

102-104 EXCHANGE STREET

SHARPE & LEECH

Printed and Published by SHARPE & LEECH, 102-104 Exchange Street, Singapore.



0152  
 APPLICATION FOR PERMIT TO ERECT  
 SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

MAR 8 1983

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, March 3

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 102 Exchange Street Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner of building to which sign is to be attached Estate of Nathan Silverman -same  
 Name and address of owner of sign Typewrights -102 Exchange St. - 775-3550  
 Contractor's name and address The Sign Center - 41 Middle Street Telephone 775-2927  
 When does contractor's bond expire? on file

Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes 2-21-83  
 Electric? no Vertical dimension after erection 21" Horizontal 30"  
 Weight 50 lbs., Will there be any hollow spaces? no Any rigid frame? yes  
 Material of frame wood No. advertising faces 2 material wood  
 No. rigid connections 2 Are they fastened directly to frame of sign? yes  
 No. through bolts 2 Size 2 1/2" x 3/8 Location, top or bottom both  
 No. guys 2 material steel Size 3/16  
 Minimum clear height above sidewalk or street 10'  
 Maximum projection into street 36"

Fee \$ 16.00

INSPECTION COPY

10

Signature of contractor

MA. Nugent

Whitney Jane Nugent

B-3 OK MA & CO. 2/4/83

OK. by WILSON 3/7/83

for Sign Center

83/0152  
102 Exchange St.  
Estate of Nathan Silverman  
3-3-83  
3-8-83

SIGN / INSTALLED  
@ INSPECTION  
TIME 3/20/83

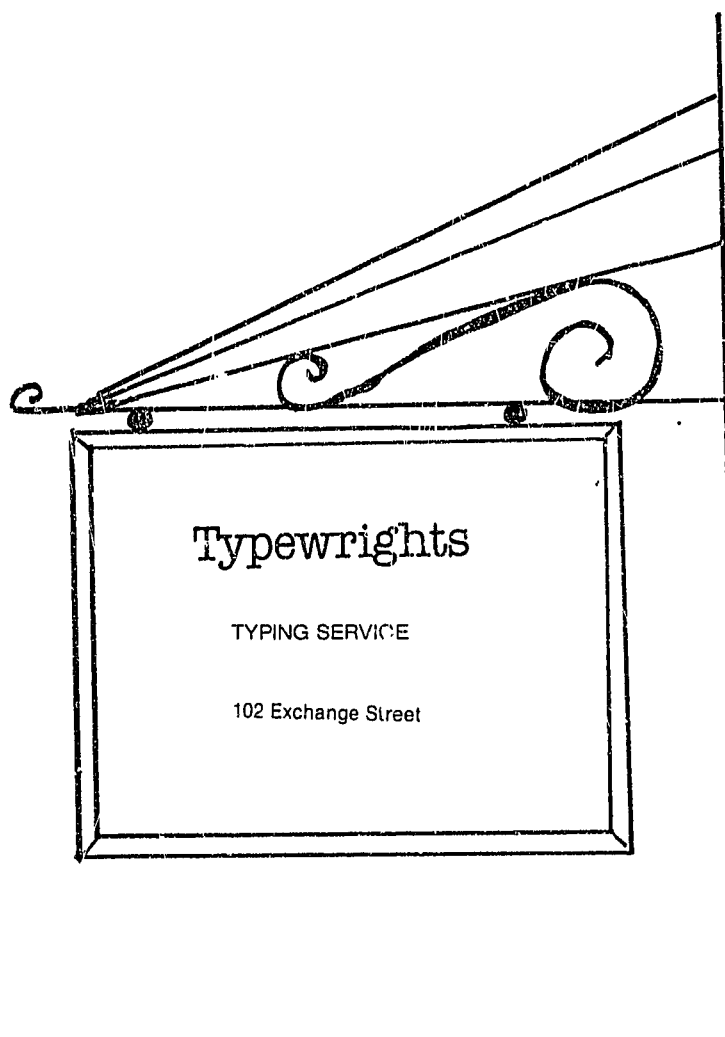
A handwritten signature, possibly reading "C. A.", is enclosed within a hand-drawn oval.

102 Exchange St

21 X 30" sq ft

"Typewriters"

OK Tony Mason 3/7/83



RECEIVED  
MAR - 3 1983  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

RECEIVED  
MAR - 3 1983  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED  
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES  
AT 102 Exchange Street IN PORTLAND, MAINE

Estate of Nathan Silverman being the owner of the premises  
at 102 Exchange Street in Portland, Maine hereby  
gives consent to the erection of a certain sign owned by  
Typewrights projecting over the public  
sidewalk from said premises as described in application to the  
Inspector of Buildings of Portland, Maine for a permit to cover  
erection of said sign;

And in consideration of the issuance of said permit  
Estate of Nathan Silverman, owner of said premises,  
in event said sign shall cease to serve the purpose for which  
it was erected or shall become dangerous and in event the owner  
of said sign shall fail to remove said sign or make it permanently  
safe in case the sign still serves the purpose for which it was  
erected, hereby agrees for himself or itself, for his heirs,  
its successors, and his or its assigns, to completely remove  
said sign within ten days of notice from said Inspector of  
Buildings that said sign is in such condition and of order from  
him to remove it.

In Witness whereof, the owner of said premises has signed this  
consent and agreement this 27th day of  
Feb 1983.

Estate of Nathan Silverman  
Nathan Silverman Per Rep.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

0022

ZONING LOCATION B-3 PORTLAND, MAINE, Jan. 9, 1978

JAN 10 1978

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 104 Exchange St.
1. Owner's name and address Nathan Silverman - same
2. Lessee's name and address
3. Contractor's name and address Coyne Sign Co. - 84 Cove St.
4. Architect
Proposed use of building drug store
Estimated contractual cost \$ Fee \$ 7.40

FIELD INSPECTOR-Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
To erect sign on bldg. as per plans
1 sheet of plans, 15 in. x 15 ft. 9 in
wooden sign
Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Material of foundation Thickness, top bottom cellar
Kind of roof Roof covering
No. of chimneys chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION-PLAN EXAMINER

ZONING: A.R. MacG... 1/11/78

BUILDING CODE: O.K. 1/9/78

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant Robert W. Pearl Phone # same

Type Name of above Robert Pearl 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

NOTES

1-19-77 Sign up - N

Series of horizontal lines for notes, with some faint markings.

Series of horizontal lines for notes, with a large handwritten 'X' drawn across the top portion.

Series of horizontal lines for notes, mostly blank.

Permit No. 78/1032

Location 104 Exchange St.

Owner Nathan Williamson

Date of permit 1-9-78 Attached Sign

Approved 1-10-78 15" X 15" 9"





B-3

0021

APPLICATION FOR PERMIT TO ERECT  
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

JAN 10 1978

CITY of PORTLAND

Portland, Maine, Jan. 9 1978

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 104 Exchange Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner of building to which sign is to be attached Nathan Silverman - same  
 Name and address of owner of sign Lovell's Drug Store - same  
 Contractor's name and address Coyne Sign - 84 Cove Street Telephone 774-4330  
 When does contractor's bond expire? Dec. 31, 1978

Information Concerning Building

No. stories 4 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes  
 Electric? no Vertical dimension after erection 3 1/2 ft. Horizontal 3ft. 7 1/2 in.  
 Weight 70 lbs., Will there be any hollow spaces? no Any rigid frame? yes  
 Material of frame flatbar steel No. advertising faces 2, material pine 1 1/2 in  
 No. rigid connections 2 Are they fastened directly to frame of sign? yes  
 No. through bolts 8, Size 3/8 by 5 in Location, top or bottom both  
 No. guys 1, material steel cable, Size 3/16  
 Minimum clear height above sidewalk or street 10 ft.  
 Maximum projection into street 3 1/2 ft. Fee \$6.60

Signature of contractor

*Robert W. Pauly Coyne Sign Co. Inc*

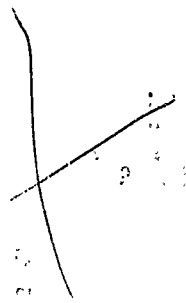
INSPECTION COPY

*2014116 OK M.G.W. 1/9/78 OK E.S. 1/8/78*

78/0021  
101 Exchange  
William Whitman  
1-9-78  
1-10-78 3'x3 1/2 Segs

W  
Up -  
Segs

1-11-78



101 Exchange  
William Whitman  
1-9-78  
1-10-78 3'x3 1/2 Segs

101 Exchange

OT

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED  
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE  
PREMISES AT 104 Exchange St IN PORTLAND, MAINE

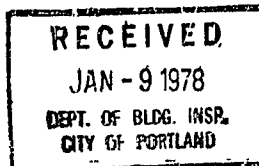
Nathan Silverman Est. being the owner of the  
premises at 104 Exchange St in Portland, Maine hereby  
gives consent to the erection of a certain sign owned by  
Lovell's Drug Store projecting over the public sidewalk  
from said premises as described in application to the Inspector  
of Buildings of Portland, Maine for a permit to cover erection  
of said sign;

And in consideration of the issuance of said permit  
NATHAN SILVERMAN EST., owner of said premises,  
in event said sign shall cease to serve the purpose for which  
it was erected or shall become dangerous and in event the owner  
of said sign shall fail to remove said sign or make it permanently  
safe in case the sign still serves the purpose for which it was  
erected, hereby agrees for himself or itself, for his heirs,  
its successors, and his or its assigns, to completely remove  
said sign within ten days of notice from said Inspector of  
Buildings that said sign is in such condition and of order from  
him to remove it.

In Witness whereof, the owner of said premises has signed  
this consent and agreement this 5<sup>th</sup>  
day of Jan 1978

Nathan Silverman  
Witness

Max E. Silverman Adm  
Nathan Silverman R.O.M.  
[Signature]  
Owner





# APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION B3 · PORTLAND, MAINE, 11/3/77 .....

**PERMIT ISSUED**

NOV 3 1977

1003

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 104 Exchange Street ... Pres. ... Fire District #1  #2

1. Owner's name and address ... Lovell's, Inc. - Paul Albert & John ... Telephone 854-9182

2. Lessee's name and address ... Home office - 413 Main St., ... Burrill, Treas. ... Telephone

3. Contractor's name and address ... owners ... Telephone

4. Architect ... Specifications ... Plans ... No. of sheets ...

Proposed use of building ... drug store ... No. families ...

Last use ... ? ... No. families ...

Material ... No. stories ... Heat ... Style of roof ... Roofing ...

Other buildings on same lot ...

Estimated contractual cost \$ ... Fee \$ 5.00

FIELD INSPECTOR—Mr. ....

GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 **Change of use from ? to a drug store as per plans. 1 sheet of plans.**

Dwelling .....

Garage .....

Masonry Bldg. ....

Metal Bldg. ....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4

Other: .....

### DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:

LATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER .....

Will work require disturbing of any tree on a public street? ..

ZONING: .....

BUILDING CODE: v. R.C.O. 11/3/77 .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Fire Dept.: .....

Health Dept.: .....

Others: .....

Signature of Applicant

Phone # 772-8608

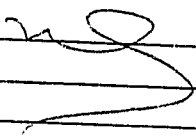
Type Name of above John Burrill

1  2  3  4

Other ..... and Address .....

INSPECTOR'S COPY

NOTES

1-6-78 use changed - 

Permit No. 77/1003

Location 104 Exchange St

Owner Savella's Inc

Date of permit 11-3-77

Approved Chang & S. P. Stora

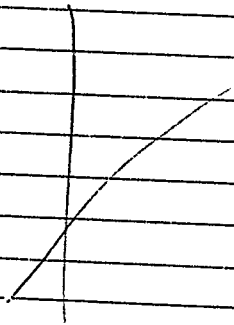
*[Faint, illegible text on lined background]*

*[Faint, illegible text on lined background]*

*[Faint, illegible text on lined background]*

00.0

*[Faint, illegible text]*



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158-8008



B-3

APPLICATION FOR PERMIT TO ERECT  
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

MAY 1 1976

0327

CITY of PORTLAND

Portland, Maine, 4/30/76

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location: 104 Exchange St. Within Fire Limits? yes Dist. No.  
Owner of building to which sign is to be attached Hyman Silverman same  
Name and address of owner of sign same  
Contractor's name and address ~~XXXXXXXXXX~~ Scarborough Sign Co. Telephone  
When does contractor's bond expire? Dec. 31, 1976

Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application Yes  
Electric? no Vertical dimension after erection 8' Horizontal 2'  
Weight lbs. Will there be any hollow spaces? no Any rigid frame? Yes  
Material of frame metal No. advertising faces 2 material wood  
No. rigid connections 4 Are they fastened directly to frame of sign? yes  
No. through bolts 6 Size Location top or bottom  
No. guys material Size  
Minimum clear height above sidewalk or street 10'  
Maximum projection into street 3' Fee \$ 6.60

Signature of contractor Roland F. Larray

INSPECTION COPY LEMAY'S CARD + GIFT SHOP O.K. E.L.R. 4/29/76  
20 MINUTE 9/12 N.G.W. 4/30/76



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED  
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE  
PREMISES AT 104 EXCHANGE ST IN PORTLAND, MAINE

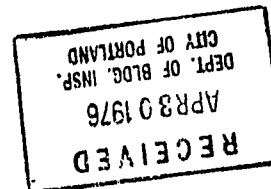
EST of NATHAN SILVERMAN being the owner of the  
premises at 102-104 Exchange St in Portland, Maine hereby  
gives consent to the erection of a certain sign owned by  
ROLAND HEMAY projecting over the public sidewalk  
from said premises as described in application to the Inspector  
of Buildings of Portland, Maine for a permit to cover erection  
of said sign;

And in consideration of the issuance of said permit  
EST of Nathan Silverman, owner of said premises,  
in event said sign shall cease to serve the purpose for which  
it was erected or shall become dangerous and in event the owner  
of said sign shall fail to remove said sign or make it permanently  
safe in case the sign still serves the purpose for which it was  
erected, hereby agrees for himself or itself, for his heirs,  
its successors, and his or its assigns, to completely remove  
said sign within ten days of notice from said Inspector of  
Buildings that said sign is in such condition and of order from  
him to remove it.

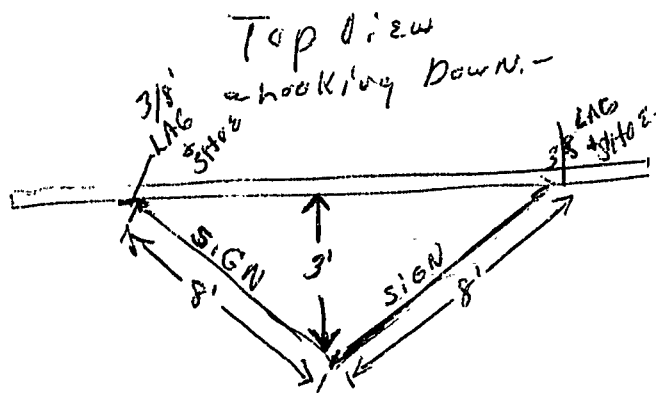
In Witness whereof, the owner of said premises has signed  
this consent and agreement this 30th  
day of April 1976 .

Joseph A. [Signature]  
Witness

EST of Nathan Silverman  
Nathan H. Silverman  
Owner



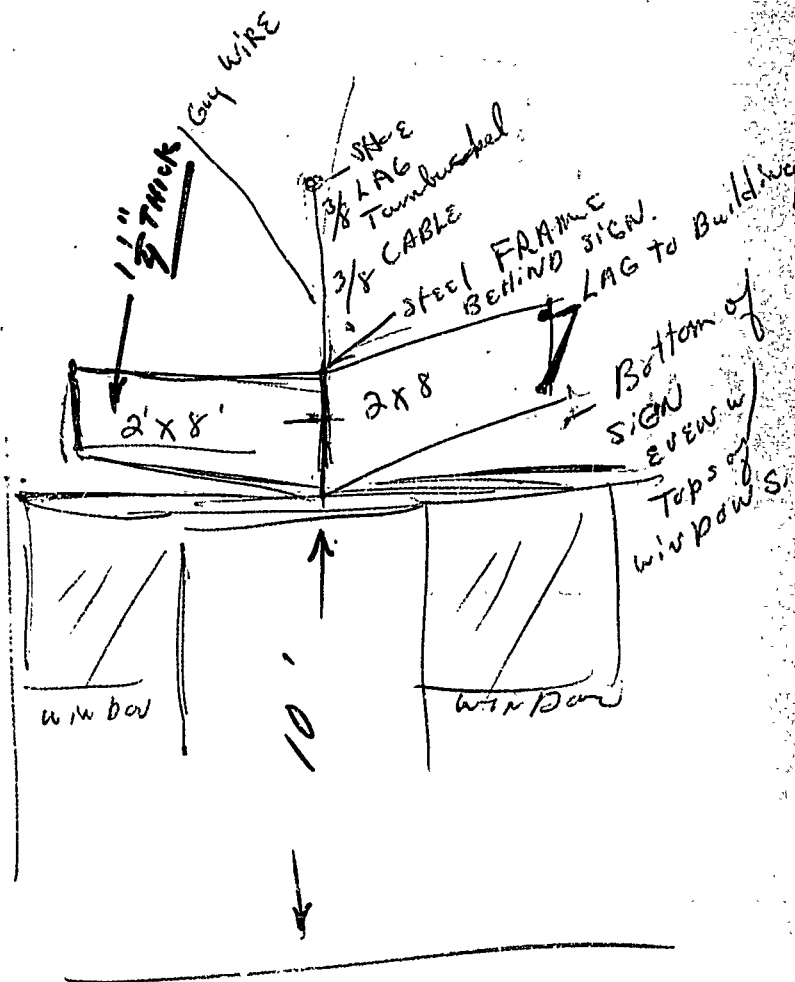


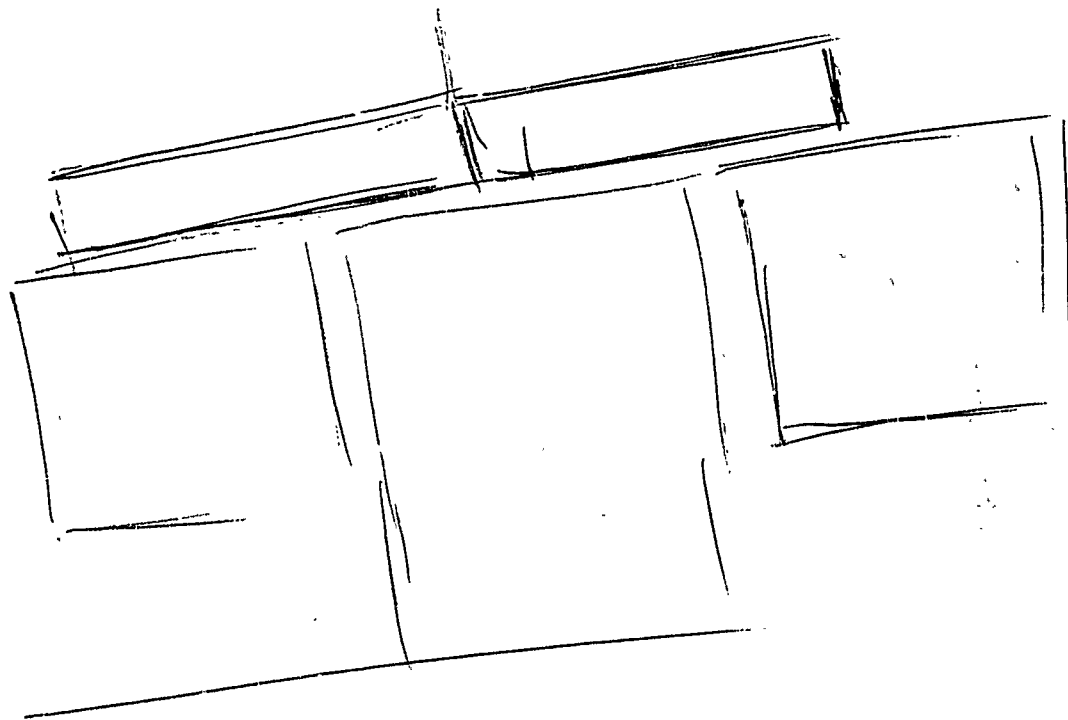


SIGNS  
are  
2' x 8'

16 sq ft

RECEIVED  
APR 27 1976  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND





*L. J. Young*

INSERT  
NAME OF  
COMPANY

PATRONS MUTUAL INS. Co.

(Herein called the company)

CERTIFICATE OF INSURANCE

The company hereby states that it has issued to the insured named herein a policy or policies of insurance providing the types of insurance and limits of liability set forth herein. This certificate of insurance neither affirmatively nor negatively amends, extends or alters the coverage afforded by the policies scheduled herein. It is furnished as a matter of information only, confers no rights upon the holder and is issued with the understanding that the rights and liabilities of the parties will be governed by the original policy or policies as they may be lawfully amended by endorsement from time to time.

NAMED INSURED AND ADDRESS

Roland LeMay  
d/b/a LaMay's Card & Gift Shop  
Westbrook, Me. 04092

TYPE OF INSURANCE (Indicate by "X" in Box)	POLICY NUMBER	EFFECTIVE DATE	EXPIRATION DATE	LIMITS OF LIABILITY	
				BODILY INJURY LIABILITY	PROPERTY DAMAGE LIABILITY
<input type="checkbox"/> Comprehensive Automobile Liability				\$ each person each occurrence	\$ each occurrence
<input checked="" type="checkbox"/> Comprehensive General Liability	SMP 1325	10/8/74	10/8/77	\$ 300,000. each occurrence	\$ 300,000 each occurrence
<input type="checkbox"/> Manufacturers' and Contractors' Liability				\$ 300,000. aggregate	\$ 300,000 aggregate
<input type="checkbox"/> Owners', Landlords' and Tenants' Liability					
<input type="checkbox"/> Contractual Liability					
<input type="checkbox"/> included liability for sign					
BROAD FORM EXCESS LIABILITY				\$ each occurrence	\$ aggregate-products-completed operations
WORKMEN'S COMPENSATION				Subject to self-insured retained limit and underlying insurance described in the policy	
EMPLOYERS' LIABILITY (Unless otherwise stated, the policy number, effective and expiration dates are the same as those shown for workmen's compensation insurance)				Coverage afforded in accordance with the Workmen's Compensation Law of the States specified in subdivision (a) below and the Occupational Disease Law, if any, of such States, unless otherwise stated in subdivision (b) below.	
				(a)	
				(b)	
				COVERAGE B—EMPLOYEES SUBJECT TO COMPENSATION LAW	
				\$	
				COVERAGE B—EMPLOYEES NOT SUBJECT TO COMPENSATION LAW	
				INJURY BY ACCIDENT	
				\$ each employee each accident	\$ each employee aggregate (each state)
				MEDICAL \$ each employee	

REMARKS

This certificate is issued at the request of the person or organization named below and the at the address shown, notice of cancellation and, where possible, notice of any material change.

City of Portland  
Portland, Me.

RECEIVED  
APR 30 1976  
DEPT. OF BUD. INSP  
CITY OF PORTLAND



Date  
4/30/76  
By  
Desmond & Payne, Inc.  
Authorized Representative



*Marge*  
 APPLICATION FOR PERMIT TO ERECT  
 SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED  
 OCT 23 1975  
 957  
 CITY OF PORTLAND

Portland, Maine, Oct. 15, 1975 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 102 Exchange St. Within Fire Limits? yes Dist. No. \_\_\_\_\_  
 Owner of building to which sign is to be attached Nathan Silverman, same  
 Name and address of owner of sign F. W. Enterprises, 102 Exchange St.  
 Contractor's name and address Graham Bruce ~~antenna~~ 45 Bridgeton Rd, Westbrook Telephone 797-3243  
 When does contractor's bond expire? insurance policy (works at Scamboro sign)

Information Concerning Building

No stories 3 Material of wall to which sign is to be attached brick & concrete

Details of Sign and Connections

Building owner's consent and agreement filed with application will bring in  
 Electric? no Vertical dimension after erection 28 1/2" Horizontal 4'  
 Weight 20 lbs., Will there be any hollow spaces? no Any rigid frame? yes  
 Material of frame iron bracketts No. advertising faces 2 material wood  
 No. rigid connections four Are they fastened directly to frame of sign? yes  
 No. through bolts 4 Size 3/8" Location, top or bottom top & bottom  
 No. guys none material \_\_\_\_\_, Size \_\_\_\_\_  
 Minimum clear height above sidewalk or street 12'  
 Maximum projection into street 4' Fee \$5.60 *pd*

Signature of contractor Jane Pearty

INSPECTION COPY

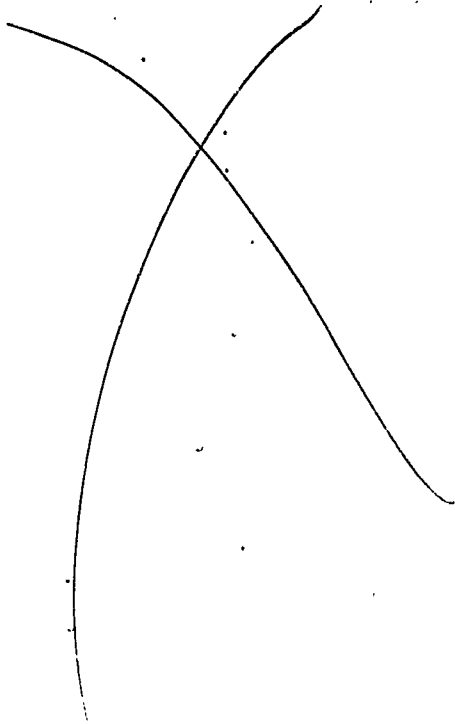
ZONING OK 10/14/75 ms G. ce.

o.k. E.S. 10/20/75

10-30-75 not up yet - ms

11-3-75 Sign installed as per plans

ms



75/95' Margosa  
182 Exchange St.  
Dist 28/75 (base shop  
Pattern Williamson (corner))

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED  
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE  
PREMISES AT 102 EXCHANGE ST IN PORTLAND, MAINE

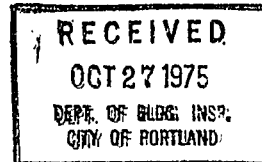
EST of Nathan Silverman being the owner of the  
premises at 102 Exchange St in Portland, Maine hereby  
gives consent to the erection of a certain sign owned by  
\_\_\_\_\_ projecting over the public sidewalk  
from said premises as described in application to the Inspector  
of Buildings of Portland, Maine for a permit to cover erection  
of said sign;

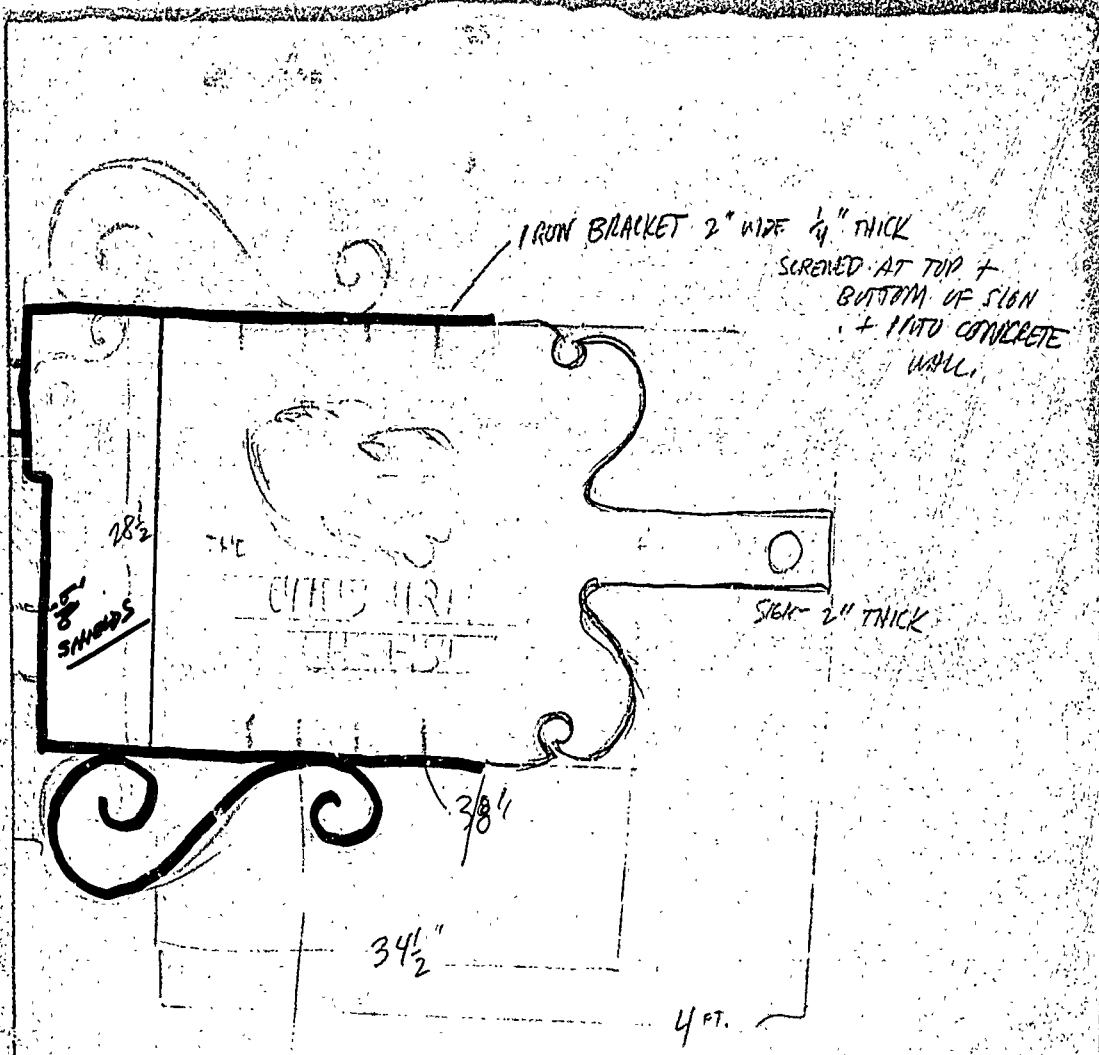
And in consideration of the issuance of said permit  
EST of Nathan Silverman, owner of said premises,  
in event said sign shall cease to serve the purpose for which  
it was erected or shall become dangerous and in event the owner  
of said sign shall fail to remove said sign or make it permanently  
safe in case the sign still serves the purpose for which it was  
erected, hereby agrees for himself or itself, for his heirs,  
its successors, and his or its assigns, to completely remove  
said sign within ten days of notice from said Inspector of  
Buildings that said sign is in such condition and of order from  
him to remove it.

In witness whereof, the owner of said premises has signed  
this consent and agreement this 15th  
day of October 1975 .

Susan Watson  
Witness

EST of Nathan Silverman  
Nathan Silverman DDM  
Owner  
Marge Silverman AEM





IRON BRACKET 2" WIDE 1/4" THICK  
 SCREENED AT TOP +  
 BOTTOM OF SIGN  
 + INTO CONCRETE  
 WALL.

5/8" SHRODS

SIGN 2" THICK

38 1/4

34 1/2"

4 FT.

12 FT.

**RECEIVED**  
 OCT 15 1975  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

COMMERCIAL UNION ASSURANCE COMPANIES

BOSTON, MASSACHUSETTS

RECEIVED  
OCT 27 1975  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

102 Exchange St

The Commerical Union Insurance Co.  
(Name of Insurance Company)

Date 10/24/75

CERTIFICATE OF INSURANCE

This is to certify that the Company named above has issued a policy or policies, covering in accordance with the terms thereof, to the insured named below. It is the intention of the Company that in the event of cancellation of the policy or policies by the Company during the periods of coverage as stated herein, \_\_\_\_\_ days written notice of such cancellation will be mailed to the party to whom this Certificate is issued, at the address stated below. This Certificate of Insurance neither affirmatively nor negatively amends, extends or alters the coverage afforded by the policy or policies issued by the Company as indicated above.

Name And Address Of Party To Whom This Certificate Is Issued		Name And Address Of Insured			
TO WHOM IT MAY CONCERN		P.W. Enterprise d/b/a Cheshire Cheese 102 Exchange Street Portland, Maine			
Description of Motor Vehicle or Operations of Insured					
Place of Garaging or Location of Operations or Premises					
TYPE OF POLICY	X*	POLICY NUMBER†	POLICY PERIOD		LIMITS OF LIABILITY
			EFFECTIVE	EXPIRATION	
STANDARD WORKMEN'S COMPENSATION & EMPLOYERS' LIABILITY					STATUTORY \$ Coverage B
<b>GENERAL LIABILITY</b>					
<b>BODILY INJURY</b>					
Premises Operations	X	FMJ274441	10/4/75	10/4/76	\$ 300,000 <del>per</del> ea. occ. combined single limit - bodily injury & property damage <del>Aggregate Comp. Operations</del>
Independent Contractors					
Products					
Completed Operations					
Contractual					
<b>PROPERTY DAMAGE</b>					
Premises Operations					\$ Each Occurrence
Elevators					\$ Aggregate Oper
Independent Contractors					\$ Aggregate Fratative
Products					\$ Aggregate Products
Completed Operations					\$ Aggregate Comp. Operations
Contractual					\$ Aggregate Contractual
<b>AUTOMOBILE LIABILITY</b>					
<b>BODILY INJURY</b>					
Owned Automobiles					\$ Each Occurrence**
Hired Automobiles					\$ Each Occurrence**
Non owned Automobiles					\$ Each Occurrence**
<b>PROPERTY DAMAGE</b>					
Owned Automobiles					\$ Each Occurrence**
Hired Automobiles					\$ Each Occurrence**
Non owned Automobiles					\$ Each Occurrence**

This Certificate of Insurance is not valid unless it is countersigned by a duly authorized representative of the Company.

\* Absence of an X in these spaces, means that insurance is not afforded with respect to the coverages or hazards opposite thereto

\* The word "accident" is substituted for the word "occurrence" when policy form G-4303 is indicated in the "POLICY NUMBER" column

† If more than one kind of insurance is written on one policy the policy number need not be repeated

*Edward J. Morris*  
President

2. INSURED'S COPY



PERMIT TO INSTALL PLUMBING

PEPMIT NUMBER **4318**

Date Issued **Oct. 10, 1975**  
 Portland Plumbing Inspector  
 By **ERNOLD R GOODWIN**

Address **102 Exchange St.**  
 Installation For **Commercial**  
 Owner of Bldg **Cheese House**  
 Owner's Address **same**  
 Plumber **Reuben Katz** Date **10/10/75**

App. First Insp. **1**

Date

By

Date

By

**OCT 14 1975**  
 App. Single Insp. **ERNOLD R. GOODWIN**  
 PORTLAND PLUMBING INSPECTOR

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

NEW	REPL		NO	FEES
		SINKS		2.00
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		SINKS FLOOR SURFACE		
		WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
		<b>Base Fee</b>		<b>3.00</b>
		<b>TOTAL</b>		<b>5.00</b>

Building and Inspection Services Dept.; Plumbing Inspection

(COPY)

CITY OF PORTLAND, MAINE  
Department of Building Inspection



# Certificate of Occupancy

LOCATION 102 Exchange St.

Issued to Mrs. Rosalyn Watson

Date of Issue 10-2-75

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 75/658 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

first floor front store

cheese & wine store

Limiting Conditions: none

This certificate supersedes  
certificate issued

Approved:

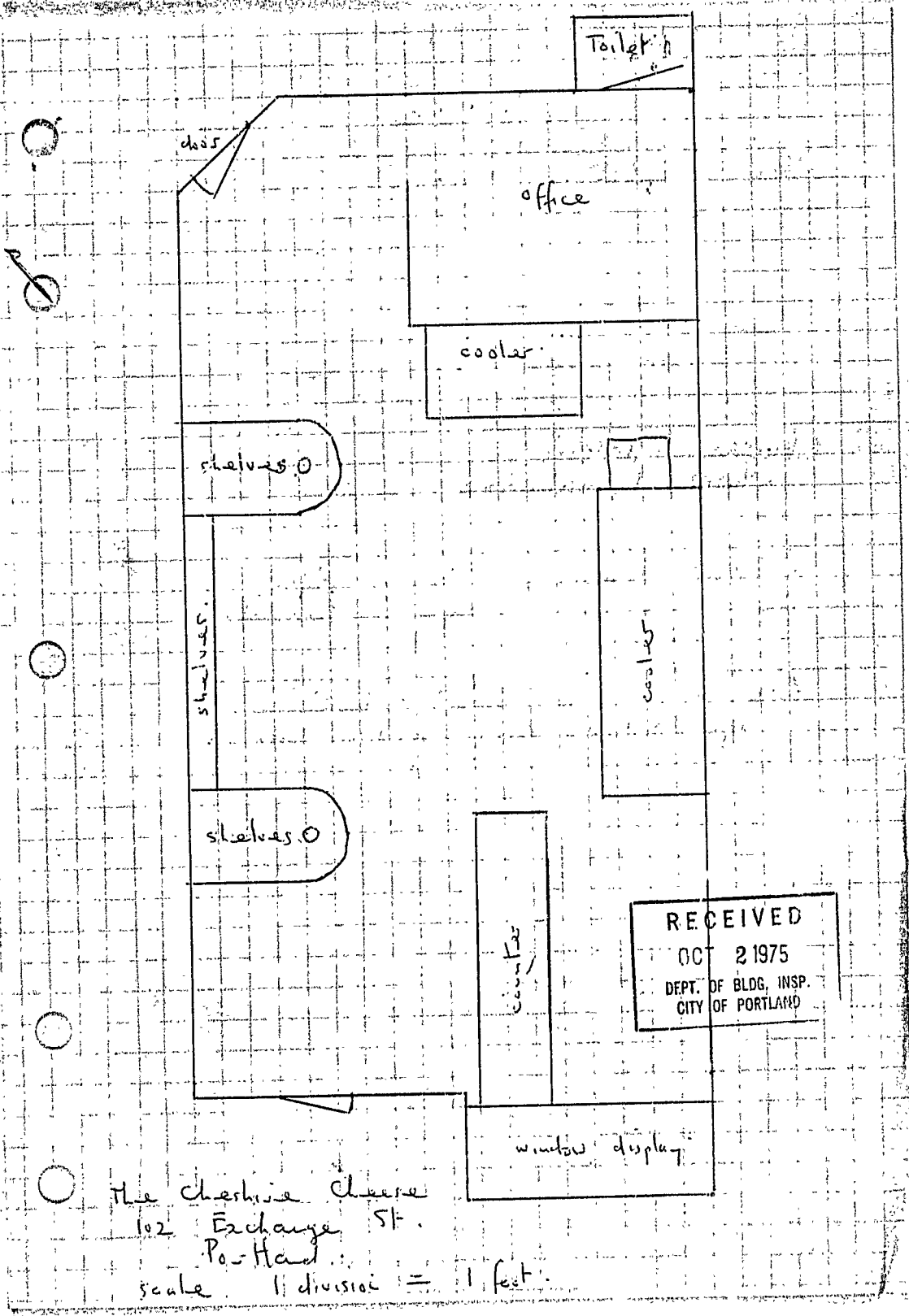
10-2-75

(Date)

Margie Schmuckel  
Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



The Cheshire Cheese  
 102 Exchange St.  
 Portland  
 scale 1 division = 1 foot

Sherer - C.N. 496-42-35  
model number 3.11 OC 60 cycle  
118 U.M. - 3.0 amps  
Shaw. Galt Marshall Mich

Chill Air  
Erickson Industries  
River Falls Wis

Charles Tuccero  
Shore distributors

Dexter Russell - cheese knife  
hygenic handles

Edwards Walker paint - Rustoleum  
approved by drug food administration



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ... E. 21-100 Code Sec. 207

13 AUG 12 1975

B.O.C.A. TYPE OF CONSTRUCTION ... 3

ZONING LOCATION B-3 PORTLAND, MAINE, August 13, 1975

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 102 Exchange St. ... Fire District #1, #2
1. Owner's name and address ... Mr. Hyman Silverman ... Telephone ... 773-7458
2. Lessee's name and address ... Mrs. Rosalyn Watson ... Telephone ... 799-7284
3. Contractor's name and address ... Cape Elizabeth ... Telephone ...
4. Architect ... Specifications ... Plans ... No. of sheets ...
Proposed use of building ... No. families ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ ... Fee \$ ... 5.00

FIELD INSPECTOR—Mr. Hoffses GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling ... Ext. 234
Garage ...
Masonry Bldg. ...
Metal Bldg. ...
Alterations ...
Demolitions ...
Change of Use ...
Other ...

Change of use from ~~vacant~~ vacant insurance office to a cheese & wine store. (Without alterations)

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... yes ... Is any electrical work involved in this work? ... no ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... , to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER 8-11-75

Will work require disturbing of any tree on a public street? ..

ZONING: O.K. ... 8/13/75

BUILDING CODE ...

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ..

Fire Dept.: ...

Health Dept.: ...

Others: ...

Signature of Applicant ... Phone # ... same as above

Type Name of above ... Mrs. Rosalyn Watson ... 1 2 3 4

Other ... and Address

FIELD INSPECTOR'S COPY

NOTES

~~8-14-75 Completed~~

~~SP~~

Approved

Date of permit

Owner

Location

Permit No.

8/13/75

SLIVERMAN

102 EXCHANGE ST

75/658

SPM

~~8-14-75 Not started~~

~~SP~~

~~8-19-75 Same~~

~~9-5-75 Same~~

~~9-17-75 Working in sh. case~~

~~9-24-75 Still working (no one there)~~

~~At this time) - not completed~~

~~10-2-75 - 4:00pm - Completed~~

~~C.O. issued 10-2-75~~





**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date Sept 15, 19 75  
 Receipt and Permit number A 03259

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 108 Exchange St.  
 OWNER'S NAME: Robert Monks ADDRESS: same

OUTLETS: (number of)  
 Lights 45  
 Receptacles \_\_\_\_\_  
 Switches 8  
 Plugmold \_\_\_\_\_ (number of feet)  
 TOTAL 53 FEES 5.00

FIXTURES: (number of)  
 Incandescent 45  
 Fluorescent \_\_\_\_\_ (Do not include strip fluorescent)  
 TOTAL \_\_\_\_\_ FEES 6.50  
 Strip Fluorescent, in feet \_\_\_\_\_

SERVICES:  
 Permanent, total amperes \_\_\_\_\_  
 Temporary \_\_\_\_\_

METERS: (number of) \_\_\_\_\_

MOTORS: (number of)  
 Fractional \_\_\_\_\_  
 1 HP or over \_\_\_\_\_

RESIDENTIAL HEATING:  
 Oil or Gas (number of units) \_\_\_\_\_  
 Electric (number of rooms) \_\_\_\_\_

COMMERCIAL OR INDUSTRIAL HEATING:  
 Oil or Gas (by a main boiler) \_\_\_\_\_  
 Oil or Gas (by separate units) \_\_\_\_\_  
 Electric (total number of kws) \_\_\_\_\_

APPLIANCES: (number of)  
 Ranges \_\_\_\_\_ Water Heaters \_\_\_\_\_  
 Cook Tops \_\_\_\_\_ Disposals \_\_\_\_\_  
 Wall Ovens \_\_\_\_\_ Dishwashers \_\_\_\_\_  
 Dryers \_\_\_\_\_ Compactors \_\_\_\_\_  
 Fans \_\_\_\_\_ Others (denote) \_\_\_\_\_  
 TOTAL \_\_\_\_\_

MISCELLANEOUS: (number of)  
 Branch Panels \_\_\_\_\_  
 Transformers \_\_\_\_\_  
 Air Conditioners \_\_\_\_\_  
 Signs \_\_\_\_\_  
 Fire/Burglar Alarms \_\_\_\_\_  
 Circus, Fairs, etc. \_\_\_\_\_  
 Alterations to wires X FEES 2.00  
 Repairs after fire \_\_\_\_\_  
 Heavy Duty, 220v outlets \_\_\_\_\_  
 Emergency Lights, battery \_\_\_\_\_  
 Emergency Generators \_\_\_\_\_

INSTALLATION FEE DUE: \_\_\_\_\_  
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: \_\_\_\_\_  
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) .....  
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) .....  
 TOTAL AMOUNT DUE: 13.50

INSPECTION:  
 Will be ready on Wed, 1975; or Will Call \_\_\_\_\_

CONTRACTOR'S NAME: Aladdin Electrical  
 ADDRESS: 80 Pinecrest Rd.  
 TEL.: 773-2296  
2605 2606

MASTER LICENSE NO.: \_\_\_\_\_  
 LIMITED LICENSE NO.: \_\_\_\_\_  
 SIGNATURE OF CONTRACTOR: [Signature]

INSPECTOR'S COPY







# APPLICATION FOR PERMIT

00067

Class of Building or Type of Structure . . . Second Class

Portland, Maine, January 22, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 102 Exchange Street Within fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Hyman Silverman, 102 Exchange St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Cimino Construction Co., 407 St. John St. Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building Offices No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ " \_\_\_\_\_ No. families \_\_\_\_\_  
 Material brick No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 2500. Fee \$ 7.00

### General Description of New Work

To apply brick veneer to wall toward Middle Street as per plan

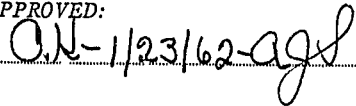
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Cimino

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  


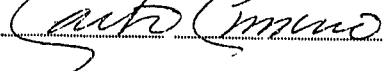
### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Hyman Silverman

CS 301

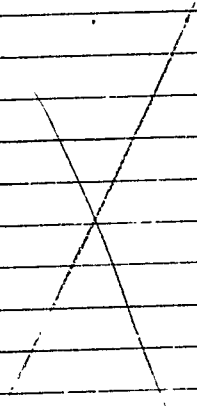
INSPECTION COPY

Signature of owner By: 

P1'

NOTES

2/12/62 Work started - Allan  
2/26/62 - Work done - Allan



Permit No. 62/67  
Location 1023 Grand Avenue  
Owner Raymond Liberman  
Date of permit 1/23/62  
Notif. closing-in \_\_\_\_\_  
Inspn closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Stake Out Notice \_\_\_\_\_  
For check Notice \_\_\_\_\_

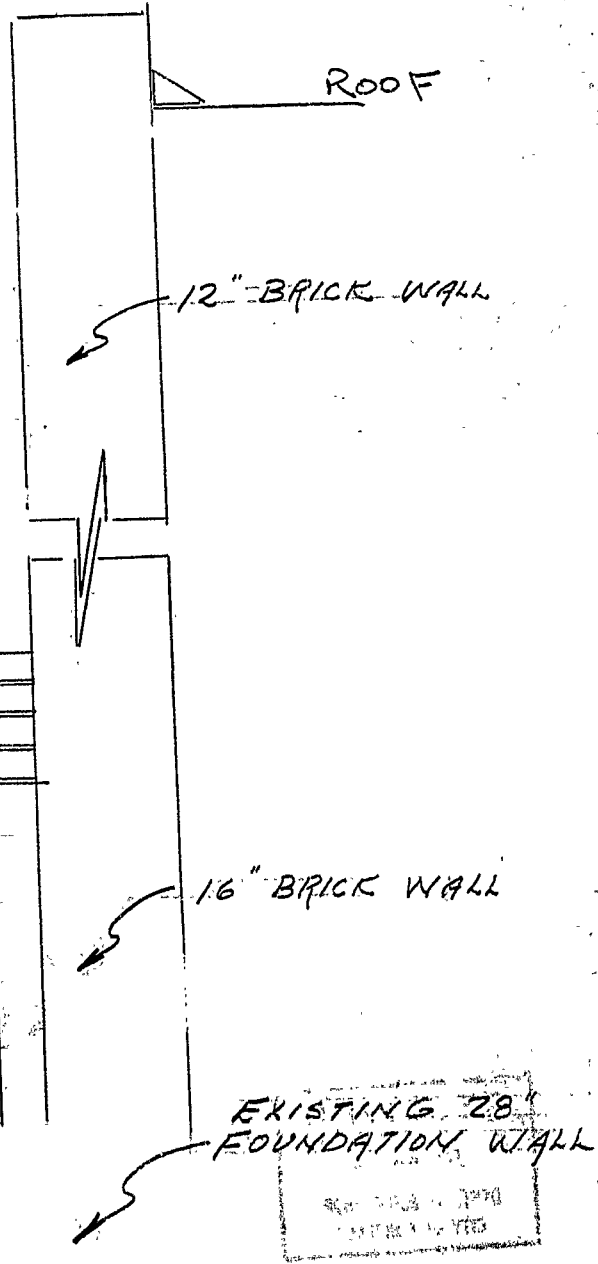
EXISTING CONSTRUCTION

BUILDING REPAIR  
102 EXCHANGE ST.  
FOR H SILVERMAN

WALL LENGTH 90' LONG

REMOVE OUTER  
COURSE OF  
BRICK

EXISTING GRADE



ROOF

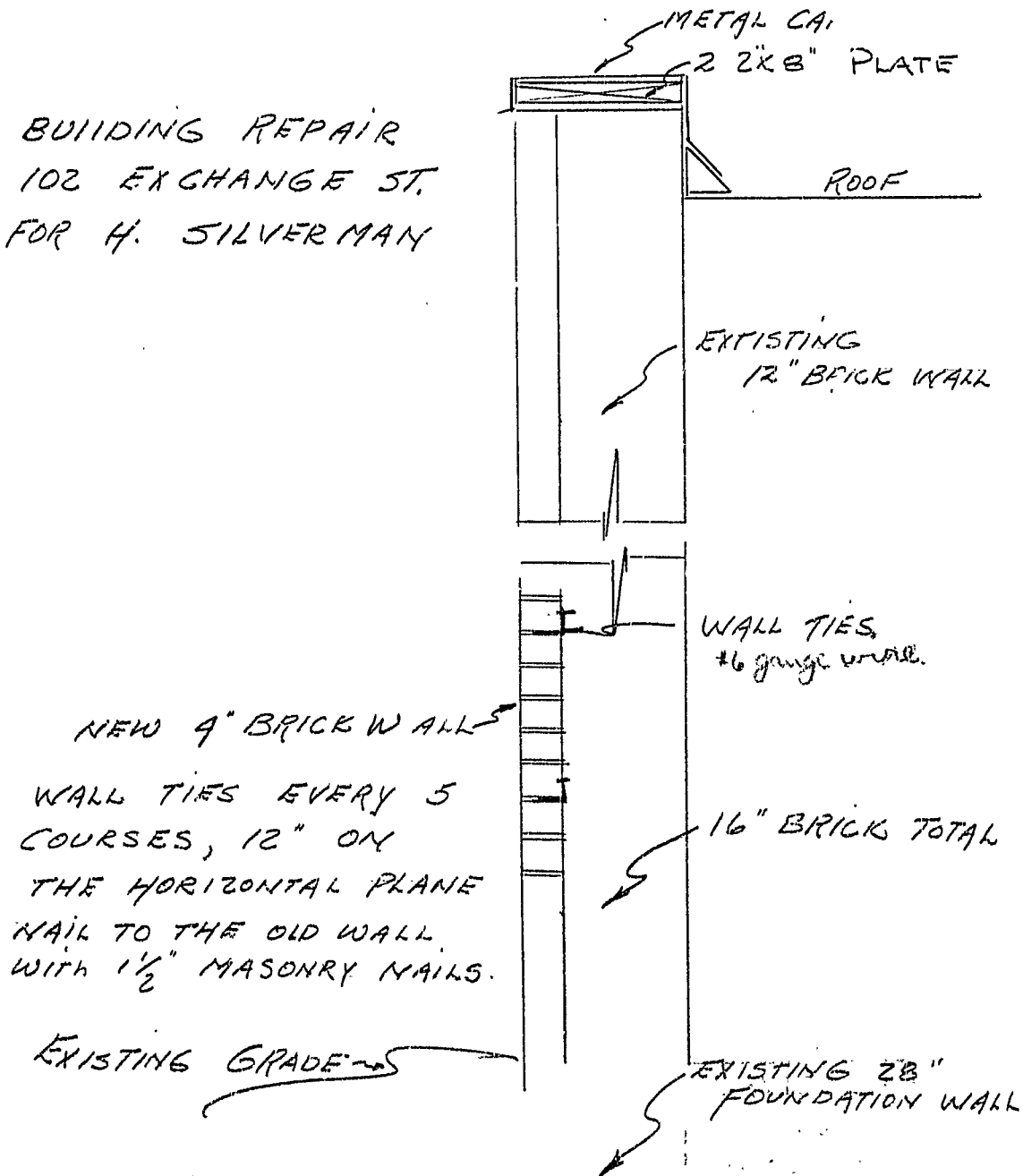
12\" BRICK WALL

16\" BRICK WALL

EXISTING 28\"  
FOUNDATION WALL

NEW CONSTRUCTION

BUILDING REPAIR  
102 EXCHANGE ST.  
FOR H. SILVERMAN





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Nov. 5, 1958

PERMIT ISSUED

NOV 9 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 102 Exchange St. Use of Building Offices No. Stories 2 New Building Existing " Name and address of owner of appliance Estate of Nathan Silverman, 63 Kellogg St. Installer's name and address H.J. Katz Co., 7 Washington Ave. Telephone 3-8343

General Description of Work

To install New steam boiler and oil burning equipment (new installation) baseboard radiation

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace 21 From top of smoke pipe 30 From front of appliance over 4 From sides or back of appliance over 3 Size of chimney flue 20x24 Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? YES

IF OIL BURNER

Name and type of burner Heile-McLean-gumtype Labelled by underwriters' laboratories? yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner concrete Size of vent pipe 1 1/2 Location of oil storage basement Number and capacity of tanks 2-275 gals. Low water shut off yes Make McDonnell-Killer No. 47 Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

[Empty lines for miscellaneous information]

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

11/5/58 - O.K. - Allen

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

H.J. Katz Co.

MAINE PRINTING CO.

INSPECTION COPY

Signatures of Installer by: [Signature]

ags

Fm

Permit No. 581-1591  
 Location 1023 E. 10th St  
 Owner Chas. J. Williams, Alhambra  
 Date of permit 11/5/58  
 Approved 2/27/59

NOTES

1	✓
2	✓
3	✓
4	✓
5	✓
6	✓
7	✓
8	✓
9	✓
10	✓
11	✓
12	✓
13	✓
14	✓
15	✓
16	✓

12/24/58 - Final line to be covered - Allen  
 1/26/59 - Final line to be covered - Allen  
 remote control needed  
 2/27/59 - Job completed - Allen

[A large 'X' is drawn across the bottom half of the page, covering the remaining lines of the notes section.]



B3 BUSINESS PORTLAND

# APPLICATION FOR PERMIT

PERMIT ISSUED  
01513  
OCT 22 1958  
CITY OF PORTLAND

Class of Building or Type of Structure  
Portland, Maine

2nd class  
Oct. 14, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect after repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 102 Exchange St. Within Fire Limits? Yes Dist. No. \_\_\_\_\_  
 Owner's name and address Estate of Nathan Silverman, 102 Exchange St. Telephone \_\_\_\_\_  
Nyman Silverman Admin. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Megquier & Jones, 33 Pearl St. Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building Offices No. families \_\_\_\_\_  
 Last use Store & Offices No. families \_\_\_\_\_  
 Material brick No. stories 4 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Fee \$ 2.00  
 Estimated cost \$ 250.00

### General Description of New Work

To erect metal fire escape from second floor to ground as per plan.

Approved by Municipal Officers 7/21/58

Sent to Fire Dept. 10/14/58  
Rec'd from Fire Dept. 10/21/58

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber-Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over: 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Estate of Nathan Silverman  
Megquier & Jones

APPROVED:  
Carl P. Johnson  
 CHIEF OF FIRE DEPT.  
OR-10/21/58-agg

Signature of owner

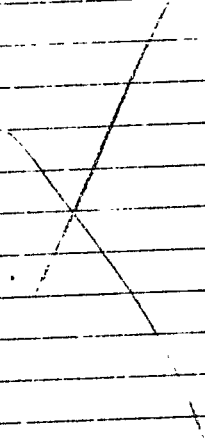
by: Nathan Silverman

INSPECTION COPY

FM

NOTES

4/10/58 Work started -  
Allen  
12/15/58 - Work done Allen



Permit No. 58/1513

Location 102 Spalding St.

Owner H. H. Allen

Date of permit 10/22/58

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



August 20, 1958

AP-102 Exchange Street

Mr. Hyman Silverman, Admin.  
Estate of Nathan Silverman  
63 Kallogg Street

to to: Clifton A. Aaskov & Son  
39 Read Street  
cc to: John Calvin Stevens  
187 Middle Street

Dear Mr. Silverman:

Building permit for alterations and repair after fire to building at above named location is issued herewith to contractor, as you indicated in application for permit, based on revised plans filed August 18, 1958, but subject to the following conditions:

1. Erection of the fire escape and ladder is to be covered by a separate permit to be secured by the erector.
2. We are not acquainted with the Delmo fasteners indicated for use on door at opening to fire escape corridor and on casement window giving egress to fire escape. However, in order to meet Building Code requirements they must be of such a nature that door and window can always be opened from the inside without the use of a key or any special knowledge merely by the turning of a knob or by pressure on a bar or lever.
3. Besides the directional exit light indicated in second story between toilet room doors, an exit light is to be provided over the doorway leading from main corridor to fire escape corridor. The Fire Chief in approving the permit also stipulated that an exit sign shall be provided over the casement window giving access to the fire escape. One or more white lights on the same circuit as the exit lights are also required in the new corridor leading to the fire escape.
4. The outside of the curbs of the plastic skylights is to be covered with metal.
5. Separate permits issuable only to the actual installers are required for installation of the mechanical system of ventilation for toilet rooms and for any new heating equipment.
6. The usual notice for "closing-in" inspection is to be given this office before any lath or wall board is applied to partitions or ceilings.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

ASS/jg



# APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class

Portland, Maine, June 4, 1958

**PERMIT ISSUED**  
01105  
AUG 20 1958  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter repair ~~demolish~~ install the following building structure ~~equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland,~~ plans and specifications, if any, submitted herewith and the following specifications:

Location 102 Exchange St. Within Fire Limits? yes Dist. No. 1

Owner's name and address Estate Nathan Silverman, Hyman Silverman Admin. 63 Kelllogg St. Telephone \_\_\_\_\_

Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Contractor's name and address Clifton A Askov & Son, 59 Read St. Telephone 4-1335

Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 4

Proposed use of building Stores & Offices No. families \_\_\_\_\_

Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families \_\_\_\_\_

Material brick No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Other building on same lot \_\_\_\_\_

Estimated cost \$ 18,000 Fee \$ 18.00

### General Description of New Work

To make alterations on first and second floor of building as per plans.

Appeal sustained 6/18/58

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_

Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_

Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_

Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_

Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_

Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Kind and thickness of outside sheathing of exterior walls? \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
Carl Johnson  
CHIEF OF FIRE DEPT.

### Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Estate Nathan Silverman, Hyman Silverman Admin.

ajf  
Signature of owner by: \_\_\_\_\_

Hyman Silverman  
ADMIN. F.M.

INSPECTION COPY

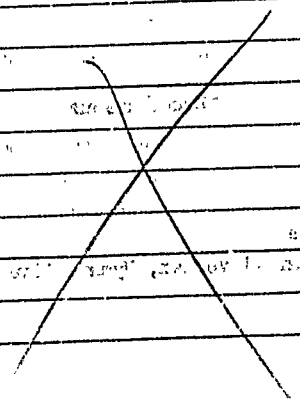
NOTES

✓ Permit for fire escape  
 ✓ Work on door & window to fire escape  
 ✓ Closing in - by match  
 - Permits for ventilation for hallway  
 when new heating units  
 ✓ Curbs skylight to be covered  
 - Put light over door to corridor  
 to fire escape, put light between  
 hotel rooms - Put sign over  
 exit window -

9/15/58 - Work started - Allan  
 9/23/58 - Tell G.T. to close  
 10/27/58 - Allan  
 Work progressing - Allan  
 11/17/58 - Work progressing - Allan  
 12/29/59 - Put light over door  
 to corridor to fire escape. Put  
 sign over exit window - V.I. to  
 door & window to fire escape.  
 Tell word to get permit  
 for ventilation of stairs - Allan  
 1/26/59 - Put light over door  
 to corridor to fire escape.  
 Called Mr. Ascher and told  
 him about this. - Put  
 sign needed over exit window  
 - Allan  
 2/17/59 - Same - Allan  
 2/26/59 - All O.K. except  
 exit sign needed over door  
 to fire escape - Allan  
 2/27/59 - Called Mr. Ascher  
 & he said he would see  
 to it that the sign was  
 put up - Allan

Permit No. 527/1105  
 Location 142 Exchange St.  
 Owner Albert Miller (Apartment)  
 87 St. James St. Boston  
 Date of permit 2/26/59  
 Notif. closing in 2/26/59  
 Inspn. closing in 2/26/59  
 Final Notif. 2/26/59  
 Final Inspn. 2/26/59 - 2 PM  
 Cert. of Occupancy issued 2/26/59  
 Staking Out Notice  
 Form Check Notice

527/1105  
 142 Exchange St.  
 87 St. James St. Boston



July 28, 1958

AP 102 Exchange St.- Alteration and repair of Mercantile Building

Mr. Hyman Silverman, Adain.  
Estate of Nathan Silverman  
63 Kellogg Street  
Mr. John Calvin Stevens  
167 Middle Street

cc to: Mr. Silverman

cc to: Fire Chief

Gentlemen:

Check of the revised plans and specifications received here on July 16th shows the following adjustments necessary to show compliance with the Building Code, taking into account the owners' successful appeal to the Municipal Officers. Please have the plans revised accordingly and fresh prints furnished, so that we may be in position to issue the general construction building permit without which it is not lawful to proceed further than the demolition.

1. Projection of the fire escape platform and ladder over the public sidewalk requires approval on the permit on the part of the Board of Municipal Officers. The Board approved the permit as far as the fire escape only is concerned on July 21st, but attached the following conditions: (1) The projection of the stationary ladder over the public sidewalk from the main surface of the brick pier which would support the ladder, shall not exceed 4 inches; (2) All parts of the ladder, closer than 8 feet to the public sidewalk shall be so arranged to the approval of the Inspector of Buildings, by means of rounded corners, or otherwise, to lessen the possibility of injury to pedestrians.

It is understood that the Steel Company is to furnish detailed plans and secure a separate permit for erection of the platform and the ladder. However, the architect should revise his plans to show clearly compliance with the conditions established by the Board of Municipal Officers--so that the architect's plan will show compliance with these conditions, as well as the others indicated herein, before issuance of the general construction permit.

2. The plan still shows a casement window with the sill of the window about 18 inches above the surface of the platform. Since the capacity of second floor in persons will be more than 10 persons, Sec. 212e3 of the Code does not allow the use of such a window unless in compliance with door requirements. This means that the doorway is required to be not less than 30 inches wide and 6 feet 4 inches high, and, according to Sec. 302g1 the threshold of the door must be no more than 12 inches above the floor of outside platform. Of course, to be in compliance with the rules of an exit doorway, the threshold must not be substantially above the level of the floor inside. The relative level of the second floor and the fire escape platform is not known. If these requirements, in the light of these relative levels, raises difficulties, the architect should consult this office before finishing

the revisions. The door is required to be equipped with a vestibule latchset, so devised that any person on the inside can easily and quickly open the door merely by turning the usual knob and without any special knowledge. No knob or any other handhold is necessary on the outside of the door.

(When I talked with Mr. Silverman after the appeal was granted, I was under the impression that the matter of a door instead of a window was included in his appeal. However, I find that it was not and could not have been in that kind of an appeal because the Code is very explicit about a door being required or a swinging window having all the characteristics of a door.)

3. The second floor door leading from main corridor to the exit passageway also requires a vestibule latchset. A permanent exit sign with letters showing red no less than 6 inches high and made properly directional should be shown on the plan at the end of the main second floor corridor on the partition between the toilet room doors. *\* ?* Another such sign should be provided over on the door leading from the small vestibule to the exit corridor to fire escape, and both <sup>lights</sup> should be shown to be illuminated red and so arranged that they will always be burning during the dark hours and properly illuminate the exit signs. Similar white light should be provided in the second floor exit corridor, and a white light outside over the fire escape platform, all of these lights to be on the same circuit and controlled by the same switch.
4. *OK* No less than 1x3 cross bridging should be shown in the center of each of the new floor joists spans.
5. *?* The curbs of the plastic skylights <sup>over the edge</sup> require covering on the outside with metal which should be lapped <sup>at least</sup> to extend a short distance down the inside of the curbs.
6. *?* It is assumed that the platform and ladder at the rear outside of the second story for access to the roof is new work, and it should be so indicated. Normally the ladder is required inside with a scuttle to the roof, but the Fire Chief has authority to approve an equivalent arrangement which we will seek from him. *- Chief says OK.*
7. *OK* The architect should consult the Health Department and show on the plan the proposed means of venting the new first floor toilet rooms. Since the second floor is to be so greatly improved, it is suggested that you provide similar ventilation for the second floor toilet rooms which probably are existing. All of this refers to ventilation of the rooms rather than the fixtures. *- Mechanical system*
8. *OK* The architect should attach to the revised prints filed here his statement of design as called for by Sec. 10463 of the Code applying to the structural steel and reinforced concrete design.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD:m

CITY OF PORTLAND, MAINE  
MEMORANDUM

TO: Julian H. Orr, City Manager

DATE July 18, 1958

FROM: Warren McDonald, Inspector of Buildings

cc to: Corporation Counsel

SUBJECT: Proposed Municipal Officers order relating to projection of  
fire escapes over public sidewalk over 102 Exchange Street

This is the same job which came before the Municipal Officers by way of a reversal appeal several weeks ago, and where the Board informally established two or three conditions. However, inadvertently the return for the appeal was signed by the Municipal Officers without any conditions attached.

This order will make good that "slip"; but the matter of extending this ladder onto the sidewalk is quite unusual, and it is hoped that the Municipal Officers will see fit to go along with the two conditions as to maximum projection over the public sidewalk of the ladder (the plan shows about 7 or 8 inches projection) and as to rounding the corners to ease any possible collision a pedestrian might have with the ladder. I doubt if there is any particular hazard to this projection down to the sidewalk if it is kept to the 4 inches, since pedestrians hardly ever walk that close to a building.

Inspector of Buildings

WMcD:m

P.S.

This order is a little late, but I arranged with Arthur Duffett yesterday to enter the item on the Council Calendar.

# City of Portland, Maine

IN BOARD OF MUNICIPAL OFFICERS

July 16, 1958

ORDERED:

That the building permit at 102 Exchange Street, intended to include projection of a fire escape platform about 10 feet long with a minimum clearance above the public sidewalk of about 12 feet and a maximum projection over the public sidewalk of about 3 feet 4 inches and to include projection over the public sidewalk of a stationary steel ladder from the platform to the sidewalk, as shown generally on the plan of Stevens and Saunders on Sheet 3, revised July 16, 1958, be and hereby is approved subject to full compliance with all terms of the Building Code and to the condition:

- that the projection over the public sidewalk from the main surface of the brick pier, which would support the ladder shall not exceed 4 inches, and,
- that all parts of the ladder, closer than 8 feet to the public sidewalk shall be so arranged to the approval of the Inspector of Buildings, by means of rounded corners, or otherwise, to lessen the possibility of injury to pedestrians.

cc to: Barnett I. Shur

June 10, 1958

AP- 102 Exchange St.

Proposed alterations in first and second stories of the four-story building, badly damaged by fire and now in the process of having the two upper stories removed-- including provision of an emergency means of egress from the second floor and Building Code relating thereto:

Mr. Hyman Silverman, Admin.  
Estate of Nathan Silverman  
63 Kellogg Street

cc to: Corporation Counsel

cc to: Barnett I. Shur

Dear Mr. Silverman:

The building permit intended to authorize alterations on first and second floors of the building at 102 Exchange Street, including the provision of an emergency means of egress by way of a platform and "drop" ladder over the Exchange Street sidewalk, is not issuable under the Building Code because the proposed means of egress arrangement would not comply with the Building Code in that the proposed platform from which the ladder would drop would be about 14 feet above the sidewalk instead of the maximum of 12 feet and this type of escape is not approved either from the standpoint of persons expected to use the escape or from the standpoint of the safety of pedestrians on the public sidewalk; this decision having been made under Sec. 102d4 of the Building Code applying to a building damaged by fire to the extent of less than 70 percent of its value and which provides in such a case that the building shall be made to conform with Code requirements for new buildings in portions altered or repaired as the inspector shall determine, subject to appeal to Municipal Officers.

You have said that you wish to file an appeal on behalf of the owners seeking from the Municipal Officers a reversal of this decision. Such an appeal would be taken under Sec. 115a of the Code, and is to be filed in the office of Corporation Counsel, where you will find a copy of this letter.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD:m



City of Portland, Maine  
Municipal Officers  
BUILDING CODE

58/60  
Granted  
6/18/58

June 10, 19 58

To the Municipal Officers:

Your appellant, Estate of Nathan Silverman, who is the owner of property at 102 Exchange Street, respectfully petitions the Municipal Officers of the City of Portland to permit an exception to the provisions of the Building Code relating to this property, ~~as provided by Section 1024, Paragraph A of said Building Code~~. Building permit intended to authorize alterations on first and second floors of the building at 102 Exchange Street, including the provision of an emergency means of egress by way of a platform and "drop" ladder over the Exchange Street sidewalk, is not issuable under the Building Code because the proposed means of egress arrangement would not comply with the Building Code in that the proposed platform from which the ladder would drop would be about 14 feet above the sidewalk instead of the maximum of 12 feet and this type of escape is not approved either from the standpoint of persons expected to use the escape or from the standpoint of the safety of pedestrians on the public sidewalk; this decision having been made under Section 102d4 of the Building Code applying to a building damaged by fire to the extent of less than 70 percent of its value and which provides in such a case that the building shall be made to conform with Code requirements for new buildings in portions altered or repaired as the inspector shall determine, subject to appeal to Municipal Officers.

The facts and conditions which make this exception legally permissible are as follows:  
The terms of the Ordinance may be waived by the Municipal Officers where necessary to avoid unnecessary hardship.

Estate of Nathan Silverman

By: Max E. Silverman Admr.  
Appellant

After public hearing held on the 18 day of June, 19 58,  
the Municipal Officers find that an exception is necessary to avoid unnecessary hardship.

It is, therefore, determined that exception to the Building Code may be permitted in this specific case.

John J. Lennard  
Justus Ball  
Charles E. ...  
Ben ...  
Mitchell ...  
William H. O'Brien  
MUNICIPAL OFFICERS

Joseph E. Hammond  
120 Exchange

June 10, 1958

AP- 102 Exchange St.  
Proposed alterations in first and second stories of the four-story building, badly damaged by fire and now in the process of having the two upper stories removed— including provision of an emergency means of egress from the second floor and Building Code/relating thereto:

Mr. Hyman Silverman, Admin.  
Estate of Nathan Silverman  
63 Kellogg Street

cc to: Corporation Counsel

Dear Mr. Silverman:

The building permit intended to authorize alterations on first and second floors of the building at 102 Exchange Street, including the provision of an emergency means of egress by way of a platform and "drop" ladder over the Exchange Street sidewalk, is not issuable under the Building Code because the proposed means of egress arrangement would not comply with the Building Code in that the proposed platform from which the ladder would drop would be about 14 feet above the sidewalk instead of the maximum of 12 feet and this type of escape is not approved either from the standpoint of persons expected to use the escape or from the standpoint of the safety of pedestrians on the public sidewalk; this decision having been made under Sec. 102d4 of the Building Code applying to a building damaged by fire to the extent of less than 70 percent of its value and which provides in such a case that the building shall be made to conform with Code requirements for new buildings in portions altered or repaired as the inspector shall determine, subject to appeal to Municipal Officers.)

You have said that you wish to file an appeal on behalf of the owners seeking from the Municipal Officers a reversal of this decision. Such an appeal would be taken under Sec. 115a of the Code, and is to be filed in the office of Corporation Counsel, where you will find a copy of this letter.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcDim

AP - 102 Exchange St.  
Demolition of two upper stories of four story bldg.

June 6, 1958

Mr. Hyman H. Silverman, Admr.  
Estate of Nathan Silverman  
63 Kellogg St.

Mr. Sam Serota,  
125 Morning St.

Gentlemen:

Building permit for the above work is issued to Mr. Serota, herewith, without prejudice to provision of a roof at the third floor level and without prejudice to the application of the Building Code to the rehabilitation of the remaining two stories; also subject to the following conditions. If these conditions are not understood or if you are unwilling or unable to comply with them, it is important that the work shall not be started and that this office be contacted with more information to show compliance with the law.

1. Enclosed to each of you is a copy of pages 163-164 of the Building Code, and the permit is issued subject especially to the provisions of Section 808 with its provisions of reference to preceding sections pertaining to protection of the public sidewalks and licensing the occupancy of the sidewalk under the supervision of the Dept. of Public Works.

2. It is not known whether the Silverman building has independent sidewalls of its own or whether these walls are party walls owned in conjunction with the owners of adjoining buildings. This permit does not give the right to demolish any part of property of others unless arrangements are made with the owners; and the issuance of the permit does not involve the City of Portland in any responsibility or liability for damage to the property of others as the result of these operations either now or in the future.

If the Silverman sidewalls are independent walls, it is obvious that something must be done with the consent of the owners of the adjoining buildings on both sides to make permanent arrangements so that the crack between each two walls will be permanently protected from the weather. It is assumed that all of these details, other with information as to any parapet walls which will be left above the present third floor, will be fully shown on the plans which are to be forthcoming to show the new roof construction.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/H

Encl. to each addressee:  
Copy of pages 163-164 of Bldg. Code  
and to Mr. Serota permit card and copy of application

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

June 3, 1958

Mr. Hyman Silverman, Admin.

Estate of Nathan Silverman  
102 Exchange St.  
Portland Maine

With relation to permit applied for to demolish a building or portion of building at #102 Exchange St. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

*Warren McDonald*

Warren McDonald  
Inspector of Buildings

WMcD/H

*Edward Colby*

Eradication of the two upper stories of this building has been completed.

*Mr*

B3 BUSINESS ZONE

PERMIT ISSUED

00674  
JUN 6 1958

CITY of PORTLAND

# APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class

Portland, Maine, May 29, 1958



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~repair~~ ~~demolish~~ ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 102 Exchange St. Within Fire Limits? yes Dist. No. ....

Owner's name and address Estate of Nathan Silverman, 102 Exchange St. Telephone .....

Lessee's name and address Hyman Silverman Admin. Telephone .....

Contractor's name and address Sam Serota, 125 Morning St. Telephone .....

Architect .....

Proposed use of building .....

Last use Stores & Offices No. families .....

Material brick No. stories 4 Heat .....

Other building on same lot .....

Estimated cost \$.....

Fee \$ 1.00

### General Description of New Work

To demolish the two upper stories of building.  
No sewer connections

Permit Issued with Letter

*Exemption letter sent 6/3/58*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

### Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Material of underpinning ..... Height ..... Thickness .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Kind and thickness of outside sheathing of exterior walls? .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

### If a Garage

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

### Miscellaneous

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Estate of Nathan Silverman  
Sam Serota

APPROVED:

.....  
.....  
.....

Signature of owner by: Sam Serota

INSPECTION COPY

F.M.

311 7th St N 7/6

Permit No: 58816717

Location: 1112 7th St N

Owner: *Stacy McElroy Allen*

Date of permit: 6/16/58

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

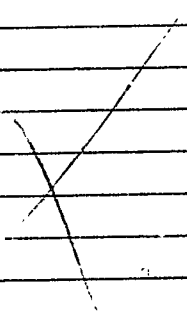
Cert. of Occupancy Issued

Staking Out Notice

Form Check Notice

NOTES

- 6/12/58 - *Work not started*
- 6/19/58 - *Warned children working for contractor to be covered! for timberlies in dollars in demolition work - TTK*
- 7/7/58 - *Working on 3rd floor. 4th floor removed - Allen*
- 7/21/58 - *Work progressing - Allen*
- 8/4/58 - *Upper 2 floors about all demolished - Allen*
- 8/25/58 - *Work done under the permit - Allen*



AP - 102 Exchange St.  
Repair after Fire

May 1, 1958

Silverman & Silverman  
63 Kellogg Street

Copy to: C. A. Askov & Son  
39 Read St.  
Fire Chief  
Silverman & Silverman

Gentlemen:

Following our letter of April 22nd, Messrs. Silverman and Askov came to the office, and we discussed the troublesome problem of safe exits from the upper floors of the building. Mr. Askov later worked out a rather ingenious plan of providing a new inside stairway without losing any office space except on the second floor. Because Chief Johnson of the Fire Dept. has a great deal of responsibility and authority under State Law concerning means of egress in existing buildings, he, Capt. Flaherty of the Fire Dept. and I examined the situation at the building with Mr. Askov.

Chief Johnson and I have reached joint conclusions upon two alternatives, either of which, if adopted, will result in issuance of the building permit for repair after fire at least as far as exits or means of egress are concerned.

Alternative No. 1

- provide a new stairway substantially as planned by Mr. Askov, but enclose the entire stairway from ground floor to the roof with partitions affording 1-hour fire resistance and with self-closing Class C fire doors at every opening in the enclosure except the exterior door to Exchange Street.
- For new elevator
- enclose the shaftway/ from basement level upwards with partitions affording one-hour fire resistance without the use of burnable material in them, and at each opening provide labelled Class C fire doors interlocked with the movement of the elevator car. These enclosing partitions would include the machinery room wherever located and the shaftway would have to be provided with a means of ventilation at the top by way of thin glass windows in a pent house or thin glass skylight.
- permanently floor over, with the same strength as existing floors, all of the former openings in third and fourth floors which had skylights over them and were intended to afford some daylight to the "inside" offices.

Alternative No. 2

- provide the additional stairway, substantially as planned by Mr. Askov without any more enclosing partitions than the owner desires.
- equip the entire building with a standard automatic sprinkler system.

Before making a decision as to either of these two or any other alternative, you are urged to get competitive bids from at least two sprinkler companies for installation of the system; then consult fire insurance rating authorities to see what the saving will be in fire insurance rates if the system is installed. Please take into

May 1, 1958

account the advantage of the sprinkler system to the effect that the owners would hardly again be confronted with the present dilemma caused by fire, that no interruption of rentals would likely be caused by fire, and that, if the building had been so equipped, the building would likely be under normal operation today.

Relative to alternative No. 1, probably the most economical way of closing the new stairway from the second floor up would be to extend the enclosure into the public hall at each floor level. This will be allowable as long as the minimum width of each public hall would be at least three feet.

Relative to alternative No. 2, in modernizing the elevator, you would no doubt want to enclose the elevator shaftway; but, on account of the protection afforded by the sprinkler system, the enclosing partitions could be of any desired materials affording sufficient stiffness and strength, labelled fire doors would not be required nor the ventilation of the shaftway at the top--the latter because even if enclosed, there would be ample protection against a fire in the shaftway by one or more sprinkler heads at the top.

Very truly yours,

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Carl P. Johnson, Chief of Fire Dept.

WMCJ/H  
Enc: Copy of this letter

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Warren McDonald, Insptr. of Bldgs.



April 22, 1958

AP - 102 104 Exchange Street

Silverman & Silverman  
63 Kellogg Street

cc to: Clifton A. Askov & Son  
39 Read Street  
Fire Chief

Gentlemen:

Examination of building at the above named location which was the scene of a recent fire and for repair of which an application for a permit has been filed discloses that the means of egress from the upper stories thereof are utterly inadequate from the standpoint of safety of its occupants. For this reason we are unable to issue a permit for repairing the building to its former condition with the unsafe exit arrangements remaining as formerly.

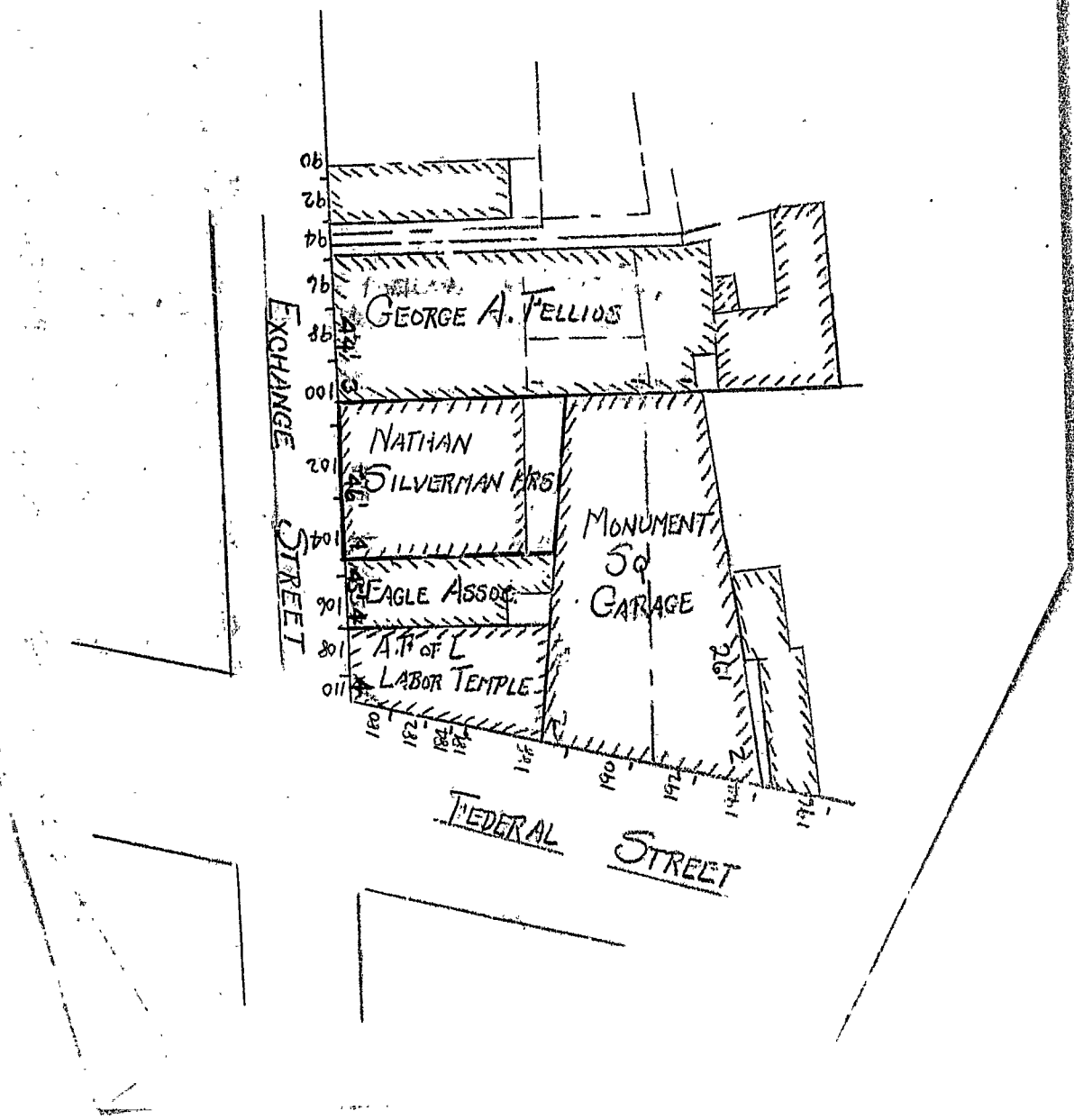
Have you any floor plans of the present or proposed arrangement of offices which can be used in consultation with the Chief of the Fire Department, who under State Law is vitally concerned with exit arrangements, to determine what can and should be done to improve the exit facilities? If so, will you please file a copy of them with permit application for use of this department in determining application of requirements of the Building Code to the situation? If not, information is needed as to your plans for developing the building and any changes which you may propose to make from its previous arrangement.

Should you care to discuss this matter further, you may do so by coming to this office, Room 110 City Hall, after two o'clock on any week day afternoon except Saturday.

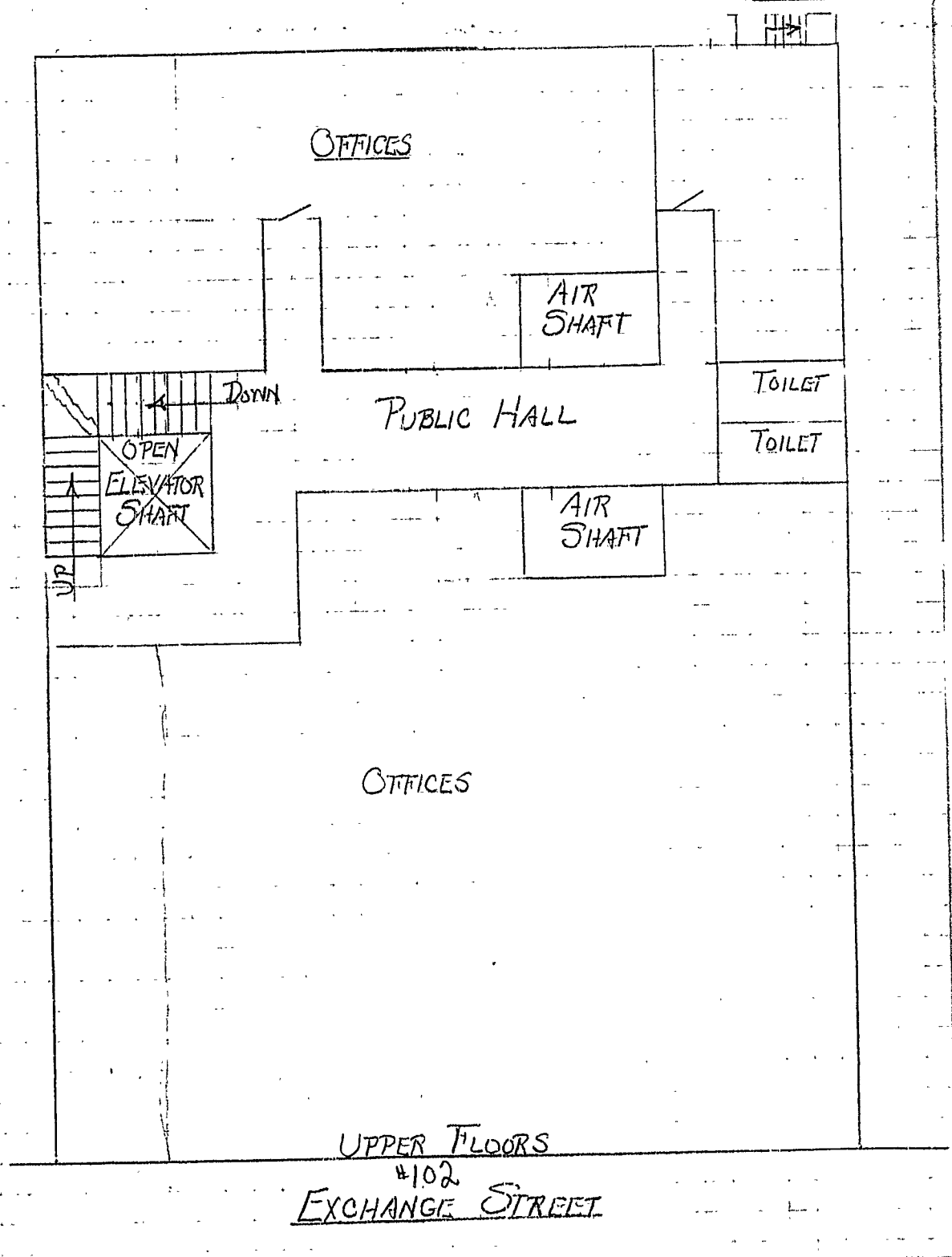
Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS:k



FIRE ESCAPE



OFFICES

AIR  
SHAFT

DOWN

PUBLIC HALL

TOILET

TOILET

OPEN  
ELEVATOR  
SHAFT

UP

AIR  
SHAFT

UPPER FLOORS

#102

EXCHANGE STREET



APPLICATION FOR PERMIT

Class of Building or Type of Structure.....2nd. class.....

Portland, Maine, .....April 21, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect/alter/repair/demolish/install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 102 Exchange St. Within Fire Limits? YES Dist. No.
Owner's name and address Silverman & Silverman, 63 Kellogg St. Telephone
Lessee's name and address Telephone
Contractor's name and address Clifton A Aaskov & Son, 39 Read St/ Telephone 4-1335
Architect Specifications Plans no No. of sheets
Proposed use of building Store & Offices No. families
Last use " " No. families
Material brick No. stories 4 Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 25,000 Fee \$ 25.00

General Description of New Work

To repair after fire to former condition, ~~but~~ without alterations and without change of use, but if conditions in the areas of repair are found to be dangerously sub-standard of Building Code requirements, both Building Department and owner will be notified immediately. (all replacements.) replacing entire first floor framing.

Cause of fire unknown.
Date of Fire -February 7, 1958

Revised 5/16/58 - work to be done differently - <sup>fees</sup> application will follow.
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Signature lines for approval

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Nathan & Max Silverman
Clifton A Aaskov & Son

Signature of owner

Signature of contractor

INSPECTION COPY

F.M