

347-349 CUMBERLAND AVENUE



# APPLICATION FOR PERMIT

**PERMIT ISSUED**

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

JAN 8 1980

ZONING LOCATION .....

PORTLAND, MAINE, ... Jan. 7, 1980

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .. 349 Cumberland Avenue .....

1. Owner's name and address Carl Lonstein - 84 Granite St. .... Fire District #1  #2  Telephone .. 774-8402

2. Lessee's name and address .....

3. Contractor's name and address Housing Services - P.O. Box 8547 .....

4. Architect .....

Proposed use of building .. shop .....

Last use .....

Material .. No. stories .. Heat .. Style of roof .. Roofing ..

Other buildings on same lot .....

Estimated contractual cost \$ 1,000 .....

Fee \$ .. ~~xxxxxx~~ 5.50

### FIELD INSPECTOR—Mr. .... GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling ..... Ext. 234

Garage .....

Masonry Bldg. ....

Metal Bldg. ....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

**To repair after fire, to put cement block in place of wood siding no structural changes.**

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4

Other: .....

### DETAILS OF NEW WORK

Is any plumbing involved in this work? .....

Is connection to be made to public sewer? .....

Has septic tank notice been sent? .....

Height average grade to top of plate .....

Size, front .. depth .. No. stories .. solid or filled land? .. earth or rock? ..

Material of foundation .. Thickness, top .. bottom .. cellar ..

Kind of roof .. Rise per foot .. Roof covering ..

No. of chimneys .. Material of chimneys .. cf lining .. Kind of heat .. fuel ..

Framing Lumber—Kind .. Dressed or full size? .. Corner posts .. Sills ..

Size Girder .. Columns under girders .. Size .. Max. on centers ..

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .. 2nd .. 3rd .. roof ..

On centers: 1st floor .. 2nd .. 3rd .. roof ..

Maximum span: 1st floor .. 2nd .. 3rd .. roof ..

If one story building with masonry walls, thickness of walls? .. height? ..

### IF A GARAGE

No. cars now accommodated on same lot .., to be accommodated .. number commercial cars to be accommodated ..

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ..

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: .....

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant *Carl Lonstein* .....

Type Name of above Housing Services .....

Phone # .....

Other .....

and Address .....

OFFICE FILE COPY

City of Portland, Maine  
Fire Department

November 1, 1979

Mr. Carl Lonstein

84 Granite Street

Portland, Maine

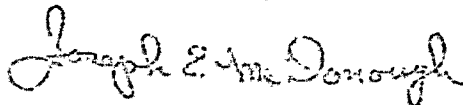
Re: Fire @ 349 Cumberland Ave.

Dear Mr. Lonstein:

On 10-15-79 a fire occurred in the building listed above, of which you are reported to be the owner ( ).

If permanent repair work is required for this building, you must obtain a permit from the Building & Inspection Dept. in City Hall before starting such work.

Very Truly Yours,



Joseph E. McDonough  
Chief  
Portland Fire Department

cc: Building & Inspection Dept.  
Corporation Counsel  
Health Dept. (Housing Div.)  
City Assessor's (Mr. Lucci)

NOTE: The fire was confined to the outside wall on the east side on the first and second floors and some of the contents on the first floor.

AP-349 Cumberland Avenue

April 14, 1959

Benjamin Williams  
40 Elm Street  
Gordon Evans  
27 Hastings Street

Gentlemen:

Building permit to make alterations at the above location in accordance with information furnished with permit application is issued herewith but subject to the following conditions:

1. It is understood that one stairway to the second floor has already been removed and further understood that the second floor of the building is to be used for storage only. We can approve the existence of the single stairway to the second floor only on the basis of this storage use. In the event that this use is to be changed at any time and if more than two people are to be employed on the second floor, a consultation with this department as to additional requirements must be made before the change of use takes place.
2. It is understood that rear entrance platform to building is to be repaired.

Very truly yours,

Theodore T. Rand  
Deputy Inspector of Buildings

TTR/jg

34. Cumberland Avenue

4-14-59

1. One stairway existing?
2. Up stairs for storage only? Parked floor loads
3. Pawn shop in first floor.
4. Rear platform to be repaired.

Per Mr. Williams



B3 BUSINESS ZONE

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, April 7, 1959

**PERMIT ISSUED**  
003529  
APR 14 1959  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~demolish~~ ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 349 Cumberland Ave. Within Fire Limits? yes Dist. No. \_\_\_\_\_  
 Owner's name and address Benjamin Williams, 40 Elm St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Gordon Evans, 27 Hastings St. Telephone 3-7117  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building Pawn Shop No. families \_\_\_\_\_  
 Last use Retail Furniture Store No. families \_\_\_\_\_  
 Material frame No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Fee \$ 4.00  
 Estimated cost \$ 1000.00

### General Description of New Work

To ~~relocate~~ existing stairway from first to second floor.  
To change store front as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of \_\_\_\_\_ contracting contractor. **PERMIT TO BE ISSUED TO** \_\_\_\_\_ contractor

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Benjamin Williams  
Gordon Evans

APPROVED:

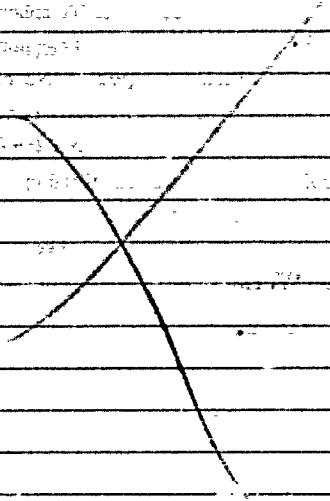
With Letter 4-KL-3577R

Signature of owner by: Gordon Evans

INSPECTION COPY

NOTES

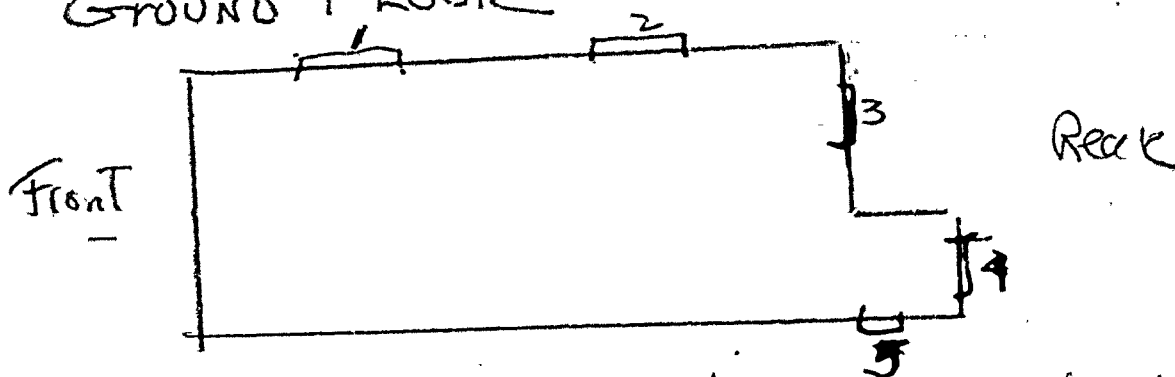
4/22/59 - work started - Allen  
4/25/59 - told contractor  
O.K. to mury door in - Allen  
5/12/59 - job completed - Allen



Permit No. 519 / 359  
Location: 344 (Kendall) Blvd  
Owner: Campbell, M.D. (M.D. name)  
Date of permit: 4/14/59  
Notif. closing-in:  
Insulin, closing-in:  
Final Notif.  
Final Insur.  
Cert. of Occupancy issued  
Selling Out Notice  
Form Check Notice

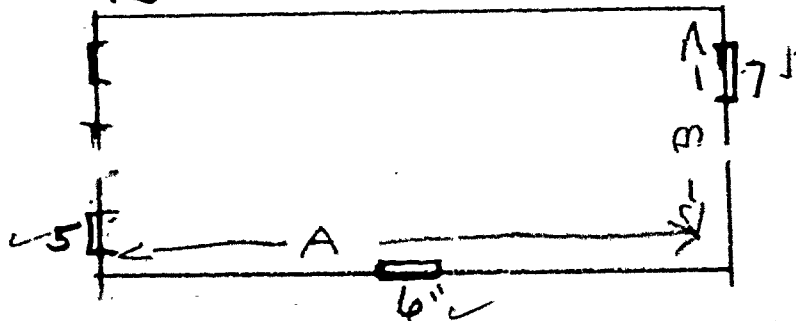
4-1-59

3490. lumber and Cleve  
GROUND FLOOR



Windows 1-2-3-4 to be closed up  
solid and clap boarded on outside

Upstairs -



Windows 5-6-7 to be closed up solid and  
boarded on outside

WALL A and wall B to be covered  
with  $\frac{1}{8}$ " steel plate



BS BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, August 13, 1958

PERMIT ISSUED

01115
AUG 21 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, as may be submitted herewith and the following specifications:

Location 249 Cumberland Ave. Within Fire Limits? yes Dist. No.
Owner's name and address Benjamin Williams, 87 Radcliffe St. Telephone 2-0622
Lessee's name and address Telephone
Contractor's name and address Sven Anderson, 11 Edgewood Ave. Telephone 3-6990
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Pawn Shop No. families
Last use Retail Furniture Store No. families
Material frame No. stories 2 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 300.00 Fee \$ 2.00

General Description of New Work

To close up (2) windows on side of building and (3) windows in rear of building, all on first floor.

To close up (1) rear window, (1) side window and (1) front window on 2nd floor. Walls will be covered with 1/8" steel plate, on the inside

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind pine Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers. 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Handwritten signature and date: 8/21/58

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Benjamin Williams

by:

Handwritten signature: Benjamin Williams

Signature of owner

INSPECTION COPY

Handwritten initials: F.M.

NOTES

8/20/58 - Work and started - *Alan*

9/9/58 - Windows on ground floor and up closed up - *Alan*

9/24/58 - Same - *Alan*

10/27/58 - Work done - *Alan*

~~11. 11/1/58 - Work done - *Alan*~~

~~12. 11/15/58 - Work done - *Alan*~~

~~13. 11/22/58 - Work done - *Alan*~~

~~14. 12/6/58 - Work done - *Alan*~~

~~15. 12/13/58 - Work done - *Alan*~~

~~16. 12/20/58 - Work done - *Alan*~~

~~17. 12/27/58 - Work done - *Alan*~~

~~18. 1/3/59 - Work done - *Alan*~~

~~19. 1/10/59 - Work done - *Alan*~~

~~20. 1/17/59 - Work done - *Alan*~~

~~21. 1/24/59 - Work done - *Alan*~~

~~22. 1/31/59 - Work done - *Alan*~~

~~23. 2/7/59 - Work done - *Alan*~~

~~24. 2/14/59 - Work done - *Alan*~~

~~25. 2/21/59 - Work done - *Alan*~~

~~26. 2/28/59 - Work done - *Alan*~~

~~27. 3/6/59 - Work done - *Alan*~~

~~28. 3/13/59 - Work done - *Alan*~~

~~29. 3/20/59 - Work done - *Alan*~~

~~30. 3/27/59 - Work done - *Alan*~~

~~31. 4/3/59 - Work done - *Alan*~~

~~32. 4/10/59 - Work done - *Alan*~~

~~33. 4/17/59 - Work done - *Alan*~~

~~34. 4/24/59 - Work done - *Alan*~~

~~35. 5/1/59 - Work done - *Alan*~~

~~36. 5/8/59 - Work done - *Alan*~~

~~37. 5/15/59 - Work done - *Alan*~~

~~38. 5/22/59 - Work done - *Alan*~~

~~39. 5/29/59 - Work done - *Alan*~~

~~40. 6/5/59 - Work done - *Alan*~~

~~41. 6/12/59 - Work done - *Alan*~~

~~42. 6/19/59 - Work done - *Alan*~~

~~43. 6/26/59 - Work done - *Alan*~~

~~44. 7/3/59 - Work done - *Alan*~~

~~45. 7/10/59 - Work done - *Alan*~~

~~46. 7/17/59 - Work done - *Alan*~~

~~47. 7/24/59 - Work done - *Alan*~~

~~48. 7/31/59 - Work done - *Alan*~~

~~49. 8/7/59 - Work done - *Alan*~~

~~50. 8/14/59 - Work done - *Alan*~~

~~51. 8/21/59 - Work done - *Alan*~~

~~52. 8/28/59 - Work done - *Alan*~~

~~53. 9/4/59 - Work done - *Alan*~~

~~54. 9/11/59 - Work done - *Alan*~~

~~55. 9/18/59 - Work done - *Alan*~~

~~56. 9/25/59 - Work done - *Alan*~~

~~57. 10/2/59 - Work done - *Alan*~~

~~58. 10/9/59 - Work done - *Alan*~~

~~59. 10/16/59 - Work done - *Alan*~~

~~60. 10/23/59 - Work done - *Alan*~~

~~61. 10/30/59 - Work done - *Alan*~~

~~62. 11/6/59 - Work done - *Alan*~~

~~63. 11/13/59 - Work done - *Alan*~~

~~64. 11/20/59 - Work done - *Alan*~~

~~65. 11/27/59 - Work done - *Alan*~~

~~66. 12/4/59 - Work done - *Alan*~~

~~67. 12/11/59 - Work done - *Alan*~~

~~68. 12/18/59 - Work done - *Alan*~~

~~69. 12/25/59 - Work done - *Alan*~~

~~70. 1/1/60 - Work done - *Alan*~~

*Alan*

Form No. 58/1415

Location *349 Central Ave*

Owner *Deborah Hillman*

Date of permit *8/21/58*

Notif. class. in

Insur. class. in

Final Insur.

Card of Occupancy issued

Safety Out. Notice

Form Check Notice

1. Description of work to be done

2. Name of contractor

3. Name of architect

4. Name of engineer

5. Name of inspector

6. Name of permittee

7. Name of owner

8. Name of applicant

9. Name of agent

10. Name of contractor

11. Name of architect

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379. Name of architect

380. Name of engineer

381. Name of inspector

382. Name of permittee

383. Name of owner

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491. Name of architect

492. Name of engineer

493. Name of inspector

494. Name of permittee

495. Name of owner

496. Name of applicant

497. Name of agent

498. Name of contractor

499. Name of architect

500. Name of engineer



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Aug. 31, 1954

PERMIT ISSUED

SEP 3 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to construct... in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 349 Cumberland Ave. Within Fire Limits? yes Dist. No.
Lessee's name and address Cooper Footwear Co., 349 Cumberland Ave. Telephone
Owner's name and address Ben Killiams, 428 Congress St. Telephone
Contractor's name and address Herbert G. Cail, 52 Maplewood St. Telephone
Architect Specifications Plans yes No. of sheets
Proposed use of building manufacture of moccasins No. families
Last use storage and dwelling No. families
Material wood No. stories 2 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 70 Fee \$ .50

General Description of New Work

To construct inside stairway from first to second floor as per sketch.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Herbert G. Cail

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span. 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

OK - 9/3/54 - ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Cooper Footwear Co.

Signature of owner by:

Herbert G. Cail

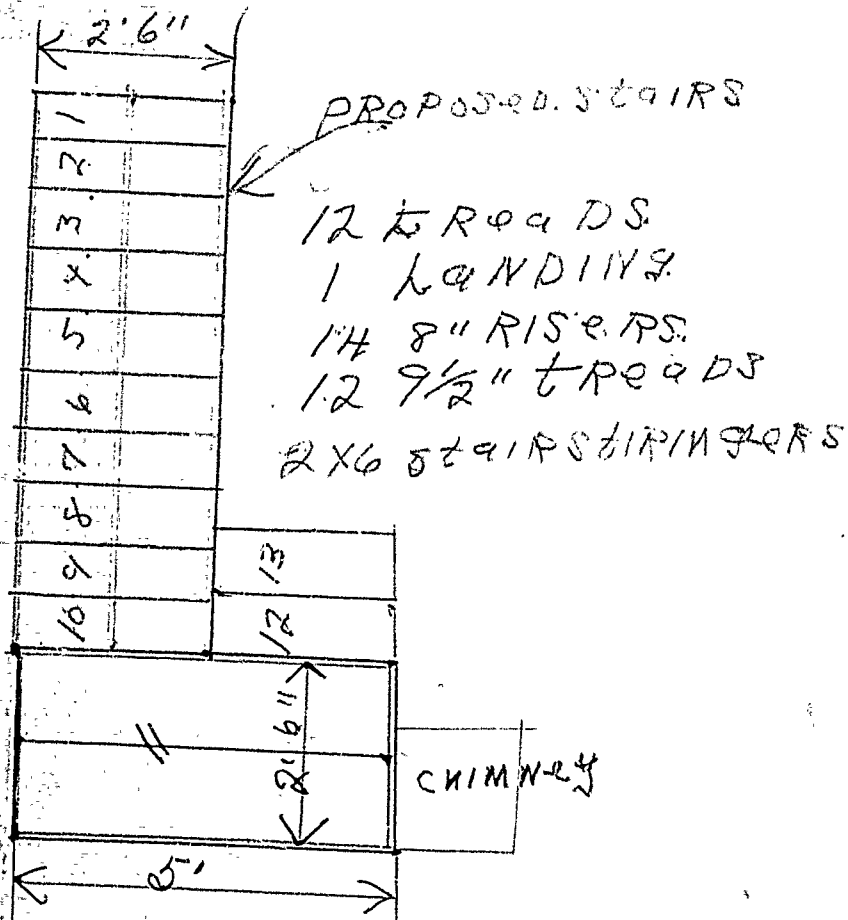
INSPECTION COPY



349 CUMBERLAND ave.

HOW I PROPOSE TO OVERCOME TROUBLE WITH PRESENT STAIRS  
THERE IS NOW NINE TREADS IN UPPER RUN,  
I PROPOSE TO SET HEADER AT TOP OF STAIRS BACK 9 1/2 INCHES  
& MAKE A 10 TREAD RUN & DROP SECOND LANDING TO THE SAME LEVEL AS  
FIRST LANDING & THERE BY ELIMENATE THE RISER BETWEEN PRESENT  
TWO LANDING,S

HERBERT G CAIL





GENERAL BUSINESS ZONE

# APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 25, 1954

PERMIT ISSUED  
01654  
OCT 4 1954  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~or~~ ~~rebuild~~ ~~or~~ ~~demolish~~ ~~or~~ ~~relocate~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 349<sup>0</sup> Cumberland Ave. Within Fire Limits? yes Dist. No. \_\_\_\_\_  
 Owner's name and address Ben Williams, 128 Congress St. Telephone \_\_\_\_\_  
 Lessee's name and address Cooper Footwear Co., 349 Cumberland Ave. Telephone 2-3107  
 Contractor's name and address " " " Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building manufacture of moccasins No. families \_\_\_\_\_  
 Last use storage and dwelling RETAIL BUSINESS No. families \_\_\_\_\_  
 Material wood No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 35 Fee \$ .50

### General Description of New Work

To change use of building to the manufacture <sup>and selling</sup> of moccasins and to construct inside stairway from first to second floor in rear of building. There will not be more than 20 people. Basement to be used only for storage. Not more than two persons to be in basement at any one time.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Cooper Footwear Co.

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Ben Williams  
Cooper Footwear Co.

Signature of owner by: \_\_\_\_\_

*Handwritten signature*

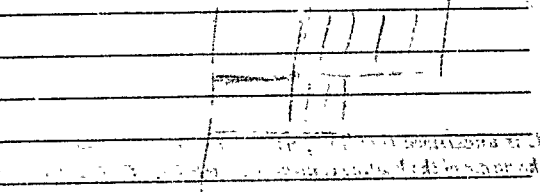
INSPECTION COPY

NOTES

6/3/54 - Business is already established in first story but not yet in second story. Proposed stairway already installed does not comply with Building Code arrange-ments. See letter OK  
 6/25/54 - Conditions just the same - Allow  
 8/27/54 - Three steps to first platform one step to second platform and ten steps to the second floor - Allow  
 9/24/54 - Work on stairs satisfactorily completed. See Permit 54/1366 OK

Permit No. 54/1254  
 Location 379 Cumberland St.  
 Owner Parker Hardware Co.  
 Date of permit 6/10/54  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued 10/1/54  
 Staging Out Notice  
 Form Check Notice

Inspector's Report  
 Date of inspection  
 Name of inspector  
 Name of contractor  
 Name of owner



Inspector's Report  
 Date of inspection  
 Name of inspector  
 Name of contractor  
 Name of owner  
 Description of work  
 Remarks

Inspector's Report  
 Date of inspection  
 Name of inspector  
 Name of contractor  
 Name of owner  
 Description of work  
 Remarks

(COPY)



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 349 Cumberland Ave.

Issued to Cooper Footwear Co.

Date of Issue Oct. 1, 1954

This is to certify that the building, premises, or part thereof, at the above location, ~~was~~ altered—changed as to use under Building Permit No. 54/1654, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Manufacturing

Limiting Conditions:

CC: Mr. Ben Williams, 40 Elm St.

This certificate supersedes  
certificate issued

Approved:

9/24/54

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

TELEPHONE 2-3107

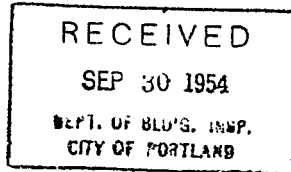
*Cooper Footwear Co.*

MANUFACTURERS OF  
HAND SEWN MOCCASINS  
349 CUMBERLAND AVENUE  
PORTLAND, MAINE

Sept 29, 1954.

City of Portland, Maine,  
Dept of Building Inspection,  
Portland, Maine.

Att. Mr. Warren Mc Donald:  
Dear Mr. Mc Donald:



My wife advised me that one of your inspectors was in to inspect the set of stairs, constructed by Mr. Cail, and said that these stairs were satisfactory. Kindly send your approval, as soon as you possibly can, as I would like to make payment for same, to Mr. Cail.

Very truly yours,

Cooper Footwear Co.

By *Max Cooper*  
Max Cooper

*C.J.S.*  
*Dept. required*  
*line in mt*  
*9/30/54*

June 3, 1954

AP - 349 Cumberland Ave. - Alterations

Lessee-Cooper Footwear Co. Contractor-Cooper Footwear Co. Owner-San Williams  
349 Cumberland Ave. 428 Congress St.

Because information furnished on floor plans of first and second stories of the building at 349 Cumberland Ave. appeared to be in conflict with Building Code requirements, an inspection has been made of the premises and the proposed new stairway from first to second floors found to have already been installed in spite of the fact that no permit for its construction has been issued by this department. While we are not disposed to make an issue of this work having been done without a permit, unfortunately the stairway provided does not meet Building Code requirements and therefore cannot be approved. This difficulty would have been avoided had no work been started until after issuance of a permit, as is specified by law.

The stairway erected does not comply with Code requirements in the following respects:-

- there is a landing only 16 inches deep at the top instead of the minimum of 30 inches required.
- the height of top riser is  $11\frac{1}{2}$  inches and the one next below it is  $10\frac{1}{2}$  inches instead of the maximum of  $8\frac{1}{2}$  inches allowed. While the height of the other risers in the stairs is only  $7\frac{1}{2}$  inches, it is clear that a uniform run of risers is not provided as required.
- while the width of the top tread is nine inches, width of other treads is only  $8\frac{1}{2}$  inches instead of the minimum of nine inches required.
- the handrail does not extend full length of stairs as required.

Because of the fact that part of the stairway installed is a second hand one which is steeper than allowed for new stairways by the Code and has been lengthened out with additional steps to accommodate the space between floors, and because there is not space enough between the outside wall of the building and the doorway in the first story leading to the rear exit to accommodate a stairway of the required pitch, it is clear that stairway arrangements as indicated on the plans filed here cannot be provided and that the work done will need to be removed and replaced with some other arrangement which will meet Code requirements. While we cannot attempt to design such a stairway arrangement, we shall be glad to answer any questions or furnish any information which may be needed to assist you in securing such a result. Before a permit can be issued it is necessary that a plan be provided showing arrangement and details of construction of a stairway that will comply with requirements.

It was noted that the proposed new use has not yet been established in the second story. It is, of course, unlawful to do so until a second means of egress complying with Building Code requirements has been provided and the certificate of occupancy for the new use has been issued by this department.

Warren McDonald  
Inspector of Buildings

AJS/G

TELEPHONE 2-3107

ags

*Cooper Footwear Co.*

MANUFACTURERS OF

**HAND SEWN MOCCASINS**

349 CUMBERLAND AVENUE

PORTLAND, MAINE

May 29, 1954.

Mr. Warren McDonald,  
Inspector of Buildings,  
City of Portland, Maine.

Dear Sir: Re File FU AP 349 Cumberland Ave-Alterations

Enclosed please find sketches of first and second floors.  
Manufacturing will be carried on, on the second floor.  
Selling will be done on first floor.  
No new partitions will be erected.

Trusting the above information is satisfactory, I am

RECEIVED  
JUN 1 1954  
DEPT. OF BLDG. INST.  
CITY OF PORTLAND

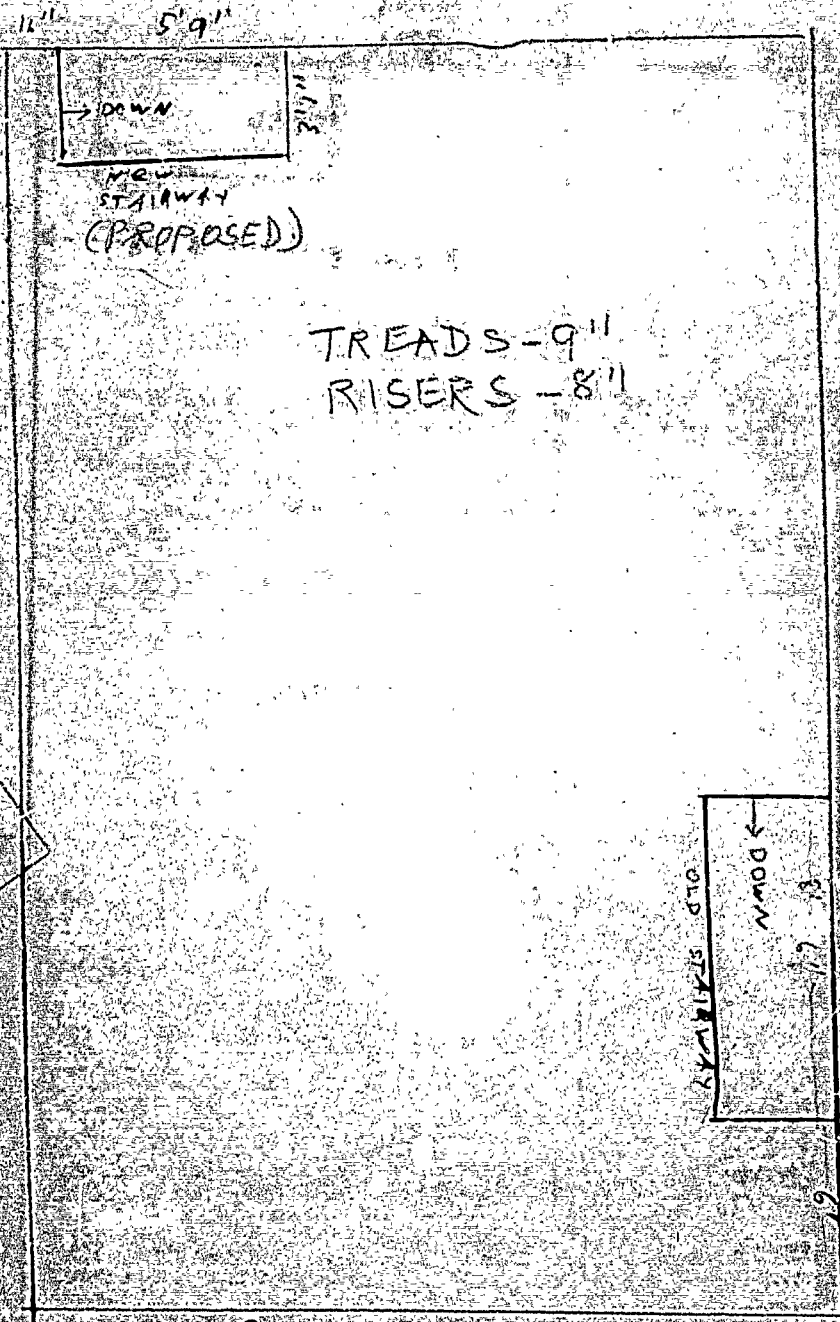
Very truly yours,

Cooper Footwear Co.

By Max Cooper  
Max Cooper-Owner

COOPER FOOTWEAR CO.

347 Cumberland Avenue  
Portland, Maine



TREADS - 9"  
RISERS - 8"

RECEIVED  
JUN 17 1954  
BUREAU OF PERMITS  
CITY OF PORTLAND

Second Floor  
Front

AP 349 Cumberland Ave.—Alterations

May 26, 1954

Lessee—Cooper Footwear Co.  
349 Cumberland Ave.

Contr.—Cooper Footwear Co.

Owner—Mr. Ben Williams<sup>c</sup>  
428 Congress St.

Examination of application for permit for alterations to the building at the above location so as to change the use of both stories from retail business and storage use to manufacturing discloses insufficient information to show that proposed work will comply with Building Code requirements. The following additional information is needed before application of the Code to the proposition can be determined:

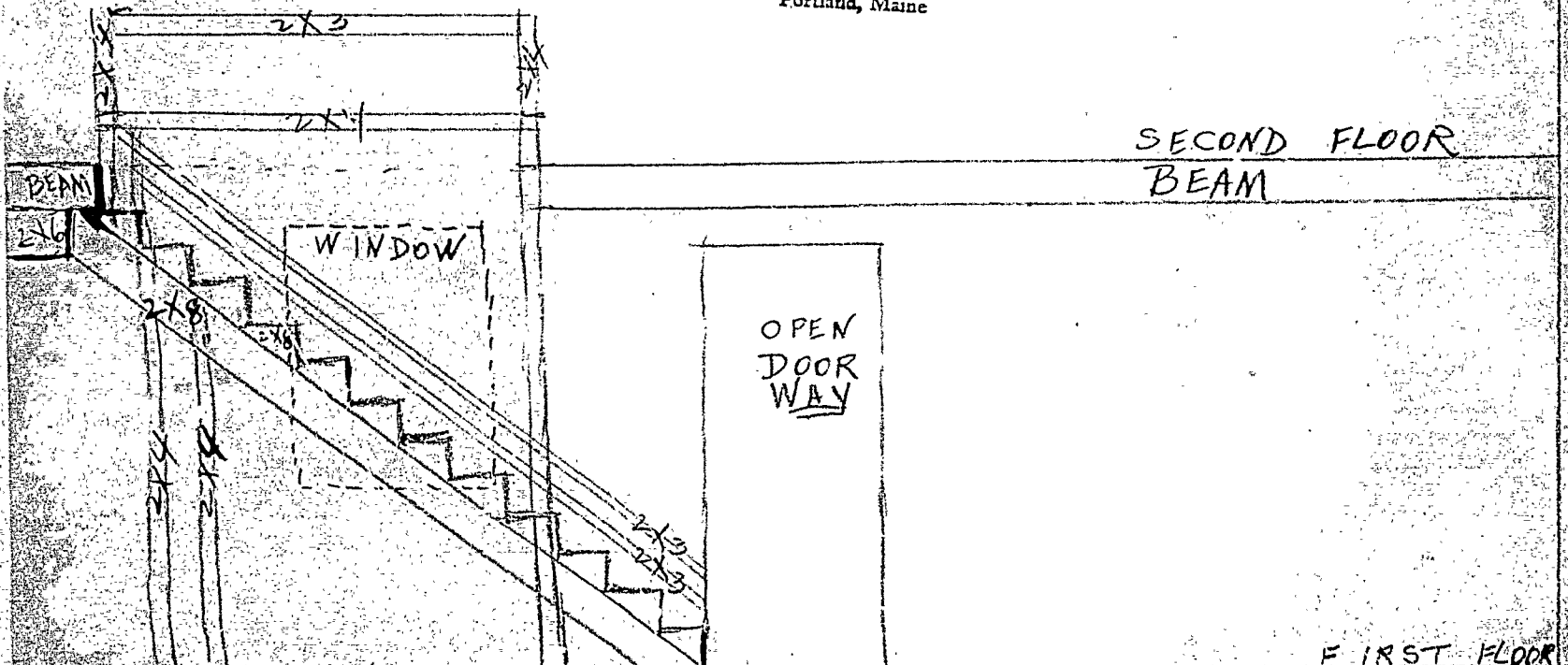
- is manufacturing to be carried on in both first and second stories of the building? — *Both*
- are any new partitions to be erected in either story? — *None*
- is space where sales to be made to be partitioned off from manufacturing area? — *None*
- floor plan of second story is needed to show location of new stairway in relation to the front stairs and of first story to indicate location of bottom of new stairs as regards the rear exit door. — *Provided*
- indication is needed as to width of stairway, size of landings at top and bottom of stairs, and that pitch of stairs is to be such that height of risers will not exceed 8½ inches and width of treads will be not less than 9 inches, these measurements to be taken on the stair points and not including any nosing of treads. *7*

Permit for the proposed work cannot be issued until information has been furnished indicating compliance with Building Code requirements.

AJS/B

Inspector of Buildings

COOPER FOOTWEAR CO.  
 349 Cumberland Avenue  
 Portland, Maine



STAIRWAY LOCATED - (AT FURTHEST END - FIRST FLOOR FROM CUMBERLAND AVE.)

2 - 2x4 Supports - Top <sup>and</sup> Slanting  
 2 - 2x4 Supports - Bottom

3 - 2" x 8'  
 2" x 8'  
 1 x 9'  
 1 x 8'  
 2 - 2 x 3

Blanked  
 Plywood  
 DEPT. OF PORTLAND  
 CITY OF PORTLAND  
 Hand Ralls



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Oct. 30, 1953

PERMIT ISSUED 10/30/53 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 349 Cumberland Ave. Use of Building vacant No. Stories 2 Building Existing " Name and address of owner of appliance Ben Williams, 84 Rackleff St. Installer's name and address Paul Hanna, P. O. 2229, So. Portland Telephone none

General Description of Work

To install forced warm air heating system in place of one pipe furnace and oil burning equipment. (Heat for first floor only)

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace over 15" From top of smoke pipe over 15" From front of appliance over 4" From sides or back of appliance over 3" Size of chimney flue 8x8 Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner American Radiator winterway Labeled by underwriter's laboratories? yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner concrete Size of vent pipe Location of oil storage basement Number and capacity of tanks 1-275 gal. Low water shut off Make No. Will all tanks be more than five feet from any flame? yes How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

1 1/2" vent pipe

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED 10/31/53 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

[Signature of Paul Hanna]

Signature of Installer

INSPECTION COPY





GENERAL BUSINESS ZONE  
APPLICATION FOR PERMIT

PERMIT ISSUED  
00862  
JUN 15 1949  
CITY OF PORTLAND

Class of Building or Type of Structure Third Class  
Portland, Maine, June 3, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~rebuild~~ ~~reconstruct~~ ~~demolish~~ ~~repair~~ ~~maintain~~ ~~improve~~ ~~change~~ ~~use~~ ~~occupancy~~ ~~of~~ ~~the~~ ~~following~~ ~~building~~ ~~or~~ ~~buildings~~ ~~located~~ ~~at~~ ~~the~~ ~~following~~ ~~address~~ ~~or~~ ~~addresses~~ ~~and~~ ~~the~~ ~~following~~ ~~specifications~~ ~~and~~ ~~the~~ ~~following~~ ~~specifications~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 349 Cumberland Avenue Within Fire Limits? yes Dist. No. 1  
Owner's name and address Udell Branson, 112 High Street Telephone 3-5293  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address William C. Lowe, S. F. D. #1, Scarborough Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building Store and dwelling house No. families 1  
Last use vacant No. families \_\_\_\_\_  
Material wood No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 1500 Fee \$ 5.00

General Description of New Work

To make alterations to building as per plan.

Permit Issued with Letter

Appeal sustained 12/13/46

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** William C. Lowe

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

with letter by [signature]

Udell Branson

Signature of owner by: William C. Lowe

INSPECTION COPY

NOTES

7-22-49. Work not started.

9/15/49. Hoop over stairs window is dressed 4' 6" tall & near sill in place.

9/29/49 - There is a change in intended use. Thus a new plan and amendments necessary. A 2x6 "scab" is to be placed on either side of splice in new order in cellar - 4' either side. Brick work to catch the ends of existing joists 1st floor where they enter near sills. Joists over windows shall be connected to sill with iron. It will not be allowable for the 6x6 joist to be bolted into front chimney.

10/19/49 - West foundation wall is to be faced on inside with 4" of brick from stone section up to bottom of floor joists.

11/2/49. Support in (4" of brick) under 1st floor west wall.

11/15/49 - Progress slow both chimneys to be fire stopped with all wood work.

11/29/49 - Work progressing.

12/2/49 - Progress slow.

12/19/49 - No change.

1/3/50 - Some work done since last inspection.

1/16/50 - Silt & T. with notes to be covered.

2/3/50 - Work done to home built almost all.

3/13/50 - Work nearly finished.

19/1862  
3199  
1/15/49  
1/10/50  
3/6/50 8:10  
5/8/50  
5/9/50  
1/14/50

3/24/50 - Front door not removed as per plan. Front steps. Remove foundation. Rear steps not made because some treads are missing.

4/12/50 - Remaining foundation for front steps. No work started on recessed.

4/14/50 - Front door missing inward, not removed, as per plan. Rear steps to be fire stopped.

4/18/50 - Better almost necessary steps.

4/29/50 - Mr. Gorman mentioned to frame steps with iron on sides down to outer edge of existing bottom step - cut down concrete foundation slab (wherever projecting over street line) to brick sidewalk grade.

alter to make handrail on wall side of main stairs on some way eliminate accident hazard. Rear steps do not go way to wall.

5/10



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

Issued to **Udell Braxson**

Date of Issue **May 9, 1950**

This is to certify that the building, premises, or part thereof, indicated below, and ~~part~~ altered—changed as to use at **319 Cumberland Avenue** under Building Permit No. **49/862**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

Storage and retail business

Limiting Conditions:

Not more than two persons including employees to be in second story at any one time on account of only one means of egress.

This certificate supersedes  
certificate issued  
Approved 5/8/50

Inspector of Buildings

INSPECTION

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

LOCATION 3496 <sup>ant</sup> ~~united~~ ~~land~~

DATE 4/7/50

PERMIT

INQUIRY

COMPLAINT

E. S. S.

Pbs see  
settlement  
on map  
copy. no. 10000  
is to be copy  
when done but  
I would like  
map re about  
5/10/50



*File*  
May 3, 1950

Portland Public Works Dept.  
City Hall  
Portland, Maine

Gentlemen:

At 349 Cumberland Ave., please finish off the side walk to the city line.

You can check this with the city building inspector, Mr. McDonald.

This is entirely the responsibility of the Public Works Department.

Very truly yours,

UDELL BRAMSON

UB/lat

RECEIVED

MAY 4 1950  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND



# APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

OCT 6 1949

CITY of PORTLAND

Amendment No. 1  
Portland, Maine, Oct. 6, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 49/862 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 349 Cumberland Avenue Within Fire Limits? yes Dist. No. 1  
 Owner's name and address Udell Branson, 112 High Street Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address William C. Lowe, R. F. D. #1, Scarborough Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Plans filed yes No. of sheets 1  
 Proposed use of building Store and ~~dwelling~~ No. families 1  
 Last use vacant No. families \_\_\_\_\_  
 Increased cost of work \_\_\_\_\_ Additional fee .25

### Description of Proposed Work

To reinforce second floor for storage load as per plan.  
 To remove section of rear foundation wall leaving existing 7x7 sill for support of wall and providing 3" gully column for support of end of girder.  
 To remove carrying partition in second story, installing a 4x8 girder and 4x4 posts in place of it as shown on plan.

*[Handwritten mark]* Permit Issued with Memo

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_ of lining \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: with memo by [Signature]

Signature of Owner: William Lowe  
 Approved: 10/6/49 - [Signature]  
 Inspector of Buildings

AP 347-349 Cumberland Ave.,

June 15, 1949

Mr. William C. Laws  
R. F. D. # 1  
Scarborough, Maine

Subject: Permit for alterations and  
change of use of first story of  
building at 347-349 Cumberland Avenue.

Dear Sir:

The permit for the above work is issued herewith based on the plan filed with the application together with the following additions to which you have agreed:

1. Full size spruce or hemlock is to be used for the new 6x8 beam beneath the second floor.
2. The existing 3x5 joists on a fifteen-foot span in second floor framing are to be reinforced by placing full size 2x6 spruce or hemlock timbers beside each of the 3x5's, the new timbers to be supported at the ends on 2x6 nailing strips securely spiked to outside wall framing and the new 6x8 girder end are also to be spiked to the 3x5's. The bottoms of the 2x6's and 3x5's are to be kept at the same level. At least 2x6 block bridging is to be provided at the center of the span of the joists.
3. Unless the new show window opening has been already provided, double 2x6's on edge are to be provided for a header over the opening.
4. There may be certain places in the existing framing, both in walls and floors, that will require strengthening. No lath or wallboard is to be applied to walls, ceilings or partitions until authorization to do so has been given by this department. If there are any existing rooms in the attic, it is not allowable to use them for living quarters unless a second means of egress from both attic and second story is provided. They may be used for storage in connection with the living quarters, but not with the store, however.

Very truly yours,

Inspector of Buildings.

AJS/B

CC Uéall Branson  
148 High Street

William B. Millward  
1568 Forest Avenue

At 347-349 Cumberland Avenue

June 13, 1949

Mr. William C. Lowell  
N. P. D. #1  
Scarborough, Maine  
Mr. William B. Millward  
1558 Forest Avenue

Subject: Application for permit for  
alterations to building at 347-349  
Cumberland Avenue

Gentlemen:

A check of the plans filed with the application for permit for  
the above work indicates the following:

Following  
beams to  
spruce

1. The 6x8 girder to be provided under second floor in place  
of the carrying partition will not figure out to take care of the loads  
involved unless it is full size hemlock or spruce or dressed Douglas  
fir or Long Leaf Yellow Pine. Which do you propose to use?

2x4 size  
2x4 side  
of each  
3x5  
2-2 ft

2. From what information we have available the second floor  
timbers are only 3" x 5", 20' on centers, the longer span being about  
fifteen feet. If this be so, they are more than 50% deficient in strength  
required by the Building Code for a dwelling house floor load and it will  
be necessary to reinforce them. Please indicate how this will be done.

3. What is size of header to be provided over new show window  
opening?

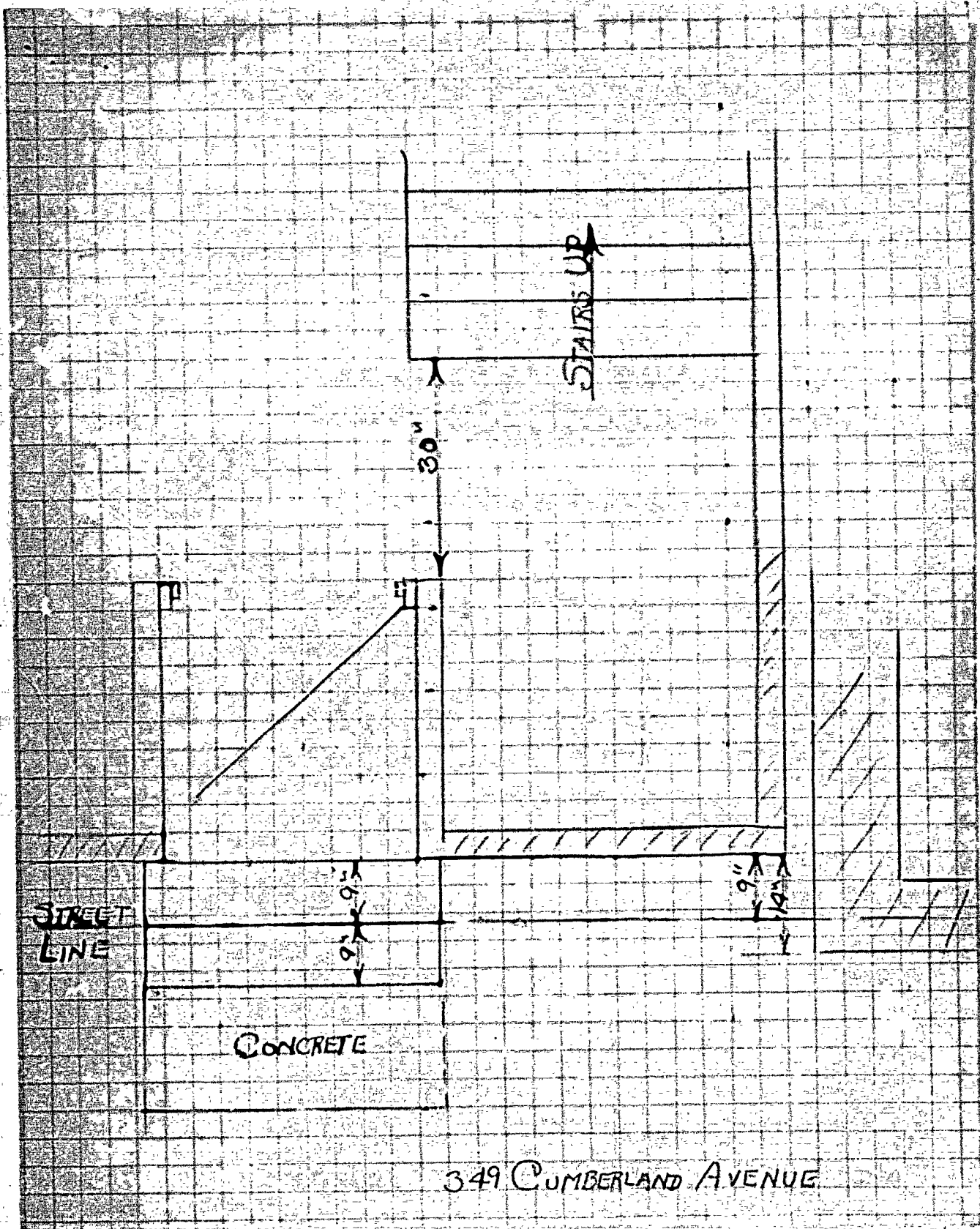
It will be necessary that all of the above information be furnished  
for checking and approval before the permit for the work may be issued.

Very truly yours,

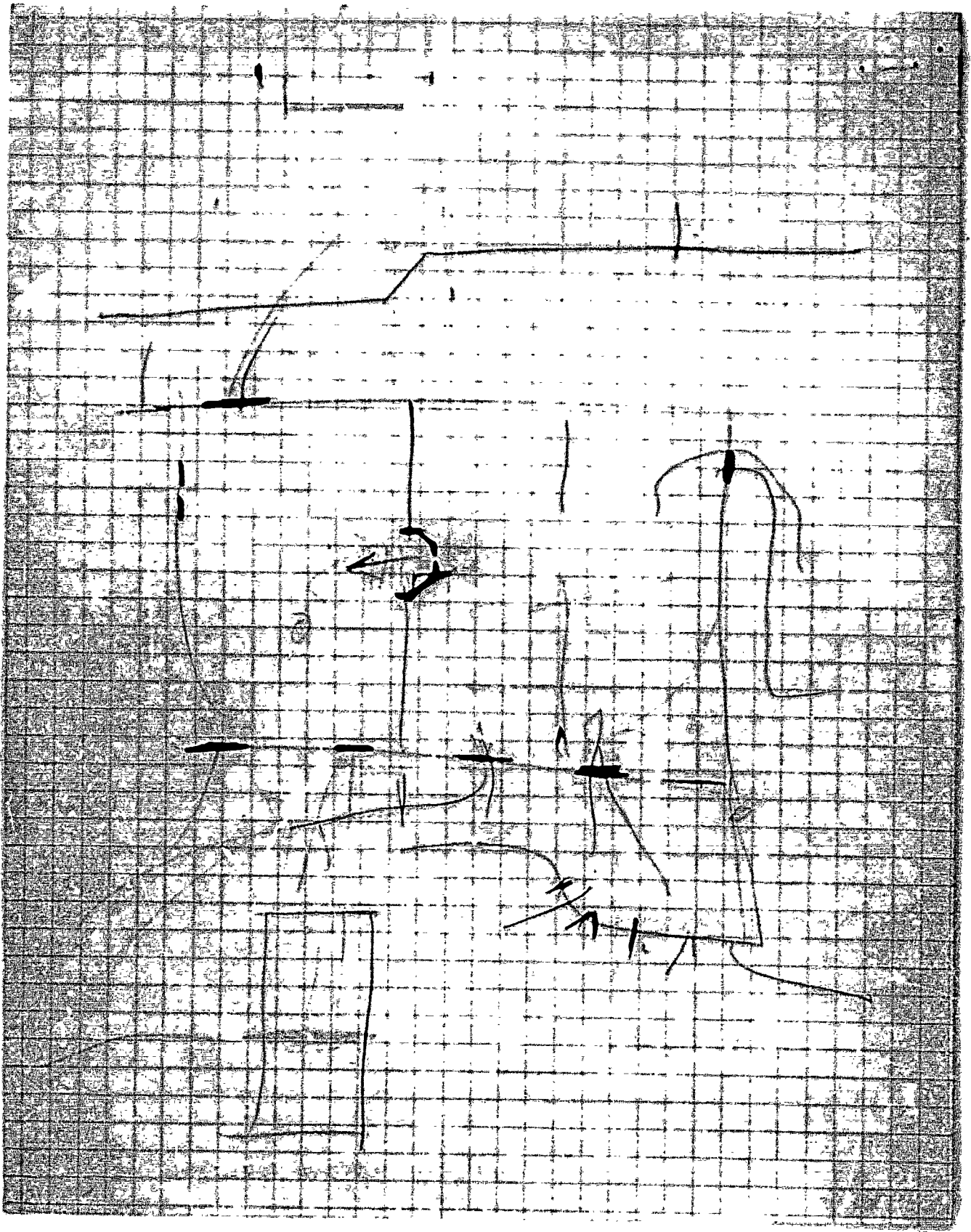
Inspector of Buildings

ALS/G

CC: Mr. Udell Branson  
112 High Street



349 CUMBERLAND AVENUE



**Memorandum from Department of Building Inspection, Portland, Maine**

349 Cumberland Avenue—Amendment to building permit 49/862 to make alterations thereto for Udell Bramson by William C. Lowe—10/6/49

Amendment is issued herewith on the basis that the second story is to be used only for storage. If it is to be used otherwise so that there would be more than two persons habitually employed there or if it is to be used for sales space, a second means of egress therefrom will be required. Permanent signs indicating the maximum allowable live load of 100 pounds per square foot for which the strengthening of the floor framing is designed must be posted in conspicuous places throughout the second story.

AJS/G

CC: Mr. Udell Bramson  
142 High Street

P. S. Before any part of this building is put into use for mercantile, business or storage use, a certificate of occupancy is required from this department.

When all features controlled by the Building Code have been completed, notice to this office is required of readiness for final inspection.

**(Signed) Warren McDonald**  
**Inspector of Buildings**



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2

Portland, Maine, January 6, 1950

PERMIT ISSUED  
JAN 13 1950  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

I Udell Branson hereby applies for amendment to Permit No. 19/262 pertaining to the building or structure comprised in the application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City. Plans and specifications, if any, submitted herewith, and the following specifications:

Location 349 Cumberland Avenue Within Fire Limits? Yes Dist. No. 1  
 Owner's name and address Udell Branson, 142 High Street Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address William C. Lowe, A. F. D. #1, Scarborough Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building Store No. families 3  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Increased cost of work \_\_\_\_\_ Additional fee. 25

### Toilet Description of Proposed Work

To partition off ~~bedroom~~ rear of first floor, 2x4 studs, 16" on centers, covered with sheetrock on both sides.

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-10" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: \_\_\_\_\_

Udell Branson

Signature of Owner by Udell Branson

Approved: 1/12/50 W.C. Lowe

Inspector of Buildings

INSPECTION COPY

BP 349 Cumberland Avenue-I

April 18, 1950

Mr. Udell Branson  
142 High Str. et  
Mr. William C. Lowe  
R. F. D. #1  
Scarborough, Maine

Gentlemen:

An inspector from this department reports that in connection with the alterations in your building at 349 Cumberland Avenue, the front entrance has been constructed, not as shown on the plans filed with the application for permit for the work, but with the entrance door opening directly onto the outside steps without a landing at least as deep as the door is wide as specified by the Building Code. It also looks as if the steps as constructed project 8" or more beyond the street line although this cannot be definitely determined unless the line of Cumberland Avenue is known. We have requested the Department of Public Works to establish this line and will let you know as soon as they have done so.

In order to comply with the law it is necessary that the entrance door be recessed enough to provide a platform of the required depth outside the door and, if it is found that the existing steps project beyond the street line, to rebuild them so that there will be no encroachment. Since the building is already being used for mercantile purposes unlawfully without a certificate of occupancy having been secured for the change of use involved, it is imperative that this matter be taken care of as soon as possible so that the certificate of occupancy can be issued. As soon as the location of the street line has been determined, we shall expect steps to be taken forthwith to construct this front entrance and steps in a manner complying with law requirements.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G



AP 349 Cumberland Ave.-I

July 30, 1947

Brodeur Construction Company  
138 Pennsylvania Avenue  
So. Portland, Maine  
Mr. Udoll Branson  
142 High Street

Subject: Permit for change of use and  
alterations to building at 349 Cum-  
berland Avenue

Gentlemen:

Permit for the above work is issued herewith, but excluding any strengthening of the second floor framing except such temporary measures as are necessary to hold the present framing in place until permanent supports are provided. Before issuance of any permit to strengthen this second floor even though it is not to be occupied now for any purpose, the question of support of the westerly end of the new floor joists raised in our letter of June 7, 1947, must be settled in a satisfactory manner as well as other questions mentioned in that letter.

If the second story is not to be occupied for any purpose as indicated in application, the existing stairs must be removed, the opening in the second floor closed in and a small scuttle not less than 2' x 3' provided to give access to this space. Although not controlled by the Building Code, there is little doubt but that toilet facilities for the building will be required in the first story, the existing ones in the second story not being available after stairs are removed. There is also the question of type of heat to be provided for the building.

All of the above matters must be shown on revised plans or indicated on application for amendment to this permit to be filed with the revised plans, these to be checked and amendment issued if everything is found in compliance with law before any part of the work on them is started. Before first story of building is put into use for store purposes, a certificate of occupancy from this department is required, this being issuable only after a final inspection has been made and everything found in order.

Very truly yours,

Inspector of Buildings

AJS/S

CC: Miller & Beal, Inc.  
405 Congress Street



(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure - Third Class

Portland, Maine, July 22, 1947

PRIORITY 1883167

01842  
JUL 30 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE Supersedes applica. 9/4/46

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 49 Cumberland Avenue Within Fire Limits? yes Dist. No. 1  
Owner's name and address Udell Bramson, 112 High Street Telephone  
Lessee's name and address Telephone  
Contractor's name and address Brodeur Construction Co., 128 Pennsylvania Ave. Telephone 3-1628  
Architect So, Portland, Maine Specifications Plans yes No of sheets 2  
Proposed use of building Store (first floor) No. families  
Last use Dwelling No. families 1  
Material frame No. stories 1 1/2 Heat hot air Style of roof pitch Roofing  
Other buildings on same lot  
Estimated cost \$ 1000 Fee \$ 2.00

General Description of New Work

To change use from dwelling to store purposes (second floor not to be used in any way).  
To replace two front windows with show window 12'6" opening. 4x8 header on edge.  
To provide strengthening of building as per plan.

*[Handwritten signature]*

Permit Issued with Letter

Appeal sustained? 12/13/46

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Material of underpinning Height Thickness  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimneys of lining Kind of heat fuel  
Framing lumber—Kind Dressed or full size?  
Corner posts Sills Girt or ledger board? Size  
Girders Size Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor, 2nd, 3rd, roof  
On centers: 1st floor, 2nd, 3rd, roof  
Maximum span: 1st floor, 2nd, 3rd, roof  
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated.  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Brodeur Construction Co.

APPROVED:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSPECTION COPY

Signature of owner By: *[Handwritten signature]*

Permit No. \_\_\_\_\_

Location \_\_\_\_\_

Owner \_\_\_\_\_

Date of permit \_\_\_\_\_

Notif. closing-in \_\_\_\_\_

Inspn. closing-in \_\_\_\_\_

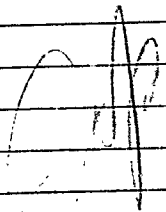
Final Notif. \_\_\_\_\_

Final Inspn. \_\_\_\_\_

Cert. of Occupancy issued \_\_\_\_\_

NOTES

*Nothing appears  
to have been done  
All windows and doors  
boarded so nothing  
inside can be seen.*



AP 349 Cumberland Avenue-I

June 7, 1947

Mr. Udeil Branson  
142 High Street  
Miller & Beal, Inc.  
465 Congress Street  
Pineland Construction Company  
142 High Street

Subject: Application for building permit to cover alterations in and change of use of the dwelling house at 349 Cumberland Avenue.

Gentlemen:

With reference to my letter of September 21, 1946, on this subject and to revised plans filed here May 26, 1947, please note the following:

I am unable to issue the permit based on the proposal to support the west end of the new 3x10 floor joists in second floor by means of a bearing partition to be built to get its bearing on the first floor framing for a number of reasons. This is an old building and there is little likelihood that the first floor joists where they bear on the sill or underpinning are in good enough condition or will remain so to adequately support half of the load from the second floor which is intended for storage. If the existing 3x5 second floor joists are to be removed, there would be little likelihood that the new 3x10 joists would be put in in such a manner or the partition against outside wall intended to support these joists that a necessary tie across the building would be provided from westerly exterior wall clear through to the easterly exterior wall.

With the revision of the plan to change this proposal, no less than 1x3 cross-bridging should be shown in the new second floor joist spans and details as to how the building will be tied together at the second floor level. If some plan can be worked out of supporting the new floor joists on the present westerly exterior wall, the plan should also show the construction of this wall below the bearing of the second floor joists, since many of these old buildings have extraordinary structural conditions in the outside walls. There also should appear on the plans the live load per square foot for which the second floor is designed so that the Building Code may be complied with and so that the owner will know what to put on the required floor load signs in second floor areas.

With filing of revised plans, it is necessary that the owner or his agent indicate on the application for the permit what method is to be used to heat the building; also to change the application filed here in September, 1946, to be consistent with the plans as to use. This old application applies for a permit to change the use from a dwelling to light storage with the second floor to remain vacant and to replace two front windows with a show window. The plans and our correspondence since indicates that the first story is to be used for some type of store and the second story for light storage.

In the latter connection the owner's attention is again drawn to paragraph 1 in my letter of September 21, 1946, with regard to the requirements as to means of egress if the second floor is to be used for other than storage.

After the permit is issued and the alterations completed, it will be necessary to secure a certificate of occupancy from this department before the building can be occupied. That would be a very difficult time for the owner to find out that he had

Mr. Udell Branson  
Miller & Seal, Inc.  
Pineland Construction Company ----- 2

June 7, 1947

in mind some other occupancy than the one indicated in the application and on the plans for which the permit had been issued.

Very truly yours,

Inspector of Buildings

WHC/S

AP 349 Cumberland Ave.-I

✓ TH  
✓ ESS  
✓ BMT  
✓ AJS  
✓ PH  
✓ DJ  
✓ ED  
X BS

September 21, 1946

Pineland Construction Company  
142 High Street  
Miller & Beal, Inc.  
465 Congress Street

Subject: Application for building permit intended to cover alterations in the former dwelling at 349 Cumberland Ave. and change of use to mercantile use (Business and Industrial).

Gentlemen:

You are receiving a copy of a letter to the owner concerning the question of a fire separation wall too close to the easterly property line, and in event he resorts to a Building Code appeal and is successful, the following matters are drawn to your attention as to compliance with the Building Code in other particulars which would have to be cleared up on the plans or in the records somehow before a building permit could be issued:

1. There is some discrepancy as to the precise use proposed for the building. The application of September 4, states that the first story is to be used for light storage and that the second story would be left vacant; but the plans received here November 7, call for a store in the first story and for light storage in the second story. It is assumed that the plans show the correct proposal and the checking is done on that basis. This is quite important, however, because the owner is required to have in his possession a certificate of occupancy from this department before the building is put to its new use after the permit has been issued and the changes have been completed. If the owner, who is receiving a copy of this letter, should decide to use the second floor for something other than storage--say for customers to go up there or for more than two persons to be habitually there, the Building Code would require a second means of egress from the second floor to the ground well-separated from the existing stairs from first to second floor. Presumably the owner is the only one who can clear up this situation.

2. With reference to Section 212e.2 of the Building Code handrails will be required on both sides of the outside entrance steps because they are more than 40 inches wide, and a handrail will be required on at least one side of the stairs to second floor, full length.

3. No toilet facilities of any kind appear on the plans of existing situation or proposed alterations. This is not a matter controlled by the Building Code, but I feel sure that the Health Department will have something to say about the provision of toilet facilities in the building if it is used for a store where the public is invited or where there are employees on hand at all times, perhaps of both sexes. No doubt showing no toilet facilities is an oversight, but the Health Department should be consulted.

4. The application shows that existing heat is hot air and presumably that is to be continued although it is not known whether adjustments will be needed. If a change is to be made the work should be covered by application for a permit therefore, the application to be applied for by the installer only and the permit to be issued only to him.

PineLand Construction Company  
Miller & Beal, Inc.-----2

November 21, 1946

4-5  
11-20-46  
mcb  
5. With reference to Section 2051 of the Building Code, permanent floor load signs will be required, readable from all parts of the second floor showing the strength of second floor per square foot of live load.

6. Minimum strength in live load per square foot on second floor is set at 100 pounds. Neither the 4x8's nor 3x10's seem to work out to this strength, even though genuine Douglas Fir, unless the timbers are full-sized of the dimensions given rather than dressed down. Presumably the existing 3x5's are to be removed.

7. Contractor should bear in mind that where the plans call for "lally" columns specially manufactured columns of new pipe of that trade name or equivalent columns capable of rational design are understood, as the Building Code does not allow use of second-hand pipe for new columns in this building.

Very truly yours,

Inspector of Buildings

WkD/D

CC: Udall Braxson  
142 High Street  
Portland 3, Maine

AP 349 Cumberland Ave.-I

ATH  
ESS  
RMT  
MS  
FH  
DJ  
HD  
BS

December 20, 1946

Mr. Udell Branson  
142 High Street  
Pineland Construction Company  
142 High Street  
Miller & Deal, Inc.  
465 Congress Street

Subject: Application for building permit to cover alterations in building at 349 Cumberland Avenue and to change use of the building from that of a dwelling house to mercantile uses (Business & Industrial)

Gentlemen:

No doubt the owner has received a copy of the action of the Board of Municipal Officers sustaining his Building Code appeal relating to the closeness to the side property line of the easterly wooden exterior wall of the building.

This action of the Board merely relieves the owner from compliance with the requirement of the Building Code as to this easterly wall, and nothing else.

I am still unable to issue the building permit until a full answer is received from my letter of September 21 addressed to Pineland Construction Company and Miller & Deal, Inc. with a carbon copy to the owner, setting forth the questions as to compliance with the Building Code in particulars other than that of the easterly wall.

You are, of course, not authorized to proceed with any of the work until you actually have the building permit posted on the premises.

Very truly yours,

Inspector of Buildings

WscD/S

AP 349 Cumberland Avenue-I

PH  
ESS  
EHT  
AJS  
PH  
DJ  
HD  
X BS

November 21, 1946

Mr. Udell Branson  
142 High Street  
Portland 3, Maine

Subject: Application for building permit  
to cover alterations in the building at  
349 Cumberland Avenue and to change use  
of the building from that of a dwelling  
house to mercantile uses (Business and  
Industrial)

Dear Sir:

I am addressing another joint letter to you and the others concerned about several details of the proposition which are either not understood or not shown in compliance with the Building Code. There is one feature, however, which forbids issuance of the building permit altogether, as far as the authority of this department is concerned.

This is a wooden frame building and apparently the easterly side wall of it is practically on your property line, while Section 205b1 of the Building Code relating to Business and Industrial establishments within the limits of Fire District #1D where the property is located provides that all parts of exterior walls closer than five feet to such a property line shall be of two hour fire resistance, which means usually a masonry wall eight inches in thickness.

Besides the substantial cost, it is evident that to make this entire wall of masonry involves considerable practical difficulty, and your attention is drawn to the appeal clause of the Building Code which provides in specific cases of change of use of buildings such as you propose, wherein the enforcement of the Code would involve practical difficulty or unnecessary hardship or wherein desirable relief may be granted without departing from the intent and purpose of the Code, but not otherwise, the Municipal Officers may, by a two-thirds vote of their membership, permit exceptions to and variations from the provisions of the Code. I cannot predict of course what the attitude of the Municipal Officers would be on such an appeal, if filed; but in case you wish to try it there is enclosed an outline of the appeal procedure.

If you do not intend to resort to appeal proceedings in this connection, there is no use proceeding farther with additional information or revision of the plans, and if the contractor will return the receipt for the fee paid for the permit, the money will be refunded by voucher.

Very truly yours,

Inspector of Buildings

WKC/D

CC: Pinebnd Construction Company  
142 High Street  
Miller & Seal, Inc.  
465 Congress Street  
Barnett I. Shur, Acting Corporation Counsel

**PINELAND CONSTRUCTION COMPANY**  
*General Contractors*

15 PLUM STREET  
PORTLAND, MAINE

General notes regarding pro-  
posed renovations at  
349 Cumberland Ave,  
City.

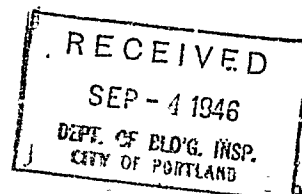
Reconversion of building front only.  
Replacing two standard sash, overlooking  
Cumberland Ave., by one show window, as  
per drawing.

Floor framing plan, as per sketch;  
8x6 Girds in all instances.  
8x8 Sills  
Condition at BB) 6x6 supporting colums  
Main portion of floor being supported  
by 4x4 stringers, 27" centers tied into  
8x6 gird, such stringers being 7'1"

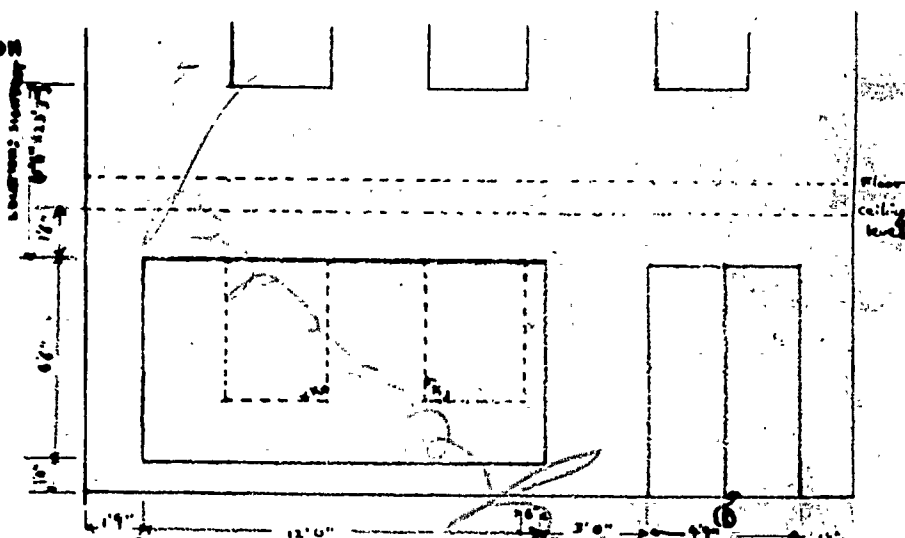
Floor covering, dbl. thick pine floor, matched  
board. Good condition.

The contracto, mainly, Pineland Construction Co,  
finds all girds, sills, stringers and supporting  
colums in good condition.

Reconverted floor shall be used as show room  
for materials and as light storage space for  
such. Weight not to exceed 100lbs per sq.ft.



ELEVATION



RECEIVED  
SEP-3 1966  
COPY ON FILED WITH  
117 5 P. 11010

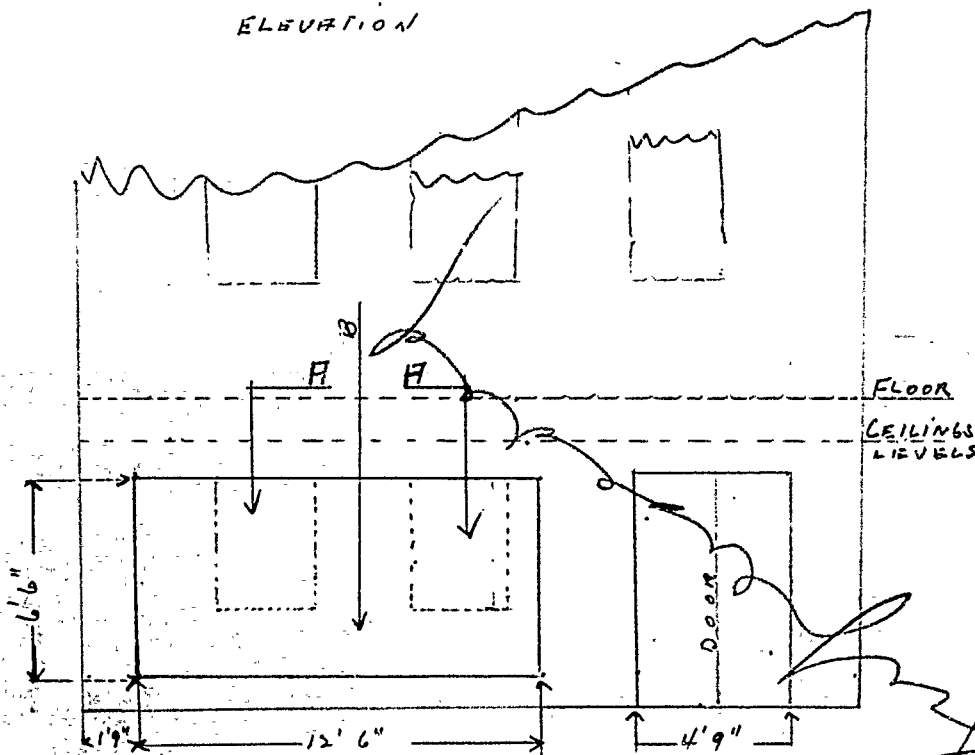
CONDITION AT A.A. REMOJIS

B. INSTALL TRIPLI THICK PLATE GLASS

PROPOSED WORK AT

349 CUMBERLAND AVE.

ELEVATION



Remove present standard windows and replace with show window as per sketch.

If available, store window hardware, metal, to be used. Consisting of, exterior facing, front and rear holding pieces and cushion base. If above not available, 1 $\frac{1}{4}$  round to be used.

Visible exterior dimension slightly less than overall of glass.

CONTRACTOR,  
Pineland Construction  
142 High St., City

Owner,  
Odell Bramson, Att'y

RECEIVED

SEP - 4 1946

DEPT. OF CON. INSP.  
CITY OF LAND

CUMBERLAND AVE

By: *Odell Bramson*  
9/3/46  
#1

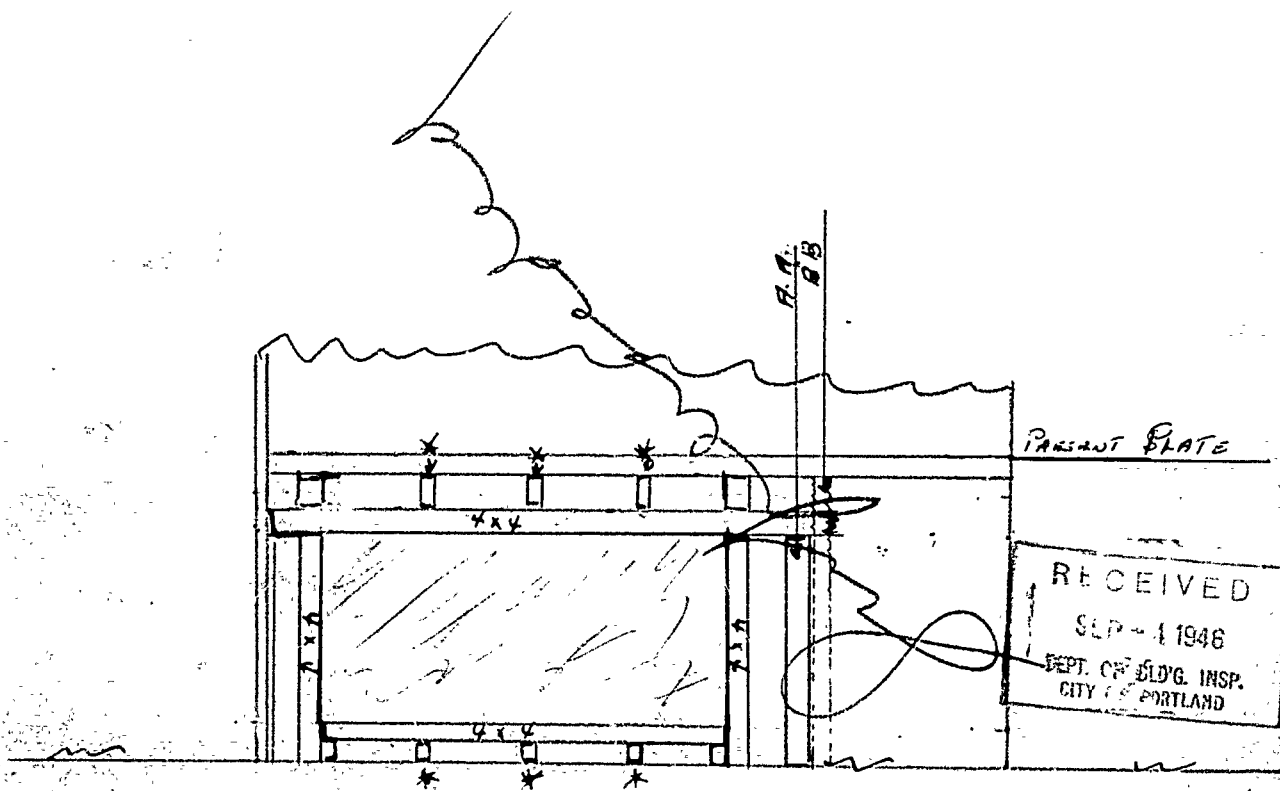
DETAIL

4x4 FRAMING STOCK

\* 2x4 BLOCKS

A.A. JACK STUD 4x4 SUPPORT

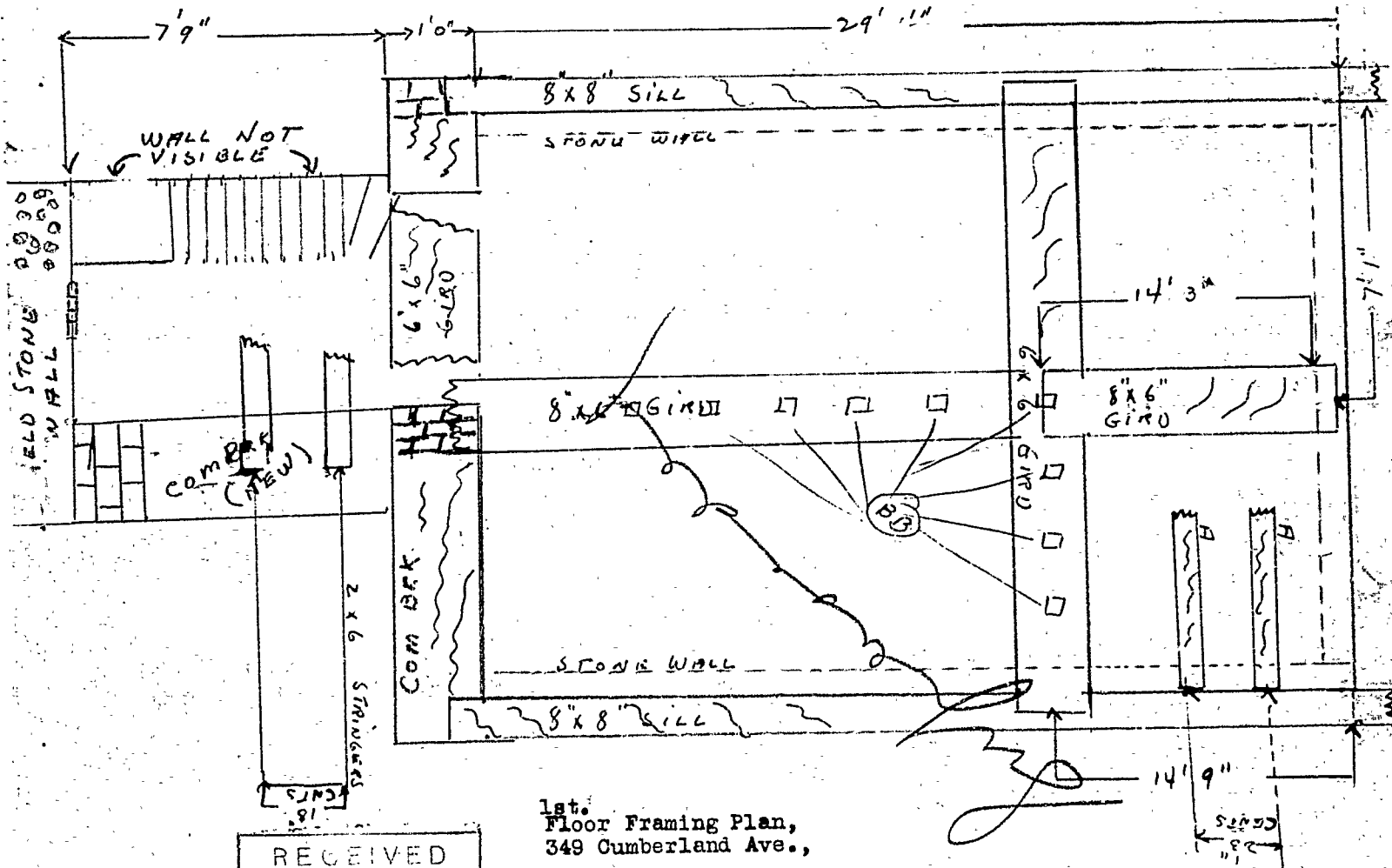
B.B. WALL BETWEEN VESTIBULE & RM TO REMAIN



RECEIVED  
SEP - 4 1946  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

ELEVATION

H/2



RECEIVED  
 SEP - 4 1946.  
 DEPT. OF BLD'G. INSP.  
 CITY OF PORTLAND

1st.  
 Floor Framing Plan,  
 349 Cumberland Ave.,

AA 4x4 stringers, 27" centers  
 BB 6x6 Supporting columns appx. 4' centers  
 8x8 Sills, supported by com. brk walls

# 2

AP 349 Cumberland Ave.-I

September 11, 1946

Pineland Construction Company  
15 Plum Street  
Mr. Udell Bramson  
142 High Street

Subject: Application for building permit to change  
use of first floor of dwelling to light storage  
and to provide a store window on the Cumberland  
Avenue front

Gentlemen:

I am unable to issue the permit for the above work because the information filed does not show compliance with the Building Code as we are required to have shown by Sec. 108b of the Code before a building permit can be issued.

The rough sketches filed with the application are not understandable. It will be necessary for you to have someone make some plans in the usual way so that they may be understood here, to be to scale and suitably designed to show compliance with the Building Code.

We are neither able to understand precisely how you propose to support the loads over the new 12-foot 6 inches wide show window or how much those loads will be.

The floor framing and supports (and these are to be permanent supports, not temporary puncheons) will have to be shown capable of supporting the live load of no less than 100 pounds per square foot as called for by Sec. 305a, Schedule of Minimum Live Loads, of the Building Code for even light storage; or if not so capable details of how the floor and its supports are to be strengthened to make it so capable, must be shown complete with sizes, materials, spacing and spans. My recollection of the floor and the last time I was in the cellar is that it is far from having any such strength.

Often applicants receiving a letter such as this one are inclined to attempt to come to the office to explain their plans or to procure our help to show them how to make them. That we are unable to do for the large volume of work coming into the office and the considerable number of persons interested in the building industry who are anxious to get their permits makes it impossible for us to devote time to such a project, which should be done by a private enterprise.

Very truly yours,

Inspector of Buildings

WMCD/S



# (G) GENERAL BUSINESS ZONE APPLICATION FOR PERMIT

Class of Building or Type of Structure Third

Portland, Maine, Sept. 24 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

New plans 5/26/47

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 349 Cumberland Ave. Within Fire Limits? yes Dist. No. 1

Owner's name and address Udell Bramson 142 High St. Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Pineland Construction Co. 15 Plum St. Telephone 4-1454

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2

Proposed use of building Light Storage 1st floor (second floor vacant) No. families \_\_\_\_\_

Last use dwelling No. families \_\_\_\_\_

Material frame No. stories 2 1/2 Heat hot air Style of roof pitch Roofing \_\_\_\_\_

Other buildings on same lot no Fee \$ 1.00  
Estimated cost \$ 222.0 1.00 addl

## General Description of New Work

To change use from dwelling to light storage (second floor to remain vacant)  
To replace two front windows with show window 12'-6" opening. 4x8 header on edge.

*APPROVED*  
*See permit July 22, 1947*  
*12/13/46*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing lumber—Kind \_\_\_\_\_ hemlock \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ dressed \_\_\_\_\_

Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous:

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to

see that the State and City requirements pertaining thereto are

observed? yes Arnold Brodeur

APPROVED:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature of owner Udell Bramson

Pineland Construction Co.

INSPECTION COPY

Permit No. 48/1842

Location 349 Cumber Ave

Owner Russell Brannon

Date of permit 7/30/49

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

~~Work on building up to  
have been done that is  
called for~~

L. J. 20 1

*Sustained*  
7-2/107  
12/3/46

City of Portland, Maine  
Municipal Officers  
—BUILDING CODE APPEAL—

December 5, 1946

To the Municipal Officers:

Your appellant, **UDELL BRAMSON**, who is the **OWNER** of property at **349 CUMBERLAND AVE.**, respectfully petitions the Municipal Officers of the City of Portland to permit an exception to the provisions of the Building Code relating to this property, as provided in Section 115, Paragraph a of the Building Code, on the ground that the enforcement of the Code in this case involves practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the

Building Code. QUOTE From Mr. McDonald's office November 21, 1946 This is a wooden frame building, apparently the easterly side wall of it is practically on your property line, while section 205b1 of the Building code relating to Business and Industrial establishments within the limits of Fire District 51B where the property is located provides that all parts of exterior walls closer than five feet to such a property line shall be of two hour fire resistance, which means usually a masonry wall eight inches in thickness. Besides the substantial cost, it is evident that to make this entire wall of masonry involved considerable practical difficulty and unnecessary added expense.

The facts and conditions which make this exception legally permissible are as follows:— Since the building in question has been vacant for some time, taxes having been paid for this same length of time, I feel that a variance should be granted. At present the building lies in a highly commercialized neighborhood and since buildings of concrete lie on either side of the building in question, and at one time such building was open to the public for living purposes, under the same conditions which exist at present, we feel that the alterations on this building would remove an eye sore from the district, by the same token, would make available a place of business to a future business man.

The proposed alterations meet the building code, less the fire wall in question, which would not be any more hazardous than in the past; for the building in question has been in the same location for over 50 years and abutts a concrete and steel building one foot or more from the wall in question, and such concrete and steel building has been adjacent to the wall in question for the same length of time, therefore providing a fire wall between the two buildings. The code requires five feet and at present such wall of the proposed alteration lies one foot from such concrete and steel wall. Therefore it is a question of four feet more or less.

*Udell Bramson*  
Appellant

*Sustained* 46/107  
12/13/46

City of Portland, Maine  
Municipal Officers  
—BUILDING CODE APPEAL—

Decision

Public hearing was held on the 13th day of December, 1946,  
on petition of Udell Bramson, owner of property at  
349 Cumberland Avenue, seeking to be permitted an exception to the provisions of the  
Building Code relating to this property.

Application made for building permit to make alterations in the building  
at above location and to change use of the building from that of a dwelling  
house to mercantile uses, which said permit was refused by the Building  
Inspector because Section 205b1 of the Code relating to Business and Industrial  
establishments within the limits of Fire District #1B where the property is  
located provides that all parts of exterior walls closer than five feet to such  
a property line shall be of two-hour fire resistance, which means usually a  
masonry wall eight inches in thickness. This is a wooden frame building and  
apparently the easterly side wall of it is practically on the property line.

This appeal is granted unconditionally.

It is, therefore, determined that exception to the Building Code may be permitted in  
this specific case.

*Edmund Colley*  
*Seward A. Cole*  
*Walter E. Frost*  
*A. P. Giddens*  
*B. Wilbur Hallmark*

*Herma B. Lacey*

Municipal Officers

46/107

City of Portland, Maine  
Municipal Officers

December 10, 1946

Mr. Udell Bramson  
142 High Street  
Portland 3, Maine

Dear Sir:

The Municipal Officers will hold a public hearing at the Council Chamber, City Hall, on Friday, December 13th, 1946, at eleven o'clock in the forenoon upon your appeal under the Building Code relating to a proposal to make alterations in the building at 349 Cumberland Avenue and to change use of the building from that of a dwelling house to mercantile uses.

Please be present or be represented at this hearing in support of your appeal.

MUNICIPAL OFFICERS

Herman B. Libb  
Chairman

CC: Pineland Construction Company  
142 High Street

Miller & Beal, Inc.  
465 Congress Street

Portland Nash Holding Corporation, 25 Commercial Street, City  
Central Maine Power Company, Augusta, Maine

46/107

City of Portland, Maine

Municipal Officers

December 10, 1946

To Whom It May Concern:

The Municipal Officers will hold a public hearing at the Council Chamber, City Hall, on Friday, December 13th, 1946, at eleven o'clock in the forenoon upon your appeal under the Building Code relating to a proposal to make alterations in the building at 349 Cumberland Avenue and to change use of the building from that of a dwelling house to mercantile uses.

Permit, under the Building Code, for the above work has been refused by the Building Inspector because Section 205bl of the Code relating to Business and Industrial establishments within the limits of Fire District #1B where the property is located provides that all parts of exterior walls closer than five feet to such a property line shall be of two-hour fire resistance, which means usually a masonry wall eight inches in thickness. This is a wooden frame building and apparently the easterly side wall of it is practically on the property line.

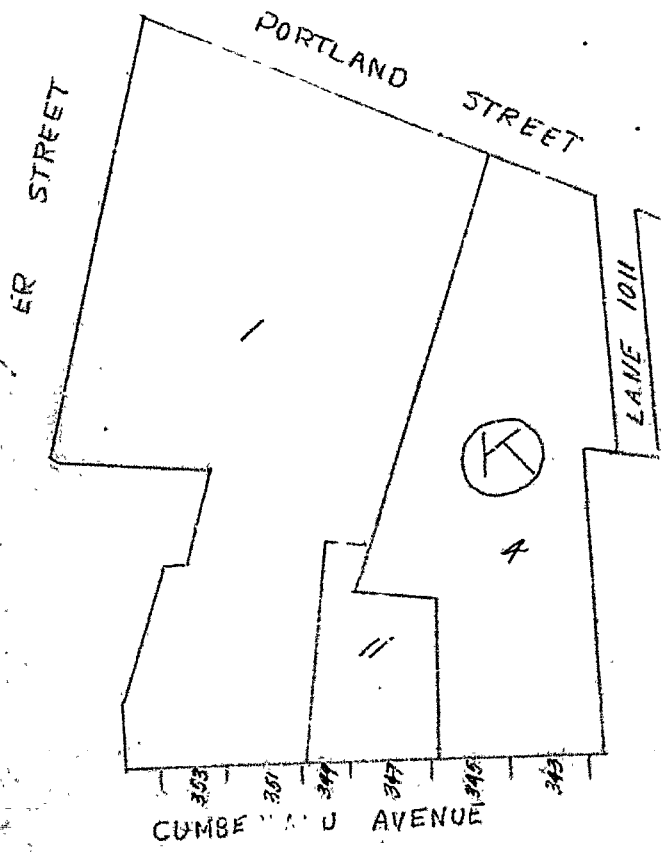
All persons interested either for or against this appeal will be heard at the above time and place.

MUNICIPAL OFFICERS

Helen C. Frost  
Chairman

46/107

No 33



- 33-K-1 Portland Nash Holding Corp., 75 Commercial St, City
- 33-K-4 Central Maine Power Co, Augusta, Maine
- ✓ 33-K-11 Odell Bramson, 727 Congress St, City