



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to GARAGE ASSOCIATES OF PORTLAND

1 STATION CONGRESS SQUARE, DEPT. OF HIGH & CURB AVE
428 CUMBERLAND AVE
Date of Issue 7/31/87

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 691607/86, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy of use, limited otherwise as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

NO. 4 OFFICE CONDOMINIUMS

ENTIRE NO. 4 OFFICE AREA

Limiting Conditions:

NONE

PLANNING DEPT APPROVAL

OK

PUBLIC WORKS

OK

PIKE DEPT APPROVAL

OK

PLUMB & ELECTRIC

OK

This certificate supersedes certificate issued

Approved: 7/31/87

[Signature]
Inspector

[Signature]
Inspector of Buildings

(Date)

Notes: This certificate is valid only for the building or owner to whom it is issued. Copy will be

file to be transferred. Non-copy of issue for one of the



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 423 CUMBERLAND AVE

Issued to CONGRESS SQUARE GARAGE ASSOCIATION

Date of Issue 8/28/87

This is to certify that the building, premises, or part thereof, at the above location, built—altered
—changed is to use under Building Permit No. 1687/86, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

CONDO UNIT # 3 OFFICES

ENTIRE

Limiting Conditions:

NONE

ELEC APPROVAL

PLUMB "

This certificate supersedes

certificate issued

FIRE DEPT APPROVAL

Approved:

8/28/87

(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

November 5, 1986

RE: Congress Square, Portland, Maine

Donalco
141 Main St.
South Portland, Maine 04106

Dear Sir:

Your application to construct a foundation for proposed office condominium has been reviewed and a permit is herewith issued subject to the following requirements:

Site Plan Review Requirement

Inspection Services Approved W. J. Turner 11/4/86
Planning Division Approved with conditions

1. See attached: Approval letter
Comments of Charles Shannon
Comments of Robert Roy
Mr. P. J. Meyer 10/22/86

Fire Dept. Approved Lt. Collins 7/28/86

Public Works Approved with conditions:


1. Any damage done to the existing curb and sidewalk along High Street during construction shall be repaired or reconstructed to the City's satisfaction and at contractor's expense; and,
2. Location and method of making the proposed sewer connection must be approved by the Sewer Division of Parks and Public Works. R. J. Roy 10/6/86.

Building Code Requirements

1. All lot lines shall be clearly marked before calling for a foundation inspection; and,
2. Please find attached a copy of Article 18 of the Portland Building Code.

If you have any questions on the requirements, please call.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: Philip Meyer, Urban Designer
Robert Roy, Planning Engineer

APPLICATION FOR PERMIT

I.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION B-3 PORTLAND, MAINE July 22, 1986

001607 PERMIT ISSUED NOV 5 1986 City of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION Congress Square 728 Cumberland Ave. Fire District #1 [] #2 []
1. Owner's name and address Garage Associates of Portland Telephone 774-6989
2. Lessee's name and address c/o Housing Resources Corp. P.O. Box 387 Telephone
3. Contractor's name and address Donalco, 141 Main St. S. Portland 04106 Telephone 767-3248

Proposed use of building Office Condominiums/Garage No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$2,000,000 200,000
FIELD INSPECTOR - Mr. @ 775-5451
Appeal Fees \$
Site Plan Fee 350.00
Late Fee 1,020.00
TOTAL \$

Major Site Plan Review
Foundation for proposed office condominium Stamp of Special Conditions

send permit to # 3 04106

PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Yes
Is any electrical work involved in this work? Yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER
ZONING: O.K. Dept. Nov. 4, 1986
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Cynthia Milliken Phone # 774-6989
Type Name of above Cynthia Milliken 1 [] 2 [] 3 [] 4 []

PERMIT ISSUED WITH LETTER

Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
[Signature]

NOTES

11/10/86 - Footings pour OK. Put with
 Ron Weston on site.
 12/2 - Footings OK
 1/15 - W.F. OK

4/187 - I have just been
 assigned to this area -
 Construction has progressed
 it appears as per plans.

5/187 - Same, numerous
 inspections have been made this month
 & all work is proceeding as per plans -
 I am assured by the Supt of the job
 that no changes have been made all
 proceeding as per plans.

6/87 Same

7/87 - Same

7/24/87 - Condo #4 of the parking garage is
 about 100% complete & are working overtime to
 have it completed for occupancy this July 31/87
 also to include the new parking lot near of the
 Sonstar Hotel.

7/31/87 Co of D issued 7/31/87 Office Condo Unit 4.

8/19/87 Condo Units 3 & 5 are about completed
 & ready for the issuing of the Co of D's.
 Waiting on cosmetic work to be completed.

10/87 - Progressing in all areas of
 construction. - about completed in some
 units - 1-2-6-8-

11/16/87 - Units 1-2-6-8 completed - some
 cosmetic work to be completed - fixtures will be
 installed in the bathrooms as soon as temps pick
 out the design of colors - plumbing dept said
 they have no problem with doing it this way.

Permit No. 1602/87C
 Location: 4228 Cumberland St. P.O. Box 112
 Owner: C.A. & C.E. 1955 S.E.
 Date of permit: July 19 87
 Approved: Nov. 5 187
 Issuing: C.A. & C.E.
 License: C.A. & C.E.
 Merit: C.A. & C.E.

3
 11/54
 4228 Cumberland St.

Applicant: *Harage Associates of Portland* Date: *November 4, 1986*
Address: *Congress Square 425 Cumberland Ave.*
Assessors No.:

CHECK-LIST AGAINST ZONING ORDINANCE

Date -
Zone Location - *B-3*
Interior or corner lot -
Use - *Office Condominiums*
Sewage Disposal -
Rear Yards -
Side Yards -
Front Yards -
Projections -
Height -
Lot Area -
Building Area - *37,534 sq ft (office condos)*
Area per Family - *NA*
Width of Lot -
Lot Frontage -
Off-street Parking - *53 spaces (off street)
9 new on street - Cumberland Ave.*
Loading Bays -
Site Plan -
Shoreland Zoning -
Flood Plains -

*Existing Bldg
Rehabilitation Plan
for interior on
Cumberland Ave.
side.*



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

November 19, 1987

Congress Square Garage Association
428 Cumberland Avenue
Portland, Maine 04101

In reference to your phone call of November 16, 1987, I have discussed your question with the Chief of Inspections, Samuel P. Hoffses, and he stated that the parking area located on first floor (ground level) is all part of the entire parking garage and not a separate area in need of a Certificate of Occupancy.

The leasing of private parking areas to each tenant is entirely between you and the tenant providing all routes of travel both by vehicle and personnel are in code compliance.

Should you have any questions, do not hesitate to call this office.

Sincerely,

Hugh Irving
Code Enforcement Officer

Hugh Irving
/el

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
P. Samuel Hoffses, Chief of Inspection Services

**FINAL SITE PLAN
WRITTEN STATEMENT BY APPLICANT**

**FOR: PARKING GARAGE
CONGRESS SQUARE**

**BY: GARAGE ASSOCIATES OF PORTLAND
Lyndel Joe Wishcamper and Donald R. Peters**

a. Description.

Garage Associates of Portland are proposing to construct eight (8) office and/or commercial condominium units under the existing Congress Square Parking Garage. These spaces are labelled condominium units 1-8. There will also be two additional condominium units created for two separate parking areas. At ground level, there will be 30 additional parking spaces created as condominium unit 9. The existing parking area above the new condominiums will be condominium unit 10.

The plan also proposes a covered walkway between Forest Avenue and High Street along the southern boundary. In addition, there will be a new pedestrian link created through the parking garage which will start at the entrance to the Sonesta Hotel and will continue under the parking garage through to Cumberland Avenue.

All four elevations will have a new facade treatment up to the first level of the existing parking decks. The elevations have been designed to be compatible with the surrounding residential neighborhood. The streetscape will be enhanced with additional street trees and planting areas.

The garage ramp on Forest Avenue has been redesigned to allow for easy access to the upper parking decks. This revision to the existing garage will allow vehicles to enter on a more gradual and safe slope.

The proposed changes to the parking garage have been designed to add neighborhood character and human scale.

b. Total land area of site:	1.6 acres.
Total floor area of building:	136,305 square feet.
Present ground coverage of building:	54,522 square feet.
Proposed ground coverage of building with projection into easement area	60,143 square feet.
without projection into easement area:	59,515 square feet.

c. Existing and Proposed Easements

There is presently an existing easement benefitting the Sonesta Hotel which is shown on the attached survey.

The proposed building plans call for an addition to the existing parking garage which projects 12'-0" from the existing building line into the easement conveyed to the Sonesta Hotel. This easement will be redescribed and rerecorded with the consent of the Sonesta Hotel.

d. Method for Handling Solid Waste

A private contract will be established for solid waste pick up and will be the responsibility of each condominium owner.

e. Off-Site Public Facilities

The survey indicates location and service sizes for existing public utilities. Our engineers have reviewed the capacities required and the capacities available and have determined that the public facilities are adequate. Verification letters have been sent to Central Maine Power Company, Northern Gas and Utilities, Portland Water District, New England Telephone and Portland Public Works. Their responses and letters will be forthcoming under separate cover.

f. Drainage and Topography

The topography has been reviewed for drainage problems and it has been determined that there are no specific problems with drainage. All surface water presently is being handled by internal drains connecting to the storm sewer. We will be utilizing the existing connections for internal drainage.

g. Estimated Time Period for Development

The construction of this project will take approximately twelve months to complete.

(d) Statement of Owner's Name and Address and Estimated Cost
See signed statements attached. (4 copies)

4 Congress Street
Post Office Box 387 DTS
Portland, Maine 04112
Telephone 207-774-6989

 Housing
Resources
Corporation

July 22, 1986

City of Portland Planning Board
City Hall
389 Congress Street
Portland, ME 04101


RE: Congress Square Parking Garage Redevelopment

Dear Members of the Board:

The owner's name for the Congress Square Parking Garage is
Garage Associates of Portland.

The address will be: c/o Housing Resources Corporation
P.O. Box 387, DTS
Portland, ME 04112

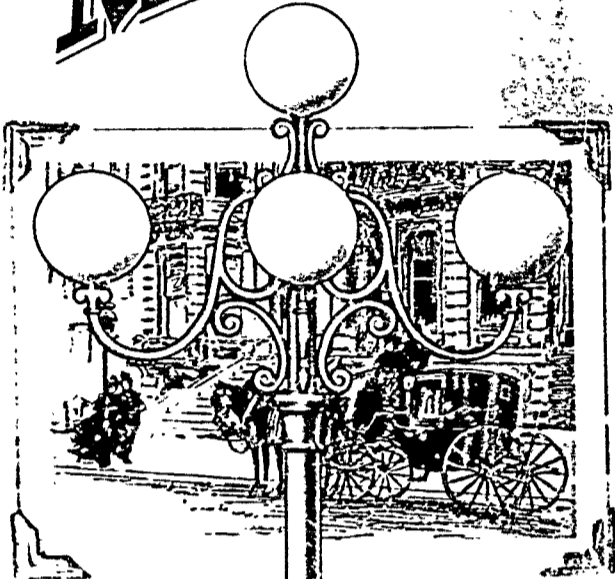
The estimated cost of construction for the condominium units
and redevelopment of the parking garage is approximately two
million five hundred thousand dollars (\$2,500,000).

Sincerely,


Lyndel J. Wishcamper
President
High Street Development Corp.
A General Partner of
Garage Associates of Portland

LJW/sbl

MARINER

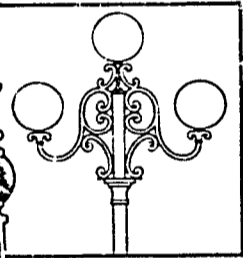


The Mariner, with its massive, fluted, tapering base and decorative scroll arms is very popular for indoor settings as well as outdoor.

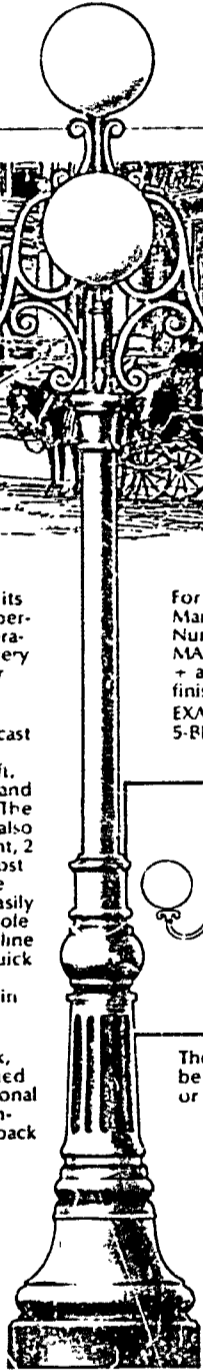
A combination of cast aluminum and a standard pole shaft, the Mariner will stand out in any setting. The five light fixture is also available in a 3 light, 2 light or a single post top. The complete arm assembly is easily removable from pole exposing the pole line ballasts for that quick maintenance that might be needed in the future.

Standard finishes available are Black, Bronze, or Antiqued Copper. For additional information on finishes, please see back page.

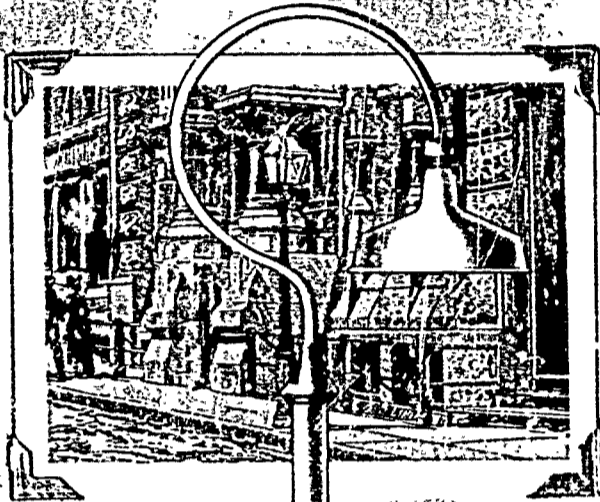
For specifying the Mariner's Catalog Number would be: MARN + pole height + arms required + finish.
EXAMPLE: MARN 15-5-RLK.



The Mariner can also be ordered with 1, 2, 3, or 4 fixtures.



EL CAMINO REAL

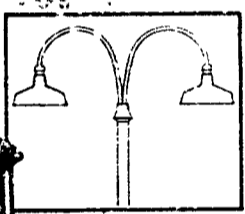


The "El Camino Real" is a blend of the past with the present. A design created to achieve the historical appearance required in today's traditional atmosphere. A unique design which complements most types of architecture that require the "Turn of the Century" look. Flexibility and versatility are natural concepts with this style of pole. A combination of cast aluminum and steel gives you a vandal proof and virtually maintenance free construction that is still aesthetically appealing.

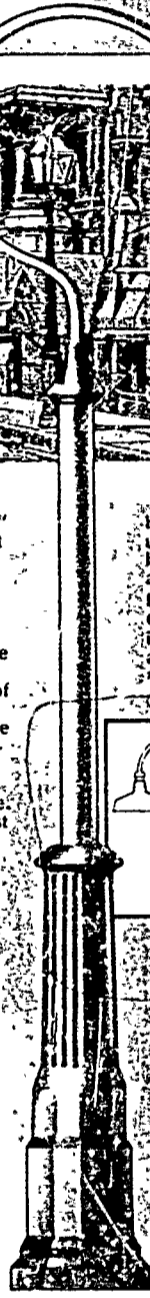
Finishes for the "El Camino Real" are identical to the Wayzata Series.

For catalog ordering, use CR + the pole height and number of arm, and finish.


EXAMPLE: CR 14-2-CVL — 14 feet mounting height with 2 arms and antiqued copper finish.



A twin fixture can be ordered.



443 Congress Street
Post Office Box 387 DTS
Portland, Maine 04112
Telephone 207-774-989

 Housing
Resources
Corporation

June 9, 1987

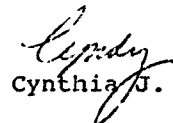
Mr. Sam Hoffses
Chief Building Inspector
City of Portland
389 Congress Street
Portland, ME 04101

Dear Sam:

Based on our discussion for handicapped access to Condo #4 at the Gateway (formerly Congress Square Garage), we have added a handicapped ramp with a slope of 1:12 to meet the BOCA code. In addition, we have plumbed for a handicapped accessible bathroom. If we hire an employee who is handicapped, we will design this bathroom and complete it based on the handicapped needs.

We have provided one water closet for men and one water closet for women. Based on our male/female occupancy, under the code we would be required to have two water closets for women. We would appreciate a waiver on this additional water closet based on the fact that we have the provision to add an additional water closet as discussed above for the handicapped.

Sincerely,


Cynthia J. Milliken Taylor

CJMT/sbl



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to GARAGE ASSOCIATES OF PORTLAND

LOCATION

428 CUMBERLAND AVE, CONG SQ, HIGH & CUMB

Date of Issue 10/20/87

This is to certify that the building, premises, or part thereof, at the above location built—altered
—changed as to use under Building Permit No. 081607/87, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.
PORTION OF BUILDING OR PREMISES

CONDO UNIT 7 FRYLL STONE

Limiting Conditions:
NONE

APPROVED OCCUPANCY

CITY

ELINE DE T ANNOVA *E. De Tanno*

IRD

PURP..

PUBLIC WORKS

PLANNING

This certificate supersedes
certificate issued

Approved: *[Signature]*
(Date)

ELFC, *[Signature]*

Inspector of Building
Inspector
Notice: This certificate identifies lawful use of building or premises, and cannot be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to GAI AGE ASSOCIATES OF PORTLAND
Date of Issue 8/28/87

—changed as to use under Building Permit No. 091667/87, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

CONDOS UNIT 507-511, 512, 513

APPROVED OCCUPANCY

Limiting Conditions:
NONE

FILE DEBT APPROVAL	_____
FILE " " " "	_____
PUBLIC WORKS " " " "	_____
PLANNING " " " "	_____

This certificate supersedes certificate issued

Approved: *[Signature]*
8/28/87
(Date)

[Signature]
Inspector of Buildings

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CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

S. Hoffses

July 23, 1987

Ha, For Congress SE Garage -

Cindy Taylor
Housing Resources Corporation
443 Congress Street
P.O. Box 387 DTS
Portland, Maine 04112

Dear Cindy,

We have reviewed your proposed changes to the Congress Square garage, as noted below, and approve them as changes to the site plan approval you received previously.

1. The division of condominium 8 into A and B units, with a ramped entrance at a new location on Forest Avenue.
2. The relocation of one tree at this new entrance location to a point on Forest Avenue approximately 75 feet to the northwest.
3. The creation of a small "Garage Office" adjacent to the High Street entrance for the parking garage.

Revisions 1 and 3 are reflected on drawings L1.2 and A3.2, dated July 15, 1987. Revision 2 is shown on drawing L1.2, dated July 15, 1987.

You should contact Sam Hoffses, Chief of Building Inspections, to determine what amendments must be submitted in conjunction with your building permit.

I also encourage you to work with your architect to develop some alternative treatment for the exposed concrete base of the building. Perhaps the methods for treating the concrete which you are exploring will be adequate but you might also consider some applied finish which is sympathetic to and compatible with the brick and precast. Perhaps a dark glazed tile might be an alternative if one can be found that works well with the brick. Please let me know of your progress on this.

C. Taylor
July 23, 1987
Page 2

Please call if I can be of any help during the construction process.

Sincerely,

Philip L. Meyer

Philip L. Meyer
Urban Designer

PM/jf

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Sam Hoffses, Chief of Inspection Services
Warren Turner, Zoning Administration
John Dobkowski, Fire Department
Robert Roy, Planning Engineer

February 6, 1987

PERMIT # BUILDING PERMIT APPLICATION **Portland** Previous permit #

APPLICANT FILL OUT: - VIII AND DETAILS OF WORK ON REVERSE

Please insert N/A (not applicable) for any item not pertaining to your request

I. GENERAL INFORMATION

Location/address of construction Cumberland Ave. & High St. - Congress Sq Parking Garage

Owner or lessee's name Garage Associates of Portland Tel 774-6989

Address 443 Congress Street

Contractor's name Donalco Inc. Tel 772-0006

Address 141 So. Main St. So. Portland, 04106

Subcontractors:

FEB 11 1987

II. NEW SUBDIVISION OR EXISTING LOT REFERENCE

Name

Lot

Block

Bk. & pg. Reg. / deeds

Date recorded

III. PROPOSED USE: 328 construction site Seasonal Condominium / Apartment

IV. PAST USE: same

V. OWNERSHIP: PUBLIC (Federal/State/local government) PRIVATE (individual/corp/nonprofit)

VI. DESCRIPTION OF WORK:

To set 500 gal liquid propane gas to be used for heat during construction work at Garage

- SEND #2 04106

VII. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ *stories _____

VIII. EST. CONSTRUCTION COST: _____ IX. GR. SQ. FT. OF LAND: _____ BUILDING: _____

X. RESIDENTIAL BUILDINGS ONLY: BEDROOMS 1: BDRM 2: BDRMS 3: BDRMS
* NEW DWELLING UNITS WITH:
* EXISTING DWELLING UNITS WITH:
XI. RESIDENTIAL UNITS:
* NEW DWELLINGS:
* EXISTING DWELLINGS:
NET RESIDENTIAL UNITS:

XII. SIGNATURE OF APPLICANT: [Signature] DATE: 2/6/87

DO NOT WRITE BELOW THIS LINE

XIII. ZONING:

DISTRICT _____ STREET FRONTAGE _____

SETBACKS: front _____ back _____ side _____ side _____

ZONING BOARD APPROVAL: no yes (date) _____

PLANNING BOARD APPROVAL: no yes (date) _____

XIV. OFFICE USE:

TAX MAP # _____

LOT # _____

VALUE/STRUCTURE _____

PERMIT EXPIRATION _____

XV. CONDITIONAL USE: variance _____ site plan _____ subdivision _____ shore and floodplain mgmt _____
special exception _____ other _____ (explain) _____

XVI. SIGNATURE OF FIELD INSPECTOR (CEO): [Signature] DATE: 2/7/87

XVII. FEES:
base fee
subdivision fee
site plan review fee
other fees
late fee
TOTAL 35.00

XVIII. SPACE FOR FIGURING / ADDITIONAL COMMENTS:
[Signature]
10/Feb/87

1. WATER SUPPLY public private
2. SEWER public private, type _____
3. HEAT type _____ fuel _____
4. FOUNDATION type _____ thickness _____ footing _____
5. ROOF type _____ pitch _____ covering _____ load _____
6. PLUMBING * tubs _____ * showers _____
* lavatories _____ * laundry tubs _____
* flushes _____ * other _____
SPRINKLER SYSTEM? yes no
7. ELECTRICAL service entrance size _____
* smoke detectors _____
NUMBER OF OFF-STREET PARKING SPACES:
enclosed _____ outdoors _____

8. CHIMNEY * flues _____ * fireplaces _____
material _____
9. FRAMING. floor joists _____ size _____ max. on centers _____
ceiling joists _____
rafters _____
studs _____
wall studs _____
10. If 1-story building w/ masonry walls:
wall thickness _____ height _____
11. BEDROOM WINDOWS
height _____ width _____ sill height _____
egress window? yes no

PLOT PLAN/DETAILS OF WORK ON REVERSE

White - Municipal Office
Green - Applicant
Yellow - CEO
Pink - Tax Assessor
Gold - GPCOG

[Signature]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to GARBAGE ASSOCIATES OF PORTLAND
LOCATION 422 CUMBERLAND AVE, CONG. SQ. CORNER HIGH & CUMB.
Date of Issue 11/19/87

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 091657/88 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

APPROVED OCCUPANCY
CONDO OFFICE UNIT ONE, (1) ENTIRE

Limiting Conditions:
NONE

ELEC DEPT I. Bass PLUMBING Ed. Johnson FIRE DEPT

This certificate supersedes certificate issued

Approved: 11/19/87 [Signature]
Inspector of Buildings

Notice: This certificate identifies the use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for cost dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to: GARAGE ASSOCIATES OF PORTLAND Date of Issue 11/19/87 CEFB.
LOCATION: 428 CURETILLAS AVE, CORN SQ, CORN HIGH 4

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 091697/86 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

CONDO UNIT TWO APPROVED OCCUPANCY
ENTIRE

Limiting Conditions:

NONE PLUMBING FIREFIGHTING FIRE DEPT
EMFC APPROVAL CL CL CL

This certificate supersedes certificate issued
Approved: [Signature] [Signature]
11/19/87 11/19/87
(Date) Inspector Inspector of Building

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to GARAGE ASSOCIATES OF PORTLAND

LOCATION 122 CUMBERLAND AVE CORN SQ, CORN HIGH /
CLUBS AVE

Date of Issue 11/19/87

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 301667/86 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
GAMBO DANCE STY (6)

APPROVED OCCUPANCY
ENTIRE

Limiting Conditions:

PLUMBING

PLUMBING

FIRE DEPT

This certificate supersedes certificate issued

Approved: 11/19/87

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 425 CUMBERTLAND AVE, CORN SQ, CORN HIGH & CURB AVE

Issued to G. G. ASSOCIATES OF PORTLAND

Date of Issue 11/19/87

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 601687/86 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
CONDO UNIT EIGHT (E)

APPROVED OCCUPANCY
EMPIRE

Limiting Conditions:

NONE
ELEC. APPROVAL _____ PLUMBING _____ FIRE DEPT _____

This certificate includes certificate issue

Approved: 11/19/87
(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies the use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Permit # **923556** City of Portland BUILDING PERMIT APPLICATION Fee \$120. Zone _____ Map # _____ Lot# _____ PERMIT ISSUED

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Curtis Reynolds Architecture # 774-4441
 Address: 150 Forest Ave - Pld, ME 04101
 LOCATION OF CONSTRUCTION: 428 Cumberland Ave - 1st floor
Fractor: Donalco, Inc. Sub: 767-3248 CD P PRWP
 Address: 141 Main St; 50 Pld, ME Phone # 04106

Est. Construction Cost: 20,000 Proposed Use: office space W reno
 Past Use: office space
 # of Existing Res. Units: _____ # of New Res. Units: _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: Interior renovations - 1st floor

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joist Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Yes _____ No _____ Spunk(s) _____
 5. Bracing _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____ Weather Exposure _____
 9. Siding Type _____
 10. Masonry Materials _____
 11. Metal Materials _____
 Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Spunk(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

White - Tax Assessor

For Official Use Only
 Date: 4/11/92 Submitter: _____ Name: _____
 Inside Fire Limits: _____
 Billg Code: _____
 Time Limit: 20,000 Estimated Cost: _____
 City of Portland
 Street Frontage Provided: B-3 PFD Encroachment
 Provided Setbacks: Front _____ Back _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____
 Special Exception: _____
 Other (explain): 4-6-92

Ceiling:
 1. Ceiling Joists Size: _____ Spacing _____
 2. Ceiling Strapping Size: _____
 3. Type Ceilings: _____ Not in Particular for Landmark.
 4. Insulation Type: _____ Size _____ Does not require review.
 5. Ceiling Height: _____ Requires Review.

Roof:
 1. Truss or Rafter Size _____ Spun _____ Action: _____ Approved _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Chimneys:
 Type: _____ Number of Fire Places _____ Date: _____
 Heating:
 Type of Heat: _____ Number of Fire Places _____
 Electrical:
 Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:
 1. Approval of soil test if required: Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Lavatories _____
 4. No. of Fixtures _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type: _____ Square Footage _____
 2. Pool Size: _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By: Louise E. Chase
 Signature of Applicant: [Signature] Date: 4/11/92
 CEO's District: Federal Hill
 CONTINUED TO REVERSE SIDE 5 MR. WING
 Ivory Tag - CEO



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 4/8/92, 19
 Receipt and Permit number 3630

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 428 Cumberland Ave. - Unit #1
 OWNER'S NAME: G A P II ADDRESS: _____

	FEES
OUTLETS: Receptacles <u>11</u> Switches <u>12</u> Plugmold _____ ft. TOTAL <u>23</u>	4.60
FIXTURES: (number of) Incandescent _____ Fluorescent <u>32</u> (not strip) TOTAL <u>32</u>	6.40
Strip Fluorescent _____ ft.	
SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____ ..	
METERS: (number of) _____	
MOTORS: (number of) Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	
MISCELLANEOUS: (number of) Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Light. battery _____	
Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
 TOTAL AMOUNT DUE: 15.00
 minimum fee

INSPECTION:
 Will be ready on 4/9- am _____, 19____; or Will Call _____
 CONTRACTOR'S NAME: Corey Elect
 ADDRESS: 184 Read St; Ptd
 TEL.: 775-1380
 MASTER LICENSE NO.: S. Corey #3630 SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 423 Cumberland Ave.

Issued to Curtis Reynolds, Architect

Date of issue 5/29/92

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 92/3556, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below:

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

First floor

Office space

Limiting Conditions:

This certificate supersedes certificate issued

Approved: 5/29/92 Michael Wing
(Date) Inspector

[Signature]
Inspector of Building

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

923556

Permit # _____ City of _____ BUILDING PERMIT APPLICATION Fee _____ Zone _____ Map # _____ Lot # _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: _____ Phone # _____
 Address: _____
 LOCATION OF CONSTRUCTION _____
 Contractor: _____ Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: _____
 Past Use: _____
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion _____ Interior renovations - 1st floor

For Official Use Only

Date: 4/1/92
 Inside Fire Limits _____
 Bldg Code _____
 Time Limit _____
 Estimated Cost: 27,000

Sub. Division: _____
 Name: _____
 Address: _____
 Ownership: _____

PERMIT ISSUED
 APR 13 1992
 CITY OF PORTLAND

Zoning: B-3.5 (Encouragement)
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____
 Special Exception _____
 Other: (Explain) _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing: 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Materials: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____ Spacing _____ Not in District for Landmark.
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____ Size _____ Does not require review.
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____ Requires Review.

Roof:
 1. Truss or Rafter Size _____ Span Action: _____ Approved.
 2. Sheathing Type _____ Size _____ Approved with conditions.
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places: _____ Date: 4/2/92

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:
 1. Approval of soil test if required: Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By: _____
 Signature of _____ Date: 4/1/92
 CEO's District: _____

CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO
 15 MAR 1992

White - Tax Assessor

PLOT PLAN

N



FEES (Breakdown From Front)
Base Fee \$ 120 -
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /
_____	_____	/ /

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

David Reebert (agent for Conalco & Co.)
SIGNATURE OF APPLICANT ADDRESS

767-3248
PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 13, 1992

RE: 428 Cumberland Avenue

Donalco, Inc.
141 Main Street
So. Portland, Maine 04106

Dear Sir:

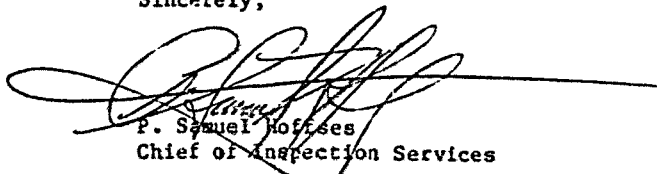
Your application to make interior renovations on the first floor, has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

1. Emergency lighting shall be provided in accordance with Section 5-9 of N.F.P.A. 101 Life Safety Code.
2. Portable Fire Extinguishers shall be provided in accordance with N.F.P.A. #10.
3. Mechanical room and storage area shall be one hour fire resistance rated enclosures including 3/4 hour self closing fire doors.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: LT. Wallace Garroway, Fire Prevention Bureau

924820

Permit # 924820 City of Portland BUILDING PERMIT APPLICATION Fee \$399 Zone Map # Lot #

520.

For Official Use Only

NOV 12 1992

Owner: Dan Crowe/Gateway Mastering Studios
Address: 428 Cumberland Ave Portland, ME 04101
LOCAT. N OF CONSTRUCTION 428 Cumberland Ave
Contractor: 100,000.00 Sub: Rainbow Construction P.O. Box 894 Portland, ME 04104
Address: Rainbow Construction P.O. Box 894 Portland, ME 04104
Phone: 799-9051
Est. Construction Cost: Proposed Use: Mastering Studio
Part Use: Office
of Existing Reg. Units: # of New Reg. Units: Office
Building Dimensions L: W: Total Sq. Ft.:
Storers: # Bedrooms: Lot Size:
In Proposed Use: Seasonal Condominium Conversion
Explain Conversion: Male Interior Renovations

Due: Nov 4, 1992
Inside Fire Limits: Yes
Blade Code: _____
Time Limit: _____
Estimated Cost: _____
Street Frontage Provided: _____
Provided Setbacks: Front _____ Back _____ Side _____
Review Required: _____
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: Variance _____ Site Plan _____ Subdivision _____
Special Zoning: Floodplain Yes _____ No _____
Other (Specify): _____
Signature: _____
Date: 11-5-92

Foundation:
1. Type of Soil: _____
2. Set Backs - Front _____
3. Footing Size: _____
4. Foundation Size: _____
5. Other: _____
Floor:
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joist Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____
Exterior Walls:
1. Studding Size: _____ Spacing _____
2. No. Windows: _____
3. No. Doors: _____
4. Header Size: _____ Spacing _____
5. Bracing: Yes _____ No _____
6. Corner Post Size: _____
7. Insulation Type: _____ Size: _____
8. Sheathing Type: _____ Size: _____
9. Siding Type: _____ Weather Exposure _____
10. Masonry Materials: _____
11. Metal Materials: _____
Interior Walls:
1. Studding Size: _____ Spacing _____
2. Header Size: _____ Spacing _____
3. Wall Covering Type: _____
4. Fire Wall If Required: _____
5. Other Materials: _____

Roof:
1. Truss or Rafter Size: _____ Span: _____
2. Sheathing Type: _____ Size: _____
3. Roof Covering Type: _____
4. Ceiling Height: _____
Heating:
Type of Heat: _____
Service Entrance Size: _____
Smoke Detector Required: Yes _____ No _____
Plumbing:
1. Approval of soil test if required: Yes _____ No _____
2. No. of Tubs or Showers: _____
3. No. of Fixtures: _____
4. No. of Lavatories: _____
5. No. of Other Fixtures: _____
Swimming Pool:
Type: _____
Signature of Applicant: _____ Date: Nov 4, 1992
CEO's District: _____
Ivory Tag - CEO

CEILING:
1. Ceiling Joist Size: _____ Spacing _____
2. Ceiling Strapping Size: _____
3. Type Ceiling: _____
4. Insulation Type: _____
5. Ceiling Height: _____
Roof:
1. Truss or Rafter Size: _____ Span: _____
2. Sheathing Type: _____ Size: _____
3. Roof Covering Type: _____
4. Ceiling Height: _____
Heating:
Type of Heat: _____
Service Entrance Size: _____
Smoke Detector Required: Yes _____ No _____
Plumbing:
1. Approval of soil test if required: Yes _____ No _____
2. No. of Tubs or Showers: _____
3. No. of Fixtures: _____
4. No. of Lavatories: _____
5. No. of Other Fixtures: _____
Swimming Pool:
Type: _____
Signature of Applicant: _____ Date: Nov 4, 1992
CEO's District: _____
Ivory Tag - CEO

PERMIT ISSUED
PERMIT ISSUED
Signature of Applicant: _____ Date: Nov 4, 1992
CEO's District: _____
Ivory Tag - CEO

CONTINUED TO REVERSE SIDE

5 Mr. Wing

White - Tax Assessor



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 428 Cumberland Ave.

Issued to Dan Crewe/Gateway Mastering Studios Date of Issue 3/4/93

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 92/4320, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

first floor

mastering studio

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

3-4-93 Merle L. Nelson
(Date) MB Inspector

Richard J. Griffin
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

924320

Permit # _____ City of _____ BUILDING PERMIT APPLICATION Fee _____ Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: _____ Phone # _____
 Address: _____
 LOCATION OF CONSTRUCTION _____
 Contractor: _____ Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: Office Space
 Past Use: _____
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: Make Interior Renovations

For Official Use Only
 Date: NOV 4, 1992 Subdivision: _____
 Inside Fire Limits: _____ Name: _____
 Bldg Code: _____ Lot: _____
 Time Limit: _____ Ownership: _____
 Estimated Cost: _____

PERMIT ISSUED
NOV 12 1992
CITY OF PORTLAND

Zoning: _____
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception: _____
 Other (Explain): H-5 HISTORIC PRESERVATION

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type: _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type: _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage _____
 3. Other: _____

PERMIT ISSUED WITH LETTER

PERMIT ISSUED WITH LETTER

CEO's District 5
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO

5 MIA WIND

White - Tax Assessor

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

November 10, 1992

RE: 428 Cumberland Ave., Portland

Rainbow Construction
P.O. Box 894
Portland, Maine 04104

Dear Sir:


Your application to make interior renovations has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

1. Means of egress shall be marked according to Section 5-10 L.S.C.
2. Portable fire extinguisher shall be provided according to Section 26-3.5.
3. All access panels shall be of fire rated material.

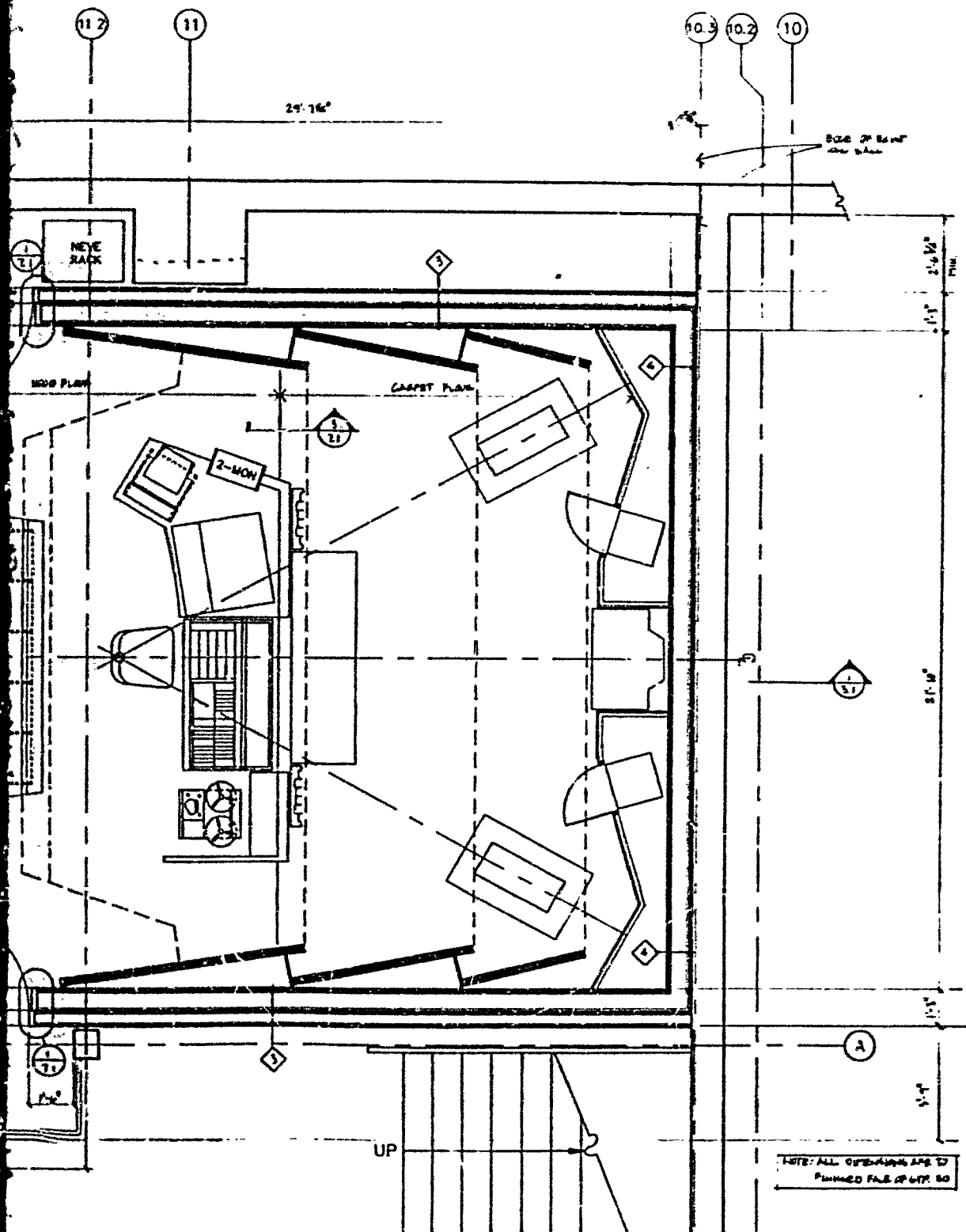
If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: LT. Wallace Garroway, Fire Prevention Bureau



DATE	NO.	DESCRIPTION
REVISIONS		

**GATEWAY
MASTERING STUDIOS**
428 CUMBERLAND AVENUE
PORTLAND, MAINE 04101

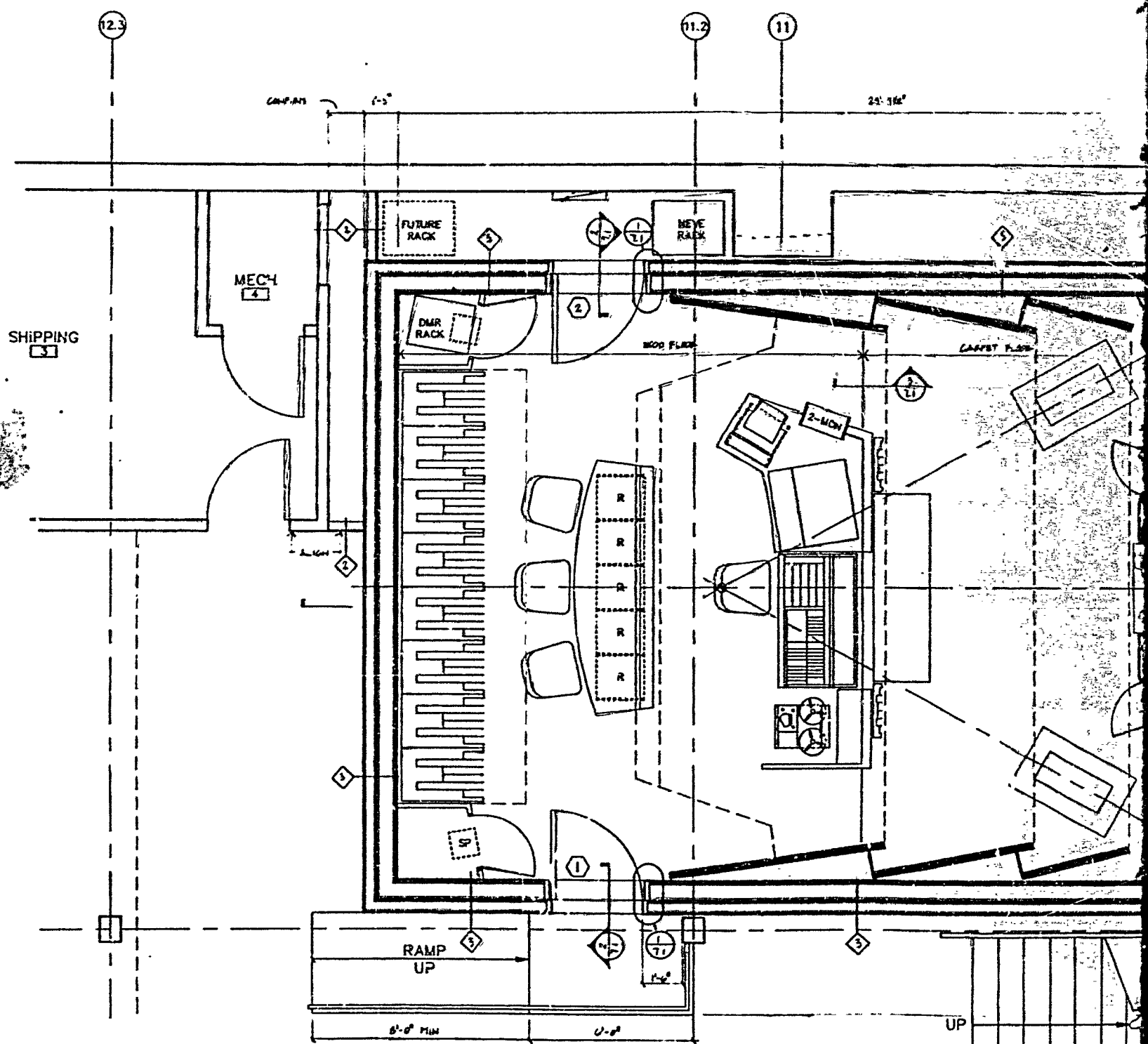
Walters-Storck Design Group, Inc.
260 PINE STREET
PORTLAND, ME 04101
PH (207) 878-9100
FX (207) 878-0301

PRELIMINARY

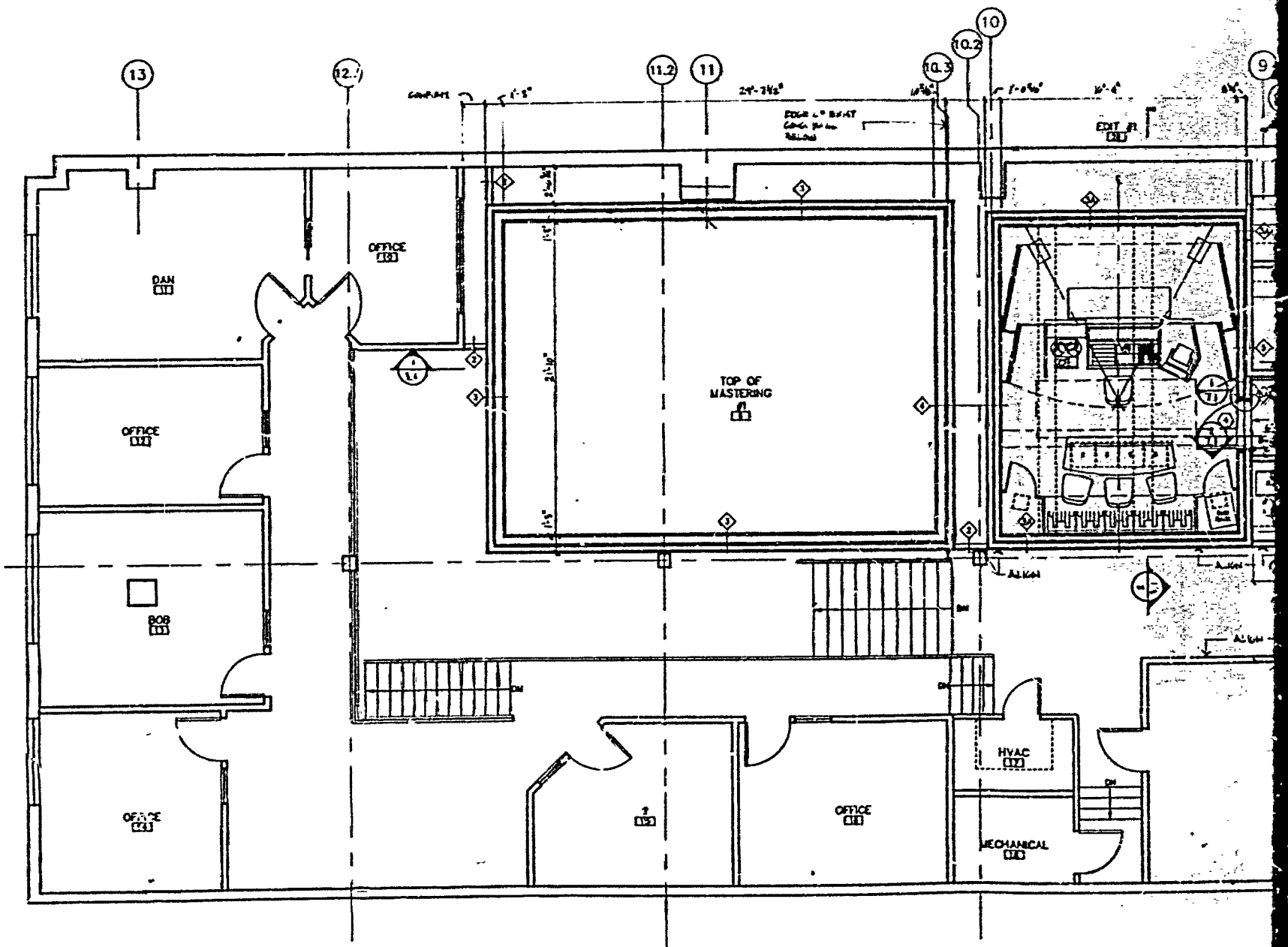
**MASTERING ROOM
#1 FLOOR PLAN**

DATE: _____
SCALE: 1/2" = 1'-0"
DRAWN BY: LY

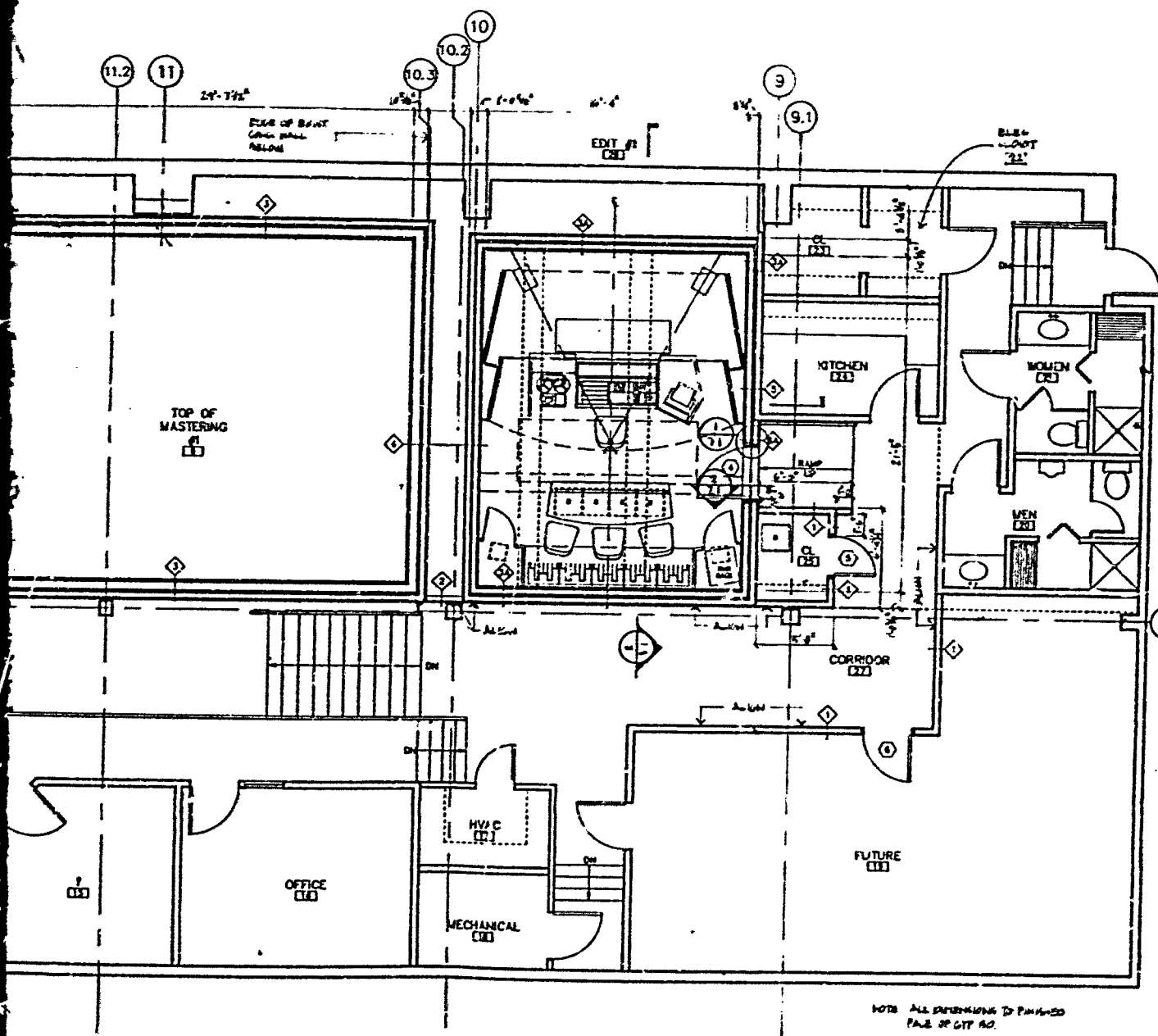
2.1



MASTERING ROOM #1 - FLOOR PLAN
 1/2" = 1'-0"



MEZZANINE & SECOND FLOOR PLAN
 1/4" = 1'-0"



1/2 scale

DATE	No.	DESCRIPTION
REVISIONS		
<p>GATEWAY MASTERING STUDIOS 428 CUMBERLAND AVENUE PORTLAND, MAINE 04104</p>		

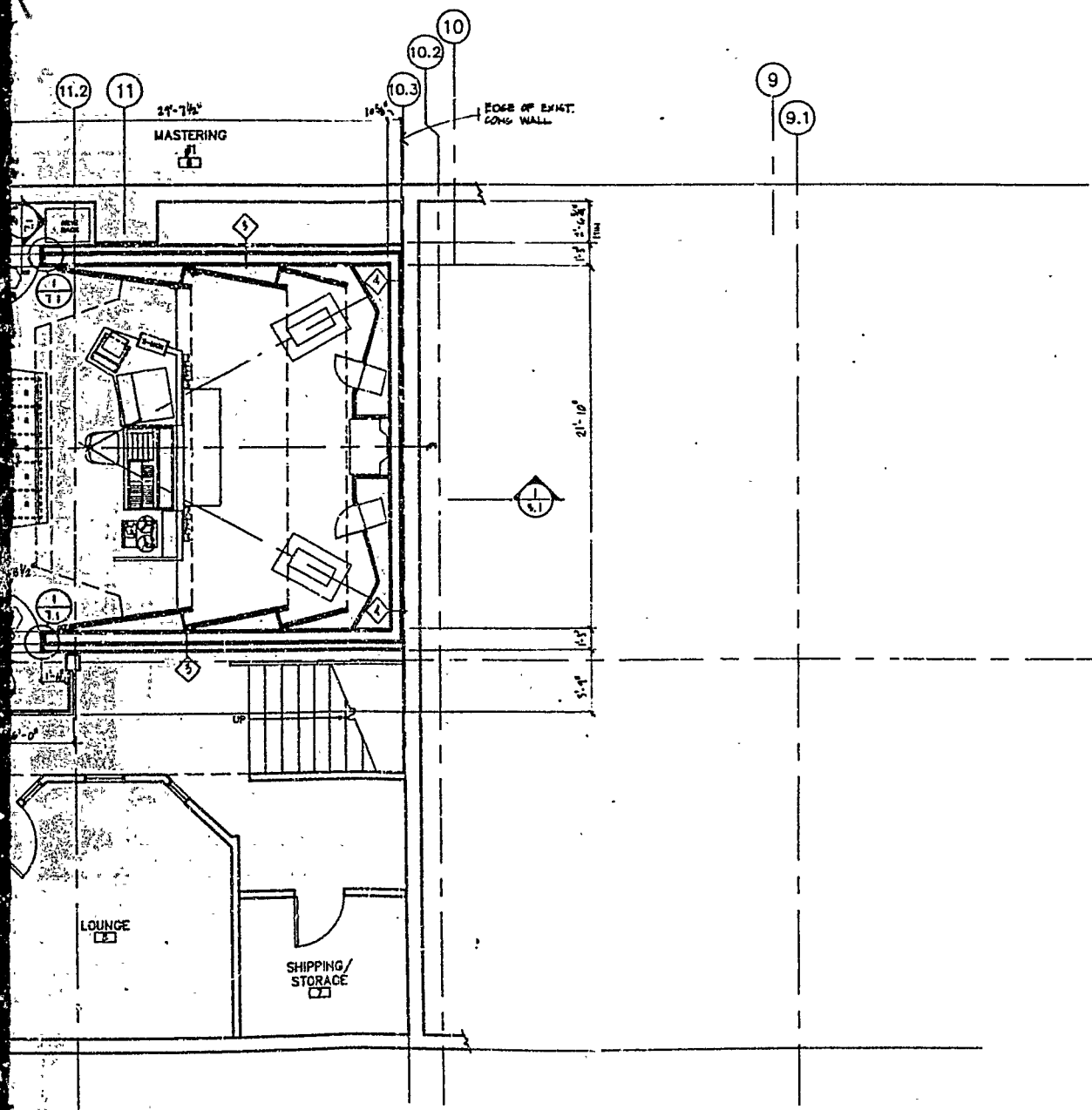
Walters-Stonyk Design Group, Inc.
 201 WATSON AVENUE
 NORWALK, NY 12558
 PH (914) 681-8300
 FX (914) 681-8381

PRELIMINARY

MEZZANINE / 2nd FLOOR PLAN

DATE: OCT 20, 1992
 SCALE: 1/2" = 1'-0"
 DRAWN BY: LBY

1.2



DATE	No.	DESCRIPTION
REVISIONS		

**GATEWAY
MASTERING STUDIOS**
428 CUMBERLAND AVENUE
PORTLAND, MAINE 04104

Walters-Storck Design Group, Inc.
222 MARTIN AVENUE
ROSLAND, NY 11578
PH (516) 881-8300
FX (516) 881-8381

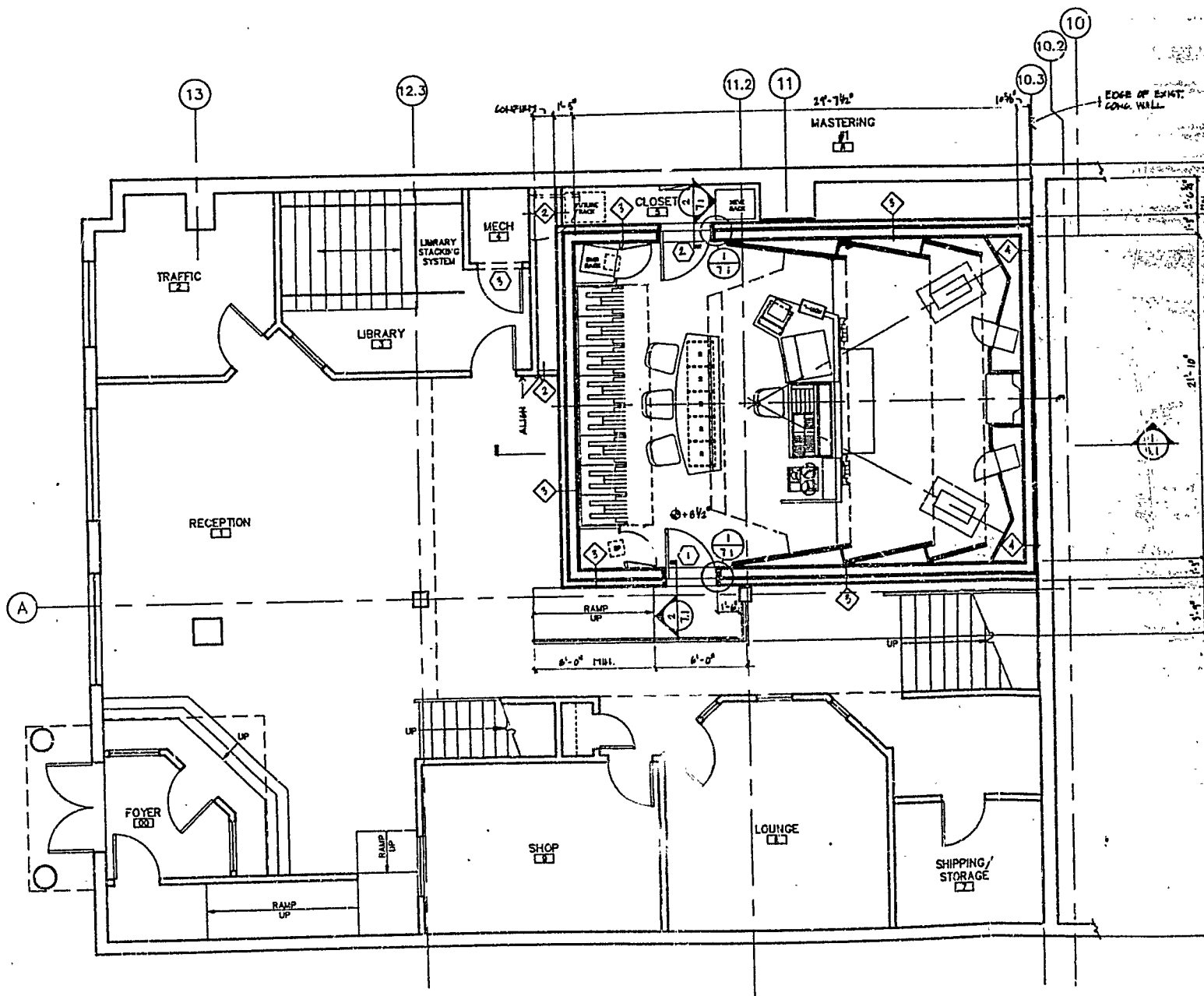
PRELIMINARY

**GROUND
FLOOR PLAN**

DATE: OCT 20, 1992
SCALE: 3/4" = 1'-0"
DRAWN BY: MY

11

NOTE: ALL DIMENSIONS ARE TO
FINISHED FACE OF GYP
SO.

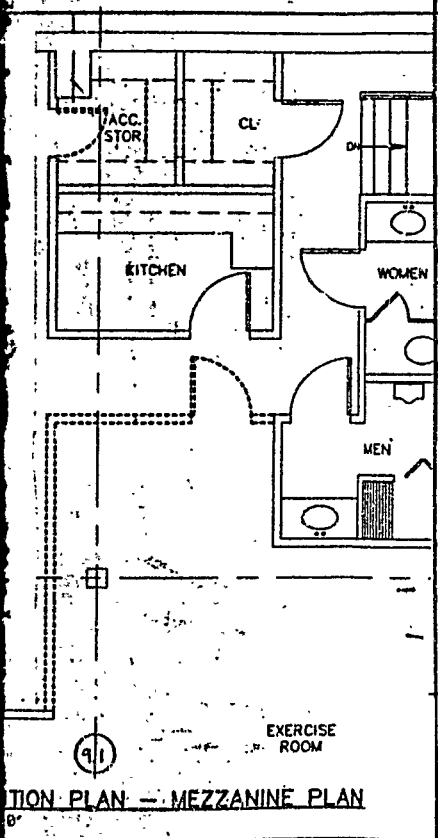


GROUND FLOOR PLAN
1/4" = 1'-0"

16. The Project Drawings indicate the general scope of the project in terms of the architectural design concept, the overall character, the type of systems and the nature of major architectural elements. The drawings and specifications do not necessarily indicate or describe all items required for the performance and proper completion of the work. Conditions of the contract as to the items of work included with the scope of the documents shall be final and binding.
17. Details shall be provided for all openings through walls required by mechanical work and all doors over 4'-0" x 8'-0". Details shall be detailed according to local building code.
18. In mechanical rooms, all pipes, ducts, stairs and ladders are required to indicate scope of work only. All final locations are subject to final selection and coordination of mechanical equipment.
19. All starting points for ceiling and floor grids are to be in the center of square unless indicated otherwise on the drawings.
20. All vertical partitions are to be on the underside of structure unless noted otherwise. All wood metal studs are to be placed around structure as required. Glass and partitions run perpendicular with an existing structural slab 2 1/2" thick concrete masonry panel between wood studs and also shall be detailed as to make a tight fit.
21. All architectural construction that has integrated electrical work is to be covered by structure.
22. All surfaces visible through mechanical or architectural glass, doors, grilles, diffusers, etc. are to be painted white unless noted.
23. The location and dimensions of all electrical, fire protection, plumbing, mechanical devices, doors, stairs, panels, etc. are to be coordinated with the architect prior to installation.
24. Final selection of colors is to be made by architect or owner.
25. The General Contractor shall install aluminum wall panels and partitions including fire wall and ceiling mounted machinery, components, acoustic panels and devices, materials, components, etc.
26. Walls shown aligned shall be finished clean and smooth with masonry work.

SYMBOLS

	ROOM NUMBER		DETAIL INDICATOR
	CONSTRUCTION TYPE		REVISION INDICATOR
	WINDOW		ELEVATION PT. (ELEVATION/SECTION) WALL PT. (PLAN, DETAILS) (NOTED FROM SHEET)
	COLUMN GRID		SECTIONAL INDICATOR
	ELEVATION INDICATOR		DOOR



MATERIALS

--- DENOTES NEW CONSTRUCTION ON PLANS

	PLYWOOD		POURED CONCRETE
	GYPSUM BOARD		GLASS
	ACOUSTIC CEILING TILE		STEEL
	BATT INSULATION		CONTINUOUS WOOD MEMBER
	RIGID INSULATION (ALSO INSULATION PANELS)		WOOD BLENDING
	CONCRETE BLOCK		CAULKING

ABBREVIATIONS

ACC. STOR. ACCESSORY STORAGE	CL. CLOSET	CON. CONCRETE	GLASS GLASS	INS. INSULATION
CEILING CEILING	DOOR DOOR	MECH. MECHANICAL	PLY. PLYWOOD	ROOF ROOF
CH. CHAIR	ELEV. ELEVATION	ROOF ROOF	ST. STEEL	SUB. SUBMITTAL
CL. CLOSET	EX. EXERCISE	TR. TRUSS	WALL WALL	W.C. WATER CLOSET
CL. CLOSET	EX. EXERCISE	WALL WALL	W.C. WATER CLOSET	W.C. WATER CLOSET

DATE	No.	DESCRIPTION
REVISIONS		
GATEWAY MASTERING STUDIOS		
428 CUMBERLAND AVENUE PORTLAND, MAINE		

WALTERS-STORYK DESIGN GROUP, INC.
 202 MARTIN AVENUE
 BOSTON, MA 02114
 PH (617) 891-8300
 FX (617) 891-8361

PRELIMINARY

TITLE & LOCATION

DATE: OCT 20, 1992
 SCALE:
 DRAWN BY:

0.1

GENERAL NOTES

1. A.T.A. Document General Conditions of the Contract for Construction, shall govern the work of this contract.
2. All work on drawings shall be performed in accordance with requirements of the project drawings.
3. All work shall be performed in accordance with any Municipal, County, State or Federal code or codes having jurisdiction over the work. All applicable requirements in these regulations shall be followed the same as if noted on the drawings.
4. The General Contractor shall be responsible for obtaining all permits required by Federal, State, County, or Municipal law and shall include in the contract all required fees.
5. The General Contractor shall arrange for storage of other building materials (if provided) for materials.
6. The General Contractor shall be responsible for obtaining all permits required by Federal, State, County, or Municipal law and shall include in the contract all required fees.
7. The General Contractor shall be responsible for obtaining all permits required by Federal, State, County, or Municipal law and shall include in the contract all required fees.
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49. The General Contractor shall be responsible for obtaining all permits required by Federal, State, County, or Municipal law and shall include in the contract all required fees.
50. The General Contractor shall be responsible for obtaining all permits required by Federal, State, County, or Municipal law and shall include in the contract all required fees.

18. The General Contractor shall erect all necessary temporary walls or drive shaft partitions to prevent adjacent areas while demolition and construction is in progress. Care and attention shall be paid by the General Contractor so as to insure that no damage takes place at the adjoining job site installations.
19. In all areas where demolition occurs, the General Contractor shall provide all necessary work to completely coordinate all trades on the job site - including but not limited to general architectural work, electrical, HVAC, etc.
20. No work involving extra costs beyond the agreed scope of the Project shall be commenced until all additional costs have been approved by the Architect.
21. Electrical and other service locations are shown on drawings for location only. All exact location, installation and dimensions are to be confirmed in the field or on approved shop drawings.
22. Architect shall approve partitions layout to field prior to erection of walls. The General Contractor shall verify the location when walls and partitions have been laid out on floor slabs.
23. Any substitutions from the Project drawings must be submitted to the Architect for approval prior to installation. Should the General Contractor find any discrepancy, omissions, omissions or conflict to any of the Contract documents or Project drawings, it is to be done so in their writing, be done prior to the start of construction. The Architect will review the question or request for information (RFI) and if necessary issue an instruction clarifying the question in writing. Without the issue of the RFI the Architect will be responsible for work performed from such instructions.
24. Written notification must be submitted for any change by Contractor to Architect for all work of construction before any work is started. Such notification must indicate date, price and scope of work.

10. The Project drawings indicate the general nature of the project in terms of the architectural design concept, the overall dimensions, the type of systems and the nature of the major architectural elements. The drawings and specifications do not necessarily indicate or describe all items required for the performance and proper completion of the work. Details of the Architect as to the items of work included with the scope of the documents shall be final and binding.
11. Details shall be provided for all openings through walls required by mechanical work and all doors over 4'-0" wide. Details shall be installed according to local building code.
12. In mechanical rooms, all pipes, vents, pipes, and locations are approximate to indicated levels of work only. All final locations are subject to final coordination with the coordination of mechanical equipment.
13. All starting points for ceiling and floor grids are to be in the center of the grid unless indicated otherwise on the drawings.
14. All structural steel is to be on the underside of structure unless noted otherwise. All steel metal studs are to be installed in accordance with the existing structural steel and shall be installed so as to be made a tight fit.
15. All architectural construction that has integrated electrical work is to be coordinated to structure.
16. All surfaces visible through mechanical or architectural grids, louvers, grilles, diffusers, etc. are to be painted white.
17. The location and elevation of all electrical, fire protection, plumbing, mechanical devices, access doors, panels, etc. are to be coordinated with the Architect prior to installation.
18. Final selection of colors is to be made by Architect or Owner.
19. The General Contractor shall install necessary solid blocking and partitions (including for wall and ceiling mounted machinery, accessories, acoustic panels and grilles, and/or other equipment, etc.).
20. Walls shown stippled shall be finished stippled and match with existing work.

SYMBOLS

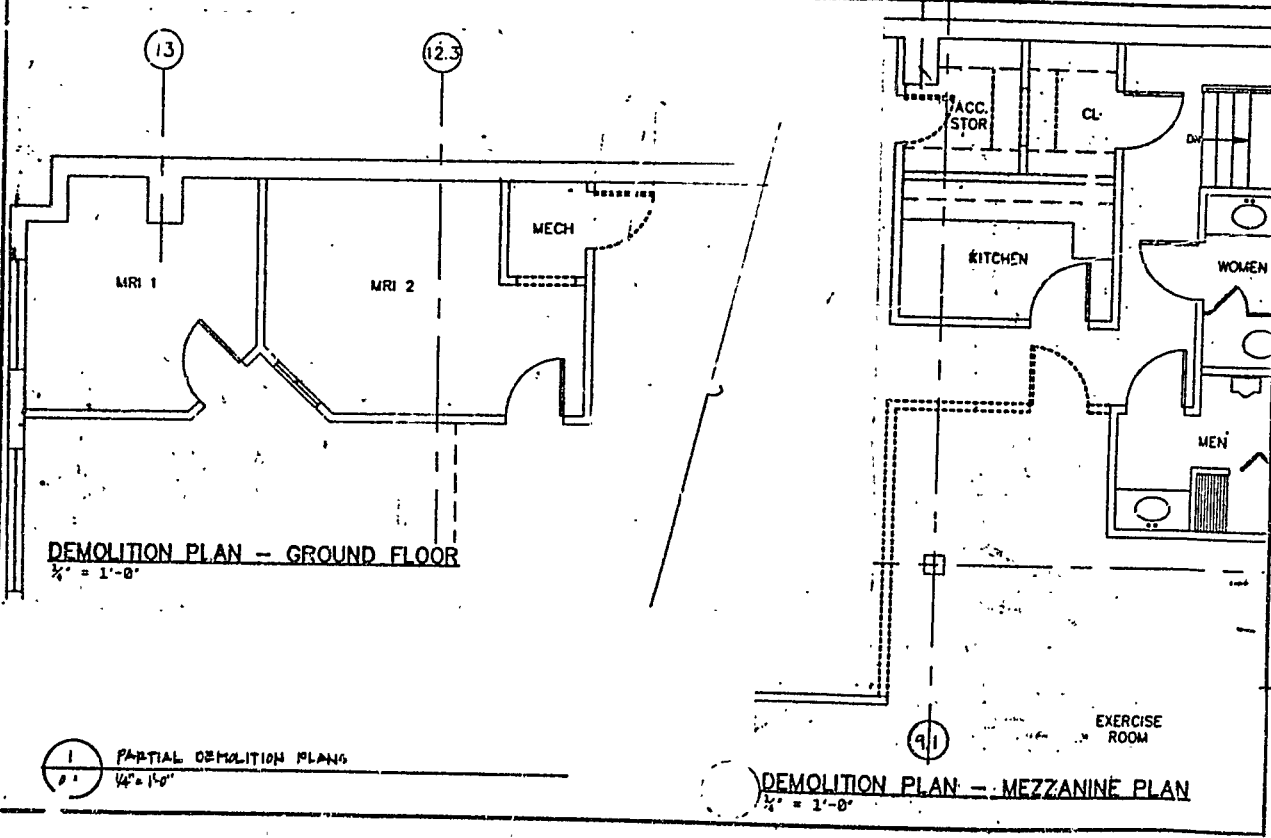
- 01 ROOM NUMBER
- 1 CONSTRUCTION TYPE
- W WINDOW
- A COLUMN GRID
- 11 SECTION INDICATOR
- 12 ELEVATION INDICATOR
- 13 DOOR

MATERIALS

- PLYWOOD
- GYPSON BOARD
- ACOUSTIC CEILING
- BATT INSULATION
- ROOF INSULATION
- CONCRETE FLOOR

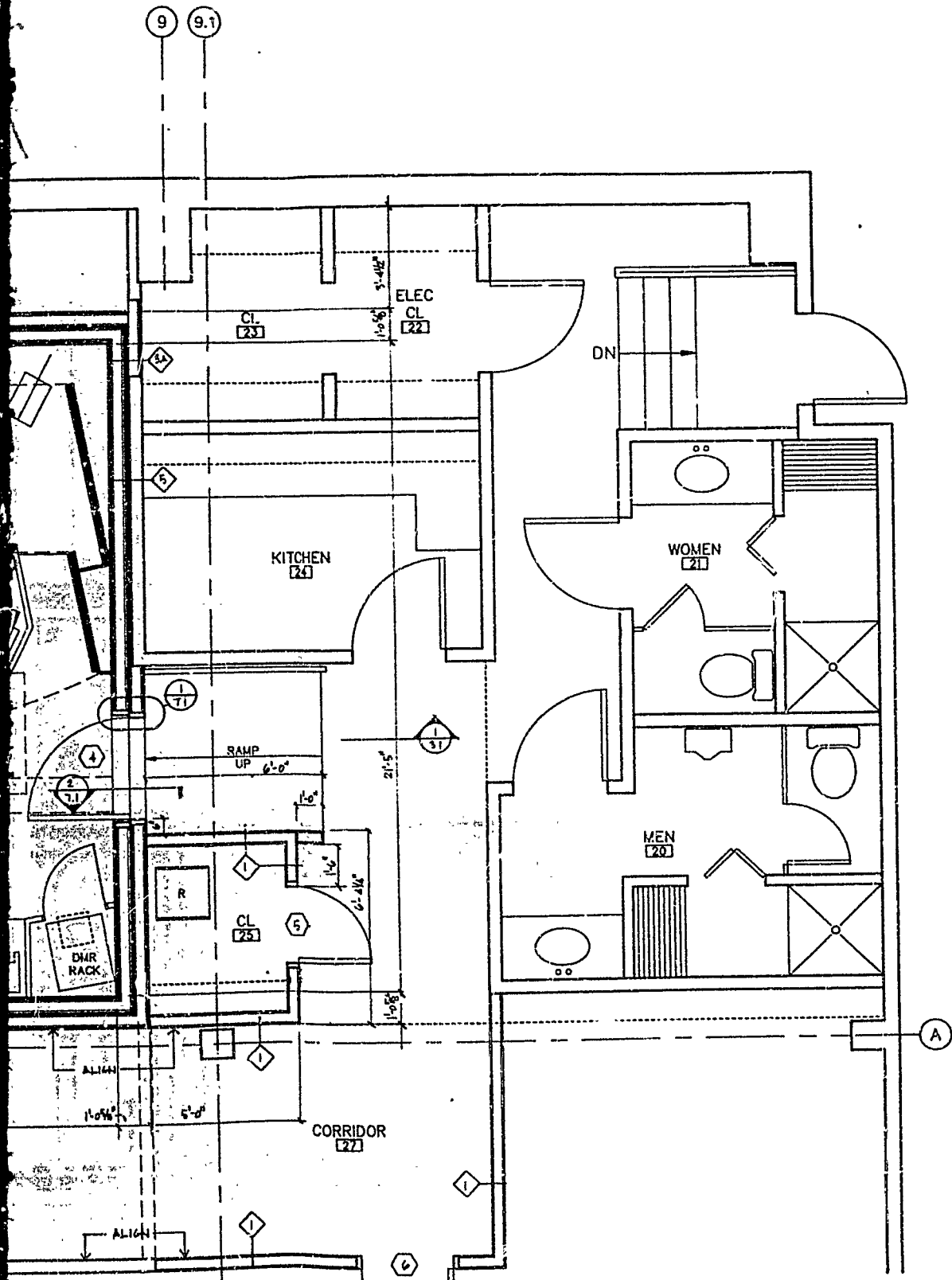
ABBREVIATIONS

Symbol	Description
ACC. STOR.	ACoustic STORAGE
CL.	CLosets
MECH.	MECHANICAL
KITCHEN	KITCHEN
WOMEN	WOMEN'S RESTROOM
MEN	MEN'S RESTROOM
EXERCISE ROOM	EXERCISE ROOM



1 PARTIAL DEMOLITION PLANS
 $\frac{1}{4}'' = 1'-0''$

91 DEMOLITION PLAN - MEZZANINE PLAN
 $\frac{1}{4}'' = 1'-0''$



DATE	No.	DESCRIPTION
REVISIONS		

**GATEWAY
MASTERING STUDIOS**
428 CUMBERLAND AVENUE
PORTLAND, MAINE 04104

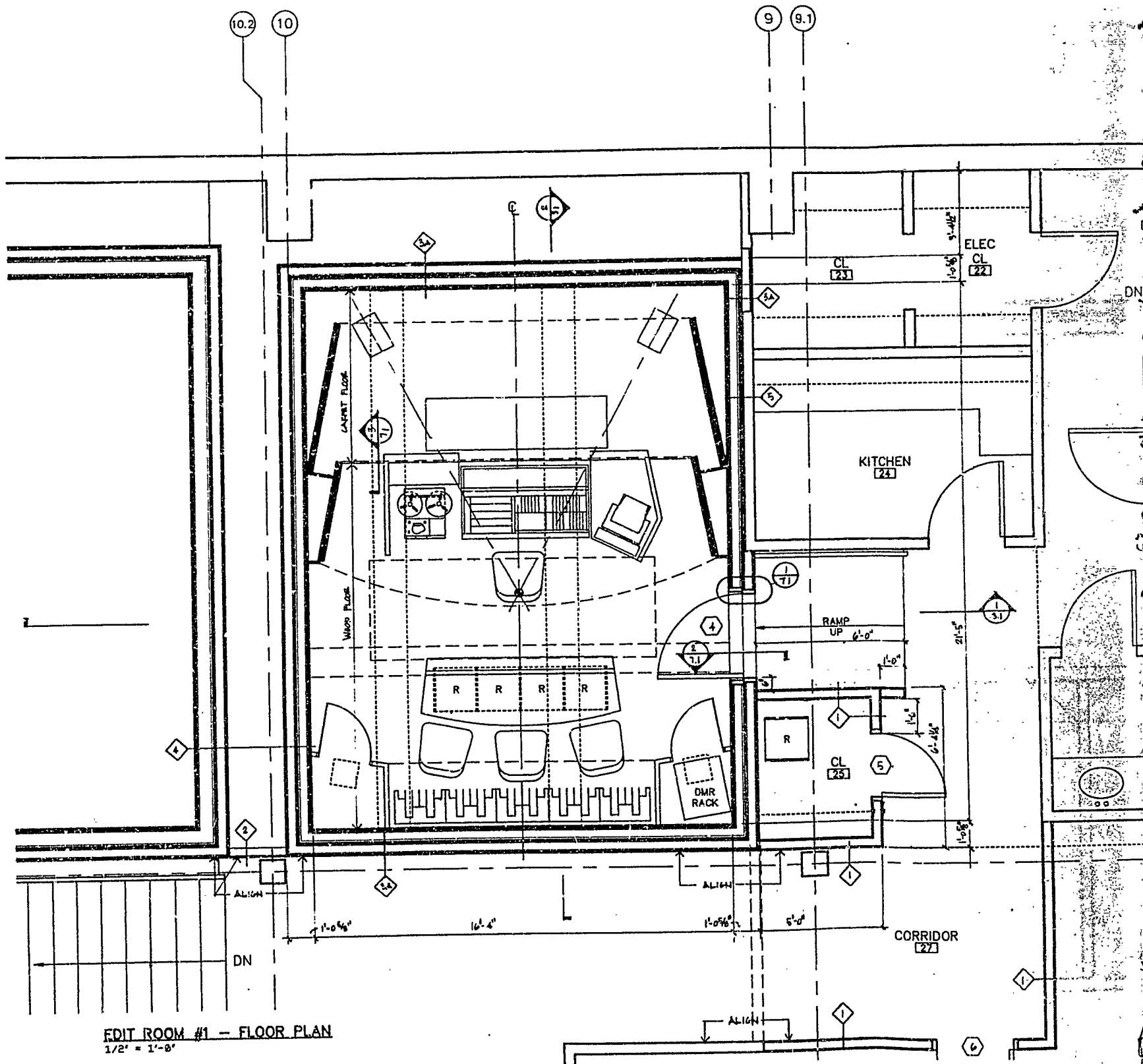
Walters-Stork Design Group, Inc.
202 MARTIN AVENUE
INGHAM, NY 15528
PH (814) 881-8300
FX (814) 881-8381

PRELIMINARY

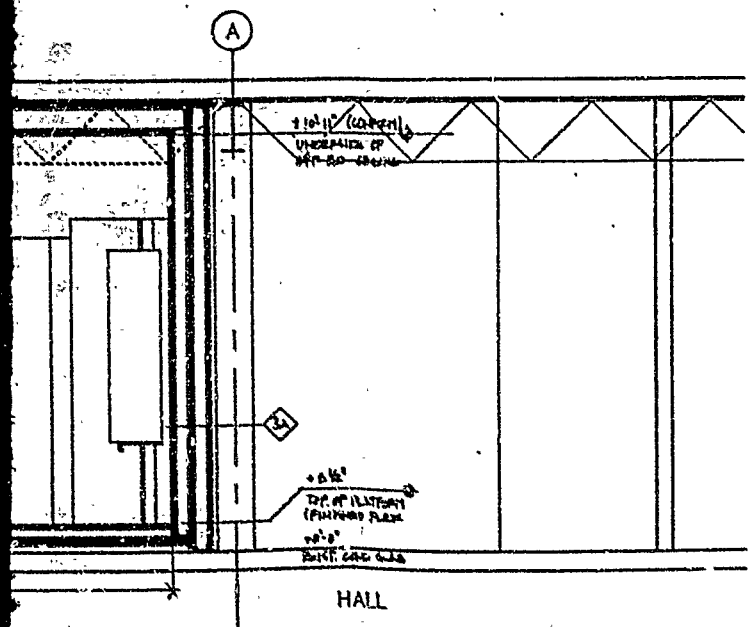
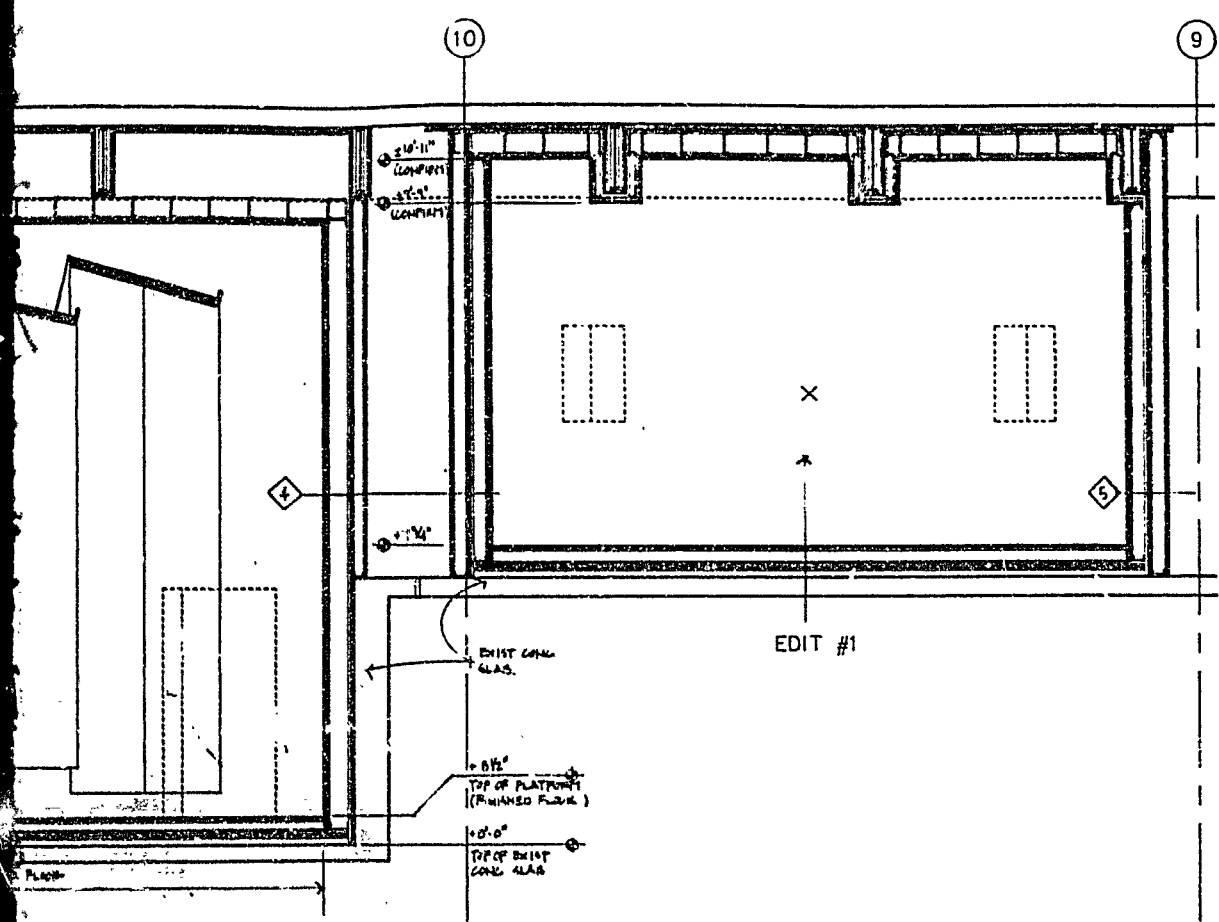
**EDIT ROOM - 01
FLOOR PLAN**

DATE _____
SCALE: 1/2" = 1'-0"
DRAWN BY: JY

2.2



EDIT ROOM #1 - FLOOR PLAN
 1/2" = 1'-0"



DATE	NO.	DESCRIPTION
REVISIONS		

**GATEWAY
MASTERING STUDIOS**
428 CUMBERLAND AVENUE
PORTLAND, MAINE 04104

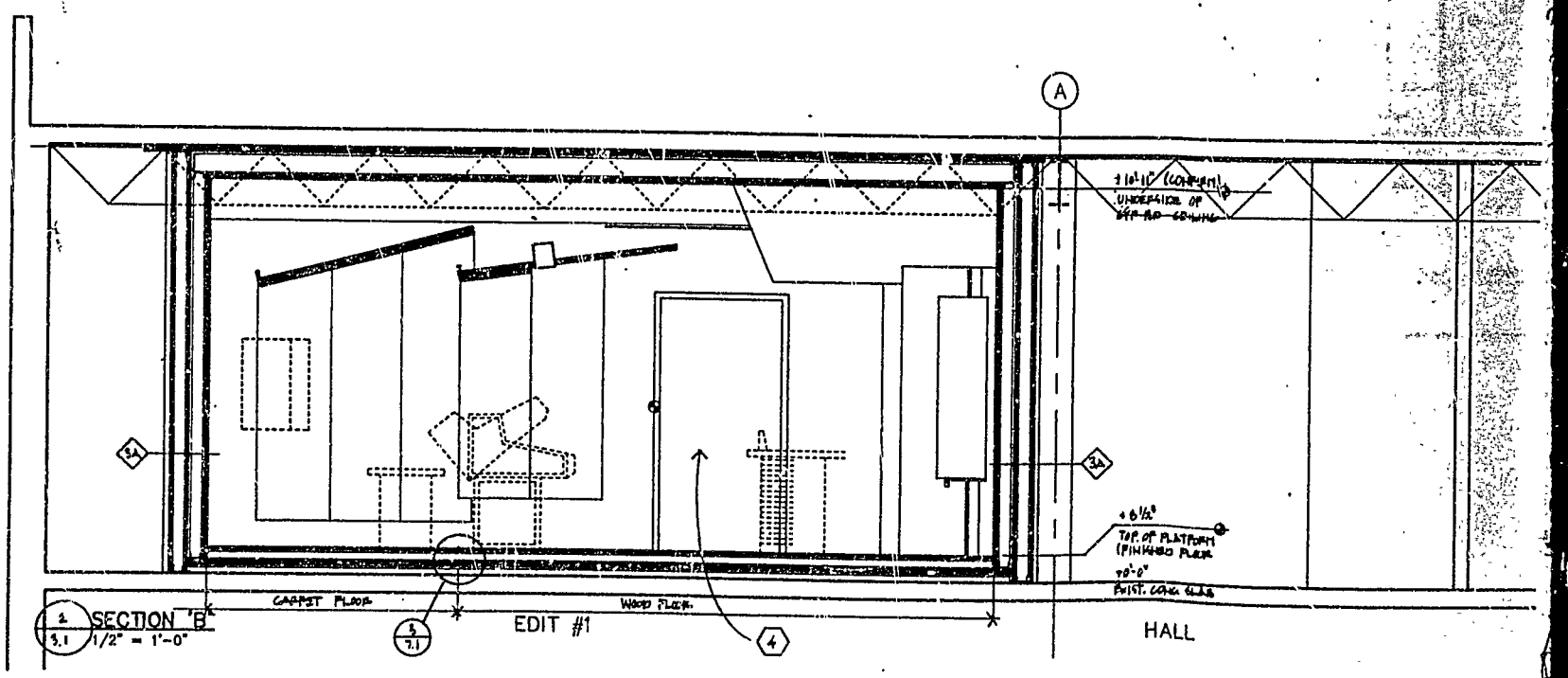
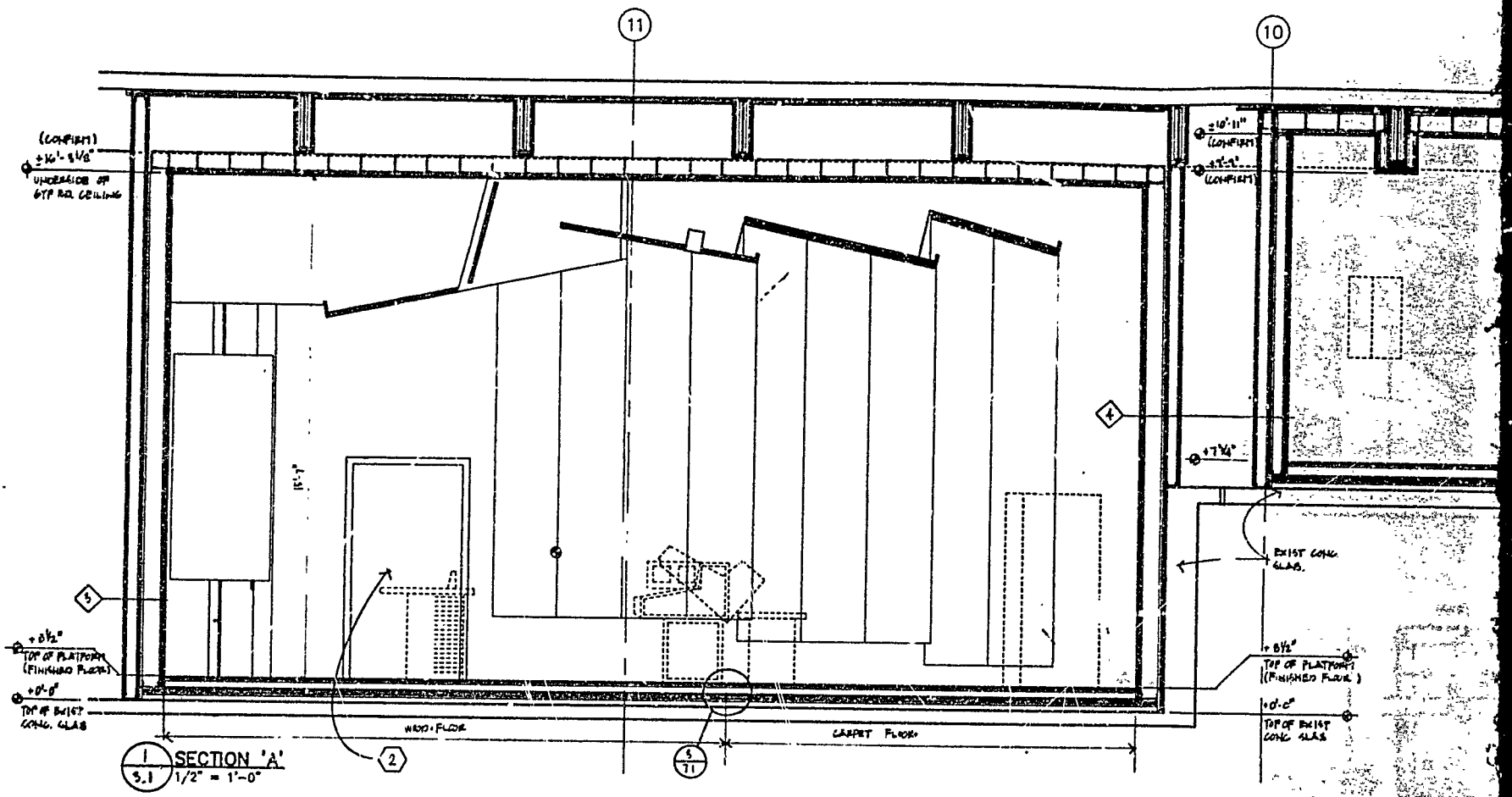
Walters-Storck Design Group, Inc.
282 MARTIN AVENUE
HIGHLAND, NY 12528
PH (914) 881-8300
FX (914) 881-2381

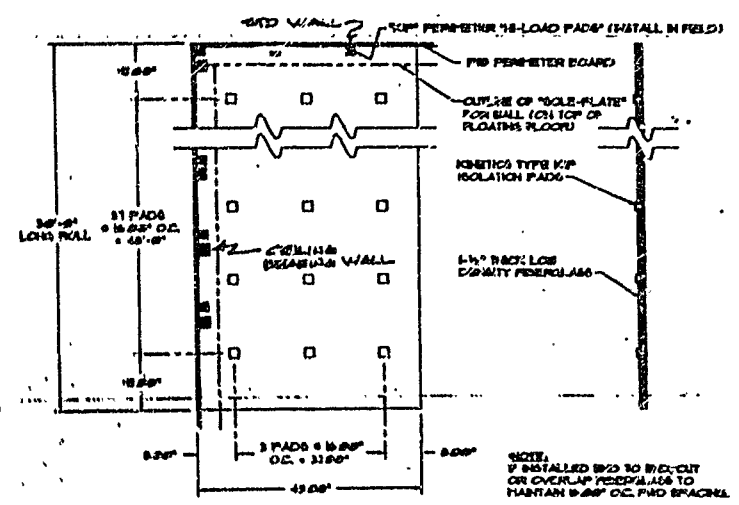
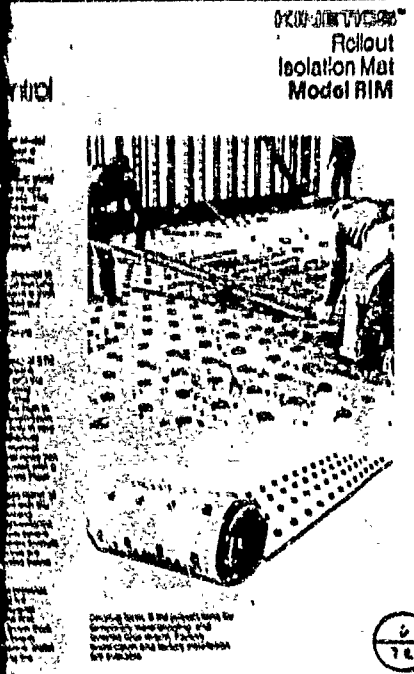
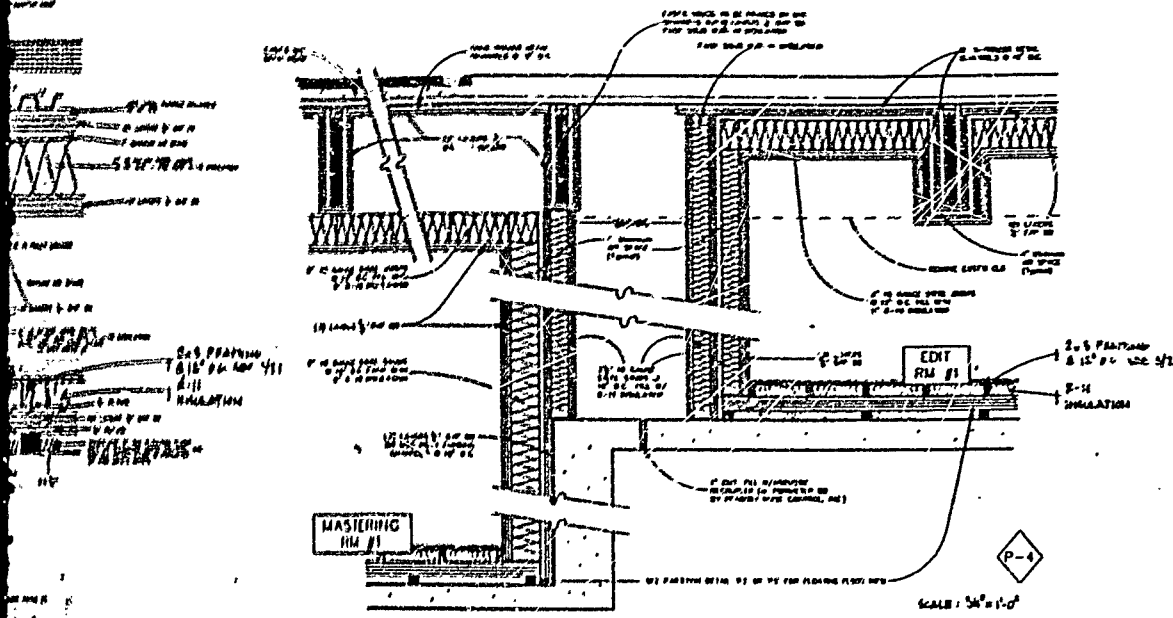
PRELIMINARY

SECTIONS

DATE: OCT 20, 1992
SCALE: 1/2" = 1'-0"
DRAWN BY: MY

3.1





6 KINGSTON ALLOY ISOLATION MAT MODEL RIM
 78 N.T.S.

DATE	No.	DESCRIPTION
REVISIONS		
GATEWAY		
MASTERING STUDIOS		
428 CUMBERLAND AVENUE PORTLAND, MAINE 04104		

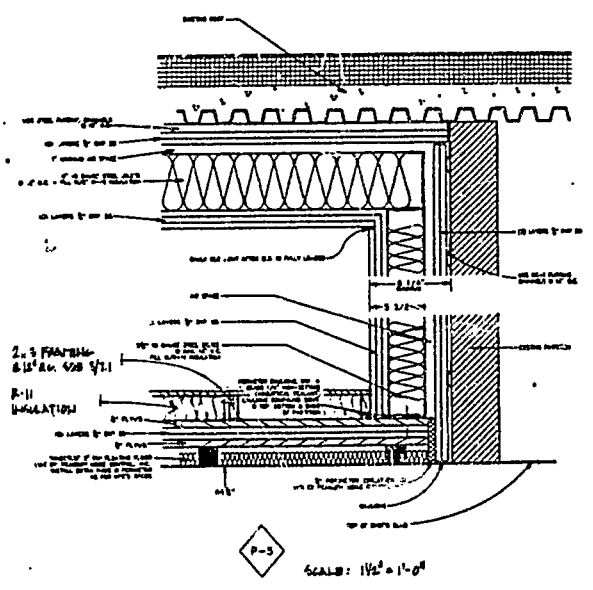
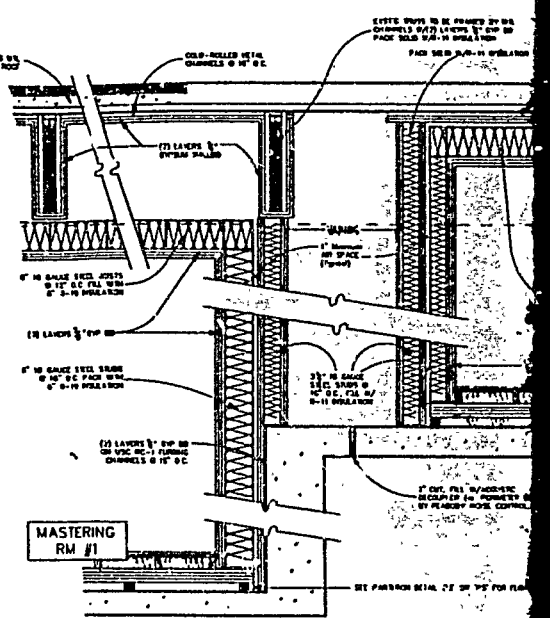
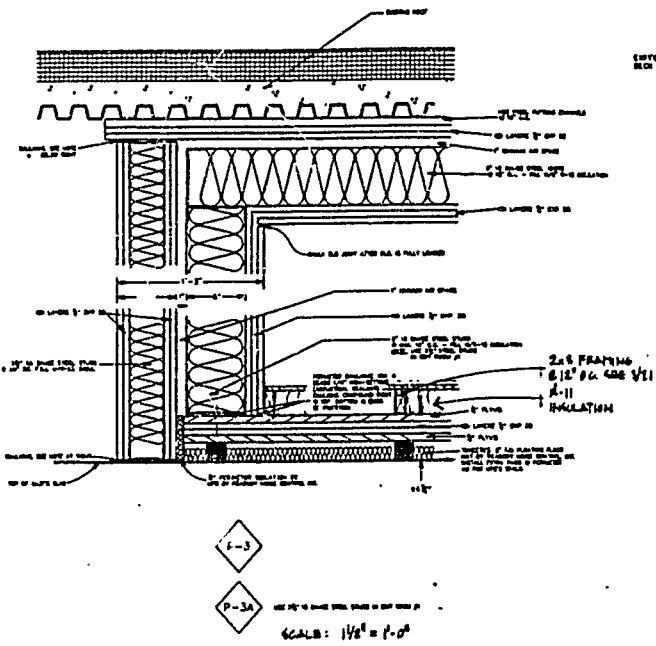
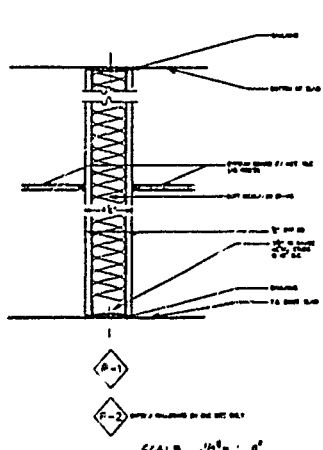
Walters-Stryck Design Group, Inc.
 212 MARSH AVENUE
 NEWLAND, NY 12521
 PH (514) 891-8300
 FX (514) 891-8361

PRELIMINARY

PARTITIONS

DATE: 12/14/92
 SCALE:
 DRAWN BY:

6.1



Peabody Noise Control

KINETICS® Rollout Isolation Mat Model RIM

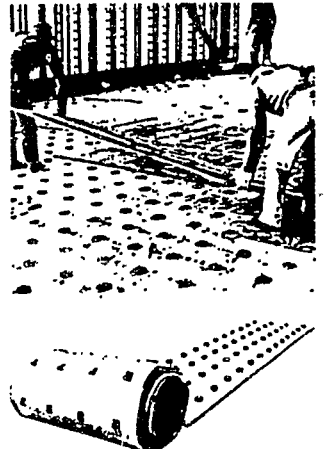
Description: The Kinetics® Model Rollout Floor Isolation Mat (RIM) is a patent system which consists of 2 inch thick high density polyethylene (HDPE) sheets, reinforced with a dense, non-woven fiber fabric. The density and spacing of the fiber fabric determine the frequency response of the isolation mat. The mat is designed to provide uniform deflection of the floor under all loads of design loading.

The isolation mat is applied to the existing floor with a 1/2 inch thick leveling mortar. A 1/2 inch thick leveling mortar is then installed on top of the rollout isolation mat. The mortar is temporarily waterproofed, reinforced with a mesh fabric, and concrete poured.

A SOUND FLOOR ABOVE IS NOT TO BE ACHIEVED WITH THE KINETICS® Model RIM Floor Isolation Mat. The performance of the floor system will depend on the quality of the concrete floor above. Additional sound transmission loss would be required only in very extreme situations. Mechanical and electrical penetrations should be significantly attenuated with a Kinetics® Floating Concrete Floor.

An impact insulation class rating of IC 70 can also be achieved with the Kinetics® Model RIM Floating Concrete Floor. The performance will increase as the most severe impact sources, pedestrian traffic and similar impact sources are reduced. Usually, reductions below the existing floor.

Peabody Noise Control provides factory engineered and fabricated isolation mats. Material provided includes Model RIM floating floor material. Each RIM mat perimeter is reinforced with a 1/2 inch perimeter mortar board, perimeter cut-away joints, and metal anchor plates for joining the mats.



pouring form, 8 mil polyethylene for temporary waterproofing and isolation floor above. Factory anchor and factory reinforcement are included.

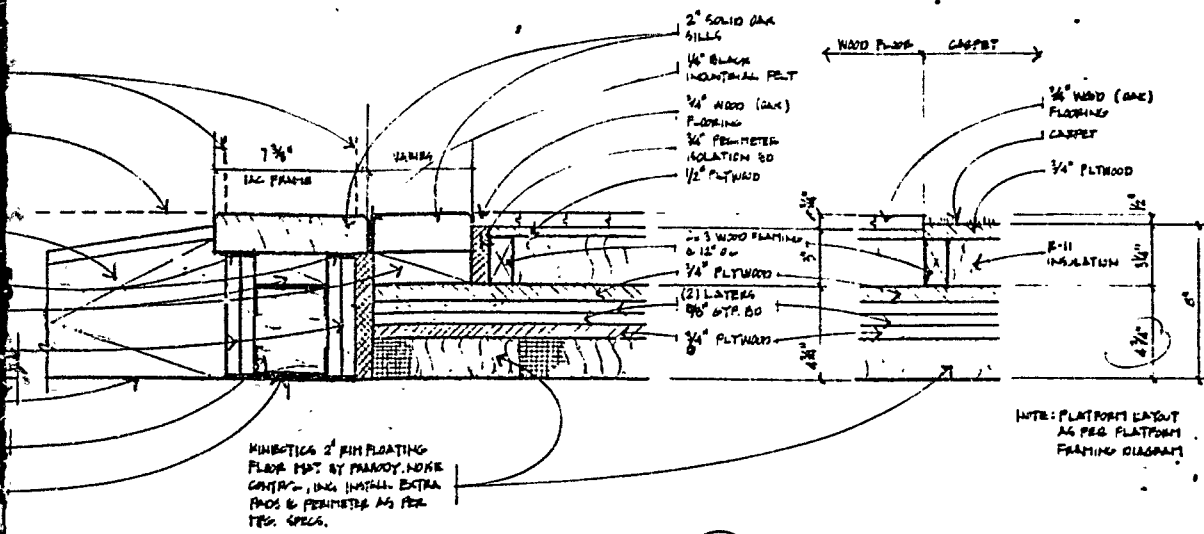
30" x 30" LONG ROLL

31 PADS @ 16" x 16" O.C. = 48' x 48'

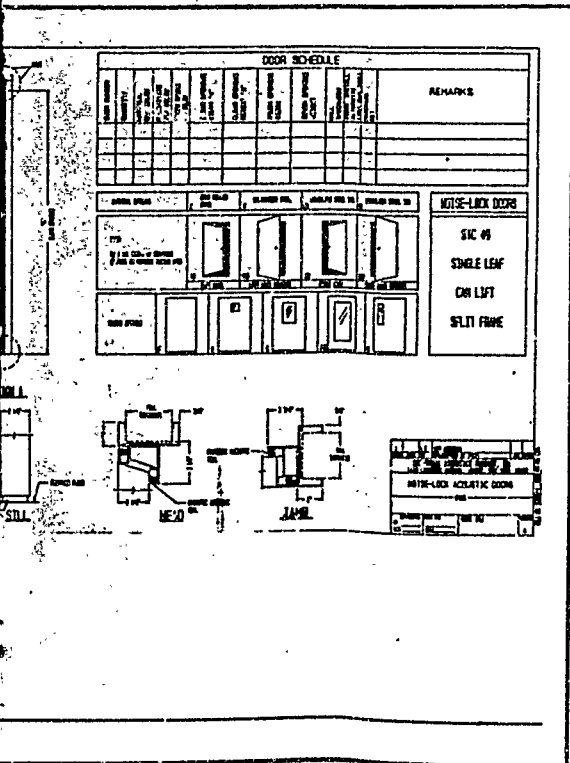
3 PADS @ 16" x 16" O.C. = 32' x 32'

6 KINETICS ROLLOUT ISOLATION MAT MODEL RIM

7.2 N.T.S.



3
7.1
DETAIL & WOOD FLOOR / CARPET INTERFACE
9'-1'-0"



DATE	No.	DESCRIPTION
------	-----	-------------

REVISIONS

**GATEWAY
MASTERING STUDIOS**
428 CUMBERLAND AVENUE
PORTLAND, MAINE 04104

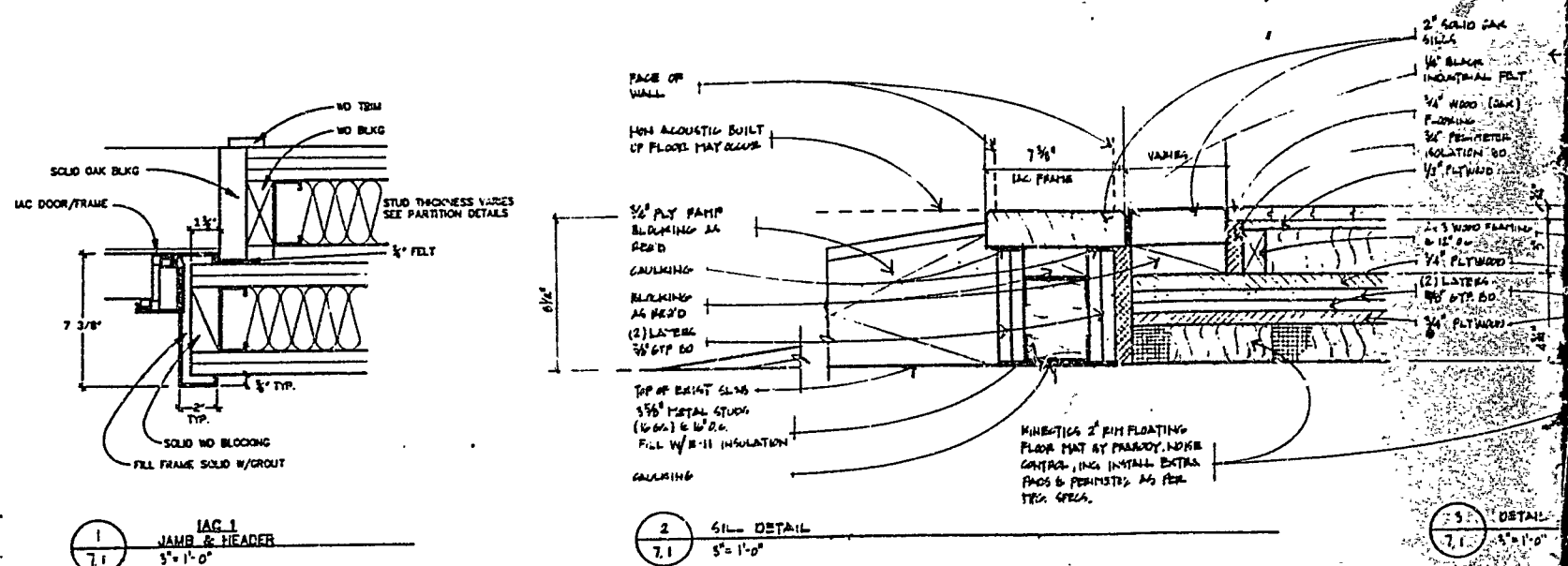
Walters-Storyk Design Group, Inc.
282 MARTIN AVENUE
HIGHLAND, NY 12528
PH (514) 891-9300
FX (514) 891-9361

PRELIMINARY

DETAILS

DATE 6/20/12
SCALE:
DRAWN BY:

7.1



1 IAC 1
JAMB & HEADER
5'-1'-0"

2 SILL DETAIL
5'-1'-0"

3 DETAIL
5'-1'-0"

NOTE: DOORS 1, 2, 4 TO BE
IAC ACOUSTIC DOORS

SPECIFICATION
NOISE-LOCK ACOUSTICAL DOORS

Door and frame assemblies shall be constructed with acoustic seals and gaskets to insure that the door is airtight and acoustically sound. The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse. The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse. The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse.

MATERIALS

Door leaf shall be 2-1/2 in. (63.5 mm) thick steel plate with a minimum yield strength of 50,000 psi. The door shall be finished with a heavy-duty, non-reflective, fire-retardant paint. The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse.

CONSTRUCTION

The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse. The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse. The door shall be constructed of heavy-duty materials and shall be capable of withstanding impact and abuse.

INSTALLATION

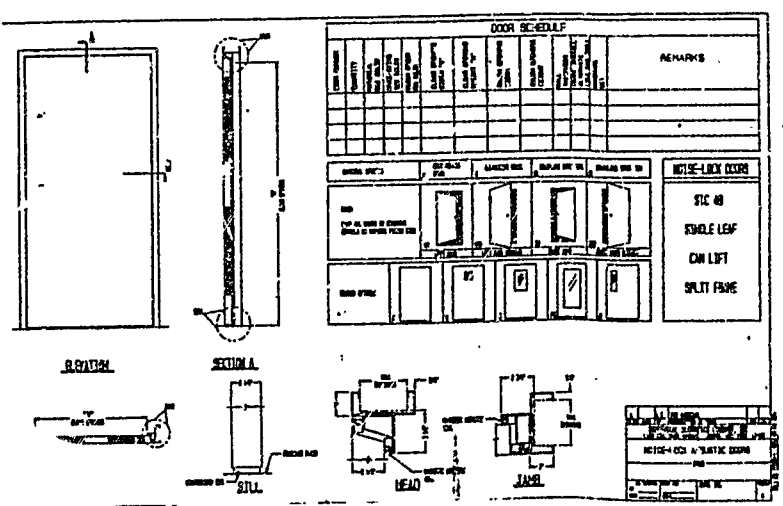
The door shall be installed in accordance with the manufacturer's instructions. The door shall be installed in accordance with the manufacturer's instructions. The door shall be installed in accordance with the manufacturer's instructions.

QUALITY ASSURANCE

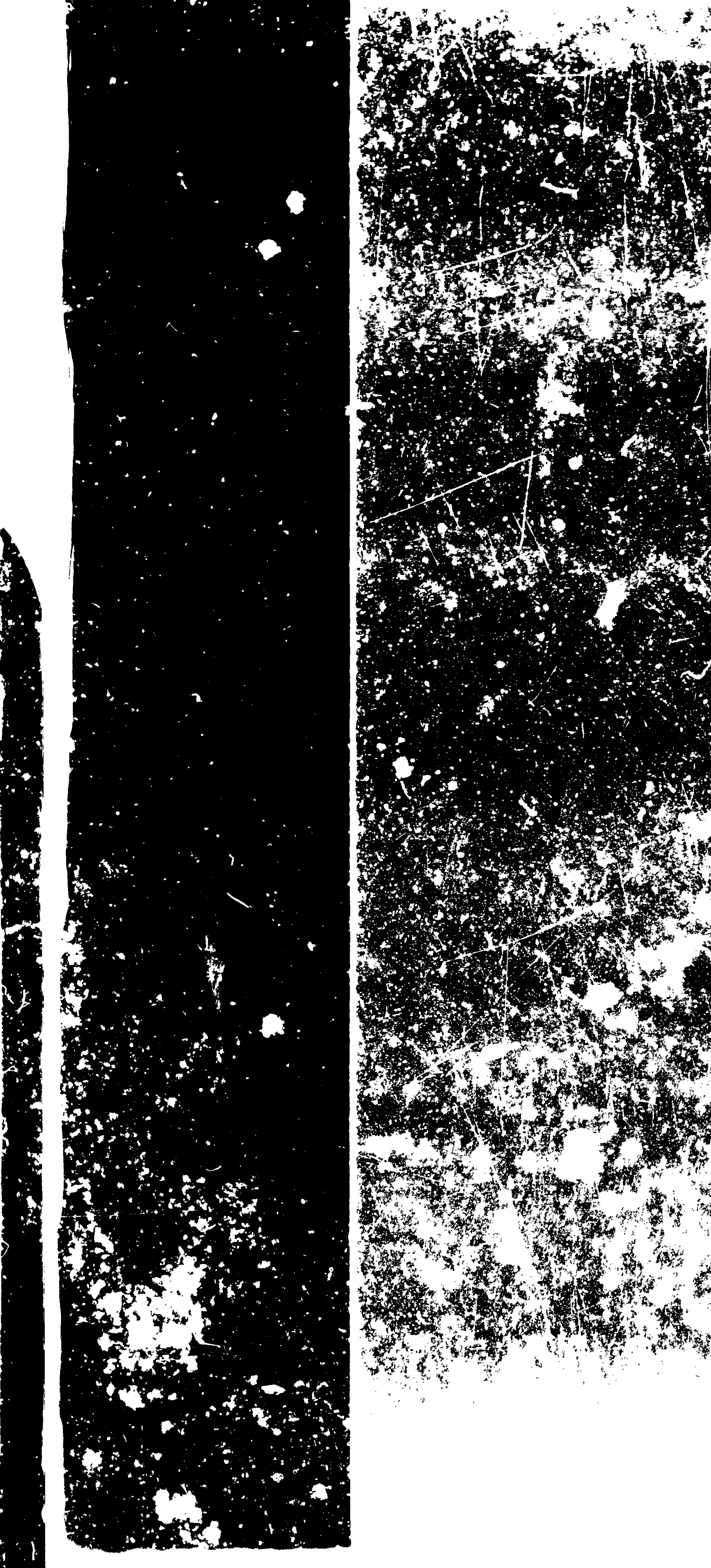
The manufacturer shall submit a certificate of compliance with the specification. The manufacturer shall submit a certificate of compliance with the specification. The manufacturer shall submit a certificate of compliance with the specification.

NOTES

1. All hardware other than hinges shall be supplied and installed by the door manufacturer.



1 IAC DETAILS
H.T.S.





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date December 14, 1992
 Receipt and Permit number 3811

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 428 Cumberland Ave.
 OWNER'S NAME: Crew/Maine Medical Ctr. ADDRESS: same

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>75</u>	15.00
FIXTURES: (number of)	
Incandescent _____ Fluorescent _____ (not strip) TOTAL <u>80</u>	16.00
Strip Fluorescent _____ ft	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____ ..	
METERS: (number of)	
MOTORS: (number of)	
Fractional	
1 HP or over	
RESIDENTIAL HEATING:	
Oil or Gas (number of units)	
Electric (number of rooms)	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler)	
Oil or Gas (by separate units) <u>1</u>	2.00
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL	
MISCELLANEOUS: (number of)	
Branch Panels <u>2</u>	8.00
Transformers <u>0-25</u> KVA	5.00
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	4.00
Emergency Lights, battery <u>4</u>	
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	
TOTAL AMOUNT DUE: _____	50.00

INSPECTION:
 Will be ready on _____, 19__; or Will Call X
CONTRACTOR'S NAME: D. L. Electric Inc.
ADDRESS: 128 Silver St. Waterville, ME 04901
TEL.: 207-873-3435
MASTER LICENSE NO.: 13811 **SIGNATURE OF CONTRACTOR:** _____
LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

