

20-22 GRANT STREET



Pat. ent. #020R - Heifour #92 CR - Thirabul #0203R - Jib ent. #109H



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 15, 1958

PERMIT ISSUED

01072

AUG 15 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location ... 20 Grant Street ... Use of Building ... Tenement ... No. Stories ... Existing Building ... Existing ... Name and address of owner of appliance ... Mrs. Harry Shur, 26 Grant St. ... Installer's name and address ... H. J. Katz, Co., 7 Washington Ave. ... Telephone ... 3-8343

General Description of Work

To install forced hot water heating boiler and oil burning equipment in place of gravity hot water heat - new oil burner for second floor

IF HEATER, OR POWER BOILER

Location of appliance ... basement ... Any burnable material in floor surface or beneath? ... no ... If so, how protected? ... Kind of fuel? ... oil ... Minimum distance to burnable material, from top of appliance or casing top of furnace ... Over 15" ... From top of smoke pipe ... 15" ... From front of appliance ... 4" ... From sides or back of appliance ... 3" ... Size of chimney flue ... 8x10 ... Other connections to same flue ... furnace ... If gas fired, how vented? ... Rated maximum demand per hour ... Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner ... Patro ... Labelled by underwriters' laboratories? ... yes ... Will operator be always in attendance? ... Does oil supply line feed from top or bottom of tank? ... bottom ... Type of floor beneath burner ... concrete ... Size of vent pipe ... 1 1/2" ... Location of oil storage ... basement ... Number and capacity of tanks ... 1-275 gal. ... Low water shut off ... Make ... No. ... Will all tanks be more than five feet from any flame? ... yes ... How many tanks enclosed? ... Total capacity of any existing storage tanks for furnace burners ... none

IF COOKING APPLIANCE

Location of appliance ... Any burnable material in floor surface or beneath? ... Height of Legs, if any ... Skirting at bottom of appliance? ... Distance to combustible material from top of appliance? ... From front of appliance ... From sides and back ... From top of smokepipe ... Size of chimney flue ... Other connections to same flue ... Is hood to be provided? ... If so, how vented? ... Forced or gravity? ... If gas fired, how vented? ... Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? ... 2.00 ... (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

[Handwritten signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... yes

H. J. Katz Co.

INSPECTION COPY

Signature of Installer

By:

[Handwritten signature]



CITY OF PORTLAND  
HEALTH DEPARTMENT  
HOUSING DIVISION



Loc. 20 Grant St.  
Loc w/1 S W B510 JF  
Bldg X Fire X Elec X Other  
Issued August 26, 1958  
Expires Sept. 26, 1958

Mrs. Rose Sharr  
28 Grant St.  
Portland, Maine

Dear Sir:

On August 6, 1958 an examination was made of the premises located at 20 Grant St. Portland, Maine

Non-compliance with the ordinances relating to housing conditions was found as detailed below.

In accordance with the provisions of the above ordinance, you are hereby ordered to correct these defects according to specifications within the time limits allowed. Failure to comply with this notice will necessitate legal action.

Some repairs or improvements required will necessitate permits which are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started.

If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1431, extension 226. Kindly notify this office as soon as all corrections have been completed.

Very truly yours,  
Edward W. Colby, M.D.  
Health Director

By \_\_\_\_\_  
Housing Supervisor

**VIOLATIONS & SPECIFICATIONS**

## Responsibility of Owner or Agent      \*\* Responsibility of Occupant

**## STRUCTURAL REPAIRS**

Repair and put in good order all dilapidated and hazardous parts of the structure as follows:

- a. Repair or replace the loose, cracked or missing plaster on the (1) walls of the rear 1st. to 2nd. floor hallway.
- b. Repair or replace the loose railing on the 1st. to 2nd. floor rear stairway.

**## ELECTRICAL EQUIPMENT.**

Check and have repaired all defective electric wiring and electrical equipment throughout the structure.

- a. Install convenience outlets in all the rooms when there is a dangerous excessive use of extension cords. Particular attention is directed to the living-room and bedrooms, where there are no wall plugs throughout, in the 3rd floor apartment.
- b. Disconnect and do not connect again the illegal wiring spliced into the overhead fixture in the rear bedroom of the 3rd. floor apartment.

**## PLUMBING**

Check and have repaired all defective plumbing and plumbing fixtures throughout the structure.

- a. Repair or replace the defective water supply lines in 2nd and 3rd floor apartments. Determine the reason and remedy the condition which now causes low water pressure in the cold water supply lines in; 1) the lavatory of the 2nd. floor apartment. 2) the lavatory of the 3rd. floor apartment.

The above mentioned substandard conditions are in violation of the City Ordinances, MINIMUM STANDARDS FOR CONTINUED OCCUPANCY and AUTHORITY TO VACATE BUILDINGS and must be corrected on or before September 26, 1958.

**Memorandum from Department of Building Inspection, Portland, Maine**  
20 Grant Street-Replacement of coal fired hot water heating system in tenement  
house at 20 Grant Street-9/12/16

To Contractor & Owner:

Permit is issued for this installation on the basis that there will be no more connections to the same chimney than at present. It may be that there is more than one flue in this chimney and that all of the four connections will not be to the same flue. However, after installation is made, should difficulties arise due to overloading of chimney, steps will have to be taken to remedy conditions.

MIS/J



FILL IN AND SIGN WITH INK  
**APPLICATION FOR PERMIT FOR  
 HEATING, COOKING OR POWER EQUIPMENT**

**PERMIT ISSUED**  
 01730  
 SEP 12 1946

Portland, Maine, Sept. 10, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 20 Grant St. Use of Building Tenement House No. Stories 3  New Building  Existing  
 Name and address of owner of appliance Shur Bros. 110 Congress St.  
 Installer's name and address P. Reubin Co. 111 Middle St. Telephone 2-8491

**General Description of Work**

To install To replace coal fired hot water heating system (first floor)

*OK 9-11-46*  
**CERTIFICATE OF OCCUPANCY  
 REQUIREMENT IS WAIVED**

**IF HEATER, OR POWER BOILER**

**NOTIFICATION BEFORE LATHING  
 OR CLOSING-IN IS WAIVED**

Location of appliance or source of heat cellar Type of floor beneath appliance concrete  
 If wood, how protected? Kind of fuel coal  
 Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 1'  
 From top of smoke pipe 18" From front of appliance 5' From sides or back of appliance 5'  
 Size of chimney flue 10 1/2" Other connections to same flue three to same chimney  
 If gas fired, how vented? (number of flues not known)  
 Rated maximum demand per hour

**IF OIL BURNER**

Name and type of burner Labelled by underwriters' laboratories?  
 Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?  
 Type of floor beneath burner  
 Location of oil storage Number and capacity of tanks  
 If two 275-gallon tanks, will three-way valve be provided?  
 Will all tanks be more than five feet from any flame? How many tanks fire proofed?

**IF COOKING APPLIANCE**

Location of appliance Kind of fuel Type of floor beneath appliance  
 If wood, how protected?  
 Minimum distance to wood or combustible material from top of appliance  
 From front of appliance From sides and back From top of smokepipe  
 Size of chimney flue Other connections to same flue  
 Is hood to be provided? If so, how vented?  
 If gas fired, how vented? Rated maximum demand per hour

**MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION**

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

**APPROVED:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer P. Reubin Co. *Raymond Reubin*

Permit No. 46/1730

Location 20 Grand St

Owner Shirley Bess

Date of permit 9/12/46

Approved G. E. Hooper

NOTES

Blank lined area for notes, crossed out with a large diagonal line.

Form 3800 (Rev. Jan. 21, 1935)

(POSTMARK OFF)

Receipt for Registered Article No. 28365

Registered at the Post Office indicated in the Postmark

Fee paid \_\_\_\_\_ cents Class postage \_\_\_\_\_

Declared value \_\_\_\_\_ Surcharges paid, \$ \_\_\_\_\_

Return Receipt fee \_\_\_\_\_ Spl. Del'y fee \_\_\_\_\_

Delivery restricted to addressee:

in person \_\_\_\_\_ or order \_\_\_\_\_ Fee paid \_\_\_\_\_  
Accepting employee will place his initials in  
space indicating restricted delivery.

POSTMASTER, per \_\_\_\_\_ (MAILING OFFICE)

The sender should write the name of the addressee on back hereof as an identification. Preserve and submit this receipt in case of inquiry or application for indemnity.  
Registry Fee and Indemnity.—Domestic registry fees range from 15 cents for indemnity not exceeding \$5, up to \$1 for indemnity not exceeding \$1,000. The fee on domestic registered matter without intrinsic value and for which indemnity is not paid is 15 cents. Consult postmaster as to the specific domestic registry fees and surcharges as to the registry fees chargeable on registered parcel-post packages for foreign countries. Fees on domestic registered (C. O. D.) mail range from 25 cents to \$1.20. Indemnity claims must be filed within one year (C. O. D. six months) from date of mailing.



Post Office Debitment  
OFFICIAL BUSINESS

PROPERTY FOR PRIVATE USE TO AN INDIVIDUAL BY THE DEPARTMENT OF POSTAGE, 1940

POSTAL  
OCT 5  
1943

BUY  
WAR SAVINGS  
BONDS AND STAMPS

Return to

Street and Number

Post Office Box

REGISTERED ARTICLE

No. 66365

INSURED PARCEL

PORTLAND

MAINE

Form 3811

Rev. 1-1-30

# RETURN RECEIPT

Received from the Postmaster the Registered or Insured Article, the original number of which appears on the face of this Card.

1 \_\_\_\_\_  
(Signature of addressee)

2 \_\_\_\_\_  
(Signature of addressee's agent - Agent should give address as given on Form 3811 above)

Date of delivery \_\_\_\_\_

U. S. GOVERNMENT PRINTING OFFICE

16-13121

G-43-102

10/17/43/H

October 2, 1943

Shur Brothers, Inc.  
410 Congress Street  
Portland, Maine

Subject: Questionable condition as to safety of  
the three story <sup>basement</sup> piazza at 20-22 Grant Street

Gentlemen:

As authorized and directed by Section 109 of the Building Code of the City of Portland, you are hereby required to have the above piazza thoroughly strengthened, repaired or rebuilt, forthwith, so as to be undoubtedly safe and sound with a good prospect of permanency of that condition. An Inspector from this office finds that some of the members are badly rotted, some split and some have been depressed or are sagging to some extent due to these other defects. Some of these defects are especially noticeable at the bottoms of the posts at one floor level or another,

With an open structure which has stood exposed to the weather for so many years as this one probably has, a careful man will undoubtedly find a great many cases which require immediate attention. It is obvious to an inspector in a more or less hurried inspection. I respectfully suggest to you that in order that you yourselves may as far as possible avoid responsibility or liability should accidents occur to the piazza (I am speaking as much of criminal liability as of financial) that you employ a competent builder and give him a free hand not only to repair permanently those places which obviously need it but to make a thorough examination of all parts of the piazza in order to detect the defects that are not so obvious and to permanently repair and strengthen them also.

Ordinarily such repairs do not require a building permit before the work is commenced. Should this thorough examination find that the structure was in such shape that extensive replacements or even rebuilding is the most economical procedure, your builder should apply for a building permit here before starting work of replacements or rebuilding and with the application for the permit must be filed a blueprint of a plan by a competent designer showing the details of the proposed finished structure, both as to foundations, size, spacing and spans, and connection detail of the entire work, so that the proposition may be checked against requirements of the law before the permit is issued.

The reason for this care <sup>is</sup> comes obvious when one realizes that not many years ago a property owner had a similar piazza, <sup>as</sup> he thought, thoroughly repaired and strengthened. Because he was not required to do so, no building permit was secured. About six years later, undoubtedly due to the fact that the builder who made the repairs while perhaps well intentioned did not know the strength of materials or how they carried loads, — that is it and the contributing fact of some of the members having rotted caused the piazza to collapse with several people on it and one of them was killed.

Very truly yours,

Inspector of Buildings

WMd/S



A (A) APARTMENT HOUSE ZONE  
Complaint No. C-43-162

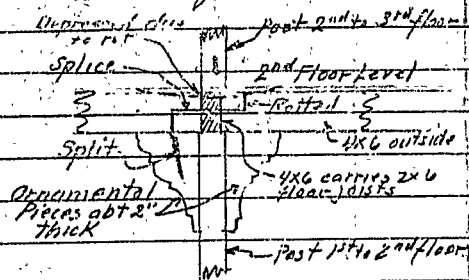
Location 28-25 2nd St

Date Received 9/17/43

Date Disposed of

NOTES

9/30/43. The condition noted, although perhaps not immediately dangerous, should be taken care of right away. There are at least two other posts in this frame that present the same condition although not so bad as yet. W.C.



10/2/43 - See notes - W.C.

12-2-58. Either repaired or well painted  
No apparent trouble W.C.



APARTMENT HOUSE ZONE  
CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Complaint No. C-512150

COMPLAINT

INSPECTION COPY

Date received 11/23/39

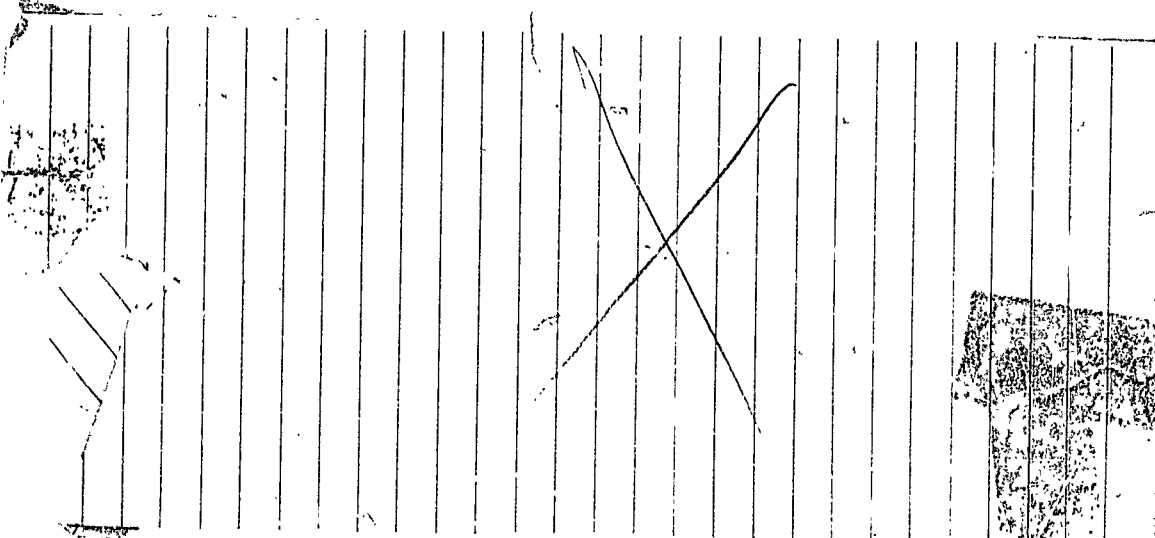
Location 20-22 Grant Street Use of Building \_\_\_\_\_

Owner's name and address Shur Bros. Inc. 412 Congress Street Telephone 3-1047

Tenant's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Complainant's name and address Fire Dept. Telephone \_\_\_\_\_

Description: Holes in smokepipe - tenant has asked owner to replace but he has not done so.



APARTMENT HOUSE ZONE

Complaint No. C-39-158

Location 20-22 Grant St.

Date Received 11/22/39

Date Disposed of 12/24/39 O.K.

NOTES

G.V.K. - Phoned Mr. & Mrs. who said he would have it fixed P.O.

have 1 mm. It was to be read for 12/1/39 to come up to you and then see if he

has fixed it 7 yrs 12/8/39 Nothing done, smoke pipe for heater

meant. 12/13/39. The stairs has 2 holes in it. Mr.

12/16/39. Mr. Shum said he would attend to it right away. Mr.

12/20/39. There smoke pipe has, all O.K. Mr.

3/13/41. The smoke pipe for first floor heater has

been of about 40' to the chimney. Pipe looks fairly new but has

rust on it. Tenant also has seen by tubes come out of it. Should not see

clearly and did not wish to tap it for fear of puncturing a hole in it. There is one

badly rusted place at the elbow just before it enters the chimney.

The tenant has no recollection of this pipe having been cleaned in

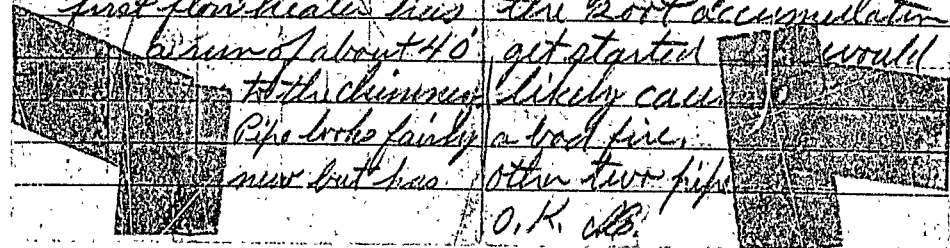
the last three years. This very long run and fact that soft coal is burned

paints a definitely bad situation regardless of the condition of the

pipe. It is fairly close to floor joists above but

at right angles. Should the best accumulation get started

likely cause a bad fire. Other two pipes O.K. Mr.





Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

## APPLICATION FOR PERMIT TO BUILD

(3D CLASS BUILDING)

Portland, Me., July 3, 1919 19

TO THE  
INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications :-

Location 20 Grant Street Wd. 5  
 Name of owner is? Lewis A Lupien Address 20 Grant Street  
 Name of mechanic is? not let "  
 Name of architect is? "  
 Proposed occupancy of building (purpose)? private garage (cement blocks)  
 If a dwelling or tenement house, for how many families? \_\_\_\_\_  
 Are there to be stores in lower story? \_\_\_\_\_ No. \_\_\_\_\_  
 Size of lot, No. of feet front? 50ft; No. of feet rear? \_\_\_\_\_; No. of feet deep? 95ft  
 Size of building, No. of feet front? 21'4; No. of feet rear? \_\_\_\_\_; No. of feet deep? 31'4  
 No. of stories, front? 1; rear? \_\_\_\_\_  
 No. of feet in height from the mean grade of street to the highest part of the roof? 11'6  
 Distance from lot lines, front? \_\_\_\_\_ feet; side? \_\_\_\_\_ feet; side? \_\_\_\_\_ feet; rear? \_\_\_\_\_ feet  
 Firestop to be used? \_\_\_\_\_  
 Will the building be erected on solid or filled land? \_\_\_\_\_  
 Will the foundation be laid on earth, rock or piles? \_\_\_\_\_  
 If on piles, No. of rows? \_\_\_\_\_ distance on centres? \_\_\_\_\_ length of? \_\_\_\_\_  
 Diameter, top of? \_\_\_\_\_ diameter, bottom of? \_\_\_\_\_  
 Size of posts? \_\_\_\_\_  
 " girts? \_\_\_\_\_  
 " floor timbers? 1st floor concrete, 2d \_\_\_\_\_, 3d \_\_\_\_\_, 4th \_\_\_\_\_  
 O. C. " " " " " " " "  
 Span " " " " " " " "  
 Braces, how put in? \_\_\_\_\_  
 Building, how framed? \_\_\_\_\_  
 Material of foundation? \_\_\_\_\_ thickness of? \_\_\_\_\_ laid with mortar? \_\_\_\_\_  
 Underpinning, material of? \_\_\_\_\_ height of? \_\_\_\_\_ thickness of? \_\_\_\_\_  
 Will the roof be flat, pitch, mansard, or hip? flat Material of roofing? tar & gravel  
 Will the building be heated by steam, furnaces, stoves or grates? \_\_\_\_\_ Will the flues be lined? \_\_\_\_\_  
 Will the building conform to the requirements of the law? yes  
 No. of brick walls? \_\_\_\_\_ and where placed? \_\_\_\_\_  
 Means of egress? \_\_\_\_\_

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK.

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement? \_\_\_\_\_  
 What will be the clear height of first story? \_\_\_\_\_ second? \_\_\_\_\_ third? \_\_\_\_\_  
 State what means of egress is to be provided? \_\_\_\_\_  
 \_\_\_\_\_ Scuttle and stepladder to roof? \_\_\_\_\_

Estimated Cost,

\$ 1350.

Signature of owner or authorized representative,

Lewis A. Lupien

Address,

20 Grant St

Plans submitted? \_\_\_\_\_

Received by? \_\_\_\_\_



1919

No. 5419

**APPLICATION FOR  
PERMIT TO BUILD 3d CLASS BUILDING**

LOCATION  
No. 20 Grant Street

Ward 5

Inspector.

**CONDITIONS**

PERMIT GRANTED

July 3, 1919 191

Permit filled out by \_\_\_\_\_

Permit number \_\_\_\_\_

Plan number \_\_\_\_\_

**FINAL REPORT**

191

Has the work been completed in accordance with  
this application and plans filed and approved?

Law been violated? \_\_\_\_\_

Nature of violation? \_\_\_\_\_

Violation removed when? \_\_\_\_\_ 191

Estimated cost of building, etc., \$ \_\_\_\_\_

Building Inspector.

**APPROVAL OF PLANS**

Supervisor of Plans.



Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

# Application for Permit for Alterations, etc.

Portland, 4-17-13 191

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following-described building:—

Location, 20 Grant St. Wd. \_\_\_\_\_  
 Name of owner is? Lewis A. Lupien Address, Do  
 Name of mechanic is? C. F. Jose " 436 St John St  
 Name of architect is? \_\_\_\_\_ " \_\_\_\_\_  
 Material of building is? Wood Style of roof? Pitch Material of roofing? Shingles  
 Size of building, feet front? 26; feet rear? 26; feet deep? 53; No. of stories? 2 1/2  
 Size of L, feet long? \_\_\_\_\_; feet wide? \_\_\_\_\_; feet high? \_\_\_\_\_; No. of storeis? \_\_\_\_\_; roof? \_\_\_\_\_  
 No. of feet in height from sidewalk to highest point of roof? \_\_\_\_\_ Material of foundation? \_\_\_\_\_  
 Thickness of external walls? \_\_\_\_\_ Party walls? \_\_\_\_\_ Distance from line of street? \_\_\_\_\_ Width of street? \_\_\_\_\_  
 What was the building last used for? \_\_\_\_\_ How many families? 3 Number of stores? \_\_\_\_\_  
 Nature of egress? Two Front and Rear Size of lot front? \_\_\_\_\_; rear? \_\_\_\_\_; deep? \_\_\_\_\_  
 Building to be occupied for. Dwelling after alteration. Estimated cost? \$2500

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK.

### DETAIL OF PROPOSED WORK.

Floor timbers to be 2-3 Strips and to be spaced 16 in. on centers Roof Rafters to be  
 in the same. Chimneys to be repaired and made safe if necessary.

### IF EXTENDED ON ANY SIDE.

Size of extension, No. of feet long? \_\_\_\_\_; No. of feet wide? \_\_\_\_\_; No. of feet high above sidewalk? \_\_\_\_\_  
 No. of stories high? \_\_\_\_\_; style of roof? \_\_\_\_\_; material of roofing? \_\_\_\_\_  
 Of what material will the extension be built? \_\_\_\_\_ Foundation? \_\_\_\_\_  
 If of brick, what will be the thickness of external walls? \_\_\_\_\_ inches; and party walls \_\_\_\_\_ inches.  
 How will the extension be occupied? \_\_\_\_\_ How connected with main building? \_\_\_\_\_  
 Distance from lot lines:— Front? \_\_\_\_\_; side? \_\_\_\_\_; side? \_\_\_\_\_; rear? \_\_\_\_\_

### WHEN MOVED, RAISED OR BUILT UPON.

Number of stories in height when moved, raised or built upon? \_\_\_\_\_ Proposed foundations? \_\_\_\_\_  
 Number of feet high from level of ground to highest part of roof to be? \_\_\_\_\_  
 Distance back from line of street? \_\_\_\_\_ Distances from lot line if moved? \_\_\_\_\_  
 Distance from next buildings when moved? \_\_\_\_\_; front? \_\_\_\_\_; side? \_\_\_\_\_; side? \_\_\_\_\_; rear? \_\_\_\_\_  
 How many feet will the external walls be increased in height? \_\_\_\_\_ Party walls? \_\_\_\_\_

### IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED.

Will an opening be made in the party or external walls? \_\_\_\_\_ in \_\_\_\_\_ story.  
 Size of the opening? \_\_\_\_\_ How protected? \_\_\_\_\_  
 How will the remaining portion of the wall be supported? \_\_\_\_\_

Signature of owner or authorized representative,

*C. F. Jose*

Address,



20<sup>22</sup> Grant St.

FINAL REPORT.

..... 191  
Has the work been completed in accordance with  
this application and plans filed and approved?

.....  
Law been violated? ..... Doc. No. .... of 191.....

Nature of violation? .....

.....

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.....  
Violation reserved when? ..... 191

.....  
Estimated cost of alterations, etc., \$.....

PERMIT GRANTED.

April 17th, 191..... 191

Permit filed out by..... O'R

Permit number.....

Location 20 Grant St. ....

Inspector of Buildings.



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date October 22, 1985  
 Receipt and Permit number 05123

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:  
 LOCATION OF WORK: 20 Grant Street  
 OWNER'S NAME: Frank Montello ADDRESS: 293 State Street FEES

OUTLETS: Receptacles \_\_\_\_\_ Switches \_\_\_\_\_ Plugmold \_\_\_\_\_ ft. TOTAL \_\_\_\_\_

FIXTURES: (number of)  
 Incandescent \_\_\_\_\_ Flourescent \_\_\_\_\_ (not strip) TOTAL \_\_\_\_\_  
 Strip Flourescent \_\_\_\_\_ ft. \_\_\_\_\_

SERVICES: Overhead  Underground \_\_\_\_\_ Temporary \_\_\_\_\_ TOTAL amperes 200 3.00  
~~XXXXXXXXXXXX~~ 1.50

METERS: (number of) 3

MOTORS: (number of)  
 Fractional \_\_\_\_\_  
 1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING:  
 Oil or Gas (number of units) \_\_\_\_\_  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING:  
 Oil or Gas (by a main boiler) \_\_\_\_\_  
 Oil or Gas (by separate units) \_\_\_\_\_  
 Electric Under 20 kws \_\_\_\_\_ Over 20 kws \_\_\_\_\_

APPLIANCES: (number of)  
 Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_  
 Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_  
 Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_  
 Dryers \_\_\_\_\_ Compactors \_\_\_\_\_  
 Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_

TOTAL \_\_\_\_\_ 3.00

MISCELLANEOUS: (number of)  
 Branch Panels 3 \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners Central Unit \_\_\_\_\_  
 Separate Units (windows) \_\_\_\_\_  
 Signs 20 sq. ft. and under \_\_\_\_\_  
 Over 20 sq. ft. \_\_\_\_\_  
 Swimming Pools Above Ground \_\_\_\_\_  
 In Ground \_\_\_\_\_  
 Fire/Burglar Alarms Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under \_\_\_\_\_  
 over 30 amps \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires \_\_\_\_\_  
 Repairs after fire \_\_\_\_\_  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

INSTALLATION FEE DUE: \_\_\_\_\_  
 DOUBLE FEE DUF: \_\_\_\_\_  
 TOTAL AMOUNT DUE: 7.50

INSPECTION: Will be ready on \_\_\_\_\_, 19\_\_; or Will Call  \_\_\_\_\_  
 CONTRACTOR'S NAME: Andy's Electric  
 ADDRESS: 22 Pleasant Hill Road, Scarborough, Maine 04074  
 TEL.: 761-4683  
 MASTER LICENSE NO.: 04582  
 LIMITED LICENSE NO.: \_\_\_\_\_  
 SIGNATURE OF CONTRACTOR: Max-Marie Casparis

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



BUILDING PERMIT REPORT

DATE: August 27, 1986

ADDRESS: 20 Grant Street

REASON FOR PERMIT: 3 to 4 family

BUILDING OWNER: William D. Weeks

CONTRACTOR: owner

PERMIT APPLICANT owner

APPROVED: # 1-6 DENIED

CONDITION OF APPROVAL OR DENIAL:

- \* 1.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- \* 2.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- \* 3.) Each apartment shall be equipped with an approved single station smoke detector powered by the house current. The detector shall be located in an area which will provide protection for the sleeping areas.
- \* 4.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- \* 5.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m<sup>2</sup>). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).

- \* 6.) In addition to any automatic fire alarm system required by Sections 1716.3.2 and 1716.3.3, a minimum of one single station smoke detector shall be installed in each guest room, suite or sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

- 7.) 608.1 Attached garages: Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors, and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1 hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of ½-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102mm) above the garage floor. The door opening protectives shall be 1 ¾-inch solid core wood doors or approved equivalent.

608.1.1 Separation by breezeway: A garage separated by a breezeway not less than 10 feet (3048mm) in length from a building of Use Group R-3 may be of type 5B construction, but the junction of the garage and breezeway shall be firestopped to comply with the requirements of Section 1420.0.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ..... 0  
 B.O.C.A. TYPE OF CONSTRUCTION ..... 101125  
 ZONING LOCATION ..... R-6 ..... PORTLAND, MAINE Aug. 19, 1986

AUG 29 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ..... 20 Grant Street ..... Fire District #1 , #2   
 1. Owner's name and address ..... William D. Weeks - 26 Winnocks Neck Telephone 83-8812  
 2. Lessee's name and address ..... Rd. Scar - 07827 Telephone .....  
 3. Contractor's name and address Owner Telephone .....

Proposed use of building .. 4 family ..... No. of sheets .....  
 Last use ..... 3 family ..... No. families .....  
 Material ..... No. stories ..... Height ..... Style of roof ..... Roofing .....

Other buildings on same lot .....  
 Estimated contractual cost \$... 3,000 .....  
 FIELD INSPECTOR--Mr. .... Appeal Fees \$ .....  
 @ 775-5451 ..... Base Fee 35.00  
 ch of use 25.00  
 Late Fee .....  
 TOTAL \$... 60.00

Change of use from 3 family to 4 family with new apt in basement, alterations and structural changes as per plans. 1 sheet of plans

#3

Stamp of Special Conditions  
**PERMIT ISSUED WITH LETTER**

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes ..... Is any electrical work involved in this work? yes .....  
 Is connection to be made to public sewer? existing ..... If not, what is proposed for sewage? .....  
 Has septic tank notice been sent? ..... Form notice sent? .....  
 Height average grade to top of plate ..... Height average grade to highest point of roof .....  
 Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
 Material of foundation ..... Thickness, top ..... bottom ..... cellar .....  
 Kind of roof ..... Rise per foot ..... Roof covering .....  
 No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
 Framing Lumber--Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....  
 Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
 If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ..... , to be accommodated ..... number commercial cars to be accommodated .....  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: ..... DATE ..... MISCELLANEOUS  
 BUILDING INSPECTION PLAN EXAMINER ..... Will work require disturbing of any tree on a public street? .....  
 ZONING: DR. M.D. August 27, 1986 .....  
 BUILDING CODE: .....  
 Fire Dept: James J. Collins, Louis ..... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....  
 Health Dept: .....  
 Others: .....

Signature of Applicant William D. Weeks Phone # same  
 Type Name of above William D. Weeks  1  2  3  4  
 Other .....  
 and Address .....

**PERMIT ISSUED WITH LETTER**  
 FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

CPMA: MAC LS acc





CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

LOCATION 20 GRANT STREET

Issued to WILLIAM WEEKS

Date of Issue 7/15/78

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 101126/87, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

APARTMENT IN BASEMENT

ENTIRE UNIT

Limiting Conditions:

NONE

This certificate supersedes  
certificate issued

Approved:

7/15/78

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

LOCATION 20 GRANT STREET

Issued to WILLIAM WEEKS

Date of Issue 7/15/78

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 101126/87, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

APARTMENT IN BASEMENT

ENTIRE UNIT

Limiting Conditions:

NONE

This certificate supersedes  
certificate issued

Approved:

7/15/78

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date Aug 19, 19 86  
 Receipt and Permit number D 24445

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 20 ~~xxxx~~ Grant Street  
 OWNER'S NAME: William D Weeks ADDRESS: 26 Winnocks Neck Rd. Scar

	FEES	
OUTLETS:		
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>1-30</u> .....		<u>3.00</u>
FIXTURES: (number of)		
Incandescent _____ <u>xx</u> Fluorescent _____ (not strip) TOTAL <u>1-10</u> .....		<u>3.00</u>
Strip Fluorescent _____ ft. ....		
SERVICES:		
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____ ..		
METERS: (number of) _____		
MOTORS: (number of)		
Fractional _____		
1 HP or over _____		
RESIDENTIAL HEATING:		
Oil or Gas (number of units) _____		
Electric (number of rooms) <u>5</u> .....		<u>5.00</u>
COMMERCIAL OR INDUSTRIAL HEATING:		
Oil or Gas (by a main boiler) _____		
Oil or Gas (by separate units) _____		
Electric Under 20 kws _____ Over 20 kws _____		
APPLIANCES: (number of)		
Ranges _____ <u>1</u> Water Heaters _____ <u>1</u>		
Cook Tops _____ Disposals _____		
Wall Ovens _____ Dishwashers _____		
Dryers _____ Compactors _____		
Fans _____ <u>1</u> Others (denote) _____		
TOTAL _____ <u>3</u> .....		<u>4.50</u>
MISCELLANEOUS: (number of)		
Branch Panels _____		
Transformers _____		
Air Conditioners Central Unit _____		
Separate Units (windows) _____		
Signs 20 sq. ft. and under _____		
Over 20 sq. ft. _____		
Swimming Pools Above Ground _____		
In Ground _____		
Fire/Burglar Alarms Residential _____		
Commercial _____		
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____		
over 30 amps _____		
Circus, Fairs, etc. _____		
Alterations to wires _____		
Repairs after fire _____		
Emergency Lights, battery _____		
Emergency Generators _____		
INSTALLATION FEE DUE: _____		
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: _____		
FOR REMOVAL OF A "STOP ORDER" (304-16.b) .....		
TOTAL AMOUNT DUE: _____		<u>15.50</u>

INSPECTION: Will be ready on \_\_\_\_\_, 19\_\_\_\_; or Will Call xx  
 CONTRACTOR'S NAME: Mancini Elec  
 ADDRESS: 179 Sheridan St.  
 TEL.: 774-5829  
 MASTER LICENSE NO.: 2436 SIGNATURE OF CONTRACTOR: William D Weeks  
 LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date July 17, 19 86  
 Receipt and Permit number D 24324

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 20 Grant Street  
 OWNER'S NAME: William Weeks ADDRESS: 26 Winnocks Neck Rd. Scarborough

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL _____	FEES _____
FIXTURES: (number of)	Incandescent _____	Flourescent _____	(not strip) TOTAL _____	_____	_____
	Strip Flourescent _____	ft. _____	_____	_____	_____
SERVICES:	2-100 amp services _____	_____	_____	_____	_____
	Overhead XX _____	Underground _____	Temporary _____	TOTAL amperes _____	6.00
METERS: (number of)	_____	_____	_____	_____	1.00
MOTORS: (number of)	Fractional _____	_____	_____	_____	_____
	1 HP or over _____	_____	_____	_____	_____
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____	_____	_____	_____	_____
	Electric (number of rooms) _____	_____	_____	_____	_____
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____	_____	_____	_____	_____
	Oil or Gas (by separate units) _____	_____	_____	_____	_____
	Electric Under 20 kws _____	Over 20 kws _____	_____	_____	_____
APPLIANCES: (number of)	Ranges _____	Water Heaters _____	_____	_____	_____
	Cook Tops _____	Disposals _____	_____	_____	_____
	Wall Ovens _____	Dishwashers _____	_____	_____	_____
	Dryers _____	Compactors _____	_____	_____	_____
	Fans _____	Others (denote) _____	_____	_____	_____
	TOTAL _____	_____	_____	_____	_____
MISCELLANEOUS: (number of)	Branch Panels _____	_____	_____	_____	_____
	Transformers _____	_____	_____	_____	_____
	Air Conditioners Central Unit _____	_____	_____	_____	_____
	Separate Units (windows) _____	_____	_____	_____	_____
	Signs 20 sq. ft. and under _____	_____	_____	_____	_____
	Over 20 sq. ft. _____	_____	_____	_____	_____
	Swimming Pools Above Ground _____	_____	_____	_____	_____
	In Ground _____	_____	_____	_____	_____
	Fire/Burglar Alarms Residential _____	_____	_____	_____	_____
	Commercial _____	_____	_____	_____	_____
	Heavy Duty Outlets. 220 Volt (such as welders) 30 amps and under _____	_____	_____	_____	_____
	over 30 amps _____	_____	_____	_____	_____
	Circus, Fairs, etc. _____	_____	_____	_____	_____
	Alterations to wires _____	_____	_____	_____	_____
	Repairs after fire _____	_____	_____	_____	_____
	Emergency Lights, battery _____	_____	_____	_____	_____
	Emergency Generators _____	_____	_____	_____	_____

INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..... \_\_\_\_\_  
 TOTAL AMOUNT DUE: 7.00

**INSPECTION:**

Will be ready on 7-18-86; or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Mancini Elec  
 ADDRESS: 179 Sheridan St  
 TEL.: 774-5829  
 MASTER LICENSE NO.: 2x435 2436 SIGNATURE OF CONTRACTOR: Mancini AT  
 LIMITED LICENSE NO.: \_\_\_\_\_ Elec

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

November 25, 1987

William D. & Ruth M. Weeks  
26 Winnocks Neck Road  
Scarboro, ME 04074

Re: 20 Grant Street

Dear Sir:

During an inspection in your area it was apparent that you are in violation of Part II Code of Ordinance, Chapter 12, Article II Section 12-24.

Sec. 12-24. Placement for collection; scavenging prohibited.

(a) Municipal collection. Suitable containers for collection shall be placed at the curb or on the esplanade between the sidewalk and the gutter not prior to 6:00 p.m. of the day before scheduled municipal collection. Containers placed in the public way on and after such time shall be considered as being intended for collection and, as such, shall be collected by none other than the authorized collector of the public works authority. All containers shall be removed prior to 8:00 p.m. on the day of scheduled collection. Such suitable containers shall be covered or securely tied as to prevent spillage, wind blown littering, or the ingress or egress of flies, rats or other vermin. No person except the occupant, owner of the premises, or the public works authority shall remove, take or otherwise disturb the waste matter, or any portion thereof so placed for removal.

Found in violation of this ordinance section can and will result in action under Chapter 12, Article II Section 49 of the Municipal Code.

Sec. 12-49. Failure to comply with order of health authority or chief of police.

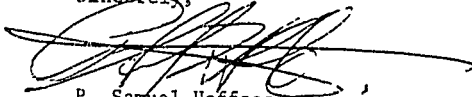
(a) Whenever any person shall have been duly notified to remove any of the substances mentioned in this article, or to perform any other act or thing which it may be his duty to perform for the preservation of the health of the city and the time limit for the performance of such duty shall have elapsed without a compliance of such notice, the chief of police or health authority shall forthwith cause such substance to be removed at the expense of the person so notified. The chief of police or health authority shall cause all persons who shall violate or disobey any provision of this article to be prosecuted and punished.

Page 2

(b) If, in the opinion of the health authority, it shall be for the health or comfort of the inhabitants of the city that any particular substance should be removed forthwith and without delay, it shall be his duty to cause the same to be removed accordingly. If the substances existed in violation of this article, or of any of the laws, regulations, or ordinances relating to the health of the city, then the expense of removing the same shall be paid by the owner or occupant of the house, or other place where the same was found, and if payment be refused on demand therefor by the chief of police, it shall be sued for in the name of the city. (Code 1968, §306.4)

Your assistance in this matter would be greatly appreciated.

Sincerely,



P. Samuel Hoffses  
Chief, Inspection Services

/ksc

P 032 224 651

**RECEIPT FOR CERTIFIED MAIL**

NO INSURANCE COVERAGE PROVIDED  
NOT FOR INTERNATIONAL MAIL

(See Reverse)

★ U.S.G.P.O. 1984-448-014

PS Form 3800, Feb. 1982

Sent to William D. & Ruth M. Weeks	
Street and No. 26 Winnocks Neck Road	
P.O., State and ZIP Code Scarboro, ME 04074	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to whom and Date Delivered	
Return receipt showing to whom, Date, and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	

UNITED STATES POSTAL SERVICE  
OFFICIAL BUSINESS



**SENDER INSTRUCTIONS**  
Print your name, address, and ZIP Code in the space below.  
• Complete items 1, 2, 3, and 4 on the reverse.  
• Attach to front of article if space permits, otherwise affix to back of article.  
• Endorse article "Return Receipt Requested" adjacent to number.



PENALTY FOR PRIVATE  
USE, \$300

RETURN

TO

City Hall - Rm. 315

(Name of Sender)

389 Congress Street

(No. and Street, Apt., Suite, P.O. Box or R.D. No.)

Portland, ME 04101

(City, State, and ZIP Code)



PS Form 3871, July 1996 497-845

**SENDER** Complete items 1, 2, 3 and 4

Put your address in the RETURN TO section on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check boxes for services requested.

1.  Show to whom, date and address of delivery

2.  Restricted Delivery

3. Article Addressed to  
 William D. & Ruth M. Weeks  
 26 Winnocks Neck Road  
 Scarborough, ME 04074

4. Type of Service:	Article Number
<input type="checkbox"/> Registered <input type="checkbox"/> Certified <input type="checkbox"/> Express Mail	<input type="checkbox"/> Insured <input type="checkbox"/> COD 032224657

Always obtain signature of addressee or agent and **DATE DELIVERED.**

5. Signature - Addressee  
 X *William D. Weeks*

6. Signature - Agent  
 X *[Signature]*

7. Date of Delivery  
*[Signature]*

8. Addressee's Address (ONLY if requested and fee paid)

S. Hoffses - 20 Grant Street

DOMESTIC RETURN RECEIPT

**PLUMBING APPLICATION**

PROPERTY ADDRESS

Town Or Plantation: PORTLAND

Sheet: 20 Subdivision Lot #: CRANT 17

PROPERTY OWNERS NAME:

Last: WEEKS First: WILLIAM

Applicant Name: SAN MARCELO

Mailing Address of Owner/Applicant (if different): 647 WASHINGTON AVE

PORTLAND PERMIT # 1,898 TOWN COPY

Date Permit Issued: 8-19-86 \$        FEE  Double Fee Charged

Frank R. Weeks Local Plumbing Inspector Signature L.P.I. #       

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

William Weeks Signature of Owner/Applicant Date: 8-19-86

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

       Local Plumbing Inspector Signature Date Approved: JAN 16 1987

**PERMIT INFORMATION**

This Application is for:

- NEW PLUMBING
- RELOCATED PLUMBING

AUG 20 1986  
OCT 1 1986

Type Of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY: \_\_\_\_\_

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # 1725111

Number	Description	Column 2		Column 1	
		Number	Type of Fixture	Number	Type of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebib / Silcock	1	Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal	3	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste	2	Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____	1	Water Heater
	Hook-Up Fee		Fixtures (Subtotal) Column 2	7	Fixtures (Subtotal) Column 1
				7	Fixtures (Subtotal) Column 2
				7	Total Fixtures
				\$ 24	Permit Fee (Column 1)
				\$	Permit Fee (Column 2)
				\$ 24	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE

1126

AUG 29 1986

City Of Portland

AUG 19 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 20 Grant Street Fire District #1 [ ] #2 [ ]
1. Owner's name and address William D Weeks, 26 Winlocks Neck Telephone 883-9812
2. Lessee's name and address RC, Scar Telephone
3. Contractor's name and address Owner Telephone
Proposed use of building 4 family No. of sheets
Last use 3 family No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 3,000 Appeal Fees \$
FIELD INSPECTOR—Mr. @ 775-5451 Base Fee .35.00
ch of use 25.00
Late Fee
TOTAL \$ 60.00

Change of use from 3 family to 4 family with new apt in basement, alterations and structural changes as per plans. 1 sheet of plans

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? YES Is any electrical work involved in this work? YES
Is connection to be made to public sewer? existing If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof sp. over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant William D Weeks Phone # same
Type Name of above William D Weeks
Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION  
August 24, 1989

PARKSIDE

The Slime Group  
20 Grant Street  
Apt. #3  
Portland, Maine

DU: 4 Exist. Units

Re: 20 Grant Street  
36-E-6

Dear Sir:

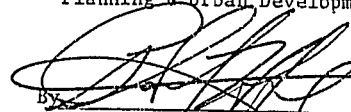
The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above referred property.


Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code.

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely yours,  
Joseph E. Gray, Jr., Director  
Planning & Urban Development

  
By: P. Samuel Hoffes,  
Chief of Inspection Services

  
Code Enforcement Officer  
Marland Wing for Kevin Carroll

