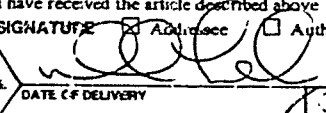






Re: 361 Cumb. art. - B. Macdonald (Hono)  
RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

PS Form 3811, One 100	
● SENDER: Complete items 1, 2, 3, and 4. Add your address in the "RETURN TO" space on reverse.	
(CONSULT POSTMASTER FOR FEES)	
1. The following service is requested (check one):	
<input type="checkbox"/> Show to whom and date delivered	_____
<input type="checkbox"/> Show to whom, date, and address of delivery	_____
2. <input type="checkbox"/> RESTRICTED DELIVERY (The restricted delivery fee is charged in addition to the return receipt fee.)	_____
TOTAL \$ _____	
3. ARTICLE ADDRESSED TO:	
Michael C. & Tammy A. LeClerc 115 Dorset Street Portland, Maine 04102	
4. TYPE OF SERVICE:	ARTICLE NUMBER
<input type="checkbox"/> REGISTERED <input type="checkbox"/> INSURED	935 428
<input checked="" type="checkbox"/> CERTIFIED <input type="checkbox"/> COD	
<input type="checkbox"/> EXPRESS MAIL	
(Always obtain signature of addressee or agent)	
I have received the article described above	
SIGNATURE <input checked="" type="checkbox"/> Addressee <input type="checkbox"/> Authorized agent	
	
5. DATE OF DELIVERY	POSTMARK
	JAN 28 1984
6. ADDRESSEE'S ADDRESS (Only if requested)	
7. UNABLE TO DELIVER BECAUSE:	EMPLOYEE'S INITIALS

REQUEST FOR SERVICE

FALMOUTH HEALTH DEPARTMENT

DATE RECEIVED	12-5-83	BY	Joyd	DISTRICT	
REQUEST BY	NAME	James Sharston - No phone			
	ADDRESS	Tenant			
OWNER	NAME	Michael LeClare 773-2125			
	ADDRESS	Portland			
CONDITIONS	ADDRESS	361 Cumb. ave., 2 <sup>nd</sup> Fl., apt #3			
Someone home most of time					
Insufficient heat. No oil in tanks.					
COMMENTS	Oil delivery on way.				
SPECIAL INSTRUCTIONS					
DIVISION	SANITATION		HOUSING		NURSING
PRIORITY	ROUTINE		SPECIAL		BY
	URGENT		REPORT TO		DATE

NOTICE OF HOUSING CONDITIONS

CITY OF PORTLAND, MAINE

Department of Planning & Urban Development  
Inspections Services Division  
Tel. 775-5451 - Ext. 311 - 318 - 319

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

DU 6

CH. 33 BLK. J LOT 19  
Location: 361 Cumb. Ave

Project: NCP-WE  
Issued: Sept. 14, 1983  
Expires: Nov. 14, 1983

Dear Mr. & Mrs. LeClerc:

You are hereby notified, as owner or agent, that an inspection was made of the premises at 361 Cumberland Avenue, Portland, Maine by Code Enforcement Officer Burton MacIsaac. Violations of Chapter 307 of the Municipal Codes (Minimum Standards for Housing) were found as described in detail on the attached "Housing Inspection Report".

In accordance with the provisions of the above mentioned Code, you are hereby ordered to correct those defects on or before November 14, 1983. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with Code standards.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this department in it's goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Very truly yours  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By Lyle D. Noyes  
Lyle D. Noyes  
Inspections Services Division

Code Enforcement Officer - B. MacIsaac (6)

Attachments:

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc  
 CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)  
 361 CUMBERLAND AVENUE, PORTLAND, MAINE, 33-J-19, WE, NOTICE OF  
 HOUSING CONDITIONS DATED September 14, 1983, EXPIRES November 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF CHAPTER 307 OF THE MUNICIPAL CODES, "MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

- |   | Sec. (s) |
|---|----------|
| 1. RIGHT MIDDLE - Tilting and broken support members, entrance canopy.  | 3-d      |
| * 2. FIRST, SECOND & THIRD FLOOR - fire escape - broken tread   | 3-d      |
| * 3. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.  | 3-d      |
| * 4. THIRD FLOOR - fire escape - missing hand rail.   | 3-d      |
| 5. RIGHT REAR - foundation - bulging.   | 3-a      |
| 6. FIRST, SECOND & THIRD FLOOR RIGHT REAR - eil - sagging.  | 3-a      |
| 7. OVERALL - missing and damaged siding.  | 3-a      |
| * 8. FRONT - chimney - loose and missing bricks and mortar.   | 3-e      |
| 9. LEFT REAR - roof - missing gutter.   | 3-a      |
| 10. THIRD FLOOR FRONT - stairway - missing and broken plaster.  | 3-d      |
| *11. THIRD FLOOR FRONT - stairway - inoperative light fixture.  | 8-e      |
| *12. THIRD FLOOR FRONT - stairway - missing switch cover.   | 8-e      |
| 13. SECOND FLOOR REAR - stairway - missing balusters.   | 3-d      |
| 14. SECOND FLOOR FRONT - stairway - missing balusters.  | 3-d      |
| 15. THROUGHOUT - roach infestation.   | 4-e      |
| 16. BASEMENT - furnace - must be enclosed, providing for adequate ventilation, with one hour fire-rated material, and have a self-closing door of the same fire-rating. |          |
| <i>Basement Apt.</i>  |          |
| 17. KITCHEN - ceiling and wall - loose, cracked and missing plaster.  | 3-b      |
| *18. KITCHEN - ceiling - loose light fixture.   | 8-e      |
| 19. LIVING ROOM - ceiling - broken and missing plaster.   | 3-b      |
| 20. LIVING ROOM - flooring - worn and damaged.  | 3-b      |
| *21. LIVING ROOM - wall - missing switch cover.   | 8-e      |
| *22. LIVING ROOM - ceiling - loose light fixture.   | 8-e      |
| 23. REAR BEDROOM - sagging floor.   | 3-b      |
| 24. REAR BEDROOM - wall and ceiling - holes.  | 3-b      |
| 25. REAR STAIRWAY - walls - missing plaster.  | 8-c      |
| *26. HALL - missing electrical illumination.  |          |

FIRST FLOOR REAR  
 Not available at time of inspection.

SECOND FLOOR FRONT  
 27. KITCHEN - ceiling - peeling paint. 3-b

SECOND FLOOR REAR  
 \*28. No second means of egress. 10-2

NOTE: At the time of the survey, we were unable to gain access to the First Floor Rear Apartment. We suggest that if there are any conditions which need correcting in this apartment, that you make the repairs while doing the work on the rest of the structure.

\*WHEN MAKING REPAIRS, FIRST PRIORITY IS TO BE GIVEN TO ITEMS WITH ASTERISKS, AS THEY CONSTITUTE A HAZARD TO THE HEALTH OR SAFETY OF THE OCCUPANTS OF THIS STRUCTURE.

NOTICE OF HOUSING CONDITIONS

CITY OF PORTLAND, MAINE

Department of Planning & Urban Development  
Inspections Services Division  
Tel. 775-5451 - Ext. 311 - 318 - 319

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

DU 6

CH. 33 BLK. J LOT 19  
Location: 361 Cumb. Ave

Project: NCP-WE  
Issued: Sept. 14, 1983  
Expires: Nov. 14, 1983

Dear Mr. & Mrs. LeClerc:

You are hereby notified, as owner or agent, that an inspection was made of the premises at 361 Cumberland Avenue, Portland, Maine by Code Enforcement Officer Burton MacIsaac. Violations of Chapter 307 of the Municipal Codes (Minimum Standards for Housing) were found as described in detail on the attached "Housing Inspection Report".

In accordance with the provisions of the above mentioned Code, you are hereby ordered to correct those defects on or before November 14, 1983. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with Code standards.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this department in its goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Very truly yours  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By Lyle D. Noyes  
Lyle D. Noyes  
Inspections Services Division

B. MacIsaac  
Code Enforcement Officer - B. MacIsaac (6)

Attachments:

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc  
 CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)  
 361 CUMBERLAND AVENUE, PORTLAND, MAINE, 33-J-19, WE, NOTICE OF  
 HOUSING CONDITIONS DATED September 14, 1983, EXPIRES November 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF CHAPTER 307 OF THE MUNICIPAL CODES. "MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

- |   | Sec. (s) |
|---|----------|
| 1. RIGHT MIDDLE - Tilting and broken support members, entrance canopy.  | 3-d      |
| * 2. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.   | 3-d      |
| * 3. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.  | 3-d      |
| * 4. THIRD FLOOR - fire escape - missing hand rail.   | 3-a      |
| 5. RIGHT REAR - foundation - bulging.   | 3-a      |
| 6. FIRST, SECOND & THIRD FLOOR RIGHT REAR - ell - sagging.  | 3-e      |
| 7. OVERALL - missing and damaged siding.  | 3-a      |
| * 8. FRONT - chimney - loose and missing bricks and mortar.   | 3-d      |
| 9. LEFT REAR - roof - missing gutter.   | 8-e      |
| 10. THIRD FLOOR FRONT - stairway - missing and broken plaster.  | 8-e      |
| * 11. THIRD FLOOR FRONT - stairway - inoperative light fixture.   | 3-d      |
| * 12. THIRD FLOOR FRONT - stairway - missing switch cover.  | 3-d      |
| 13. SECOND FLOOR REAR - stairway - missing balusters.   | 4-e      |
| 14. SECOND FLOOR FRONT - stairway - missing balusters.  |          |
| 15. THROUGHOUT - roach infestation.   |          |
| 16. BASEMENT - furnace - must be enclosed, providing for adequate ventilation, with one hour fire-rated material, and have a self-closing door of the same fire-rating. |          |
| 17. <u>Basement Apt.</u> KITCHEN - ceiling and wall - loose, cracked and missing plaster.   | 3-b      |
| * 18. KITCHEN - ceiling - loose light fixture.  | 8-e      |
| 19. LIVING ROOM - ceiling - broken and missing plaster.   | 3-b      |
| 20. LIVING ROOM - flooring - worn and damaged.  | 8-e      |
| * 21. LIVING ROOM - wall - missing switch cover.  | 8-e      |
| * 22. LIVING ROOM - ceiling - loose light fixture.  | 3-b      |
| 23. REAR BEDROOM - sagging floor.   | 3-b      |
| 24. REAR BEDROOM - wall and ceiling - holes.  | 3-b      |
| 25. REAR STAIRWAY - walls - missing plaster.  | 8-c      |
| * 26. HALL - missing electrical illumination.   |          |

FIRST FLOOR REAR  
 Not available at time of inspection.

SECOND FLOOR FRONT  
 27. KITCHEN - ceiling - peeling paint.

SECOND FLOOR REAR  
 \*28. No second means of egress.

NOTE: At the time of the survey, we were unable to gain access to the First Floor Rear Apartment. We suggest that if there are any conditions which need correcting in this apartment, that you make the repairs while doing the work on the rest of the structure.

\*WHEN MAKING YOUR REPAIRS, FIRST PRIORITY IS TO BE GIVEN TO ITEMS WITH ASTERISKS, AS THEY CONSTITUTE EXTREME HAZARDS TO THE HEALTH OR SAFETY OF THE OCCUPANTS OF THIS STRUCTURE.

REQUEST FOR SERVICE

FALMOUTH HEALTH DEPARTMENT

DATE RECEIVED	8/25/83	BY	J.P.M.	DISTRICT	Burt
REQUEST BY	NAME	Jr	Schmuck		
	ADDRESS	Apt 1 361 Cumb Ave.			
OWNER	NAME				
	ADDRESS				
CONDITIONS	ADDRESS	361 Cumb Ave -			
COMMENTS	People living in basement apartment + Apt #5A without running water on bathroom facilities. Running water + bathroom OK but other problems. Making lat enteric inspection M. K. S. C. 8-25-83				
SPECIAL INSTRUCTIONS					
DIVISION	SANITATION		<input checked="" type="checkbox"/>	HO JSING	NURSING
PRIORITY	ROUTINE			SPECIAL	BY
	<input checked="" type="checkbox"/>	URGENT		REPORT TO	DATE

NOTICE OF HOUSING CONDITIONS

CITY OF PORTLAND, MAINE

Department of Planning & Urban Development  
Inspections Services Division  
Tel. 775-5451 - Ext. 311 - 318 - 319

Michael C. M. & Tammy A. LeClerc - New Owner  
116 Dorset Street  
Portland, Maine 04102

DU 5

Ch. 33 Blk. J Lot19  
Location: 361 Cumb. Avenue

Project: NCP-WE  
Issued: January 14, 1983  
Expires: April 14, 1983

Dear Mr. & Mrs. LeClerc:

You are hereby notified, as owner or agent, that an inspection was made of the premises at 361 Cumberland Ave., Portland, Me. by Code Enforcement Officer Gayton Bartlett. Violations of Chapter 307 of the Municipal Codes (Minimum Standards for Housing) were found as described in detail on the attached "Housing Inspection Report".

In accordance with the provisions of the above mentioned Code, you are hereby ordered to correct those defects on or before April 14, 1983. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with Code Standards.

Please contact this office if you have any questions regarding this Notice.

Your cooperation will aid this Department in it's goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Very truly yours,  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By [Signature]  
Lyle D. Woyes,  
Inspection Services Division

[Signature]  
Code Enforcement Officer - G. Bartlett (6)

Attachments:

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. M. & Tammy A. LeClerc CODE ENFORCEMENT OFFICER - Bartlett (5)

261 Cumberland Avenue, Portland, Maine 33-J-19 WE Notice of Housing Conditions  
DATED: January 14, 1983 EXPIRES: April 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF "CHAPTER 307 OF THE MUNICIPAL CODES - MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED.

	<u>SEC. (S)</u>
1. RIGHT REAR EXTERIOR - wall - rotted sill.	3-a
2. RIGHT REAR HALL - door - rotted doorstep.	3-d
3. THIRD FLOOR REAR EXTERIOR - porch - missing handrail.	10-2
4. THIRD FLOOR REAR HALL - stairway - inadequate illumination.	8-c
5. RIGHT REAR BASEMENT - floor - sagging floor conditions.	3-b
6. RIGHT REAR CELLAR - furnace - broken asbestos.	9-c
<u>FIRST FLOOR FRONT APARTMENT</u>	
7. MIDDLE CLOSET - window - glass broken.	3-c
8. LIVINGROOM - window - missing glazing compound.	3-c
9. LIVINGROOM - window - missing counterbalance cord.	3-c
<u>SECOND FLOOR - RIGHT FRONT</u>	
10. BATHROOM - window - missing counterbalance cords.	3-c
<u>THIRD FLOOR APARTMENT</u>	
11. LIVINGROOM - window - broken glass.	3-c

CERTIFICATE  
OF  
COMPLIANCE

CITY OF PORTLAND  
Health Department - Housing Inspections Division  
Telephone 775-5451 - Extension 448  
Mr. Lee Jones  
9 Hill Street  
Portland, Maine 04102

August 22, 1975

Re: Premises located at 361 Cumberland Avenue, Portland, Maine 33-J-19

Dear Mr. Jones:

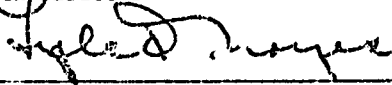
A re-inspection of the premises noted above was made on August 21, 1975  
by Housing Inspector Phipps.

This is to certify that you have complied with our request to correct the violation of  
the Municipal Codes relating to housing conditions as described in our "Notice of  
Housing Conditions" dated Nov. 1, 1974.

Thank you for your cooperation and your efforts to help us maintain decent, safe and  
sanitary housing for all Portland residents.

In order to aid in the preservation of Portland's existing  
housing inventory, it shall be the policy of this department  
to inspect each residential building at least once every  
five years. Although a property is subject to re-inspection  
at any time during the said five year period, the next regular  
inspection of this property is scheduled for 1980.

Sincerely yours,  
David C. Bittenbender  
(Acting)  
Health Director

  
of Housing Inspections

Inspector   
D. Phipps

361 CUMBERLAND AVE.

*Housing*



P 398 935 457  
RECEIPT FOR CERTIFIED MAIL

NO INSURANCE COVERAGE PROVIDED—  
NOT FOR INTERNATIONAL MAIL

(See Reverse)

Sent to	
Mr. Michael C. LeClerc	
Street and No.	
P. O. Box 1103	
P.O., State and ZIP Code	
Portland, Maine 04104	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to whom and Date Delivered	
Return Receipt Showing to whom, Date, and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	

PS Form 3800, Feb. 1982

Re: 361 Cumberland Ave. — S. MacLellan



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

March 19, 1984

Mr. Michael C. LeClerc  
P. O. Box 1103  
Portland, Maine 04104

Re: 361 Cumberland Ave. 33-J-19 NCP-WE  
2nd Floor Rear Apt.

Dear Mr. LeClerc:

As owner or agent of the property located at 361 Cumberland Ave., 2nd Floor Apt.,  
Portland, Maine, you are hereby notified that as the result of a recent (inspection ~~xxx~~  
~~xxxx~~), the Second Floor Apartment(rear) (is or are) hereby declared unfit for  
human occupancy.

You must take immediate steps to vacate the Rear Second Floor Apartment occupied by  
Elizabeth Chartres.

and (it or they) is/are to be kept vacant so long as the following conditions continue  
to exist thereon. You are ordered to commence legal eviction proceedings no later than  
March 28, 1984.

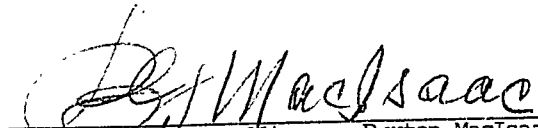
Article V - 120 - The property is damaged, decayed, deteriorated, insanitary  
and unsafe (or vermin infested) in such a manner as to  
create a serious hazard to the health, safety and general  
welfare of the occupants or the public.

Therefore, you will not occupy, permit anyone to occupy, or rent the above mentioned  
without the written consent of the Health Officer or his agent, certifying that the  
conditions have been corrected.

Failure to comply with this order may result in a complaint being filed for prosecution  
in District Court.

Sincerely yours,  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By   
P. Samuel Hoffes,  
Chief of Inspection Services

  
Code Enforcement Officer - Burton MacIsaac (6)

jmr

P 398 935 428  
RECEIPT FOR CERTIFIED MAIL

NO INSURANCE COVERAGE PROVIDED—  
NOT FOR INTERNATIONAL MAIL

(See Reverse)

Sent to Michael C. & Tammy A.	
Street and No. 116 Dorset St. LeClerc	
P.O., State and ZIP Code Portland, Me. 04102	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to whom and Date Delivered	
Return Receipt Showing to whom Date, and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	

PS Form 3800, Feb. 1982

*Pa. 361 dumb. Exp. - pro. license*

C 4111

CITY OF PORTLAND, MAINE  
DEPARTMENT OF URBAN DEVELOPMENT  
HOUSING INSPECTIONS DIVISION

NOTICE OF HEARING

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

DATE: January 26, 1984  
DU: 6

Re: Premises located at 361 Cumberland Ave. 33-J-19 WF

Dear Mr. & Mrs. LeClerc:

Because of your failure to comply with previous NOTICES, you are hereby invited to appear in Room 315, City Hall, 389 Congress Street, Portland, Maine at 9:00 on Feb. 3, 1984, to show cause why legal action should not be taken against you for violations of the Municipal Codes relating to housing conditions at the above referred premises, as described more fully in the attached copy of the original NOTICE received by you on or about September 14, 1983.

FAILURE TO APPEAR MAY RESULT IN PROSECUTION

Please notify this office at once if you have corrected all violations before the above noted hearing date. Telephone 775-5451 Extension 311 - 318.

Joseph E. Gray, Jr., Director of  
Planning and Urban Development

By Lyle D. Noyes  
Lyle D. Noyes  
Inspection Services Division

Requested by B. MacIsaac  
Code Enforcement Officer - B. MacIsaac (6)

Enclosure

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc  
 CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)  
 361 CUMBERLAND AVENUE, PORTLAND, MAINE, 33-J-19, WE, NOTICE OF  
 HOUSING CONDITIONS DATED September 14, 1983, EXPIRES November 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF CHAPTER 307 OF THE MUNICIPAL CODES, "MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

- |   | Sec.(s)        |
|---|----------------|
| 1. FRONT MIDDLE - rotting and broken support members, entrance canopy.  | 3-d            |
| * 2. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.   | 3-d            |
| * 3. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.  | 3-d            |
| * 4. THIRD FLOOR - fire escape - missing hand rail.   | 3-d            |
| 5. RIGHT REAR - foundation - bulging.   | 3-a            |
| 6. FIRST, SECOND & THIRD FLOOR RIGHT REAR - eel - sagging.  | 3-a            |
| 7. OVERALL - missing and damaged siding.  | 3-a            |
| * 8. FRONT - chimney - loose and missing bricks and mortar.   | 3-a            |
| <del>9. LEFT REAR - roof - missing gutter.</del>  | <del>3-e</del> |
| 10. THIRD FLOOR FRONT - stairway - missing and broken plaster.  | 3-a            |
| * 11. THIRD FLOOR FRONT - stairway - inoperative light fixture.   | 3-d            |
| * 12. THIRD FLOOR FRONT - stairway - missing switch cover.  | 8-e            |
| 13. SECOND FLOOR REAR - stairway - missing balusters.   | 8-e            |
| 14. SECOND FLOOR FRONT - stairway - missing balusters.  | 3-d            |
| 15. THROUGHOUT - roach infestation.   | 3-d            |
| 16. BASEMENT - furnace - must be enclosed, providing for adequate ventilation, with one hour fire-rated material, and have a self-closing door of the same fire-rating. | 4-e            |
| <i>Basement Apt.</i>  |                |
| 17. KITCHEN - ceiling and wall - loose, cracked and missing plaster.  | 3-b            |
| * 18. KITCHEN - ceiling - loose light fixture.  | 8-e            |
| 19. LIVING ROOM - ceiling - broken and missing plaster.   | 3-b            |
| 20. LIVING ROOM - flooring - worn and damaged.  | 3-b            |
| * 21. LIVING ROOM - wall - missing switch cover.  | 8-e            |
| * 22. LIVING ROOM - ceiling - loose light fixture.  | 8-e            |
| 23. REAR BEDROOM - sagging floor.   | 3-b            |
| 24. REAR BEDROOM - wall and ceiling - holes.  | 3-b            |
| 25. REAR STAIRWAY - walls - missing plaster.  | 3-b            |
| * 26. HALL - missing electrical illumination.   | 8-c            |
| <u>FIRST FLOOR REAR</u>   |                |
| Not available at time of inspection.  |                |
| <u>SECOND FLOOR FRONT</u>   |                |
| 27. KITCHEN - ceiling - peeling paint.  | 3-b            |
| <u>SECOND FLOOR REAR</u>  |                |
| * 28. No second means of egress.  | 10-2           |

NOTE: At the time of the survey, we were unable to gain access to the First Floor Rear Apartment. We suggest that if there are any conditions which need correcting in this apartment, that you make the repairs while doing the work on the rest of the structure.

\*WHEN MAKING YOUR REPAIRS, FIRST PRIORITY IS TO BE GIVEN TO ITEMS WITH ASTERISKS, AS THEY CONSTITUTE EXTREME HAZARDS TO THE HEALTH OR SAFETY OF THE OCCUPANTS OF THIS STRUCTURE.



**CITY OF PORTLAND**

JOSEPH E. GRAY, JR.  
DIRECTOR OF PLANNING  
AND URBAN DEVELOPMENT

May 9, 1984

Mr. Michael C. LeClerc  
P. O. Box 1103  
Portland, Maine 04104

Re: 361 Cumberland Ave. 33-J-19 NCP-WE  
2nd. Fl. Re. Apt.

Dear Mr. LeClerc:

This is to inform you, as owner or agent of the property located at 361 Cumberland Ave., 2nd. Fl. Re. Portland, Maine, that we have released the (apartment(s) or property from posting.

Therefore, you may rent the (apartment or structure) to others or occupy it yourself.

If any additional information is desired, visit or call this office.

Sincerely yours,  
Joseph E. Gray, Jr., Director  
Planning & Urban Development

By John E. Van der Laak

Asst. Chief of Inspection Services

Burton MacIsaac

Code Enforcement Officer (6)  
Burton MacIsaac

jmr

P 755 081 922

**RECEIPT FOR CERTIFIED MAIL**

NO INSURANCE COVERAGE PROVIDED  
NOT FOR INTERNATIONAL MAIL

(See Reverse)

* U.S.G.P.O. 3800, Feb. 1982	
Sent to <u>Michael &amp; Tammy LeClerc</u>	
Street and No. <u>119 Dorset Street</u>	
P.O. State and ZIP Code <u>Portland, Maine 04102</u>	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to whom and Date Delivered	
Return receipt showing to whom, Date, and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	

*Re: 361 Cumberland Ave. - S. MacIsaac*

PS Form 3811, July 1983

**SENDER: Complete items 1, 2, 3 and 4.**  
 Put your address in the "RETURN TO" space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for service(s) requested.

1.  Show to whom, date and address of delivery.  
 2.  Restricted Delivery.

3. Article Addressed to:  
 Michael & Tammy LeClerc  
 116 Dorset Street  
 Portland, Maine 04102

4. Type of Service:	Article Number
<input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail	081 922

Always obtain signature of addressee or agent and **DATE DELIVERED.**

5. Signature - Addressee  
*Tammy LeClerc*

6. Signature - Agent  
 X

7. Date of Delivery  
 SEP 12 1984

8. Addressee's Address (ONLY if requested and fee paid)

PS: 361 Cash-on-delivery - 8. Message

DOMESTIC RETURN RECEIPT

*C. J. Hill*



**CITY OF PORTLAND**

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

December 18, 1984

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

Re: 361 Cumberland Ave. 33-J-19 WE

Dear Mr. & Mrs. LeClerc:

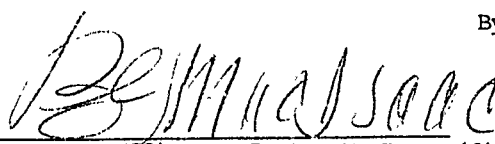
As owner or agent of the above referred property, you were ordered to correct certain substandard conditions in violation of Article V of the City of Portland Housing Code. Several re-inspections have been made and we find that you have not complied with our request.

A final reinspection was made on December 17, 1984, by Code Enforcement Officer Burton MacIsaac and, as a result, you are hereby ordered to correct the substandard housing conditions as described in detail on the attached "Housing Inspection Report" on or before January 18, 1985.

Failure to comply with this order may result in a complaint being filed for prosecution in District Court.

Sincerely yours,  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By   
P. Samuel Hoffses  
Chief of Inspection Services



Code Enforcement Officer - Burton MacIsaac (6)

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc      LOCATION: 361 Cumberland Ave.    33-J-19   WE

CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)

HOUSING CONDITIONS DATED: September 14, 1983

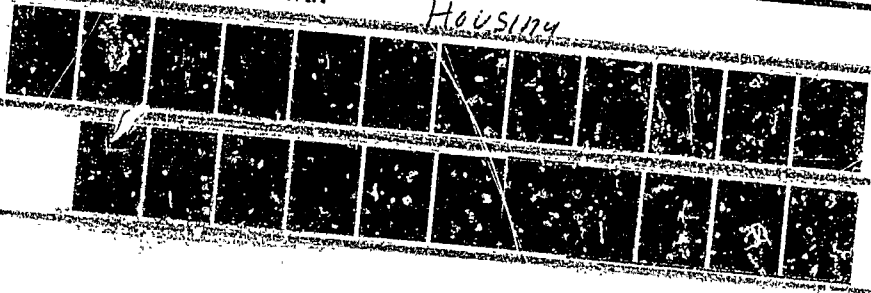
ITEMS LISTED BELOW ARE IN VIOLATION OF ARTICLE V OF THE MUNICIPAL CODES, "HOUSING CODE", AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

Final Inspection Continued:

1. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.
2. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.
3. THIRD FLOOR - fire escape - missing hand rail.
4. RIGHT REAR - foundation - bulging.
5. OVERALL - missing and damaged siding.
6. FRONT - chimney - loose and missing bricks and mortar.
7. THIRD FLOOR FRONT - stairway - missing and broken plaster.

361 CUMBERLAND AVE.

*Housing*



210001

NOTICE OF HOUSING CONDITIONS

CITY OF PORTLAND, MAINE

Department of Planning & Urban Development  
Inspection Services Division  
Tel. 775-5451 - Ext. 311 - 346

Mr. Fred Dambrie  
5 Moulton Street  
Portland, ME

DU 5

CH. 33 BLK. J LOT 19

LOCATION: 361 Cumberland Ave.

PROJECT: NCP-WE  
ISSUED: June 25, 1985  
EXPIRES: August 25, 1985

Dear Mr. Dambrie:

You are hereby notified, as owner or agent, that an inspection was made of the premises at 361 Cumberland Avenue by Code Enforcement Officer Burton MacIsaac. Violations of Article V of the Municipal Ordinance (Housing Code) were found as described in detail on the attached "Housing Inspection Report".

In accordance with the provisions of the above-mentioned Code, you are hereby ordered to correct those defects on or before August 25, 1985. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with the Housing Code Standards.

Please Note: You should consult the inspection Services Division to insure that any corrective action you undertake complies with the building, plumbing, electrical, zoning and any other Article of the City Code.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this department in its goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Very truly yours,

Joseph E. Gray, Jr., Director  
Planning & Urban Development

By: \_\_\_\_\_  
P. Samuel Hoffses  
Chief of Inspection Services

  
Code Enforcement Officer - Burton MacIsaac (6)

Attachments

Jnc

HOUSING INSPECTION REPORT

OWNER: Mr. Fred Dambrie

LOCATION: 361 Cumberland Ave. 33-7-19 WE

CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)

HOUSING CONDITIONS DATED: June 25, 1985 EXPIRES: August 25, 1985

Items listed below are in violation of Article V of the Municipal Codes, "Housing Code", and must be corrected on or before the expiration date.

- |  | SEC. (S) |
|--|----------|
| 1. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.                      | 116-2    |
| 2. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers. | 116-2    |
| 3. THIRD FLOOR - fire escape - missing hand rail.                                  | 116-2    |
| 4. RIGHT REAR - foundation - bulging.  | 108-2    |
| 5. OVERALL - missing and damaged siding.   | 108-2    |
| 6. FRONT - chimney - loose and missing bricks and mortar.                          | 108-5    |
| 7. THIRD FLOOR FRONT - stairway - missing and broken plaster.                      | 108-4    |



**CITY OF PORTLAND**

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

6-25-85 New owner  
letter to:

December 18, 1984

FRED DAMBRIE  
5 MICHELE STREET  
PORTLAND, MAINE

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

Re: 361 Cumberland Ave. 33-J-19 WE

Dear Mr. & Mrs. LeClerc:

As owner or agent of the above referred property, you were ordered to correct certain substandard conditions in violation of Article V of the City of Portland Housing Code. Several re-inspections have been made and we find that you have not complied with our request.

A final reinspection was made on December 17, 1984, by Code Enforcement Officer Burton MacIsaac and, as a result, you are hereby ordered to correct the substandard housing conditions as described in detail on the attached "Housing Inspection Report" on or before January 18, 1985.

Failure to comply with this order may result in a complaint being filed for prosecution in District Court.

Sincerely yours,  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By \_\_\_\_\_  
P. Samuel Hoffses,  
Chief of Inspection Services

Code Enforcement Officer - Burton MacIsaac (6)

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc      LOCATION: 361 Cumberland Ave.    33-J-19   WE

CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)

HOUSING CONDITIONS DATED: September 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF ARTICLE V OF THE MUNICIPAL CODES, "HOUSING CODE", AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

Final Inspection Continued:

1. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.
2. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.
3. THIRD FLOOR - fire escape - missing hand rail.
4. RIGHT REAR - foundation - bulging.
5. OVERALL - missing and damaged siding.
6. FRONT - chimney - loose and missing bricks and mortar.
7. THIRD FLOOR FRONT - stairway - missing and broken plaster.

ADMINISTRATIVE DECISION

City of Portland  
Department of Urban Development  
Housing Inspections Division  
Telephone: 775-5451 - Ext. 311 - 318

Date February 10, 1984

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

Re: Premises located at 361 Cumberland Ave. 33-J-19 WE

Dear Mr. & Mrs. LeClerc:

You are hereby notified that a reinspection and your request for additional time on February 3, 1984, regarding our "Notice of Housing Conditions", at the above referred premises, resulted in the decision noted below.

Expiration time extended to April 10, 1984 in order to complete the work in progress to correct the remaining 25 Housing Code violations as listed on attached Notice of Housing Conditions.

Notice modified as follows:

Please notify this office if all violations are corrected before the above mentioned dates, so that a "Certificate of Compliance" may be issued.

Very truly yours,

Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By Lyle D. Noyes  
Lyle D. Noyes  
Inspection Services Division

In Attendance:

Mr. LeClerc  
B. MacIsaac, C. E. O.

Encl.

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc  
 ENFORCEMENT OFFICER: Burton MacIsaac (6)  
 361 CUMBERLAND AVENUE, PORTLAND, MAINE, 33-J-19, WE, NOTICE OF  
 HOUSING CONDITIONS DATED September 14, 1983. EXPIRES November 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF CHAPTER 307 OF THE MUNICIPAL CODES. "MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

- |   | Sec. (b)           |
|---|--------------------|
| <del>1. RIGHT MIDDLE - Tilting and broken support members, entrance canopy.</del>   | <del>5-1 3-d</del> |
| * 2. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.   | 3-d                |
| * 3. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.  | 3-d                |
| * 4. THIRD FLOOR - fire escape - missing hand rail.   | 3-a                |
| 5. RIGHT REAR - foundation - bulging.   | 3-a                |
| <del>6. FIRST, SECOND &amp; THIRD FLOOR RIGHT REAR - sill sagging.</del>  | <del>5-1 3-a</del> |
| 7. OVERALL - missing and damaged siding.  | 3-e                |
| * 8. FRONT - chimney - loose and missing bricks and mortar.   | 3-a                |
| <del>9. LEFT REAR - roof - missing gutter.</del>  | <del>3-d</del>     |
| 10. THIRD FLOOR FRONT - stairway - missing and broken plaster.  | 8-a                |
| <del>11. THIRD FLOOR FRONT - stairway - inoperative light fixture.</del>  | <del>8-e</del>     |
| <del>12. THIRD FLOOR FRONT - stairway - missing switch cover.</del>   | <del>3-d</del>     |
| <del>13. SECOND FLOOR REAR - stairway - missing balusters.</del>  | <del>3-d</del>     |
| <del>14. SECOND FLOOR FRONT - stairway - missing balusters.</del>   | <del>3-d</del>     |
| <del>15. THROUGHOUT - roach infestation.</del>  | <del>4-a</del>     |
| <del>16. BASEMENT - furnace - must be enclosed, providing for adequate ventilation, with one hour fire-rated material and have a self-closing door of the same fire rating.</del> | <del>3-b</del>     |
| <b>Basement Apt.</b>  |                    |
| 17. KITCHEN - ceiling and wall - loose, cracked and missing plaster.  | 6-e                |
| * 18. KITCHEN - ceiling - loose light fixture.  | 3-b                |
| 19. LIVING ROOM - ceiling - broken and missing plaster.   | 3-b                |
| 20. LIVING ROOM - flooring - worn and damaged.  | 8-a                |
| * 21. LIVING ROOM - wall - missing switch cover.  | 8-e                |
| * 22. LIVING ROOM - ceiling - loose light fixture.  | 3-b                |
| 23. REAR BEDROOM - sagging floor.   | 3-b                |
| 24. REAR BEDROOM - wall and ceiling - holes.  | 3-b                |
| 25. REAR STAIRWAY - walls - missing plaster.  | 8-c                |
| * 26. HALL - missing electrical illumination.   |                    |

2-9-84

FIRST FLOOR REAR  
 Not available at time of inspection.

OK 2-9-84

SECOND FLOOR FRONT  
~~27. KITCHEN - ceiling - peeling paint.~~

5-9-84

SECOND FLOOR REAR  
~~28. No second means of egress.~~

5-9-84

NOTE: At the time of the survey, we were unable to gain access to the First Floor Rear Apartment. We suggest that if there are any conditions which need correcting in this apartment, that you make the repairs while doing the work on the rest of the structure.

\*WHEN MAKING YOUR REPAIRS, FIRST PRIORITY IS TO BE GIVEN TO ITEMS WITH ASTERISKS, AS THEY CONSTITUTE EXTREME HAZARDS TO THE HEALTH OR SAFETY OF THE OCCUPANTS OF THIS STRUCTURE.



## CITY OF PORTLAND

JOSEPH E. GRAY, JR.  
DIRECTOR OF PLANNING  
AND URBAN DEVELOPMENT

May 9, 1964

Mr. Michael C. LeClerc  
P. O. Box 1103  
Portland, Maine 04104

Re: 361 Cumberland Ave. 33-J-19 NCP-WE  
2nd. Fl. Re. Apt.

Dear Mr. LeClerc:

This is to inform you, as owner or agent of the property located at 361 Cumberland Ave., 2nd. Fl. Re. Portland, Maine, that we have released the (apartment(s) or property from posting.

Therefore, you may rent the (apartment or structure) to others or occupy it yourself.

If any additional information is desired, visit or call this office.

Sincerely yours,  
Joseph E. Gray, Jr., Director  
Planning & Urban Development

By \_\_\_\_\_  
P. Samuel Hoffses,  
Chief of Inspection Services

Burton MacIsaac  
Code Enforcement Officer (6)  
Burton MacIsaac

jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

March 19, 1984

*Posting release 5-1-84*

Mr. Michael C. LeClerc  
P. O. Box 1103  
Portland, Maine 04104

Re: 361 Cumberland Ave. 33-J-19 NCP-WE  
2nd Floor Rear Apt.

Dear Mr. LeClerc:

As owner or agent of the property located at 361 Cumberland Ave., 2nd Floor Apt. ...,  
Portland, Maine, you are hereby notified that as the result of a recent (inspection ~~xxx~~  
~~fixes~~), the Second Floor Apartment(rear) (is or are) hereby declared unfit for  
human occupancy.

You must take immediate steps to vacate the Rear Second Floor Apartment occupied by  
Elizabeth Chartres.

and (it or they) is/are to be kept vacant so long as the following conditions continue  
to exist thereon. You are ordered to commence legal eviction proceedings no later than  
March 28, 1984.

Article V - 120 - The property is damaged, decayed, deteriorated, insanitary  
and unsafe (or vermin infested) in such a manner as to  
create a serious hazard to the health, safety and general  
welfare of the occupants or the public.

Therefore, you will not occupy, permit anyone to occupy, or rent the above mentioned  
without the written consent of the Health Officer or his agent, certifying that the  
conditions have been corrected.

Failure to comply with this order may result in a complaint being filed for prosecution  
in District Court.

Sincerely yours,  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By *[Signature]*  
P. Samuel Hoffses,  
Chief of Inspection Services

*[Signature]*  
Code Enforcement Officer - Burton MacIsaac (6)

jmr

P.O. Box 1103  
Ptd 04104

CITY OF PORTLAND, MAINE  
DEPARTMENT OF URBAN DEVELOPMENT  
HOUSING INSPECTIONS DIVISION

NOTICE OF HEARING

DATE: January 26, 1984

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

DU: 6

Re: Premises located at 361 Cumberland Ave. 33-J-19 WE

Dear Mr. & Mrs. LeClerc:

Because of your failure to comply with previous NOTICES, you are hereby invited to appear in Room 315, City Hall, 389 Congress Street, Portland, Maine at 9:00 on Feb. 3, 1984, to show cause why legal action should not be taken against you for violations of the Municipal Codes relating to housing conditions at the above referred premises, as described more fully in the attached copy of the original NOTICE received by you on or about September 14, 1983.

FAILURE TO APPEAR MAY RESULT IN PROSECUTION

Please notify this office at once if you have corrected all violations before the above noted hearing date. Telephone 775-5451 Extension 311 - 316.

Joseph E. Gray, Jr., Director of  
Planning and Urban Development

By Lyle D. Noyes  
Lyle D. Noyes  
Inspection Services Division

Requested by: B. MacIsaac  
Code Enforcement Officer - B. MacIsaac (6)

Enclosure

JEF

Hearing held -  
60 days written TX

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tammy A. LeClerc  
 CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)  
 361 CUMBERLAND AVENUE, PORTLAND, MAINE, 33-J-19, WE, NOTICE OF  
 HOUSING CONDITIONS DATED September 14, 1983. EXPIRES November 14, 1983

ITEMS LISTED BELOW ARE IN VIOLATION OF CHAPTER 307 OF THE MUNICIPAL CODES. "MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

	Sec. (s)
1. RIGHT MIDDLE - Tilting and broken support members, entrance canopy.	3-d
* 2. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.	3-d
* 3. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.	3-d
* 4. THIRD FLOOR - fire escape - missing hand rail.	3-d
5. RIGHT REAR - foundation - bulging.	3-a
6. FIRST, SECOND & THIRD FLOOR RIGHT REAR - eil - sagging.	3-a
7. OVERALL - missing and damaged siding.	3-a
* 8. FRONT - chimney - loose and missing bricks and mortar.	3-e
<del>9. LEFT REAR - roof - missing gutter.</del>	<del>3-a</del>
10. THIRD FLOOR FRONT - stairway - missing and broken plaster.	3-d
* 11. THIRD FLOOR FRONT - stairway - inoperative light fixture.	8-e
* 12. THIRD FLOOR FRONT - stairway - missing switch cover.	8-e
13. SECOND FLOOR REAR - stairway - missing balusters.	3-d
14. SECOND FLOOR FRONT - stairway - missing balusters.	3-d
15. THROUGHOUT - roach infestation.	4-e
16. BASEMENT - furnace - must be enclosed, providing for adequate ventilation, with one hour fire-rated material, and have a self-closing door of the same fire-rating.	
<i>Basement Apt.</i>	
17. KITCHEN - ceiling and wall - loose, cracked and missing plaster.	3-b
* 18. KITCHEN - ceiling - loose light fixture.	8-e
19. LIVING ROOM - ceiling - broken and missing plaster.	3-b
20. LIVING ROOM - flooring - worn and damaged.	3-b
* 21. LIVING ROOM - wall - missing switch cover.	8-e
* 22. LIVING ROOM - ceiling - loose light fixture.	8-e
23. REAR BEDROOM - sagging floor.	3-b
24. REAR BEDROOM - wall and ceiling - holes.	3-b
25. REAR STAIRWAY - walls - missing plaster.	3-b
* 26. HALL - missing electrical illumination.	8-c
<u>FIRST FLOOR REAR</u>	
Not available at time of inspection.	
<u>SECOND FLOOR FRONT</u>	
27. KITCHEN - ceiling - peeling paint.	3-b
<u>SECOND FLOOR REAR</u>	
* 28. No second means of egress.	10-2

NOTE: At the time of the survey, we were unable to gain access to the First Floor Rear Apartment. We suggest that if there are any conditions which need correcting in this apartment, that you make the repairs while doing the work on the rest of the structure.

\*WHEN MAKING YOUR REPAIRS, FIRST PRIORITY IS TO BE GIVEN TO ITEMS WITH ASTERISKS, AS THEY CONSTITUTE EXTREME HAZARDS TO THE HEALTH OR SAFETY OF THE OCCUPANTS OF THIS STRUCTURE.

NOTICE OF HOUSING CONDITIONS

CITY OF PORTLAND, MAINE

Department of Planning & Urban Development  
Inspections Services Division  
Tel. 775-5451 - Ext. 311 - 318 - 319

Michael C. & Tammy A. LeClerc  
116 Dorset Street  
Portland, Maine 04102

DU 6

CH. 33 BLK. J LOT 19  
Location: 361 Cumb. Ave.

Project: NCP-WE  
Issued: Sept. 14, 1983  
Expires: Nov. 14, 1983

Dear Mr. & Mrs. LeClerc:

You are hereby notified, as owner or agent, that an inspection was made of the premises at 361 Cumberland Avenue, Portland, Maine by Code Enforcement Officer Burton MacIsaac. Violations of Chapter 307 of the Municipal Codes (Minimum Standards for Housing) were found as described in detail on the attached "Housing Inspection Report".

In accordance with the provisions of the above mentioned Code, you are hereby ordered to correct those defects on or before November 14, 1983. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with Code standards.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this Department in its goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Very truly yours  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By Lyle D. Noyes  
Lyle D. Noyes  
Inspections Services Division

Code Enforcement Officer - B. MacIsaac (6)

Attachments:

jmr

HOUSING INSPECTION REPORT

OWNER: Michael C. & Tarry A. McClerc  
 CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)  
 361 CUMBERLAND AVENUE PORTLAND, MAINE, 33-J-19 , WE , NOTICE OF  
 HOUSING CONDITIONS DATED September 14, 1963. EXPIRES November 14, 1963

ITEMS LISTED BELOW ARE IN VIOLATION OF CHAPTER 307 OF THE MUNICIPAL CODES. "MINIMUM STANDARDS FOR HOUSING" AND MUST BE CORRECTED ON OR BEFORE THE EXPIRATION DATE.

- |   | Sec. (s)       |
|---|----------------|
| 1. RIGHT MIDDLE - Tilting and broken support members, entrance canopy.  | 3-d            |
| * 2. FIRST, SECOND & THIRD FLOOR - fire escape - broken treads.   | 3-d            |
| * 3. FIRST, SECOND & THIRD FLOOR - fire escape - rotted support members & stringers.  | 3-d            |
| * 4. THIRD FLOOR - fire escape - missing hand rail.   | 3-a            |
| 5. RIGHT REAR - foundation - bulging.   | 3-a            |
| 6. FIRST, SECOND & THIRD FLOOR RIGHT REAR - ell - sagging.  | 3-a            |
| 7. OVERALL - missing and damaged siding.  | 3-e            |
| * 8. FRONT - chimney - loose and missing bricks and mortar.   | 3-a            |
| <del>9. LEFT REAR - roof - missing gutter.</del>  | <del>3-d</del> |
| 10. THIRD FLOOR FRONT - stairway - missing and broken plaster.  | 8-e            |
| *11. THIRD FLOOR FRONT - stairway - inoperative light fixture.  | 8-e            |
| *12. THIRD FLOOR FRONT - stairway - missing switch cover.   | 3-d            |
| 13. SECOND FLOOR REAR - stairway - missing balusters.   | 3-d            |
| 14. SECOND FLOOR FRONT - stairway - missing balusters.  | 4-e            |
| 15. THROUGHOUT - roach infestation.   |                |
| 16. BASEMENT - furnace - must be enclosed, providing for adequate ventilation, with one hour fire-rated material, and have a self-closing door of the same fire-rating. |                |
| <i>Basement Apt.</i>  |                |
| 17. KITCHEN - ceiling and wall - loose, cracked and missing plaster.  | 3-b            |
| *18. KITCHEN - ceiling - loose light fixture.   | 8-e            |
| 19. LIVING ROOM - ceiling - broken and missing plaster.   | 3-b            |
| 20. LIVING ROOM - flooring - worn and damaged.  | 8-e            |
| *21. LIVING ROOM - wall - missing switch cover.   | 8-e            |
| *22. LIVING ROOM - ceiling - loose light fixture.   | 3-b            |
| 23. REAR BEDROOM - sagging floor.   | 3-b            |
| 24. REAR BEDROOM - wall and ceiling - holes.  | 3-b            |
| 25. REAR STAIRWAY - walls - missing plaster.  | 8-c            |
| *26. HALL - missing electrical illumination.  |                |

FIRST FLOOR REAR  
 Not available at time of inspection.

SECOND FLOOR FRONT  
 27. KITCHEN - ceiling - peeling paint.

SECOND FLOOR REAR  
 \*28. No second means of egress.

NOTE: At the time of the survey, we were unable to gain access to the First Floor Rear Apartment. We suggest that if there are any conditions which need correcting in this apartment, that you make the repairs while doing the work on the rest of the structure.

\*WHEN MAKING YOUR REPAIRS, FIRST PRIORITY IS TO BE GIVEN TO ITEMS WITH ASTERISKS, AS THEY CONSTITUTE EXTREME HAZARDS TO THE HEALTH OR SAFETY OF THE OCCUPANTS OF THIS STRUCTURE.

REINSPECTION RECOMMENDATIONS

INSPECTOR MACTSAAC

LOCATION 361 Cumberland Ave.

PROJECT West End

OWNER Leclerc

NOTICE OF HOUSING CONDITIONS		HEARING NOTICE		FINAL NOTICE	
Issued	Expired	Issued	Expired	Issued	Expired
9-14-83	11-14-83				

A reinspection was made of the above premises and I recommend the following action:

DATE	ALL VIOLATIONS HAVE BEEN CORRECTED Send "CERTIFICATE OF COMPLIANCE"	"POSTING RELEASE"
11-16-83 <i>711</i>	SATISFACTORY Rehabilitation in Progress Time Extended To: <u>12-16-83 verbal</u>	
2-3-84 <i>911</i>	Time Extended To: <u>4-3-84 written</u> Time Extended To: <u>12-15-84 verbal</u>	
1-18-84 12-17-84	UNSATISFACTORY Progress <u>2-3-84 at 9:00</u> Send <u>HEARING NOTICE</u>	"FINAL NOTICE" <u>12-17-84</u>
	NOTICE TO VACATE POST Entire _____ POST Dwelling Units _____	
	UNSATISFACTORY Progress "LEGAL ACTION" To Be Taken _____	

INSPECTOR'S REMARKS: One item completed. Owner asked TX to re-open loan ap. 30 day TX granted. Nothing done - owner has picked up loan application but not returned it yet. He follow through on loan - send HN.

2-3-84 Hearing held - 60 day TX.

10-15-84 TX to 12-15-84

12-17-84 Send final notice

6-25-85 Send NEW OWNER LETTER

INSTRUCTIONS TO INSPECTOR:

PS Form 3811, Dec. 1980

Re: 361 Cumberland Ave. - B. MacLachlan - Home

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, 3, and 4. Add your address in the "RETURN TO" space on reverse.

(CONSULT POSTMASTER FOR FEES)

1. The following service is requested (check one):

- Show to whom and date delivered.....
- Show to whom, date, and address of delivery.....

2.  RESTRICTED DELIVERY (The restricted delivery fee is charged in addition to the return receipt fee.)

TOTAL \$

3. ARTICLE ADDRESSED TO:  
Mr. Bridges  
361 Cumberland Ave.  
Portland, ME 04101

4. TYPE OF SERVICE: ARTICLE NUMBER

<input type="checkbox"/> REGISTERED	<input type="checkbox"/> INSURED	935 655
<input checked="" type="checkbox"/> CERTIFIED	<input type="checkbox"/> COD	
<input type="checkbox"/> EXPRESS MAIL		
(Always obtain signature of addressee or agent)		

I have received the article described above.

SIGNATURE  Addressee  Authorized agent

*Laurence Bridges*

6. DATE OF DELIVERY

6. ADDRESSEE'S ADDRESS (Only if requested)

7. UNABLE TO DELIVER BECAUSE:

7a. EMPLOYEE'S INITIALS

PS Form 3811, Dec. 1980

Re: 361 Cumberland Ave. - B. MacLachlan - Home

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, 3, and 4. Add your address in the "RETURN TO" space on reverse.

(CONSULT POSTMASTER FOR FEES)

1. The following service is requested (check one):

- Show to whom and date delivered.....
- Show to whom, date, and address of delivery.....

2.  RESTRICTED DELIVERY (The restricted delivery fee is charged in addition to the return receipt fee.)

TOTAL \$

3. ARTICLE ADDRESSED TO:  
Mr. Frank Pooler  
381 Cumberland Avenue  
Portland, ME 04101

4. TYPE OF SERVICE: ARTICLE NUMBER

<input type="checkbox"/> REGISTERED	<input type="checkbox"/> INSURED	935 654
<input checked="" type="checkbox"/> CERTIFIED	<input type="checkbox"/> COD	
<input type="checkbox"/> EXPRESS MAIL		
(Always obtain signature of addressee or agent)		

I have received the article described above.

SIGNATURE  Addressee  Authorized agent

*Frank Pooler*

6. DATE OF DELIVERY

6. ADDRESSEE'S ADDRESS (Only if requested)

7. UNABLE TO DELIVER BECAUSE:

7a. EMPLOYEE'S INITIALS

PS Form 3811, Dec. 1980

Re: 361 Cumberland Ave. - B. MacLachlan - Home

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, 3, and 4. Add your address in the "RETURN TO" space on reverse.

(CONSULT POSTMASTER FOR FEES)

1. The following service is requested (check one):

- Show to whom and date delivered.....
- Show to whom, date, and address of delivery.....

2.  RESTRICTED DELIVERY (The restricted delivery fee is charged in addition to the return receipt fee.)

TOTAL \$

3. ARTICLE ADDRESSED TO:  
Ms. Lisa Jones  
361 Cumberland Avenue  
Portland, ME 04101

4. TYPE OF SERVICE: ARTICLE NUMBER

<input type="checkbox"/> REGISTERED	<input type="checkbox"/> INSURED	935 656
<input checked="" type="checkbox"/> CERTIFIED	<input type="checkbox"/> COD	
<input type="checkbox"/> EXPRESS MAIL		
(Always obtain signature of addressee or agent)		

I have received the article described above.

SIGNATURE  Addressee  Authorized agent

*Lisa M Jones*

6. DATE OF DELIVERY

6. ADDRESSEE'S ADDRESS (Only if requested)

7. UNABLE TO DELIVER BECAUSE:

7a. EMPLOYEE'S INITIALS

PS Form 3811, Dec. 1980

Re: 361 Cumberland Ave. - B. MacLachlan - Home

RETURN RECEIPT, REGISTERED, INSURED AND CERTIFIED MAIL

● SENDER: Complete items 1, 2, 3, and 4. Add your address in the "RETURN TO" space on reverse.

(CONSULT POSTMASTER FOR FEES)

1. The following service is requested (check one):

- Show to whom and date delivered.....
- Show to whom, date, and address of delivery.....

2.  RESTRICTED DELIVERY (The restricted delivery fee is charged in addition to the return receipt fee.)

TOTAL \$

3. ARTICLE ADDRESSED TO:  
Mr. Fred Dambrie  
5 Moulton St.  
Portland, Me.

4. TYPE OF SERVICE: ARTICLE NUMBER

<input type="checkbox"/> REGISTERED	<input type="checkbox"/> INSURED	935 653
<input checked="" type="checkbox"/> CERTIFIED	<input type="checkbox"/> COD	
<input type="checkbox"/> EXPRESS MAIL		
(Always obtain signature of addressee or agent)		

I have received the article described above.

SIGNATURE  Addressee  Authorized agent

*Linda Dambrie*

6. DATE OF DELIVERY

6. ADDRESSEE'S ADDRESS (Only if requested)

7. UNABLE TO DELIVER BECAUSE:

7a. EMPLOYEE'S INITIALS



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

June 26, 1985

Mr. Fred Dambrie  
5 Moulton Street  
Portland, ME

Re: 361 Cumberland Ave. NCP-WE 33-J-19  
Entire

Dear Mr. Dambrie:

As owner or agent of the property located at 361 Cumberland Avenue,  
Portland, Maine, you are hereby notified that as the result of a recent (inspection of  
~~the~~), the Entire Building (is or ~~are~~) hereby declared unfit for  
human occupancy.

You must take immediate steps to vacate the 2nd. Floor right, 2nd. floor rear and  
3rd. Floor apartments,

and (~~it~~ or they) ~~is~~/are to be kept vacant so long as the following conditions continue  
to exist thereon. You are ordered to commence legal eviction proceedings no later than  
July 5, 1985.

Article V - 120 - The property is damaged, decayed, deteriorated, insanitary  
and unsafe (or vermin infested) in such a manner as to  
create a serious hazard to the health, safety and general  
welfare of the occupants or the public.

Therefore, you will not occupy, permit anyone to occupy, or rent the above mentioned  
without the written consent of the Health Officer or his agent, certifying that the  
conditions have been corrected.

Failure to comply with this order may result in a complaint being filed for prosecution  
in District Court.

Sincerely yours,  
Joseph E. Gray, Jr., Director of  
Planning & Urban Development

By P. Samuel Hoffses  
P. Samuel Hoffses,  
Chief of Inspection Services

Code Enforcement Officer - Burton MacIsaac (6)

jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

June 26, 1985

Mr. Frank Pooler  
381 Cumberland Avenue  
Second Floor Right  
Portland, ME 04101

Re: 361 Cumberland Ave. 33-J-19 WE  
Second Floor Right Apartment

Dear Mr. Pooler:

A recent inspection by Code Enforcement Officer Burton MacIsaac of the Second Floor Right you are now occupying found that it does not meet the requirements of Article V (Housing Code) of the City of Portland Municipal Code and is hereby declared unfit for human habitation.

The owner/agent, Mr. Fred Dambrie has been notified of the above mentioned conditions and has been directed to take immediate steps to vacate the apartment.

Sincerely yours,  
Joseph E. Gray, Jr., Director  
of Planning & Urban Development

By P. Samuel Hoffses  
P. Samuel Hoffses,  
Chief of Inspection Services

Burton MacIsaac  
Code Enforcement Officer - B. MacIsaac (6)

jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

June 26, 1985

Mr. Bridges  
361 Cumberland Avenue  
Second Floor Rear  
Portland, ME 04101

Re: 361 Cumberland Ave. 33-J-19 WE  
Second Floor Rear Apartment

Dear Ms. Bridges:

A recent inspection by Code Enforcement Officer Burton MacIsaac of the Second Floor Rear Apt. you are now occupying found that it does not meet the requirements of Article V (Housing Code) of the City of Portland Municipal Code and is hereby declared unfit for human habitation.

The owner/agent, Mr. Fred Dambrie has been notified of the above mentioned conditions and has been directed to take immediate steps to vacate the apartment.

Sincerely yours,  
Joseph E. Gray, Jr., Director  
of Planning & Urban Development

By P. Samuel Hoffses  
P. Samuel Hoffses,  
Chief of Inspection Services

Code Enforcement Officer - B. MacIsaac (G)

jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

June 26, 1985

C File

Ms. Lisa Jones  
361 Cumberland Avenue  
Third Floor  
Portland, ME. 04101

Re: 361 Cumberland Ave. 33-J-19 WE  
Third Floor Apartment

Dear Ms. Jones:

A recent inspection by Code Enforcement Officer Burton MacIsaac of the Third Floor Apartment you are now occupying found that it does not meet the requirements of Article V (Housing Code) of the City of Portland Municipal Code and is hereby declared unfit for human habitation.

The owner/agent, Mr. Fred Dambrie has been notified of the above mentioned conditions and has been directed to take immediate steps to vacate the apartment.

Sincerely yours,  
Joseph E. Gray, Jr., Director  
of Planning & Urban Development

By P. Samuel Hoffses  
P. Samuel Hoffses,  
Chief of Inspection Services

B. MacIsaac

Code Enforcement Officer - B. MacIsaac (6)

jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

June 26, 1985

Mr. Fred Danbrie  
5 Moulton Street  
Portland, ME

Re: 361 Cumberland Ave. 33-J-19 WE

Dear Mr. Danbrie:

We recently received a complaint and an inspection was made by Code Enforcement Officer Burt MacIsaac of the property owned by you at 361 Cumberland Avenue Portland, Maine. As a result of the inspection, you are hereby ordered to correct the following substandard housing conditions:

1. FIRST, SECOND & THIRD FLOORS - fire escape - replace. 116-2
2. THROUGHOUT - electrical wiring - loose and frayed. 113

The above mentioned conditions are in violation of Article V of the Municipal Code of the City of Portland, Maine, and must be corrected on or before July 6, 1985.

Failure to comply with this order may result in a complaint being filed for prosecution in District Court.

Sincerely yours,  
Joseph E. Gray, Jr. Director of  
Planning & Urban Development

By P. Samuel Hoffses  
P. Samuel Hoffses  
Chief of Inspection Services

Burton MacIsaac  
Code Enforcement Officer - Burton MacIsaac (6)

jmr



CITY OF PORTLAND

JOSEPH E. GRAY, JR.  
DIRECTOR OF PLANNING  
AND URBAN DEVELOPMENT

August 15, 1985

Mr. Fred Dambrie  
5 Moulton Street  
Portland, ME 04101

Re: 361 Cumberland Ave. 33-J-19

Dear Mr. Dambrie:

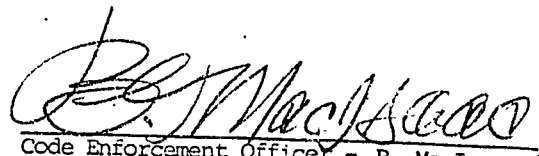
A recent inspection was made by Code Enforcement Officer Burton MacIsaac of the property owned by you at 361 Cumberland Avenue, Portland, Maine. As a result of the inspection, you are ordered to correct the following conditions that exist: Unlawful Change of Use

103.2 Change in use: It shall be unlawful to make any change in the use or occupancy of any structure or portion thereof which would subject it to any special provisions of this code without approval of the building official, and the building official's certification that such structure meets the intent of the provisions of law governing building construction for the proposed new use and occupancy, and that such change does not result in any greater hazard to public safety or welfare.

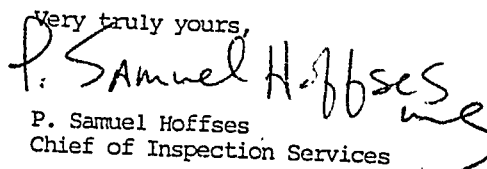
The above mentioned conditions are in violation of Section 103.2 of the 1981 BOCA Building Code, and must be corrected on or before August 26, 1985. Failure to comply with this order will result in a complaint being filed for prosecution in District Court.

Please contact this office if you have any questions regarding this notice.

**ALSO, A BUILDING PERMIT MUST BE OBTAINED FOR ANY ALTERATIONS.**

  
Code Enforcement Officer - B. MacIsaac (6)

PSH/ jmr

Very truly yours,  
  
P. Samuel Hoffses  
Chief of Inspection Services

REINSPECTION RECOMMENDATIONS

INSPECTOR R. G. MACISAAC

LOCATION 301 Cumberland  
 PROJECT West end  
 OWNER Frambrie

NOTICE OF HOUSING CONDITIONS		HEARING NOTICE		FINAL NOTICE	
Issued	Expired	Issued	Expired	Issued	Expired
<u>6-25-85</u>	<u>8-25-85</u>				

A reinspection was made of the above premises and I recommend the following action:

DATE <u>6-9-86</u>	ALL VIOLATIONS HAVE BEEN CORRECTED <input checked="" type="checkbox"/> Send "CERTIFICATE OF COMPLIANCE" <input checked="" type="checkbox"/> "POSTING RELEASE" <input type="checkbox"/>
	SATISFACTORY Rehabilitation in Progress
	Time Extended To: _____
	Time Extended To: _____
	Time Extended To: _____
	UNSATISFACTORY Progress Send "HEARING NOTICE" _____ "FINAL NOTICE" _____
	"NOTICE TO VACATE" POST Entire _____ POST Dwelling Units _____
	UNSATISFACTORY Progress "LEGAL ACTION" To be Taken _____
	INSPECTOR'S REMARKS: <u>Recently changed ownership. Being renovated throughout for condos.</u> <u>ALL OK - Issue Cert. of Compliance</u>
<u>6-9-86</u>	INSTRUCTIONS TO INSPECTOR: _____

HOUSING INSPECTION REPORT

OWNER: Mr. Fred Dambrie

LOCATION: 361 Cumberland Ave. 33-J-19 WE

CODE ENFORCEMENT OFFICER: Burton MacIsaac (6)

HOUSING CONDITIONS DATED: June 25, 1985

EXPIRES: August 25, 1985

Items listed below are in violation of Article V of the Municipal Codes, "Housing Code", and must be corrected on or before the expiration date.

	SEC. (S)
<del>1. FIRST, SECOND &amp; THIRD FLOOR - fire escape - broken treads.</del>	<del>116-2</del>
<del>2. FIRST, SECOND &amp; THIRD FLOOR - fire escape - rotted support members &amp; stringers.</del>	<del>116-2</del>
<del>3. THIRD FLOOR - fire escape - missing hand rail.</del>	<del>116-2</del>
<del>4. RIGHT REAR - foundation - bulging.</del>	<del>108-2</del>
<del>5. OVERALL - missing and damaged siding.</del>	<del>108-2</del>
<del>6. FRONT - chimney - loose and missing bricks and mortar.</del>	<del>108-5</del>
<del>7. THIRD FLOOR FRONT - stairway - missing and broken plaster.</del>	<del>108-4</del>

6-9-86

NOTICE OF HOUSING CONDITIONS

CITY OF PORTLAND, MAINE

Department of Planning & Urban Development  
Inspection Services Division  
Tel. 775-5451 - Ext. 311 - 346

Mr. Fred Dambrie  
5 Moulton Street  
Portland, ME

DU 6

CH. 33 BLK. J LOT 19

LOCATION: 361 Cumberland Ave.

PROJECT: NCP-WE  
ISSUED: June 25, 1985  
EXPIRES: August 25, 1985

Dear Mr. Dambrie:

You are hereby notified, as owner or agent, that an inspection was made of the premises at 361 Cumberland Avenue by Code Enforcement Officer Burton MacIsaac. Violations of Article V of the Municipal Ordinance (Housing Code) were found as described in detail on the attached "Housing Inspection Report".

In accordance with the provisions of the above-mentioned Code, you are hereby ordered to correct those defects on or before August 25, 1985. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with the Housing Code Standards.

Please Note: You should consult the inspection Services Division to insure that any corrective action you undertake complies with the building, plumbing, electrical, zoning and any other Article of the City Code.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this department in it's goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Very truly yours,

Joseph E. Gray, Jr., Director  
Planning & Urban Development

By: \_\_\_\_\_  
P. Samuel Hoffses  
Chief of Inspection Services

  
Code Enforcement Officer - Burton MacIsaac (6)

Attachments

jmr

CERTIFICATE  
OF  
COMPLIANCE

DATE: July 1, 1986

DU: 3

CITY OF PORTLAND

Department of Planning & Urban Development  
Housing Inspections Division  
Telephone: 775-5451 - Extension 311 - 318

Mr. Fred Dambrie  
5 Moulton Street  
Portland, ME 04101

Re: Premises located at 261 Cumberland Ave. 33-J-19 WE

Dear Mr. Dambrie:

A re-inspection of the premises noted above was made on June 9, 1986  
by Code Enforcement Officer Burton MacIsaac.

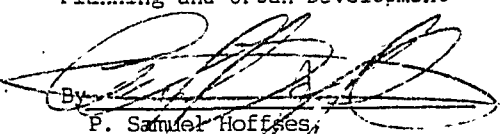
This is to certify that you have complied with our request to correct the violation of  
the Municipal Codes relating to housing conditions as described in our "Notice of Housing  
Conditions" dated June 25, 1986.

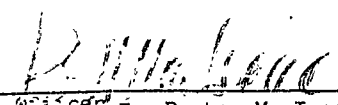
Thank you for your cooperation and your efforts to help us maintain decent, safe and  
sanitary housing for all Portland residents.

In order to aid in the preservation of Portland's existing housing  
inventory, it shall be the policy of this department to inspect each  
residential building at least once every five years. Although a  
property is subject to re-inspection at any time during the said  
five-year period, the next regular inspection of this property is  
scheduled for July 1991.

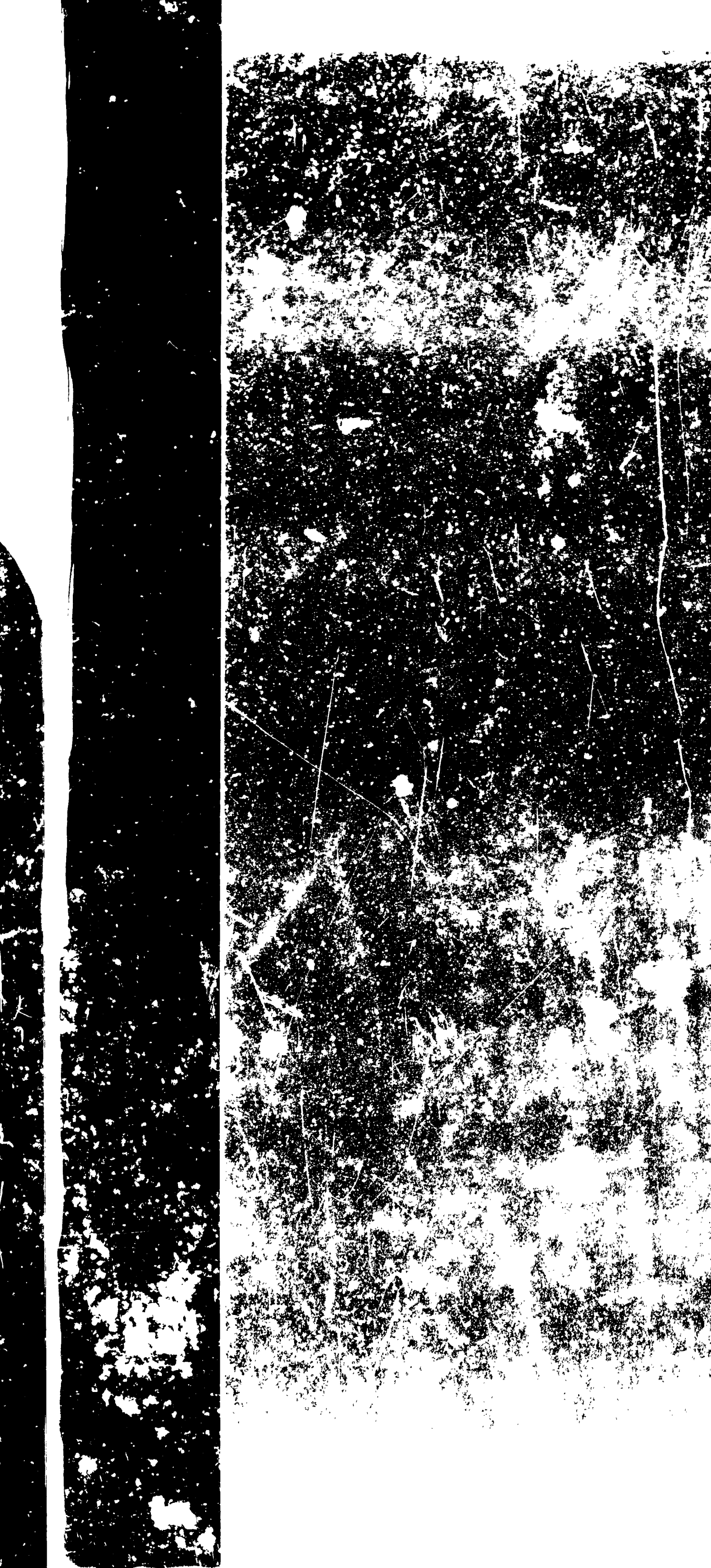
Sincerely yours,

Joseph E. Gray, Jr., Director of  
Planning and Urban Development

By:   
P. Samuel Hoffes,  
Chief of Inspection Services

  
Code Enforcement Officer - Burton MacIsaac (6)

jmr



Inspection Services  
Michael J. Nugent  
Manager



Department of Urban Development  
Joseph E. Gray, Jr.  
Director

**CITY OF PORTLAND**

December 18, 1997

DAJ Inc.  
4 Wood Ln  
Scarborough Me 04074

Re: 361 Cumberland Ave  
CBL: 033- - J-019-001-01  
DU: 7

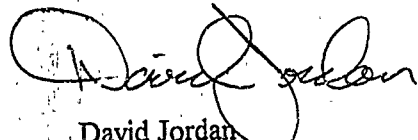
Dear Mr. Oddy:

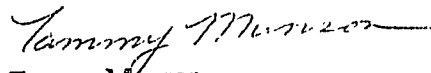
This is to inform you, as owner or agent of the property located at the above referenced address, that we have released Apartment 6 from posting.

Therefore, you may rent this apartment to others or occupy them/it yourself.

If you have any questions regarding this matter, please do not hesitate to contact this office.

Sincerely,

  
David Jordan  
Code Enforcement Officer

  
Tammy Munson  
Code Enfc Offc./Field Supv

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

**CITY OF PORTLAND**

April 08, 1996

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 Cumberland Ave  
CBL: 033- - J-019-001-01  
DU: 7

Dear Sir:

During a recent inspection of the property owned by you at the above-referred address, it was noted that smoke detectors were missing in apartment #6 on the second floor.

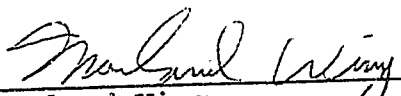
25 MRSA 2464 required that approved smoke detectors be installed in each apartment in the immediate vicinity of the bedrooms. When activated, the detector shall provide an alarm suitable to warn the occupants within the individual unit. Failure to comply with this statute may result in a fine of up to \$500 for each violation.


Re-inspection of your property will be made in 24 hours. Lack of compliance will result in referral of the matter for legal action.

Loss control is a responsibility of your management. Our observations are intended to assist you. Recommendations are a result of conditions observed at the time of our visits. They do not necessarily include every possible loss potential code violation, or exception to good practice.

Please read and implement the attached formal code interpretation or determination - Number 93-1 - March 10, 1993 - from the State Fire Marshall's office.

Sincerely,

  
Marland Wing  
Code Enforcement Officer

  
Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

**CITY OF PORTLAND**

April 08, 1996

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 Cumberland Ave  
CBL: 033- - J-019-001-01  
DU: 7


Dear Sir:

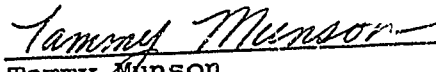
We recently received a complaint, and an inspection was made at the above-referenced address. As a result of the inspection, you are hereby notified to correct the following substandard housing conditions:

- |    |   |        |
|----|---|--------|
| 1. | INT - 2ND FL - APT #6 -<br>REAR DOOR IS SECURED SHUT                | 108.30 |
| 2. | INT - 2ND FL - APT #3 - LIVING ROOM<br>WINDOW HAS BROKEN GLASS      | 108.30 |
| 3. | INT - 2ND FL - APT #6 -<br>CHIMNEY IS MISSING A CAP                 | 108.50 |
| 4. | INT - 2ND FL - APT #6 - LIVING ROOM<br>BASEBOARD IS MISSING COVERS  | 114.30 |
| 5. | INT - 2ND FL - APT #6 - LIVING ROOM<br>WALL IS MISSING A THERMOSTAT | 114.30 |
| 6. | EXT - FRONT PORCH -<br>STAIRS HAVE A BROKEN TREAD                   | 108.40 |

The above-mentioned conditions are in violation of Article V of the Municipal Code of the City of Portland, Maine, and must be corrected within 30 days. Failure to comply with this order may result in a complaint being filed for prosecution in District Court.

Sincerely,

  
Marland Wing  
Code Enforcement Officer

  
Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

JULY 02, 1997

CITY OF PORTLAND

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 CUMBERLAND AVE  
CBL: 033- - J-019-001-01  
DU: 8

Dear Sir:

During a recent inspection of the property owned by you at the above-referred address, it was noted that smoke detectors were missing/inoperable in apartment #6.

25 MRSA 2464 required that approved smoke detectors be installed in each apartment in the immediate vicinity of the bedrooms. When activated, the detector shall provide an alarm suitable to warn the occupants within the individual unit. Failure to comply with this statute may result in a fine of up to \$500 for each violation.

Under the City's Building Code (The BOCA National Building Code/1996); Chapter 9, Section 920.3.2 requires that single- or multiple- station smoke detectors shall be installed and maintained in all occupancies in the groups R-2 and R-3 at the following locations:

1. In the immediate vicinity of bedrooms -
2. In all bedrooms - and
3. In each story within a dwelling unit, including basements.

This requirement is more restrictive than 25 MRSA 2464. Therefore, all smoke detectors shall be installed per the building code requirements.

Reinspection of your property will be made in twenty-four (24) hours. Lack of compliance will result in referral of the matter to Corporation Counsel for legal action.

Loss control is a responsibility of your management. Our observations are intended to assist you. Recommendations are a result of conditions observed at the time of our visits. They do not necessarily include every possible loss potential code violation, or exception to good practice.

Please read and implement the attached formal code interpretation or determination - Number 93-1 - March 10, 1993 - from the State Fire Marshall's office.

Sincerely,

Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffszs  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

JULY 01, 1997

CITY OF PORTLAND

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 CUMBERLAND AVE  
CBL: 033- - J-019-001-01  
DU: 8

Dear Sir:

We recently received a complaint, and an inspection was made at the above-referenced address. As a result of the inspection, you are hereby notified to correct the following substandard housing conditions:

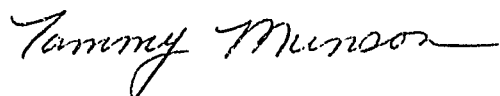
- |  |        |
|--|--------|
| 1. INT - 2ND FLR -<br>HALLWAY HAS EXCESSIVE TRASH  | 116.40 |
| *2. INT - 2ND FLR - APT #6 -<br>THERE IS A SEVERE COCKROACH INFESTATION                    | 109.50 |
| 3. INT - 2ND FLR - APT #6 - LEFT/REAR<br>KITCHEN HAS AN OPEN JUNCTION BOX                  | 113.50 |
| 4. INT - 2ND FLR - APT #6 - LEFT/REAR<br>THERE ARE NO GFCI OUTLETS NEAR KITCHEN SINK       | 113.50 |
| 5. EXT - OVERALL -<br>SCREENS ARE MISSING  | 108.30 |
| 6. INT - 2ND FLR - APT #6 - LEFT/REAR<br>WALLS HAVE HOLES                                  | 108.20 |
| *7. INT - 2ND FLR - APT #6 - LEFT/REAR<br>GFCI OUTLET & BATHROOM LIGHT ARE ON SAME CIRCUIT | 113.50 |
| 8. INT - 2ND FLR - APT #6 - LEFT/REAR<br>LIVING ROOM HAS OPEN JUNCTION BOX                 | 113.50 |
| 9. INT - 2ND FLR - APT #6 - LEFT/REAR<br>CHIMNEY FLUE IS OPEN & NEEDS TO BE CAPPED         | 108.50 |
| *10. EXT - 2ND FLR - RIGHT -<br>FIRE ESCAPE HAS A LOOSE RAILING                            | 108.40 |
| *11. EXT - 2ND FLR - RIGHT -<br>FIRE ESCAPE IS MISSING A BALUSTER                          | 108.40 |
| *12. EXT - 2ND FLR - RIGHT -<br>CHAIR & TRASH ARE STORED ON FIRE ESCAPE                    | 116.40 |
| 13. EXT - 2ND FLR - RIGHT -<br>LIGHT IS IN DISREPAIR                                       | 116.50 |
| *14. INT - FRONT HALL -<br>PROVIDE ADEQUATE ILLUMINATION                                   | 113.30 |
| 15. INT - 2ND FLR - APT #6 - LEFT/REAR<br>ENTRANCE DOOR HAS NO TRIM                        | 108.20 |

361 Cumberland Ave

- |   |        |
|---|--------|
| 16. INT - FRONT HALL -<br>BROOM-CLEAN THE HALLWAYS                                  | 109.20 |
| 17. INT - BASEMENT - APT #2 - RIGHT/REAR<br>CAP THE OPEN CHIMNEY FLUE               | 108.50 |
| 18. INT - BASEMENT - APT #2 - RIGHT/REAR<br>PROVIDE GFCI OUTLETS AT SINK            | 113.50 |
| 19. INT - BASEMENT - APT #2 - RIGHT/REAR<br>PROVIDE RELIEF PIPE ON WATER TANK       | 111.40 |
| 20. INT - BASEMENT - APT #2 - RIGHT/REAR<br>OUTLET COVERS ARE MISSING               | 113.50 |
| 21. INT - BASEMENT - APT #2 - RIGHT/REAR<br>CIRCUIT BREAKERS ARE MISSING FROM PANEL | 113.50 |
| 22. INT - 2ND FLR - APT #6 - LEFT/REAR<br>PROVIDE A GENERAL CLEAN-UP                | 109.10 |
| 23. INT - BASEMENT - APT #2 - RIGHT/REAR<br>PROVIDE A GENERAL CLEAN-UP              | 109.10 |
| 24. INT - BASEMENT - APT #2 - RIGHT/REAR<br>BATHROOM FLOOR IS IN DISREPAIR          | 108.20 |

The above-mentioned conditions are in violation of Article V of the Municipal Code of the City of Portland, Maine, and must be corrected within thirty (30) days. Failure to comply with this order will result in the matter's being filed with the City's Corporation Counsel for legal action.

Sincerely,



Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

**CITY OF PORTLAND**

JULY 01, 1997

TENANT - APARTMENT #6  
361 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 CUMBERLAND AVE  
CBL: 033- - J-019-001-01  
DU: 8

Dear Tenant:

A recent inspection of the apartment that you are now occupying, found that it does not meet the requirements of Article V (Housing Code) of the City of Portland Municipal Code and is hereby declared unfit for human occupancy.

The owner, Cumby Corp, has been notified of the above-mentioned condition (i.e.; severe cockroach infestation) and has been directed to take immediate steps to vacate the apartment.

Sincerely,

Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffses  
Chief

JULY 01, 1997

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101



CITY OF PORTLAND

P 792 457 249

RECEIPT FOR CERTIFIED MAIL  
NO INSURANCE COVERAGE PROVIDED  
NOT FOR INTERNATIONAL MAIL  
(See Reverse)

Sent to	Cumby Corp
Street and No.	360 Cumberland St
P.O. State and ZIP Code	Portland Me 04101
Postage	\$ 11
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt showing to whom and Date Delivered	
Return Receipt showing to whom, Date, and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	

Re: 361 CUMBERLAND AVE  
CBL: 033- - J-019-001-01  
DU: 8

Dear Sir:

As owner or agent of the property located at the above-referred address, you are hereby notified that as the result of a recent inspection, the occupied apartment #6 (second floor, left/rear) is hereby declared unfit for human occupancy.

The above-mentioned structure is to be kept vacant so long as the following conditions continue to exist thereon (i.e.; severe cockroach infestation):

Article V, Section 6-120:

- (1) Properties which are either damaged, decayed, dilapidated, insanitary, unsafe, or vermin-infested in such a manner as to create a serious hazard to the health, safety and general welfare of the occupants or the public --

Therefore, you will not occupy, permit anyone to occupy, or rent the above-mentioned apartment without the written consent of the Health Officer or his/her agent.

Sincerely,

Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

**CITY OF PORTLAND**

October 12, 1995

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 Cumberland Ave  
CBL: 033- - J-019-001-01  
DU: 7

Dear Sir:

During a recent inspection of the property owned by you at the above referred address, it was noted that smoke detectors were missing from the ceiling of the kitchen in the rear basement apartment.

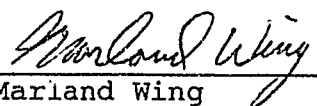
25 MRSA 2464 required that approved smoke detectors be installed in each apartment in the immediate vicinity of the bedrooms. When activated, the detector shall provide an alarm suitable to warn the occupants within the individual unit. Failure to comply with this statute may result in a fine of up to \$500 for each violation.

Re-inspection of your property will be made in 24 hours. Lack of compliance will result in referral of the matter for legal action.

Loss control is a responsibility of your management. Our observations are intended to assist you. Recommendations are a result of conditions observed at the time of our visits. They do not necessarily include every possible loss potential code violation, or exception to good practice.

Please read and implement the attached forms: code interpretation or determination - Number 93-1 - March 10, 1993 - from the State Fire Marshall's office.

Sincerely,

  
\_\_\_\_\_  
Mariand Wing  
Code Enforcement Officer

\_\_\_\_\_  
Tammy Munson  
Code Enfc. Offr./ Field Supv.

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

**CITY OF PORTLAND**

October 12, 1995

CUMBY CORP  
360 CUMBERLAND AVE  
PORTLAND ME 04101

Re: 361 Cumberland Ave  
CBL: 033- - J-019-001-01  
DU: 7

Dear Sir:

You are hereby notified, as owner or agent, that an inspection was made of the above referenced property. Violations of Article V of the Municipal Ordinance (Housing Code) were found as described in detail on the attached "Housing Inspections Report".


In accordance with the provisions of the above mentioned Code, you are hereby ordered to correct those defects within sixty (60) days. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within ten (10) days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with the Housing Code Standards.

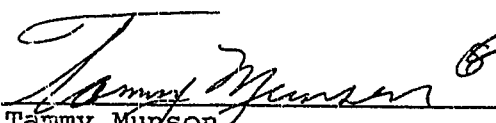
Please Note: You should consult this department to insure that any corrective action you should undertake complies with the building, plumbing, electrical, zoning and other Articles of the City Code.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this department in it's goal to maintain decent, safe, and sanitary housing for all of Portland's residents.

Sincerely,

  
Marland Wing  
Code Enforcement Officer

  
Tammy Munson  
Code Enrc. Offr./ Field Supv.

HOUSING INSPECTION REPORT

Location: 361 Cumberland Ave  
Housing Conditions Date: October 12, 1995  
Expiration Date: December 11, 1995

Items listed below are in violation of Article V of the Municipal Codes, "Housing Codes", and must be corrected before the expiration date:

- |    |   |        |
|----|---|--------|
| 1. | INT - BASEMENT - REAR -<br>KITCHEN WALL IS MISSING A RECEPTACLE COVER | 113.50 |
| 2. | INT - 1ST FL - LEFT -<br>BATHROOM HAS AN INOPERATIVE FAN              | 112.00 |
| 3. | INT - THROUGHOUT -<br>INFESTATION OF COCKROACHES                      | 109.50 |