up as quickly as possible for the benefit of all concerned, will you be good enough to refer to Paragraph 1.3 of our letter of March 7th to determine whether or not the original loads on the trimmers plus the load which your plans show will be added by the floor in the stairwell would produce sufficient overload to require strengthening of the trimmers. If strengthening is required will you be good enough to work out the design of it and let us have the detailed plan, and, if columns are to be used to designate the foundations. If strengthening is not actually needed, or, if needed, any way can be worked out to avoid inflicting upon both owner and tenant the obstacles that these 4 posts may offer in the future, ^{they} ought to be avoided.

Very truly yours,

Warren McDonald
Acting Deputy Insptr. of Bldgs.

WacD:m

At 538 Congress St.
Alterations to fit the 1st story & basement for use of Boston Shoe Store in
the building owned by the Estate of Fred W. Dow

March 7, 1960

Maine State Builders, Inc.
181 Craigie St., Att: Mr. Skoolicas
Mr. S. Eisenberg
739 Boylston St., Boston, Mass.

cc to: Boston Shoe Store
548 Congress Street
cc to: Estate of Fred W. Dow (letter no. 2)
97 Exchange Street

Gentlemen:

This is really a continuation of the letter of March 4th, which was interrupted by the storm. The limited general construction permit is issued to the contractor, herewith, subject to those limitations and conditions indicated in the first letter and those which follow. The paragraph numbering is a continuation of that in the first letter.

1.3 Flooring over the well of basement stairs at first floor level is excluded to make sure that the existing framing around the well is adequate to care for existing and new loads. Mr. Skoolicas has removed some of the material to see the true conditions. It appears that the header beam (parallel to the side wall of the building) is a doubled 3x12 on each side of the stairwell on a span of about 16'. This appears adequate to support the loads from existing framing and also the new loads from the fill-in of the stairwell. But, these header beams seem to be supported by timber hangers upon a single 3x12 at either end, the latter on a span of at least 15' with the concentrated load of the header beam about 3' from the inner bearing of the 3x12 trimmer. Using the normal live load of 75 pounds per square foot, it appears that these single 3x12's may be substantially deficient. It is suggested that the architect go into this matter and either indicate that the beams are adequate or design strengthening features.

1.4 All permanent work on the front of the building over and around the stairway leading to upper floors is excluded from this permit. The Foster-Every front extended over this stairway, but we are told that the shoe store front will not, and that the work at the stairway is to be done by the owner under a separate permit or amendment of the permit now issued.

2. It is expected that the architect will furnish revised plans to care for the above excluded features, except that in paragraph 1.4, before required inspection notice for closing in the ceiling is given to us, the plans to be filed with application for amendment to permit now issued.

3. With reference to rear means of egress from both 1st and 2nd floors on revised Sheet 3, the new frame of the new exterior exit door is required to be of structural metal. If the door in this opening is to be a new one, it is required to be either a standard fire resistant door as set forth in Sec. 303c4 of the code or a Class F fire door labelled as such by UL. See Sec. 402a5. If it is desired to move the existing exterior exit door to the new location, that will suffice, but the new frame is to be of structural metal and the former doorway should be filled with no less than 8" thickness of masonry. In either case,

Maine State Builders, Inc.
Mr. S. Eisenberg

Page 2

March 7, 1960

the door requires either anti-panic hardware (crash bar clear across the door), or, a vestibule latchset which is such that any person can quickly open the door from the inside at any time, merely by turning the customary knob or pressing on a plate or lever, without requiring any special knowledge, or a key.

4. The door at the top of stairs from 1st floor and the 2 doors from 2nd floor occupancy to the small exit hallway, require at least vestibule latchsets. The occupancy of 2nd floor is not determined as to whether there will be one tenant or two. Presumably if there are to be two tenants, the tenancies will be separated by a partition from between the two exit doors to the hallway substantially at right angles with Congress Street. The two doors from 2nd floor occupancy to the exit hallway are shown to swing into the 2nd floor occupancy. If there are two tenancies and neither of them would exceed a theoretical capacity of more than 50 persons, the inward swing is allowable. However, if a single tenancy on 2nd floor, or either or both of two tenancies would exceed a theoretical capacity of 50 persons, the applicable door or doors should be to swing out.

5. Exit signs (letters in word exit at least 6" high, showing red on an appropriate background, and well illuminated during the dark hours) or standard exit lights are necessary to show the way unerringly to the exterior exit door at 1st floor level to the occupants of both stories and the mezzanine. White lights are required in the stairway, the rear work area in 1st story, the mezzanine, the 2nd story exit hallway and outside of the exterior exit door, the latter should be of sufficient capacity to well illuminate the unusual pathway to take to reach a place of safety. All of these lights should be appropriately assigned to switches so that the means of egress will be well illuminated during the dark hours when the 1st and 2nd floors are occupied, or in places at all times when day light is not sufficient to show the way.

6. We are told that the basement will be used for storage, and that not more than 2 persons will be there habitually. The permit is issued on that basis.

7. Non-slip treads are required on the stairs from 1st to 2nd floor and on the few steps leading to the exterior exit door.

8. Separate permit for the sprinkler system has already been issued. A separate permit, to be applied for by and issuable only to the installer is required for alteration of new ventilation system and air-conditioning. The adjustment of the various fire escapes outside of the roof is not shown in detail on Sheet 3. When that is decided upon, a supplementary sketch should be filed with application for amendment to the permit now issued.

Very truly yours,

WHD:ia

Warren McDonald

Acting Deputy Insptr. of Bldgs.

P.S.: The suppliers of new aluminum entrance doors understand that the "standing" door is to have its bolts arranged to be retracted by a paddle, and that the "swing" door is to be equipped with a vestibule latchset engaging the "standing" door.

AP 538 Congress St.
Alterations to fit the 1st story & basement for use of Boston Shoe Store in the
building owned by the estate of Fred H. Low

March 4, 1960

Maine State Builders, Inc.
181 Craigie St., Attn: Mr. Skolikas
Mr. S. Steinberg
739 Beylston St., Boston, Mass.

CC Boston Shoe Store,
548 Congress St.,
Portland, Maine

Estate of Fred H. Low,
97 Exchange St.

Gentlemen:

Building permit for general construction work on the above job is issued to the contractor, based on the architect's plans - Sheet 1 revised 2/23/60, Sheet 2, revised 2/23/60, and Sheet 3, revised 3/2/60, subject to the following exclusions and conditions. If these conditions are not understood, or if you cannot comply with them, it is important that you contact the undersigned without delay with more information.

1. Because we do not have sufficient information to show compliance with Building Code requirements, the following features are excluded from the permit, and when the information concerning them is ready for filing, application for amendment should be made to the permit now issued.

1.1. Erection of all blue stone, marble and granite on vertical surfaces is excluded. While the backing for the stone veneer, consisting of 1 inch of cement mortar on metal lath, is acceptable for the vertical areas beneath the show window overhang, it is necessary to show the material, gauge and spacing of the anchors to the backing and how the anchors will engage both the veneer and the backing.

The support of the stone veneer on all of the vertical surfaces which extend from the sidewalk or entrance paving level to about the level of the awning box is in question; also supports of any marble that may be over "glass display" as shown on elevation of store front, Sheet 2. The Building Code standard for such veneer (Page 203-204 of the Code) requires that the veneer have a backing equivalent to masonry, which is sufficient of itself in thickness and anchorage to undoubtedly support the veneer laterally. The wood frame box at the left front will not be satisfactory, and the concealed spaces within this woodwork at such a height is not allowable anyway in the Fire District. A masonry pier there would suffice. On the right of the store front at the street line is a fireproofed steel column. It is necessary to show what kind of backing is intended for the marble at that point both as to material of the backing, fastening to the column and arrangement, gauge and location of anchors both as regards engaging the veneer and the backing.

The stone veneer on the paragraph next above is excluded and the stone veneer in front of the fireproofed beam over the entrance at about the street line is also excluded. At this point we need a plan showing the character of the backing (far more specific than the one-half inch setting bed shown on Sheet 3), also the method of anchoring the backing to the steel beam, and the material, gauge and arrangement of anchors to secure the veneer.

Maine State Builders, Inc.----- 2
Mr. S. Eisenberg

March 4, 1960

to the backing including the method of engaging both the veneer and backing. In this case and in the case of the fireproofed column on the right of the store front, considerable care must be taken to prevent permanent damage to the fireproofing covering of the steel, this fireproofing being intended for just that purpose rather than supporting anything. A better detail of the method of supporting the downward load of this masonry veneer above the awning box is also necessary. To cover that as well as the matter called to attention later as regards support of the beams around the floored-over stairwell, require the signed statement of design of the architect called for by Section 104b of the Code (a blank copy of this statement is enclosed to Mr. Eisenberg so that he may fill it in, sign and attach to the plan).

The plan is evidently to attach new steel angles to certain steel evidently attached to the main steel beam and extending down through the fireproofing. To the bottom of these new angles would be welded a quarter inch plate of uncertain width, this plate to project far enough toward Congress Street to support the masonry veneer and the backing. Obviously the spacing of these existing steel pieces must be known, the width of the plate and the amount of overhang intended to support the veneer. Obviously the designer must know these facts in order to make his design adequate.

1.2 The "island" display case in the center of the "plaza" is also excluded because we have no details of the supports, frame and general construction. It is understood that considerable plywood was planned in this case, but it is doubtful if that will be allowable, the location being in the midst of our high value fire district.

Because of the storm, we find it impracticable to finish this letter today. However, realizing the need of all concerned to expedite the work, the above portion of the letter is being sent along on the basis that the letter will be finished on Monday, and the permit issued with it.

Very truly yours,

Warren McDonald
Acting Deputy Inspector of Buildings

WMCD/H

20 Copy

At 538 Congress St.
Alteration of store for Boston Shoe Store in the building owned by the Estate of Fred A. Dow
Feb. 26, 1960

Estate of Fred A. Dow
97 Exchange Street
Boston Shoe Store
348 Congress Street
Mr. S. C. Eisenberg
739 Baylston St., Boston, Mass.

cc to: Maine State Builders, Inc.
151 Craigie Street
cc to: Fire Chief

Gentlemen:

Because of the Fire Chief's responsibility under state law for safe means of egress, Mr. Eisenberg talked over with Chief Johnson some time ago the rear, emergency means of egress from first and second floors which have always been unusual as well as substandard. Some change was necessary anyway because the shoe store is not to occupy the second story.

Realizing the need of the shoe store to get the general construction permit issued and the entire work completed as quickly as possible, the building permit was referred to Chief Johnson for his approval as to means of egress, while we are going ahead checking against Building Code requirements the revised plans received here on Feb. 23. To add to the complications, it appears that it is not established whether there will be one or two tenants in the second story. The revised plans indicate only one second story tenant and that the occupants there would use the present exit door in the second story to the roof in the rear, while the occupants of the shoe store would have a new exit door provided at second floor level to be reached by stairs from the first story and to be segregated from the second floor tenant by a new partition.

When Chief Johnson examined the present rear means of egress, he found it so cluttered with obstacles that he feels that he cannot continue to approve it. To reach a place of safety via this means of egress, he found that one must pass through the existing door with anti-panic hardware on it, step down about a foot to the roof level, pass along the roof toward Free Street through an opening less than 3 feet wide between the roof structures, turn to the right around the roof structure over the inside stairs, then up some fire escape stairs 5 or 6 feet over a parapet wall and then down again to the same roof level, thence by other fire escape stairs up to an existing fire escape landing at about the third floor level, thence by this balcony to get over the parapet wall between the Dow building and the building in which Woolworth's is located, down by fire escape stairs to Woolworth roof, across this roof about 100 feet to another fire escape which leads up and over the Woolworth parapet wall to the balcony of a fire escape which leads down to a passageway grade and thence to Free Street.

He expresses himself as realizing that it is clear that some of these obstacles cannot be eliminated because of the permanent construction of years ago giving no access to the street from the rear of this building. He feels, however that the worst of the obstacles on the roof at the rear of the Congress Street building can be reasonably eliminated and without great cost.

Estate of Fred H. Low
Shoe Store
Mr. J. J. Rosenberg

Page 2

Feb. 26, 1960

While Chief Johnson is not attempting to design the means of egress, he desires to cooperate to reach a solution which he can approve at the earliest possible date. He will be able to approve a system which uses only the new doorway from second floor to the rear roof and to adjust the fire escape which now makes it necessary to climb to the third floor level so that persons using the means of egress would only have to climb a stairway to the top of the parapet wall between the Low and Woolworth building and then down a short distance to the Woolworth roof. He feels also that a brilliant light must be provided over and outside the exit door, thus to illuminate in dark hours at all times when either floor is occupied, the tortuous journey to the fire escape leading to free street.

We shall be unable to issue the general construction permit until plans have been filed showing clearly the above improvement of means of egress, so that we can secure the Chief's approval of the permit.

Under the circumstances and to expedite issuance of the permit as much as possible, we have gone over the situation with Mr. Skoolicas, and it is recommended that Mr. Rosenberg be requested to quickly work out alternative plans on the rear part of second floor, one to show the proposed situation if there should be only one tenant on the second floor, the other to show the situation if there should be two tenants.

It becomes evident that all occupants of either level would have to have free access to one exit door from second floor level to the roof, but that each separate tenant would have to have security against unauthorized persons entering his quarters from the rear.

To do this is perhaps possible without substantially enlarging the second floor hallway as shown to be partitioned off on sheet 3 of the plans. If only one tenant on second floor it is obvious that there would have to be two doors leading into the hallway -- one for the second floor tenant and one from the shoe store. If there were to be two tenants on second floor, it seems obvious that 3 entrance doors to this passageway would be necessary, -- one from each second floor tenancy and one from the shoe store. Each of these doors would require what is termed a vestibule latchset which is so arranged that any person in any tenancy at any time could quickly open the door from the inside merely by turning the usual knob and without requiring a key or any special knowledge; and the latchset is so devised that each door will be locked so that persons from the outside cannot enter either tenancy.

In talking over the situation with Mr. Skoolicas, we found that the arrangement shown on sheet 3 cannot be followed exactly anyway because the window opening intended to be changed to an exit doorway cannot be lowered anywhere near the second floor level because of the higher level of the roof outside. This will necessitate 3 or 4 steps with a landing at the level of the threshold of the doorway. While some enlargement of the new second floor passageway will no doubt be necessary, it appears that this enlargement may be kept to a minimum. At least 1 white light would be necessary anyway in this second floor passageway to have the same controls as the outside light over the roof. It will be necessary of course to have lights to illuminate the stairways from the shoe store to second floor, to be kept burning whenever the shoe store is occupied, and the usual standard exit sign well illuminated over the opening in the rear partition of customers space which leads directly to the stairway. An illuminated exit sign or standard exit light appears necessary inside of the exit door at second floor level indicating clearly the direction to take to get out so that persons in more or less panic will know unerringly how to get out of the building and not attempt to enter a second story occupancy.

Estate of Fred H. Dow
Boston Show Store
Mr. S. S. Eisenberg

Page 3

Feb. 26, 1960

It is realized that the cost of this work will be divided between the owner of the building and the first floor tenant in some agreed upon manner. This letter is addressed jointly to both and to the architect with the idea of getting action more quickly.

Very truly yours,

Albert J. Sears
Inspector of Buildings

WBC:DM

City of Portland, Maine

IN BOARD OF MUNICIPAL OFFICERS

ORDERED:

That a building permit for alterations to the store front at 538 Congress Street involving the projection over the Congress Street sidewalk at a minimum height of 10 feet above the surface thereof of a canopy about 24 feet long projecting about 3 feet 6 inches from the front wall of the building be and hereby is approved as per Section 103c of the Building Code, but subject to full compliance with all requirements of the Building Code and all other laws relating to the same subject matter.

2/15/60

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Julian H. Orr, City Manager

DATE February 11, 1960

FROM: Albert J. Sears, Inspector of Buildings

SUBJECT: Approval by Municipal Officers of building permit involving construction of canopy over public sidewalk at former Foster-Avery store on Congress Street.

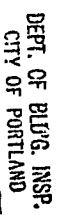
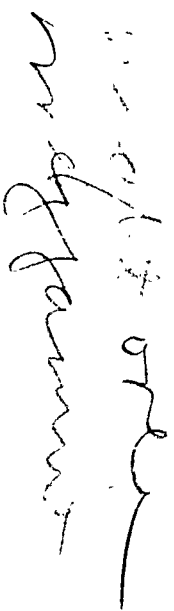
Attached herewith is an order for consideration of the Municipal Officers of this $3\frac{1}{2}$ foot projection over the public sidewalk of Congress Street, such a projection being allowable under the Building Code only if approved by them.

The Boston Shoe Store is taking over the former Foster-Avery quarters and in connection with an extensive alteration of the store front a canopy is proposed. The projection is rather minor as compared with some of the canopies along the street and I see no objection to it if the Municipal Officers desire to approve it.

Very truly yours,

AJS/jg

Inspector of Buildings



690
 PERMIT TO INSTALL PI
 Address: 536 A Congress St.
 Installation For: Jackson-White Stn.
 Owner of Bldg.: _____
 Owner's Address: _____
 Plumber: Paul J. Brown Date: Aug 20, 1954
 APPROVED FIRST INSPECTION
 Date: 8/27/54
 By: WLB
 APPROVED FINAL INSPECTION
 Date: 8/27/54
 By: WLB
 TYPE OF BUILDING
☒ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING
 5M 12-53 ☐ PORTLAND HEALTH DEPT. PLUMBING INSPECTION

NEW	REP'L	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS	12	2.00
	1	LAVATORIES	1	1.00
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
	1	HOT WATER TANKS <u>Water Heater</u>	1	1.00
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn. to house drain)		
			4	4.00
			Total	



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second ClassPortland, Maine, February 9, 1951

PERMIT ISSUED

00228
FEB 10 1951

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 536 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address _____ Telephone _____
Lessee's name and address Clear Weave Hosiery Stores, Inc., 536 Cong. St. Telephone _____
Contractor's name and address John Lawrence, Eliot, Maine Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 3
Proposed use of building Store No. families _____
Last use _____ No. families _____
Material masonry No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1200. Fee \$ 5.00

General Description of New Work

To change out existing wooden front entrance door to aluminum ~~frame~~ door - 4/14/51
Double-acting door - push bar hardware.
To replace existing blue mirror trim with corrugated aluminum trim as per plan
No structural change.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the name of the heating contractor. PERMIT TO BE ISSUED TO _____ to be picked up

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters. 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Clear Weave Hosiery Stores, Inc.

Signature of owner By:

John Lawrence

INSPECTION COPY

116151- Method of fastening
new metal covering of 15, 2 1/2

Permit No.	51/338
Location	336 Congress St
Owner	Blair State University
Date of permit	2/10/51
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	4/16/51
Cert. of Occupancy issued	

902 40th Ave. N.E.

At 536 Congress Street-1

February 10, 1951

Mr. John Lawrence
Eliot, Maine
Clear Weave Rository Stores, Inc.
536 Congress Street

Copies to: First National Bank, Inc.
12 Pomranth Square
Mr. John Lawrence at Eliot, Maine

Gentlemen:

Building permit for alterations to the store front at 536 Congress Street is issued to Mr. Lawrence (sent to his care of Clear Weave) subject to the following, but if you are unable or unwilling to abide by these conditions, it is important that you refrain from starting any work other than the tearing out and consult this office for adjustment.

1. The regulations with regard to thin veneers has changed somewhat since the present blue mirrors were installed, and this location is in Fire District No. 1 where there are particular regulations about the use of wood and other combustible material even though not exposed to the outside. Enclosed to each of you is a copy of the standards adopted by our Board for such veneers and the corrugated aluminum evidently falls in Classification 11--Metal Type. We will try to be liberal as regards allowances for the fact that the backing is existing and that you may not intend to disturb it, but if there is any doubt about increasing or altering substantially the woodwork such as strapping etc. beneath the veneer, it would be well to give us a cross section plan showing the present arrangement and what changes proposed to accommodate the aluminum. Before the aluminum is applied the contractor is required to notify this office for inspection, and that would not be a good time to find out that something in the backing did not comply with the requirements.

2. Presumably the new aluminum door is to be at least as wide as the present door. It is important that the lockset or bolts or whatever is used for locking the door shall be provided of such a type that the door could never be locked against any person from the inside opening it quickly merely by turning the usual knob or pressing on the usual thumb piece.

The application refers to "push bar hardware" which is not understood, but probably means merely a rigid bar across the door to keep persons from striking the glass.

We have had considerable difficulty with aluminum doors because some types have very narrow stiles--so narrow that they will not allow the use of a knob or thumb latch because such devices must be so close to the edge of the door that they would interfere with the jamb when the door swings. Please pay particular attention to this so that all may be in order when the door arrives.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMD/G

Enclosure to each addressee: Standards for Thin Veneers

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT



Class of Building or Type of Structure Second Class

Portland, Maine, Sept. 4, 1947

02270
SEP 8 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and repair~~ ~~and alter~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 538 Congress Street Within Fire Limits? ☒ yes Dist. No. _____
Owner's name and address ~~Rev~~ Fred N. Dow Estate, Agt., 12 Monument Square Telephone _____
Lessee's name and address Foster-Avery, 538 Congress Street Telephone _____
Contractor's name and address Megquier & Jones Co., 33 Pearl Street Telephone 3-6471
Architect _____ Specifications Plans ☒ yes No of sheets 1
Proposed use of building Stores No families _____
Last use " No families _____
Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 100.00 Fee \$ 1.00

General Description of New Work

To construct metal fire escape as per plan, this fire escape is to form an emergency means of egress from the rear window of Foster-Avery second floor which lands in a sort of parapet enclosure. Fire escape is to provide access over parapet onto new Woolworth roof.

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girders _____ Size _____ Max. on centers _____
Girders _____ Size _____ Colum. _____ Girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____
On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____
Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? ☒ no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ☒ yes

Fred N. Dow Estate
Foster-Avery
Megquier & Jones Co.

P. L. Farmer, Jr.

APPROVED:
PER OF FIRE

INSPECTION COPY

Signature of owner by:

Permit No. 47/2270

Location 538 Congress St.

Owner Foster Avery

Date of permit 9/9/47

Notif. closing-in

Inspn. closing-in

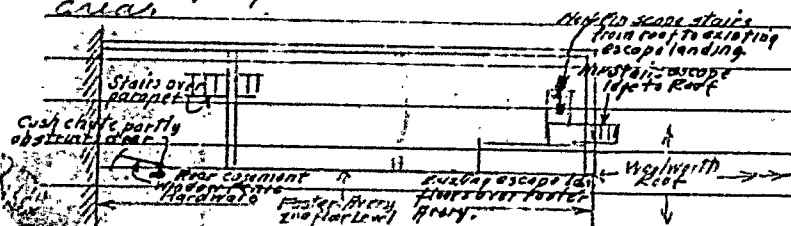
Final Notif.

Final Inspn. 9/17/47 R.L.

Cert. of Occupancy issued

NOTES

9/7/47. Work called for in
this application completed.
Although an improved
condition the layout is
hardly one that can be
called good. The saving
point of the arrangement
is that the quarter size
features are regarded.
Foster Avery and would say
for it question when they
are open, and their windows
providing light in this
area.



September 5, 1947

To: Oliver T. Sarborn, Chief
of the Fire Department

From: Warren McDonald
Insptr. of Bldgs.

Subject: Building permit for
short fire escape to provide
new emergency means of egress
from Foster-Avery store at
538 Congress Street

This building permit is sent to you for consideration and approval, if found satisfactory, especially because it represents compliance with your order of long ago to provide some kind of emergency means of egress from the Foster-Avery store.

I presume included within your order was the matter of suitable means of reaching the outside areaway from the Foster-Avery store, through window or door or otherwise, suitable marking of this means of egress by exit signs, directional or otherwise, and some kind of indication or guide on the Woolworth roof so that persons using the means of egress would know how to reach the fire escape from the Woolworth roof to the ground--the latter being on the opposite side of the Woolworth roof, according to my recollection.

Inspector of Buildings

WMCD/s



Original Permit No. 46/389
Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT 171648

Portland, Maine, April 5, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 46/389 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 538 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Foster-Avery Co., 538 Congress St.

Contractor's name and address Burnham McLellan, 491 1/2 Congress Street

Plans filed as part of this Amendment Yes No of Sheets 1

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Increased cost of work \$250

Memorandum from Department of Building Inspection, Portland, Maine

538 Congress St.-Amendment to EP 46/389 to cover change in Congress St Entrance for Foster-Avery Co., Lessee by Burnham-McLellan, Builders-4/17/46

To Builder and Lessee:

Understood that working door of entrance doors is to be equipped with vestibule lockset and that thin glass vaneer, whether new or replaced is to be set and supported as per standards set up by Municipal Officers, namely: Recommendations on Thin Vanners for Building Exterior of Building Officials Conference of America (may any be secured at this time); but with special attention to adequate support of glass work overhead which is required by this standard.

(Signed) Warren McDonald
Inspector of Buildings

ATH
ESS
ZIT
AJS
PH
VJ
LD
83

October 19, 1946

Oliver T. Sanborn, Chief
of the Fire Department

Subject: Means of egress from the rear of
the building at 830-832 Congress Street
occupied in first and second stories by
Foster-Avery & Company, Inc. in upper stories
by various tenants

Dear Chief Sanborn:

In my letter of March 21, 1946, relating to certain alterations in
the Foster-Avery store at the above location, copy of which you have, at-
tention was called to the exceedingly questionable means of egress from
the rear of the building, and it was suggested that the owner of the build-
ing and the tenant (Foster-Avery) try to work out satisfactory means of
egress and submit it to you for approval under State Law.

On the same date I wrote to you separately calling your attention
to the fact that, poor as the rear means of egress is, the new work that
was planned for the Woolworth Store in the rear (that work has now been
completed) promised to make any rear means of egress from the non building
useless.

Now that the walls of the Woolworth building have been completed, the
Foster-Avery people are quite disturbed and have asked me to look over the
situation, which I did. The rear exit door from second ^{floor} level of the Foster-
Avery store now opens onto the first story roof area, and is completely sur-
rounded by the brick walls of the Woolworth store, five or six feet high at
least. Thus not only persons in the Foster-Avery store but persons on the
floors above that store using the Foster-Avery emergency exit door or the fire
escape on the back of the building would find themselves in a fairly deep
pocket without any means of getting out.

The hazard of this situation seems obvious, but it is one under which
the Building Code is powerless to do anything.

Very truly yours,

Inspector of Buildings

WMOB/S

CC: James E. Barlow
City Manager

CITY OF PORTLAND.....DEPT. OF BUILDING INSPECTION

Check List of Compliance with Building Code and Zoning Ordinance Requirements

March 20, 1946

Job Location 526 Congress Street Owner Real Estate, Lessee Foster-Avery
Contractor Burnham-McLellan Architect Giller & Seal, Inc.

References at left are to sections of Building Code where applicable. If plan maker disagrees with statements below, he should seek a conference by phone or in person at this office. If he agrees, plans should be revised or supplementary specifications issued and fresh copies furnished to this office with a letter of transmittal showing that contractor and owner have copies of revisions.

1. Sec. 212a2.1. Door for entrance and exit to upper floors at foot of new stairs to be recessed enough to swing outwards without projecting over public sidewalk, to be equipped with vestibule locksets and new stairs to be set back far enough to afford a depth of landing between foot of steps and door as wide as the stairs are--plan view of this first floor arrangement furnished. This is an important change and the permit is being issued without a plan of it to hurry the job at the request of lessee and contractor. If there is any doubt about being able to accomplish it, contractor should refrain from starting the work until the matter is straightened out. Plan view of arrangement should be furnished before any work on the stairway change is started.
2. Sec. 212a2.5. Both new doors at second floor level to stair hall require vestibule locksets.
3. Sec. 205e4. Hold off on providing exit sign over existing rear stairs from second to first floor on account of difficult problem of emergency means of egress which exists, this problem to be taken up separately with owner and lessee, but the permit now issued to be issued without prejudice to required adjustments of emergency means of egress.
4. Sec. 212e5.2. New front stairs evidently more than 49 inches wide--therefore require handrails full length on each run on both sides. Previous note "Stairs to have rail rails" on plans means that, but rail rails or double rails should be shown on the plan view.
5. In General. (1) No framing shown for filling in third floor stair well to be discontinued but presume this is to be made at least as strong as balance of third floor. (2) No framing given for new stair landing--to be designed for at least 100 pounds per square foot and framing shown on revised plans. (3) Building is not number 526 as shown on the plan, so change to correct street number, probably 526-528.

Inspector of Buildings

WMD/S

CC: Burnham-McLellan
491 1/2 Congress Street

Foster-Avery Company
526 Congress Street

William V. Dow, Tr.
F. H. Dow, Tr.
12 Monument Square



COMMERCIAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, March 12, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~the following building-structure-equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 528 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address Neal Dow Estate Telephone _____
Lessee's name and address Foster Avery Co., 528 Congress Street Telephone _____
Contractor's name and address Burnham-McLellan, 491 1/2 Congress Street Telephone 2-8951
Architect Miller & Seal, Inc. Specifications none Plans yes No. of sheets 3
Proposed use of building Store No. families _____
Last use _____ No. families _____
Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 2000. Fee \$ 3.75

General Description of New Work

- ☒ To remove existing non-bearing partitions as shown on plan, second floor.
- ☒ To remove existing stairway from second to third floor.
- ☒ To remodel stairs from first to second and construct new stairs from second to third.

Permit Issued with Letter

Sent to Fire Dept. 3/12/46
Read from it is Dept. 3/14/46

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED: Oliver T. Tubor
CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Foster Avery Co.
Burnham-McLellan

Signature of owner

By Paul B. McLellan

INSPECTION COPY

~~Comp C-46-37~~

~~NOTES~~

~~9/11/46 - [unclear] attached~~

~~Notes [unclear]~~

~~10/18/46 - Examined~~

~~new outline [unclear]~~

~~10/19/46 Field~~

~~to Chief [unclear]~~

~~+ Permits crossed off on~~

~~basis of work on application~~

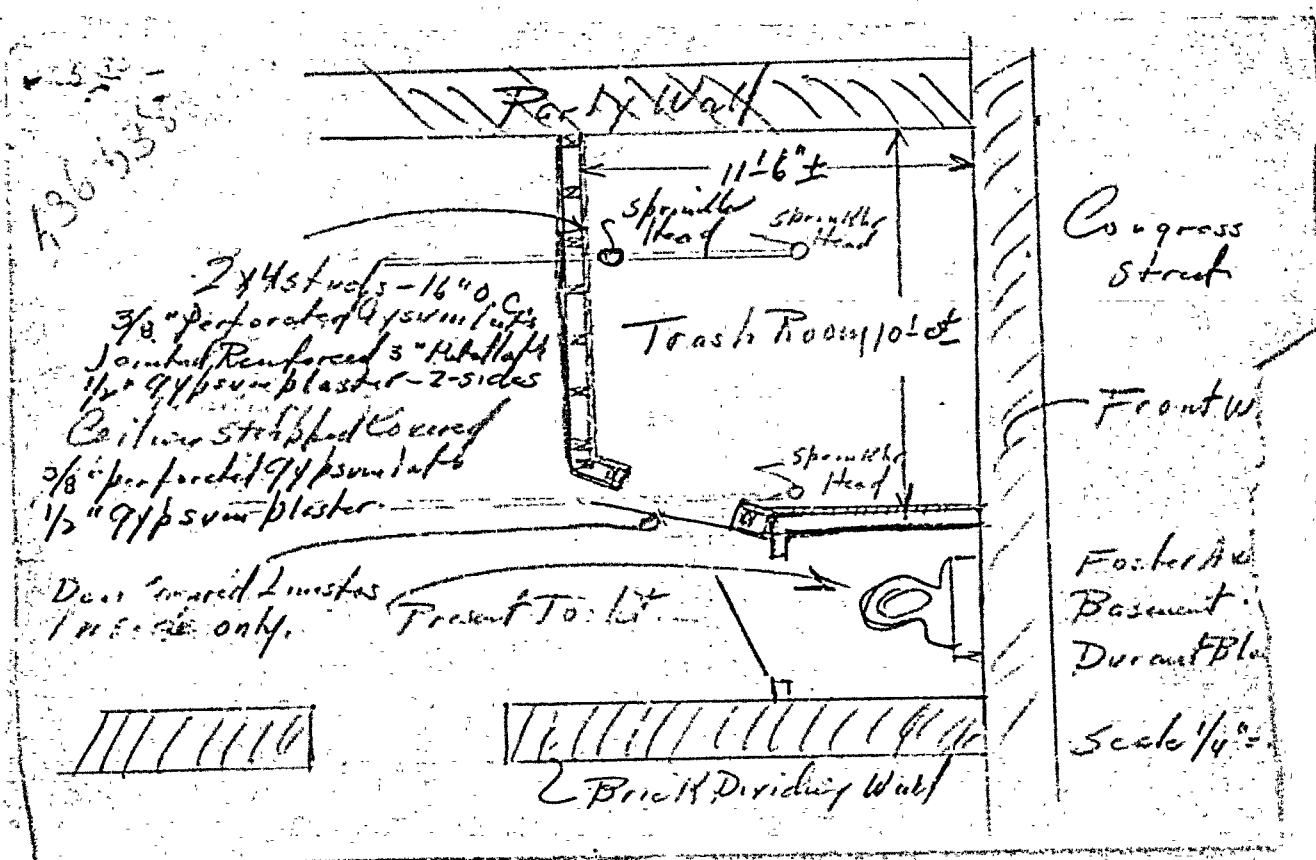
~~and amendment done~~

~~but has not signed up~~

~~Accepted by [unclear]~~

~~10/19/46~~

~~mol C-46-37~~



THE ESTATE OF FRED. N. DOW

12 Monument Square, Rooms 6 and 7

PORTLAND - MAINE

February 3, 1943

Mr Warren McDonald,
Building Inspector,
City Hall, room #21
Portland, Maine.

RE: 538 Congress Street,
-fire door on trash room-
Contractor: Burnham-McLellan,
Lessee : System Company,

Sir:

We hereby guarantee, as owner of the building at
536-538 Congress Street, to see that a regulation fire door, with suitable
fittings, will be installed on trash room, soon as such door is obtain-
able.

Very truly yours,
THE ESTATE OF FRED. N. DOW,

By William H. Dow
William H. Dow, Co-Trustee

RECEIVED

FEB 4 1943

DEPT. OF PUBLIC WORKS
CITY OF PORTLAND

Rept 279 D-1

January 21, 1943

Burnham-McLellan,
591 1/2 Congress Street,
Portland, Maine

Subject: "Trash" room proposed in cellar of
building occupied by Foster-Avery Co. and
owned by Estate of Fred N. Dow.

Gentlemen:

Section 118-HAZARDOUS ROOMS of Building Code seems to clearly classify this proposed room as a HAZARDOUS ROOM. Section 212-f-4 says that hazardous rooms shall be separated from the parts of the same building not equal in hazard to that of the hazardous room by partitions, ceilings, etc. having a rated fire resistance of at least one hour.

The construction proposed for partitions and ceilings does not satisfy that requirement--see Section 302-Schedules A and B. The most used construction to equal this requirement is, for partitions, 2x3 wood studs set vertically not more than 16 inches on centers and covered both sides with 3/8 inch perforated gypsum lath and 1/2 inch of gypsum plaster;-- for ceiling, 3/8 inch perforated gypsum lath and 1/2 inch gypsum plaster, with joints of lath reinforced with 3-inch strips of metal lath.

The door to the room would have to be a standard Class O. fire door (see 302-e) bearing the label of the Underwriters Laboratory, Inc. approving it for use in rooms and corridors, with appropriate metal covered frame which normally comes with the door, the door to be either self-closing or automatic. In event such a door is not now procurable on account of the war emergency, owner or lessee may file here a letter from the parties who would ordinarily furnish the door and frame to the effect that they may not be had on account of the emergency, and also a letter from owner of the building proposing a temporary substitute for the required door, and agreeing for owner, heirs, successors and assigns to provide the required door and frame as soon as procurable and at least before six months have passed after the war ceases.

Some adjustment of the sprinkler heads would be necessary for while the head near the middle of the proposed room would doubtless be all right, the head very close to one new partitions and inside the new room would not protect the area just outside of the partition as it does now.

Please advise what you will do or the lessee will do under these circumstances.

Very truly yours,

(Signed) Warren McDonald

OO Foster-Avery Co., 538 Congress St.

Estate of Fred N. Dow, 12 Monument Square.

Inspector of Buildings.



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, Jan. 19, 1947 PER A 127

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 538 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Estate of Fred N. Dow 12 Monument Sq. Telephone _____
Lessee Foster-Avery Co., 538 Congress St.
Contractor's name and address Burnham-McLellan, 591 Congress St. Telephone 2-5951
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Stores and Offices No. families _____
Other buildings on same lot _____
Estimated cost \$ 100,000 Fee \$ 50

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine

538 Congress St.—Trash Room in Cellar for Foster-Avery Co. by Burnham-McLellan,
Builder—2/4/45

To Owner, Lessee, and Builder:

Mr. Burnham says the door to trash room will be covered tight on the inside with "asbestos lumber", that the door will be made self-closing by a suitable device so that it will be normally closed and kept closed, and that sprinkler head which is now in such position as to be very close to new partition, inside the room will be changed to outside the room to properly protect the bulk of the area that it now protects.

CC Estate of Fred N. Dow, 12 Monument Square
Foster-Avery Co.

538 Congress St.

See agreement by owner (Signed) Warren McDonald
to provide asbestos lumber for door when Inspector of Buildings

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

By Estate Fred N. Dow
Foster-Avery Co.

By

Philip M. Burnham

2512 D
2512 D

Permit No. 431148
Location 538 Congress St.
Owner Foster Gray Co.
Date of permit 2/4/43
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 4/24/44. C. B.
Cert. of Occupancy issued

NOTES

4/22/44. No. 1011148
Alone. 1/2 in. 1/2 in. head
not as 1/2 in. 1/2 in.
4/24/44. No. 1011148
not attend to these
matters. Certificate
not labelled in an
original and according
to him Whipple of Foster
Gray, outside of which
head has been moved
from location where
letter was written
concerning change of
location. C. B.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES

AT 538 Congress Street IN PORTLAND, MAINE

The Estate of Fred W. Dow
and Julia Dow, being the owner of the
premises at 538 Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Foster-Avery Co.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

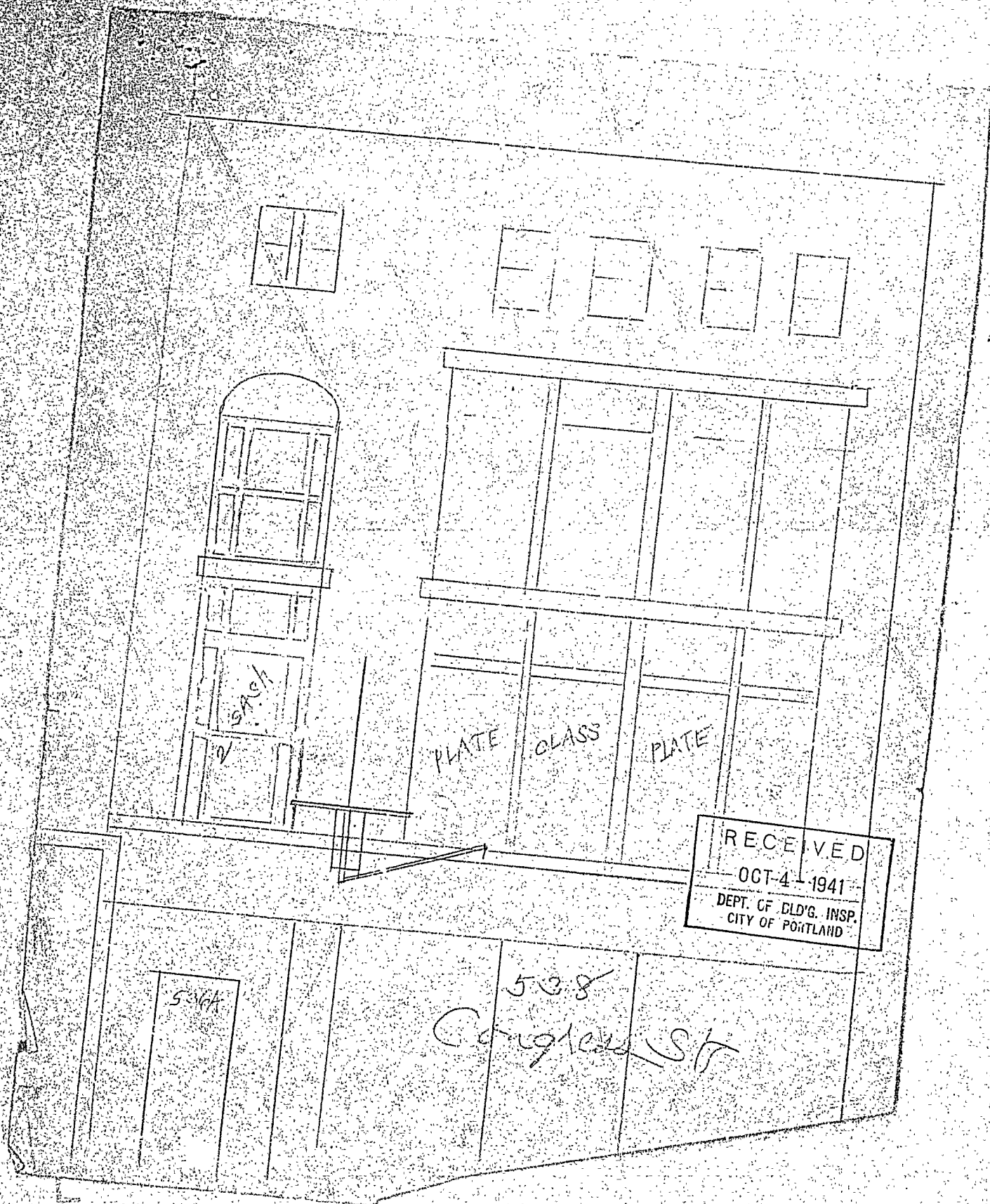
And in consideration of the issuance of said permit _____
Dow, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 1st day of October, 1941.

H. B. Thibault
Witness

The Estate of Fred W. Dow
and Julia Dow Owner
By William H. Dow
Esq. - Ymtee

OK
Dow



Rept. 443D-I

October 7, 1941

United Neon Display,
27 Monument Square,
Portland, Maine

Subject: Proposed projecting sign for
Foster-Avery Co. at 538 Congress St.

Gentlemen:

When the Building Code was adopted including very much more liberal conditions as regards projecting signs, my principal concern was that applications would come in much like the one you have now filed for the above sign.

This application represents a sign projecting nearly nine feet over the sidewalk in a situation where it is difficult to get adequate side guys and the design of the fastenings and bracings, I am afraid, represent merely a guess as to what is adequate.

It is difficult to make investigation or design figures in such a case that would be rational and fair, but in my judgment the arrangement as shown does not present a permanently safe and good condition to be created over the heads of the people on public sidewalks.

I have no doubt that the sign can be erected substantially and safe in approximately the location desired but some designer other than myself will have to take the responsibility for it. In other words it will be necessary for you to get a competent designer to work out the proposition and furnish a statement of design with the plan for me to check over the results of his work.

As in the past I am willing to check over and issue permits on the usual type of signs and their supports without an engineer's design plan, but you will be saving everyone's time when some such condition like this arises to get a design plan at the outset.

In the design shown about half of the projection of the sign is cantilever, and the lower side guy is a small angle which will have to act as a strut on an unsupported length of about eight feet.

In addition to the above the location plan of the sign on the front of the building does not show enough of the front of the building to tell where the sign will be. I am not even certain if I could find out if I took the plan up to the building, which I do not have time to do.

I appreciate the fine cooperation you have given this department many times in the past. Will you not help us still further by refraining from sending in plans which mean so little?

Very truly yours,

WHD/H

Inspector of Buildings

CC: Foster-Avery Co., 538 Congress St.



(G) GENERAL BUSINESS

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

Permit No. 1634
OCT 23 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 528 Congress Street

Portland, Maine, October 4, 1941

Owner of building to which sign is to be attached Trud M. Dow Estate

Within Fire Limits? yes Dist. No. 1

Name and address of owner of sign Foster-Avery Co. 528 Congress Street

Contractor's name and address United Neon Display, 27 Monument Square

When does contractor's bond expire? January, 1943

Telephone 2-0695

Information Concerning Building

No. stories 4 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 18" Horizontal 8'10"

Weight 195 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2 material sheet metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 1 Size 3/4" Location, top or bottom top

No. guys 2 material angle iron cable Size 1 1/2 x 3/16 3/8"

Minimum clear height above sidewalk or street 16'

Maximum projection into street 8'9"

CHIEF OF FIRE DEPT.
INSPECTION COPY

United Neon Display

Signature of contractor By P. C. Roberts

Fee \$ 1.00

Permit No. 41/1634

Location 538 Congress St.

Owner Foster-Derry Co.

Date of permit 10/23/41.

Sign, Contractor

Final Insp. 11/14/41. O.B.

St. Clair

NOTES

Ready for Slump Inspection
Shap 10/25/41

TOPS OF TIMBER FOR
PERMIT TO BE CUT



(C) GENERAL BUSINESS ZONE PERMIT ISSUED
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class Permit No. 6002
APR 29 1941

Portland, Maine, April 29, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 536 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Fred N. Dow Estate Telephone _____
Lessee- Clear Weave Hosiery Stores, 536 Congress St.
Contractor's name and address Hartstone Store Fixtures Co., 76 Bayview St., Boston, Mass. Telephone Lafayette 6199
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Stores and Offices No. families _____
Other buildings on same lot _____
Estimated cost \$ 300. Fee \$.75

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine
536 Congress St.-Dow Estate-Clear Weave Hosiery Stores, Lessee- Alterations by
Hartstone Store Fixtures Co. Contractor 4/29/41

To ~~XXXX~~ Lessee & Contractor:

A handrail is required full length on at least one side of new stairs.

CC Clear Weave Hosiery Stores,
536 Congress St.

(Signed) Warren McDonald
Inspector of Buildings

the locating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber-Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Fred N. Dow Estate
By Clear Weave Hosiery Stores
By Hartstone Store Fixtures Co.

Permit No. 41/564
Location 536 Congress St.
Owner J. W. Davis Estate
1000 W. Park Ave. N. N. Y. N. Y.
Date of permit 4/29/41

Notif. closing-in

Inspn. closing-in

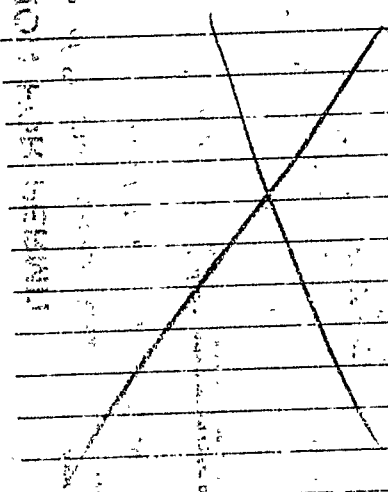
Final Notif.

Final Inspn. 10/25/41

Cert. of Occupancy issued None

NOTES

10/25/41 - P.I.F. 008



THIS ESTATE C
FRED. N. DOW
ROOMS 6 AND 7
12 MONUMENT SQUARE

PORTLAND, MAINE, March 10, 1941

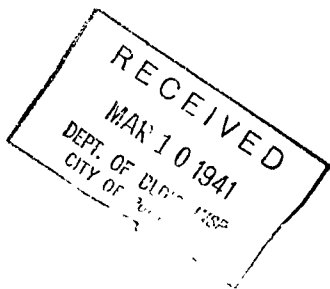
Clear House Hosiery Stores Co.

Gentlemen:

You are hereby granted permission to apply to the proper officials of the City of Portland for a permit to install an electric sign on the building occupied by you at 536 Congress St., Portland, Me.

Very truly

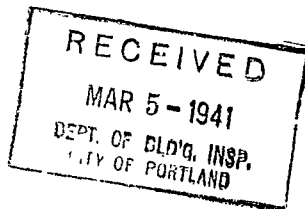
The Estate of Fred. N. Dow
by Neal Dow, Agent



THE ESTATE OF
FRED. N. DOW
ROOMS 6 A
12 MONUMENT

PORTLAND, MAINE, Feb. 27, 1941

Clearmont Hosiery Store, Inc.
97 Bridgeland St.
Jamaica Plain
Boston, Mass.



Gentlemen:

I hereby grant you permission to apply to the proper officials of the City of Portland for permission to erect your neon sign at your store 536 Congress St. Portland, Maine.

The sign is to be placed as near the easterly corner of the building as possible and as low as the city ordinance permits so that it will not be a bother to tenants on the second floor.

Very Truly,
The Estate of Fred. N. Dow
by Neal Dow, Agent

DAVID BROWNSTONE, D. M. D.
514 CONGRESS STREET
PORTLAND, ME.

March 5, 1941

Inspector of Buildings
Portland, Me.

Dear Sir:

The Clear Weave Hosiery Store Of
Portland, Me. has requested that I give per-
mission that an iron bolt be run from a neon
sign into my office.

This is to inform you that I have
refused such permission.

I feel that a sign 4ft. by 6ft. placed
along side my windows will, without the least
doubt, be detrimental to my business since
part of my business is dependent upon transients.

Not being acquainted with laws, rules,
or regulations, in short a layman as regards
this matter, I will sincerely appreciate hear-
ing from you as to how, since I occupy the
second floor, that the occupants of the street
floor have a right to obstruct the view of one
of my windows? I wish to strenuously object to
such a sign being erected.

With due respect, I remain,

Yours truly,

David L. Brownstone

RECEIVED

MAR 7 1941

DEPT. OF PUBLIC WORKS
CITY OF PORTLAND

ISRAEL BERNSTEIN
LOUIS BERNSTEIN

BERNSTEIN AND BERNSTEIN
ATTORNEYS AND COUNSELORS AT LAW
110 EXCHANGE STREET
PORTLAND, MAINE

March 15th 1941

Mr. Warren McDonald
Building Inspector
City Hall
Portland, Maine

Dear Mr. McDonald:

Confirming my telephone conversation with you yesterday afternoon, I represent Dr. David I. Brownstone, who is lessee for a period of five years of the off overhead the Clear Weave Store at 536A Congress Str. The projecting sign which Clear Weave now proposes to erect will obstruct a street view of the Doctor's offices and he, therefore, will not allow any one to enter his office for the purpose of putting a bolt thru the wall of his premises. Moreover, the doctor will vigorously oppose any attempt on the part of the Clear Weave to erect a projecting sign that will interfere with a reasonable street view of his office.

Dr. Brownstone is not taking an arbitrary stand. As a matter of fact in his several talks with the local manager of the Clear Weave Store, the doctor told the manager that he would have no objection to a projecting sign provided it was small in size and was not hung higher than fifteen feet from the street level. That was the size of the sign which Clear Weave intended to erect. There has evidently been a change and the doctor will, as above stated, refuse a larger sign, placed higher than fifteen feet to be erected.

Immediately upon the leasing of the premises from the Dow estate, it assigned the Brownstone lease to Whipple's corporation, which is now for all practical purposes the owner of the building.

Very truly yours,

IB:R
cc Dr. David I. Brownstone

RECEIVED

1941

RECEIVED

MAR 17 1941

DEPT. OF PUBLIC WORKS
CITY OF PORTLAND

Rept. 8823C-I

March 7, 1941

Estate of Fred H. Dow,
12 Monument Square,
Portland, Maine

Gentlemen:

We have filed with an application for a permit to cover erection of a projecting sign for Clear Weave Hosiery Stores, Inc. at 536 Congress Street, a statement signed by Neal Dow as your agent, authorizing Clear Weave to apply for a permit for this sign, but the statement includes the following conditions: "The sign is to be placed as near the easterly corner of the building as possible and as low as the city ordinance permits so that it will not be a bother to tenants on the second floor."

We also have a written protest from Dr. David I. Brownstone, a tenant in the second story against the erection of the sign.

This department, of course, cannot enter into any controversy between owner and tenant or two tenants. Mr. Dow's signed statement is unusual in that conditions are attached to it which we cannot undertake to have carried out.

Will you be kind enough to look into this matter, and if you are willing to approve the actual sign in the actual location proposed by Clear Weave Hosiery and indicated with the application for the permit, send us another statement clearly approving the sign as actually proposed without conditions?

Very truly yours,

Inspector of Buildings

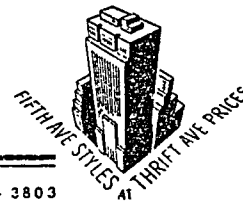
WICD/H

CC: R. G. Counsels
243A Middle Street

System Company
536 Congress Street
Att. Mr. Whipple

CLEAR WEAVE
HOSIERY STORES, INC.

97 BICKFORD STREET, JAMAICA PLAIN, BOSTON, MASS. ARNOLD 3800 · 3801 · 3802 · 3803



March 21, 1941

Mr. McDonald
Inspector of Buildings
City of Portland
Portland, Maine

Dear Sir:

Enclosed please find a drawing showing
proposed location of our extension sign
on the building at 536 Congress Street,
Portland, Maine.

This new location has, as far as I know,
been approved by the tenants in the building.

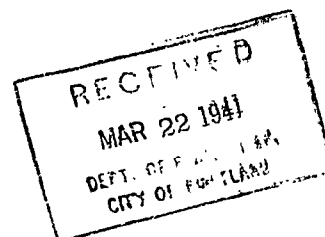
I would appreciate it very much if you would
do what you can to get the permits through
quickly. Mr. Cousens of the Cousen Sign
Company will submit the proper drawings, etc.
to obtain the permits.

Very truly yours,

CLEAR WEAVE HOSIERY STORES, INC.

F. Burnett, Maintenance Engineer

FB:JG



HENRY WINGATE STEVENS
JOHN CALVIN STEVENS 2ND

John Calvin Stevens. E.A.I.A.
John Howard Stevens. A.I.A.
Architects.

187 MIDDLE STREET
PORTLAND, MAINE

Mar 6 41

Mr. Warren McDonald
Inspector of Buildings
City of Portland Maine

Dear Sir;

With this we are sending you a complete set of plans of the FOSTER AVERY store (The System Co.) which have been revised and corrected to date and show all the points raised in your letter which accompanied the building permit. If you will file these as supplementary to the set which you have they will constitute a complete record of the job.

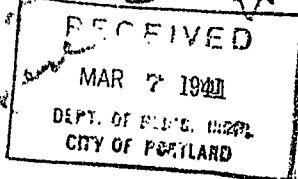
We take this opportunity to express our appreciation of the very satisfactory way in which you have handled this bothersome piece of work.

Sincerely yours,

JHS

John Howard Stevens.

*aggs. will for look things
out of the scene
take the place of
the plan is showing
file the other*



MS 3/7/41

(G) GENERAL BUSINESS 701



APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

MAR 25 1941
Permit No. 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Feb. 7, 1941

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 536 Congress St.
Owner of building to which sign is to be attached Dow Tato's Within Fire Limits? yes Dist. No. 19
Name and address of owner of sign Wear Weave Hosiery Stores Inc. 536 Congress St.
Contractor's name and address R.G. Cousens 243A Middle St. Telephone 3-8839
When does contractor's bond expire? Jan. 1942 Same sign hung under 35/2025 no

Information Concerning Building: structural changes, method of fastening only change
No. stories 4 Material of wall to which sign is to be attached brick

Details of Sign and Connections
Electric? yes Vertical dimension after erection 4' Horizontal 6'
Weight 350 lbs. Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame Angle 1x1x1/4 No. advertising faces 2 material metal
No. rigid connections 6 Are they fastened directly to frame of sign? yes
No. through bolts 2 Size 5/8 Location, top or bottom top & bottom
No. guys 4 material angle 2x2x1/4 Size 15'
Minimum clear height above sidewalk or street 15'

Maximum projection into street 6'
Signature of contractor R.G. Cousens Fee \$ 1.00
INSPECTION COPY

Permit No. 417331

Location 536 Cuyamaca St.

Clear Weave Hoist

Expiry of permit 3/25/81

Contractor

Final Insp. 3/27/81

Exceeds 3/27/81

NOTES

3/26/81
Shops (on job) 3/26/81
Through Bolt 3/26/81

PERMIT TO EXECUTE

STEELWORK



Original Permit No. 41/113

Amendment No. 1

MAR 3 1931

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, Sept. 1, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 41/113 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 525 Congress St. Est. Fred N. Dow 12 Within Fire Limits Dist. No. 1

Owner's or Lessee's name and address The System Co. 516 Congress St.

Contractor's name and address The Yale Co. 2 Union St. Sept. 1, 1931

Plans filed as part of this Amendment Yes No of Sheets 5

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Increased cost of work \$0.00 Additional fee \$25

Framing Lumber Kind Dressed or Full Size

Description of Proposed Work

To install wet pipe sprinkler system with alarm valve as per plan

Approved: The System Co. by Yale Co.

Signature of Owner by Charles H. Vick



AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, February 26, 1911

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 11/113 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 136 Congress Street

Owner's or Lessee's name and address Estate of Fred N. Dow, 12 Monument Square

Contractor's name and address Burroughs & Kellogg, 1714 Congress St.

Plans filed as part of this Amendment Yes

Is any plumbing work involved in this work?

Increased cost of work 20

Framing Lumber Kind?

Within Fire Limits? Yes Dist. No. 1

No. of Sheets 2-2-7751

Is any electrical work involved in this work?

Additional fee 25

Dressed or Full Size?

Description of Proposed Work
To change existing steel beam under rear wall as per plan submitted

Approved:

Chief of Fire Department

Estate of Fred N. Dow
The System Co., Lessee

Signature of Owner
2/26/11

P. 41/113-I

February 17, 1941

Mr. John Howard Stevens,
137 Middle Street,
Portland, Maine

Dear Sir:

Referring to the alteration work at 536 Congress Street for the System Company, Lessee, I find that we are able to accept the stairway arrangement between first and second floors approximately as shown on the last plan that we have by considering the stairway a monumental stairway as provided for in paragraph b of Section 74 of the Building Code. This is somewhat contrary to the paragraph numbered four of my letter to Durham-McLellan of January 31, 1941, but that paragraph in far as it relates to handrails the entire length of runs of stairs on both sides still applies. This interpretation is only possible by considering the part of these stairs below the intermediate landing as a single flight instead of three flights. While apparently not forbidden by the Building Code this arrangement whereby the nosings of the treads of the three sections of this part of the stairs are not in a straight line, and the two intermediate handrails, if at only the normal height of handrails at the top of these stairs constitutes a questionable condition as to safety in case the stairs are used by a considerable number of people at time of emergency.

Referring to paragraph numbered five of my letter we do not yet have the details of material and thicknesses of fireproofing of the structural steel.

Neither do we have the detailed design of the proposed replacement of the framing of the first floor between the Congress Street sidewalk and the entrance doors.

I appreciate the receipt of a copy of written instructions to the contractor, dated February 15, 1941, relating to supporting the steel columns in the front wall upon the existing foundation wall instead of carrying them down to foundations at the basement floor level. Together with the framing plan of the replacement of the front part of the first floor, may we have the details of the supports of these columns indicating the thickness of the foundation wall on which the columns are now to be supported, the material of which it is made and what constitutes "proper" bearing plates beneath the columns. It is my duty to see to it that the plans on file in this office indicate the work as actually done as well as to roughly check the plans before the work is done.

Very truly yours,

WJCD/H

Inspector of Buildings

CC: The System Company
516 Congress Street

Burnham
499 1/2

HENRY WINGATE STEVENS
JOHN CALVIN STEVENS 2ND

John Calvin Stevens, F.A.I.A.
John Howard Stevens, A.I.A.
Architects.

187 MIDDLE STREET
PORTLAND, MAINE

*Free
BP 4/11/41*

C O P Y

Feb. 13 41

Burnham-McLellan
491 1/2 Congress St.
Gentlemen;

Having made careful examination of the old foundation wall at the Congress St front of the new Foster-Avery store, it is my opinion that it presents a more stable bearing for the two steel columns than could be obtained by tearing out and building new footing at basement floor level, and therefore we are confirming our verbal instructions to you; - to provide proper bearing plates on top of this old wall to receive these two columns.

Sincerely yours,

This
Copy to Mr. Whipple
" " Building Inspector.

John Howard Stevens

Fr. M. McDaniel

Rec'd 2/14/41

Rept. 8785C-I

January 31, 1941

Burnham-McLellan
491 1/2 Congress Street,
Portland, Maine

Gentlemen:

Enclosed is the building permit covering alterations in the Syston Company Store at 556 Congress Street, issued subject to the following conditions and understandings:

1. As per the owner's letter of January 22nd, the entire building is to be equipped with a standard automatic sprinkler system with alarm valve, and it is understood that the installation of this system will be covered by a later amendment to this permit or by a separate permit, plans of the system bearing the stamp of approval of the Insurance Rating Bureau to be filed with the application. On this basis the exit passageway shown on the original plans on the westerly side of the second story leading to the one story roof in the rear is to be eliminated but the existing fire escape in the rear of the building from the third and fourth stories is to be left in place but adjusted on account of the change in the rear one story roof so that persons from the third and fourth stories may safely reach the rear one story roof by means of it. The new exit door to be provided from the front of the basement to the stair hall near Congress Street is to be equipped with such a lockset that any person can leave the Syston Company basement through the doorway at all times without the use of a key or any special knowledge. One or more exit lights showing the word exit either white on a red background or red on a white background are to be provided so that the public in the basement may always know the direction to take to reach this exit door and there are to be adequate white lights in the front stairhall on the same circuit as these exit lights to illuminate the way to the Congress Street front. A similar exit light is to be provided over the double doors leading from the store to the public hall.

2. All new windows in the rear wall of the second story and any existing windows altered as to size or location are required to be made fire windows because they are less 50 feet above a neighboring roof in the Fire District (ordinary metal sash with wire glass will suffice). The new parapet wall is required to extend at least two feet above the higher roof and to be capped with incombustible material without the use of woodwork.

3. It is understood that the new sort of porthouse over the new stairs is to be completely covered on the outside with metal and on the inside with non-burnable material. This window also is required to be a fire window.

4. Handrails on both sides of the new basement stairs are to extend clear to the last riser before reaching the basement floor. On the existing narrow cellar stairs to remain, a handrail is required on at least one side of the stairs as well as a rail around the wall in the first floor. Evidently the arrangement of the proposed stairs to the second floor is not finally determined. I have a plan, last revision date January 29, 1941, which evidently is not to be and cannot legally be followed in its entirety. No part of the stairs is permitted to be

Burnham-McLellan-----2
431 1/2 Congress St.

January 20, 1941

less than three feet six inches in width, and the handrails which are required on both sides should be continuous the entire length of the stairs. That does not mean necessarily along all landings but so that a break in the railing is not likely to cause accidents. I understand we are to get a correct plan when the arrangement is fully decided upon. While not forbidden by the Building Code in this type of occupancy I suggest elimination of the large mirror on the intermediate stair landing because I believe it is conducive to accidents.

5. I suggest that the details of the material and thicknesses of fire-proofing of the structural steel be indicated and checked before the job gets that far along.

6. I understand that it is the intent to include in this permit complete replacement of the floor and framing between the Congress Street sidewalk and the entrance doors, and that we are to get a detailed plan of this proposed framing. Obviously this work should comply with Building Code requirements regardless of the type of framing now existing there.

7. The plans show the steel columns in front going clear down to a footer on ledge and the permit is issued on that basis. If some other arrangement is found desirable, revised plan should be furnished and application for amendment to the permit made.

8. Only one of the skylights over the office is to be installed instead of the two existing ones. If it should be found necessary to provide a new skylight instead of using the existing one, construction should be in accordance with paragraph d of Section 518 of the Building Code, page 162. If one of the existing skylights is used, it is required to be protected from above by wire netting not smaller than No. 2 gauge, and of not more than one and one-half inch mesh, placed at least twelve inches above the skylight on non-burnable supports.

Very truly yours,

WMD/H

Inspector of Buildings

CC: System Co., 516 Cong. St.
CC: Chief Sanborn

I note that the existing door at the Congress Street sidewalk level which will serve as the only direct means of egress from the second story of the System Company store and also as a means of egress for the offices in the front of the second story and both third and fourth stories, swings in. This being an existing condition it is called to your attention.

Warren McDonald

CC: Fred W. Dow Estate
12 Monument Square

CC: John Howard Stevens,
187 Middle Street



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Permit No.

JAN 31 1941

Portland, Maine

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

See app. 12/31/41

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 536 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Fred N. Dow Estate 12 Monument Square Telephone

Contractor's name and address Lessee The System Co. Telephone

Architect Burnham & McCallan 536 Congress Street Plans filed yes No. of sheets 5

Proposed use of building Stores and Offices No. families

Other buildings on same lot

Estimated cost \$10,900 Fee \$3.75 add 1

Description of Present Building to be Altered

Material brick No. stories 4 Heat Style of roof Roofing 8x6

Last use Stores and Offices No. families

General Description of New Work

See also 40/2051

To make alterations to store as per plans submitted

PRELIMINARY PERMIT (Brown & Berry) 12/31/41 - To cover all construction within the existing walls in the second story subject to approval of exits by Chief Sanborn

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

are observed? yes

INSPECTION COPY

By Fred N. Dow Estate
Signature of owner By Burnham & McCallan

By Philip M. Burnham

Permit No. 41

Location 536 Congress St.

Owner Fred H. Day, Esq.

Date of permit 1/1/41

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES