



**WRIGHT-PIERCE-WHITMORE
ARCHITECTS
MAIN STREET
TOPSHAM MAINE 04086
TELEPHONE 207 725 8721
MEMBERS OF AIA AND CSI**

71-84
September 29, 1971

Mr. Nelson F. Cartwright
Portland Building Inspector Dept.
City Hall
389 Congress Street
Portland, Maine

Re: Alterations to Maine National Bank

Dear Mr. Cartwright:

We would like an approval from your office on the enclosed kitchen and dining room layout for the Maine National Bank in Portland.

The kitchen will have "B" Label Doors and a pass window with the same equivalent rated frames. Ceiling and walls will be plaster and floor material will be seamless flooring as shown on insert by Industrial Floors, Inc.

Duct work for the exhaust hood will be built in accordance with Section 2002.7.3 of the City of Portland Building Code, with a four inch hollow masonry block enclosure from the sixth floor to the underside of the roof where there will be a non-corrosive thimble as also covered under Section 2002.7.3.

Since the building is occupied and without kitchen facilities at this time, your earliest review will be most appreciated.

Sincerely,

WRIGHT, PIERCE AND WHITMORE

Steve E. Cullinan

SEC/vr

Enclosure



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec. 1, 1971

PERMIT ISSUED

DEC 8 1971

1538
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 396 Congress St. Use of Building Bank No. Stories 6 New Building
 Name and address of owner of appliance Maine National Bank Existing "
 Installer's name and address Food Service & Equip. & Design Corp Telephone
221 North Beacon St., Boston
 General Description of Work
 To install kitchen equipment as listed below

IF HEATER, OR POWER BOILER

Location of appliance
 If so, how protected? Any burnable material in floor surface or beneath? Kind of fuel?
 Minimum distance to burnable material, from top of appliance or casing top of furnace
 From top of smoke pipe ... From front of appliance ... From sides or back of appliance ...
 Size of chimney flue ... Other connections to same flue
 If gas fired, how vented? Rated maximum demand per hour
 Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories?
 Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
 Type of floor beneath burner Size of vent pipe
 Location of oil storage Number and capacity of tanks
 Low water shut off Make No.
 Will all tanks be more than five feet from any flame? How many tanks enclosed?
 Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Kitchen- 5th floor Any burnable material in floor surface or beneath? covered concrete
 If so, how protected? 6" legs Height of Legs, if any 6"
 Skirting at bottom of appliance? none Distance to combustible material from top of appliance? brick
 From front of appliance 4' From sides and back sheet rock From top of smokepipe hood
 Size of chimney flue hood- by others other connections to same flue none
 Is hood to be provided? by others If so, how vented? Forced or gravity?
 If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

2 deep fat fryers Model CK901 - General Electric
1 char-Broiler Model CB50 - General Electric
1 convection oven -CR421 - General Electric

Amount of fee enclosed? \$16. (\$2.00 for one heater, etc., \$1.00 additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. - 12-1-71 NFE.
OR 12/3/71 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 300

INSPECTION COPY

Signature of Installer

John E. Zanelli

NOTES

Permit No. 711/1538

Location 396 Congress St.

Owner Marie National Bank

Date of permit 12/8/71


Notif. closing-in

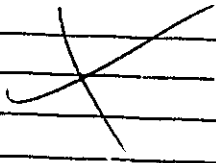
Inspn. closing-in

~~Final Inspn.~~ CART

Final Inspn.

Cert. of Occupancy issued

3-21-72 Completed 



100 Congress Street

Oct. 5, 1971

Fels Company
390 Presumpscot Street

Gentlemen:

Permit to install air conditioning and ventilation on the fifth and sixth floors on Exchange Street side of building at the above named location is approved providing approved fire dampers are installed where ducts penetrate in or out of kitchen and public hall areas.

Very truly yours,

Nelson F. Cartwright
Inspector

NFC:m

400 Congress Street

Nov. 4, 1971

Advance Safety Systems, Inc.
620 Massachusetts Avenue
Cambridge, Mass. 02139

Att: Mr. Robert Hart

Dear Mr. Hart:

Thank you for sending plans for extinguishing system to be installed in and under hood at Maine National Bank's new kitchen.

Plans are acceptable and either CO-TWO or dry chemical are O.K. but not indicated on plans.

Very truly yours,

Nelson F. Cartwright
Building Inspector

NFC:m

ADVANCED SAFETY SYSTEMS, INC.

820 MASSACHUSETTS AVENUE • CAMBRIDGE, MASSACHUSETTS 02139 • 617-868-9283



November 3, 1971

Mr. Nelson S. Cartwright,
Inspector
Dept. of Buildings
City of Portland
Portland, Maine

re: Maine National Bank

Dear Mr. Cartwright:

Enclosed are two copies of the prints of the proposed installation of the fire extinguishing system which we will be installing at the above location. We were requested by Mr. John Zanelli of the Morris Gordon Company to submit these to you for your approval.

We hope that you find these satisfactory. If you have any questions, please contact us.

Sincerely,
ADVANCED SAFETY
SYSTEMS, INC

Robert F. Hart
Robert F. Hart

RFH:sah

encl.

REMEMBER A. S. S. I. REALLY CARES

Re: Alterations-Maine National Bank

October 1, 1971

Wright, Pierce, Whitmore,
Architects
Main Street
Topsham, Maine 04086

Att: Steve E. Cullinan

Dear Sir:

Plans received for dining and kitchen areas on the 5th floor of the above building located at 400 Congress Street are hereby approved provided:

1. A curb is provided to protect roof covering at hood exhaust location.
2. The new partition (hall to kitchen area) is of fire resistant construction so that end of hood may butt.

Please note that as soon as we receive plans of alteration to air conditioning from the Fals Company, we will require fire dampers at all penetrations of fire walls in public hall and kitchen area.

A separate permit is required for the installation of the fire actuated cooking equipment under the hood, permit to be issued only to actual installer.

Please send two copies of final seating arrangements of the several dining areas - one copy for approval by the Fire Department.

Very truly yours,

Nelson F. Cartwright
Inspector

NFC/c



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, Oct. 1, 1971

PERMIT ISSUED
 OCT 5 1971 5:30
 DEPT OF BLDG. INSP
 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 400 Congress St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Maine National Bank, 400 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Fels Co., 390 Presumpscot St. Telephone 773-6431
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building Office Bldg. No. families _____
 Last use " " No. families _____
 Material brick No. stories 6 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 10.00

General Description of New Work

Alterations to heating and ventilating on 5th & 6th floors as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

Contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ ; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number of cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK - 10-5-71 N.F.C.
with memo.

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner

By:

Fels Co.
G. H. Williams

NOTES

Permit No. 71 / 1238

Location 400 Congress St

Owner Maine National Bank

Date of permit 10 / 171

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

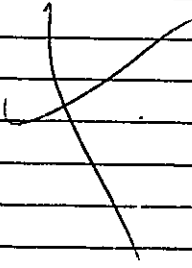
Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

3-21-72

Comp. Lotocel (H)



PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **894**

Date Issued **10-4-71**
 Portland Plumbing Inspector
 By **ERNOLD R GOODWIN**

App. First Insp.

Date

By

App. Final Insp.

Date

By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

Address 400 Congress St.		PERMIT NUMBER 894	
Installation For Bank			
Owner of Bldg Maine National Bank			
Owner's Address: same		Date 10-4-71	
Plumber: Scribner & Iverson		NO	FEE
NEW	REPL.	64 Union St.	
4		SINKS	8.00
1		LAVATORIES glass filler	2.00
1		TOILETS Disposal	.60
		BATH TUBS	
		SHOWERS	
1		DRAINS FLOOR xx SURFACE	.60
		HOT WATER TANKS	
		TANKLESS WATER HEATERS	
		GARBAGE DISPOSALS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS	
		AUTOMATIC WASHERS	
1		DISHWASHERS	.60
		OTHER	
		TOTAL	11.80

Building and Inspection Services Dept., Plumbing Inspection

PERMIT TO INSTALL PLUMBING

JUL 22 1971
 PERMIT NUMBER 1049

Date Issued 7-22-71
 Portland Plumbing Inspector
 By ERNOLD R GOODWIN

App. First Insp.
 Date JUL 22 1971
 By ERNOLD R GOODWIN

App. Final Insp.
 Date SEP 15 1971
 By ERNOLD R GOODWIN

- Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

Address		400 Congress St.		
Installation For		Bank		
Owner of Bldg.		Maine National Bank		
Owner's Address		Same		
Plumber		Sprilner & Iverson		
Plumber's Address		63 Union St.		
NEW	REF.	AUG 14 1971	NO. 7-22-71	
	2	SINKS		
	12	LAVATORIES	AUG 14 1971	1.20
	10	TOILETS		7.20
	6	BATH TUBS		6.00
		SHOWERS		3.60
	5	DRAINS FLOOR SURFACE		
		HOT WATER TANKS		10.00
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
	3	Elac. Water coolers		1.80
			TOTAL	29.80

Building and Inspection Services Dept. Plumbing Inspection

CITY OF PORTLAND, MAINE

Application for Permit to Install Wires

Permit No. 55128²⁹

Issued 7/19/71

Portland, Maine 7/15/71 1971

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee \$1.00)

Owner's Name and Address Marye West Bonie Tel. _____

Contractor's Name and Address Coastmen Electric Tel. _____

Location 400 Congress St Use Building _____

Number of Families _____ Apartments _____ Stores _____ Number of Stories _____

Description of Wiring: New Work _____ Additions _____ Alterations

Pipe _____ Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____

No. Light Outlets _____ Plugs 150 Light Circuits _____ Plug Circuits _____

FIXTURES: No. _____ Fluor. or Strip Lighting (No. feet) _____

SERVICE: Pipe _____ Cable _____ Underground _____ No. of Wires _____ Size _____

METERS: Relocated _____ Added _____ Total No. Meters _____

MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____

HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Electric Heat (No. of Rooms) _____

APPLIANCES: No. Ranges _____ Watts _____ Braided Leads (Size and No.) _____

Elec. Heaters _____ Watts _____

Miscellaneous _____ Watts _____

Transformers _____ Air Conditioners (No. Units) _____ Extra Cabinet or Panel _____

Will commence _____ 1971 Ready to cover in _____ 1971 Inspection _____ 1971

Amount of Fee \$ 7.50

Signed Raye Farber

DO NOT WRITE BELOW THIS LINE

SERVICE ..	METER ..	GROUND ..
VISITS: 1 .. 2 .. 3 .. 4 .. 5 .. 6 ..		
7 .. 8 .. 9 .. 10 .. 11 .. 12 ..		

REMARKS:

INSPECTED BY F. W. Hester
(OVER)

LOCATION *Cong. ST 400*
 INSPECTION DATE *7/23/71*
 WORK COMPLETED *7/23/71*
 TOTAL NO. INSPECTIONS
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1968

WIRING

1 to 30 Outlets \$ 2.00
 31 to 60 Outlets 3.00
 Over 60 Outlets, each Outlet05
 (Each twelve feet or fraction thereof of fluote. hting or
 any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
 Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
 Commercial (Oil) 4.00
 Electric Heat (Each Room)75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in
 Dishwashers, Dryers, and any permanent built-in appliance — each
 unit 1.50

MISCELLANEOUS

Temporary Service, Single Phase 1.00
 Temporary Service, Three Phase 2.00
 Circuses, Carnivals, Fairs, etc. 10.00
 Meters, relocate 1.00
 Distribution Cabinet or Panel, per unit 1.00
 Transformers, per unit 2.00
 Air Conditioners, per unit 2.00
 Signs, per unit 2.00

ADDITIONS

5 Outlets, or less 1.00
 Over 5 Outlets, Regular Wiring Rates

150
- 60 *300*
90 *450*
 750

400 Congress Street

June 7, 1971

Consolidated Constructors & Builders
616 Congress Street

cc to: Maine National Bank
400 Congress Street

Gentlemen:

Permit to make alterations to third, fourth and fifth floors as per plans is issued herewith subject to the following Building Code requirement.

The exit doors leading into the enclosed stairwells at both ends of these corridors are to be equipped, if not already equipped, with vestibule latchsets or equivalent.

Very truly yours,

Earle S. Smith
Plan Examiner

ESS:m



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, June 4, 1971

PERMIT ISSUED
JUN 8 1971 644
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 400 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Maine National Bank, 400 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Consolidated Constructors & Builders, Telephone _____
 Architect 616 Congress St. Specifications _____ Plans yes No. of sheets 5
 Proposed use of building bank No. families _____
 Last use _____ " _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 150,000. Fee \$ 450.00

General Description of New Work

To make alterations to 3rd, 4th & 5th floors as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

E. K. E. S. S. 6/8/71

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Maine National Bank
Consolidated Constructors

CS 301

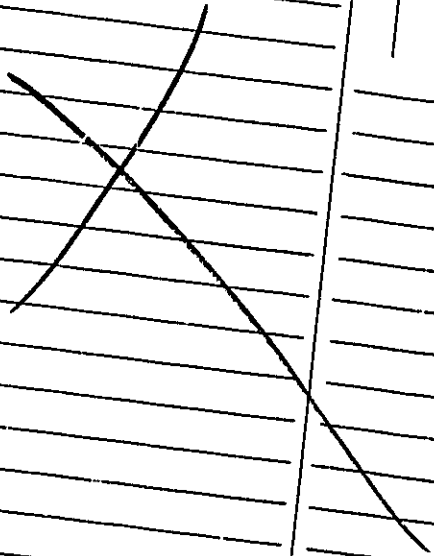
INSPECTION COPY

Signature of owner E. K. E. S. S.

NOTES

7/1/71 - W. Litchfield
O.H. C.S.D.

9/14/71 - Work about
class -
checked exit doors
& lockers 187



Permit No. 711 644 F

Location 1000 Lawrence St

Owner Dennis McLaughlin

Date of permit 6/8/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, April 2, 1971

PERMIT ISSUED
APR 7 1971
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 400 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Maine National Bank, 400 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Consolidate Constructors & Builders, Telephone 774-2626
616 Congress St.
 Architect _____ Specifications _____ Plans yes No. of sheets ± 2
 Proposed use of building _____ Bank _____ No. families _____
 Last use _____ " _____ No. families _____
 Material masonry No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 1000. Fee \$ 12.00

General Description of New Work

To construct enclosure for conveyor (ground level) on rear of building, as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber--Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.K. - 4/7/71 - C.A.A.

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Maine National Bank
Consolidated Constructors

CS 301

INSPECTION COPY

Signature of owner By: Ronald H. Curran

PC

NOTES

4/7/71 - Covered material of
and with miscellaneous
material - all.

4/23/71

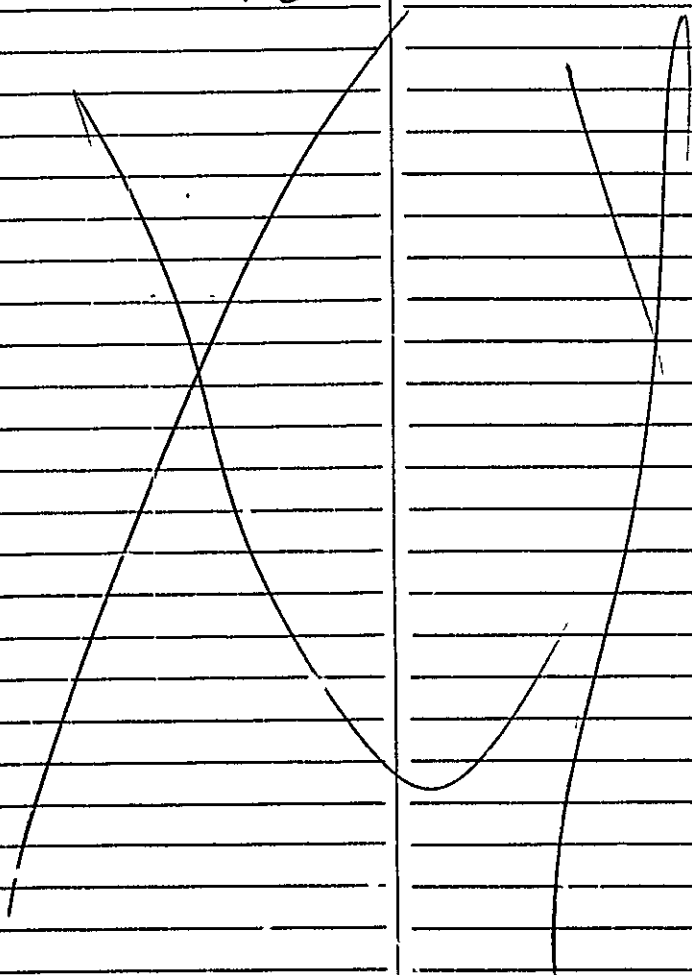
Foundation OK.

FR

4/25/71

Completed.

FR



Permit No.

911 330

Location

400 Ogden St.

Owner

Thurman Johnson

Date of permit

4/7/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

FIELD ENGINEERING

400 Congress Street

Jan. 15, 1971

cc to: Maine National Bank,
400 Congress Street

Consolidated Constructors & Builders, Inc.
616 Congress Street

Gentlemen:

Permit is issued herewith to remove concrete non-bearing walls in basement and repairing plastered ceiling subject to providing Vermiculite plaster, where required, in sufficient thickness to provide permanent fireproofing where previously required.

Very truly yours,

Earle S. Smith
Plan Examiner

ESS:m



B3 BUSINESS ZONE

PERMIT ISSUED 59

JAN 15 1971

CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, January 14, 1971

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 400 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Maine National Bank, 400 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Consolidated Constructors & Builders, Inc. Telephone _____
 Architect _____ 616 Congress St. Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Offices No. families _____
 Last use _____ " _____ No. families _____
 Material brick No. stories 3 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2400. Fee \$ 9.00
5.00 belated
 \$ 14.00

General Description of New Work

To remove concrete non-bearing walls in basement and repairing plastered ceiling

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ ; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Maine National Bank
 Consolidated Constructors & Builders

APPROVED: JAN 14 1971
E.S.S. w/memo

CS 301

INSPECTION COPY

Signature of owner By: Ronald H. Curless

PC

NOTES

Permit No. 71/59

Location 400 Carson St.

Owner *Mario M. ...*

Date of permit 1/15/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

FIELD

Staking-Out-Notice CARTM.P.I.G.M.

Form Check Notice

1-18-71 Completed

[Handwritten signature]

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 400 CONGRESS ST IN PORTLAND, MAINE

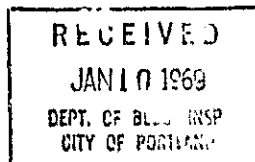
MAINE NATIONAL BANK being the owner of the
premises at 400 CONGRESS ST in Portland, Maine hereby gives
consent to the erection of a certain sign owned by MAINE NATIONAL BANK
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit MAINE
NATIONAL BANK, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within ten
days of notice from said Inspector of Buildings that said sign is in such
condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 8TH day of JANUARY 1969.

Donnelly Clark & Mfg Co.
by Anthony J. [Signature]
Witness

Maine National Bank
by J. J. Weirly JR
Owner





Plastic face-111 sq.ft. B3 BUSINESS
 Plexiglass-Und.Label.

APPLICATION FOR PERMIT TO
 SIGN OVER PUBLIC SIDEWALK

PERMIT

JAN 10 1969

CITY OF PORTLAND

Portland, Maine, January 2, 1969

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland in the following specifications:

Location 400 Congress St. Within Fire Limits? _____ Dist. No. _____
 Owner of building to which sign is to be attached Union Mutual Life Insurance Co., Congress St.
Maine National Bank, " " "
 Name and address of owner of sign Maine National Bank " " "
 Contractor's name and address Donnelly Electric & Mfg. Company, 35 Pontiac St., Boston Mass. Telephone _____
 When does contractor's bond expire? Dec. 31, 1969

Information Concerning Building Steady Lighting
tick

No. stories 5 Material of wall to which sign is to be attached _____

Details of Sign and Connections

Building owner's consent and agreement filed with application _____
 Electric? yes Vertical dimension after erection 32' Horizontal 6' & 3'
 Weight 1450 lbs., Will there be any hollow spaces? no yes Any rigid frame? yes
 Material of frame angle iron No. advertising faces 6, material plastic
 No. rigid connections 3 Are they fastened directly to frame of sign? yes
 No. through bolts none, Size _____, Location, top or bottom _____
 No. guys none, material _____, Size _____
 Minimum clear height above sidewalk or street 29' 25' M
 Maximum projection into street 5'7"

Signature of contractor by Charles J. Donnelly
Donnelly Elec Co

INSPECTION COPY

7
Permit No. 69118

Location 400 Cypress St.

Owner Main National Bank

Date of permit 1/20/69

Sign Contractor _____

Final Inspn. 1/27/69

NOTES:

1/27/69 - Work done
E. B. S.

Vertical stamp on the left side of the page, oriented sideways:

DEPARTMENT OF PUBLIC WORKS
CITY OF BOSTON
ENGINEERING DEPARTMENT
PERMIT TO EXCAVATE

Horizontal lines for notes and signatures are present throughout the page.

December 10, 1968

Charles E. Frinn III
Project Administrator
Union Mutual Life Insurance Company
400 Congress Street

Ref: Home Office Project Preliminary Plan Review

Dear Mr. Frinn:

As agreed with Mr. John Grayson of Hugh Stubbins and Associates Architects on the above project I am submitting this letter to you, the information to be forwarded to them accordingly.

We have reviewed subject plans on a preliminary basis and find nothing of any magnitude to be concerned with at this point that is in disagreement with the Portland Building Code. I hope this information will help your architects to further their final plans.

Very truly yours,

R. Lovell Brown
Director of Building Inspection

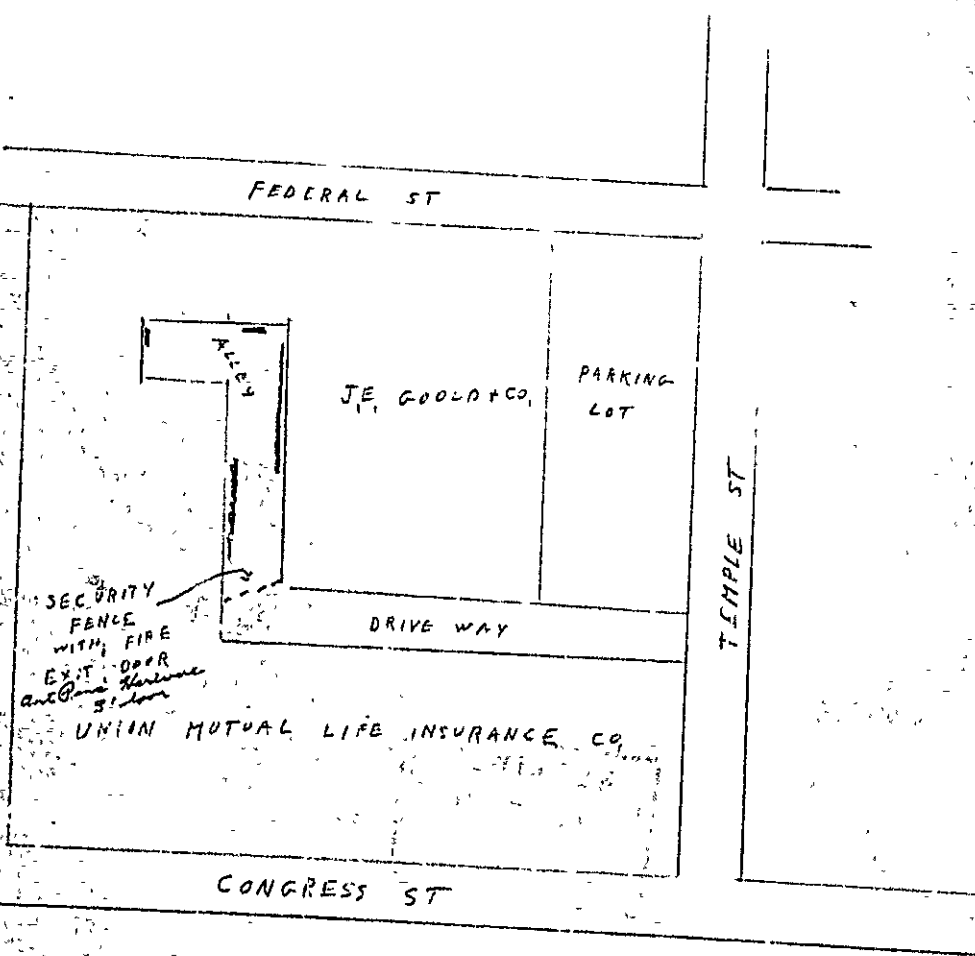
RLB:m



Union Mutual Life Insurance Company

Portland, Maine 04112
Telephone (207) 775-2361

* FIRE ESCAPE



PERMIT ISSUED

MAY 9 1968 414

CITY OF PORTLAND



APPLICATION FOR PERMIT

Class of Building or Type of Structure Fence
Portland, Maine, May 7 1968

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location P. 400 Congress St. Within Fire Limits? Dist. No.
Owner's name and address Union Mutual Life Insurance Company 400 Congress St. Telephone
Lessee's name and address Telephone
Contractor's name and address owners Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Fence No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 150.00 Fee \$ 3.00

General Description of New Work

To provide metal security fence approx. 10' high with fire exit door located in rear of buildings. 3' x 6' 8"

sent to fire dept 5/7/68
Rec'd from the Dept. 5/9/68

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewerage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Union Mutual Life Insurance Company

APPROVED:
Deputy Chief Markely 5/8/68
P.M. - 5/9/68 Allen

CS 301

INSPECTION COPY

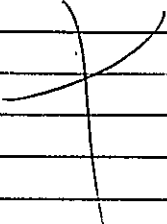
Signature of owner by: Russell J. O'M

7M

NOTES

5-24-68 Completed

AN



Permit No. 68/414

Location P. 400 Concession St. 9

Owner Union Station Hotel San Diego

Date of permit 5/19/68

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cart. of Occupancy issued

Staking Out Notice

Form Check Notice



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, November 30, 1967

PERMIT ISSUED
01304
NOV 30 1967

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 400 Congress Street

Owner's name and address First Portland National Bank, 400 Congress St. Within Fire Limits? _____ Dist. No. _____

Lessee's name and address _____ Telephone _____

Contractor's name and address F. W. Cunningham & Sons, 181 State St. Telephone 773-0246

Architect _____ Telephone _____

Proposed use of building _____ Specifications _____ Plans yes No. of sheets 1

Last use _____ No. families _____

Material masonry No. stories 3 Heat _____ Style of roof _____ No. families _____

Other buildings on same lot _____ Roofing _____

Estimated cost \$ 10,000. Fee \$ 20.00

General Description of New Work

To make alterations to computer room on 2nd floor, as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO Cunningham & Sons**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

J. E. Mc

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

First Portland National
F. W. Cunningham & Sons

Paul E. Buller

Signature of owner By:

NOTES

L-19-68 Completed

HD

X

Permit No. 67/1504
 Location 400 Cypress St
 Owner Fred [unclear] [unclear]
 Date of permit 1/30/68
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

Large ruled area for notes, mostly blank.

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **326**

Date Issued **4-16-71**

Portland Plumbing Inspector

By **ERNOLD R. GOODWIN**

App. First Insp.

Date

By

Date

By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

Address 100 Congress St.		PERMIT NUMBER 326	
Installation For: Comm.			
Owner of Bldg: Moira National Bank			
Owner's Address: Same		Date: 4-16-71	
Plumber: Scribner & Iverson Inc.		NO	
NEW	REPL	64 Union St.	FEE
		SINKS	
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS FLOOR SURFACE	
		HOT WATER TANKS	
		TANKLESS WATER HEATERS	
		GARBAGE DISPOSALS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS	
		AUTOMATIC WASHERS	
		DISHWASHERS	
		OTHER	
		Rain Leader	2.00
TOTAL 1			2.00

Building and Inspection Services Dept.; Plumbing Inspection

Switches and Receptacles:

All switches and receptacles will be flush type of standard make as manufactured by the Bryant Electric Co. or its equal. All wall receptacles will be duplex and all switches will be tumbler type. Where two or more switches come at the same location they will be ganged together under one plate. All switch and receptacle plates will have brushed brass finish.

Fixtures:

All electric lighting fixtures will be furnished and installed under this contract. On the third floor, old fixtures will be rebuilt to suit the new conditions and on the fourth floor each outlet will be equipped with a new Gill fixture consisting of a metal hanger finished in statuary bronze and a unit made of Hyperion glass capable of taking a 150 watt lamp. Each fixture will be hung the proper height from the floor.

Switchboards:

Due to the increased lighting and power load on the third and fourth floors it will be necessary to increase the size of the switchboard in the basement. Add an extension to the left wing of the Board and rearrange the distribution of cabinets. During this process service will be maintained throughout the building.

Telephones:

For the telephones a complete under floor conduit system will be installed. From the central operator's booth on each floor run 3/4" flexible conduit to each floor outlet shown on plans. A cast iron water-tight floor box with a cover and rubber gasket will be used at each telephone outlet. These floor boxes will be similar and equal to those manufactured by the Russell and Stoll Co. Above the floor on each one of these boxes a floor stud will be installed. This stud is shown in Russell & Stoll catalogue under number 2630. On each floor at points designated by the Telephone Company furnish and install two pressed steel finish cabinets and equip these with contact strips. Each cabinet will have a hinged cover and a means of fastening same.

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PLUMBING:

Vault:

In each of the five vaults, provide for fresh air intake one piece of 1 1/4" pipe with elbow and 2" nipple looking down to be built in about 1'-0" above floor. Provide one riser for outlet from basement to roof increasing in size to accommodate each vault with branch near vault ceiling. This pipe is to be connected to ventilating duct from toilets and to be so arranged that no water can pass through pipe into vaults.

3rd. and 4th. Fl. Alterations:

On the third floor install 3 closets, 2 lavatories and one urinal; on the fourth floor 2 closets and 2 lavatories, to be the same as installed in 2nd. floor toilets, with all exposed work chromium plated. Flushometers to be installed for all closets and for urinal. Extend 2" brass main to 4th floor taking off the necessary branches of brass pipe to all fixtures.

Extend and circulate the brass piping for hot water to all lavatories.

Install wastes from all fixtures and vent same as may be required by Plumbing Code of City and State. All is to be done in a first class manner.

HEATING AND VENTILATING:

Ventilation of toilets in connection with vault construction.

Furnish and install sheet metal ducts, grilles, fans, motor, fan foundation, wiring for motor, for ventilating six toilets in Congress Street building and in toilets in the Exchange Street building.

Install vent hood in roof over cone. Also include connecting the iron pipe vent from vaults into this duct. Entire work guaranteed to give satisfactory results.

Heating:

3rd. and 4th. Floors:

Corte or equal radiation is to be installed in the following offices:

3rd Floor:

Vice President's office	1 radiator
Stenographer's	1 "
Secretary's	1 "
Asst. Sec'y	1 "
Cashier's	1 "
Hall	1 "
Actuary	1 "
General Office	1 "

Radiators in each of above offices to be 25" high, 10 glass, located under windows.

4th. Floor:

Stenographer's office	1 radiator
Cashier's	1 "
Mr. Swetzer's	3 "
Mr. Springs	1 "
Mr. Springs' Conference Room	1 "
Conference Room	1 "
Mr. Oakley's Office	1 "
President's office	2 "
President's Conference	2 "
President's toilet	1 "
Store Room	1 "
Salon Office	1 "

Each of these radiators to be 20" high, 10 glass, located under windows.

Percent radiator under window where new 4th floor entrance to vault occurs is to be relocated.

Heating & Ventilating Cont:

Heating Cont:

Furnish all the necessary pipe, fittings, hangers, Crane Company's radiator valves, Dole automatic air valves, labor, etc., to make this installation complete in every detail.

RECEIVED
MAY 23 1938
MAY 23 1938

Union Mutual

2702

all structural beams over 1.5" deep - 2" fireproofing

sky lights 31 & d

Pent House - interior equal inside & out

Anchor cornice

Protected windows



GENERAL BUSINESS PERMIT No. 1

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class NOV 20 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Portland, Maine, October 15, 1929

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 395 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Union Mutual Life Insurance Co. 395 Congress Telephone _____

Contractor's name and address F. W. Cunningham & Sons, 181 State St. Telephone _____

Architect's name and address Hubert & Griffin 187 Middle St. Telephone P 5390

Proposed use of building Offices

Other buildings on same lot _____ No. families _____

Description of Present Building to be Altered

Material brick No. stories 4 Heat _____ Style of roof mansard Roofing slate

Last use Offices No. families _____

General Description of New Work

To remove exterior walls and rebuild
To replace present mansard roof with flat roof

Preliminary permit 10/15/29 for "tearing out and excavation only"

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof flat 6" to foot Roof covering Tar and gravel 5 ply

No. of chimneys no Material of chimneys _____ of lining _____

Kind of heat no change Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof as per plans

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets _____

Estimated cost \$ 22,000. Fee \$ 60.00

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY Signature of owner By F. W. Cunningham & Sons, Thomas P. Gallona

4244

Ward - 4 Permit No 27/5454 P
 Location 396 Congress St
 Owner - Union Mutual Life Ins Co
 Date of permit 10/20/29
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy Issued

NOTES

11/25/29 - Erecting truss
 for new roof. Wrecking
 old roof. A.J.S.
 12/15/29 - Wrecking
 old roof & joists
 A.J.S.
 12/18/29 - Putting in
 new structural steel
 system for carrying
 the floor. One finished
 from pref. trusses
 A.J.S.
 12/21/29 - Pulling in
 steel & starting laying
 out outside wall
 1/20/30 - Laying out
 side wall

will be fireproofed
 with terra cotta
 concrete. Told
 about fire stops between
 floor timbers over
 steel beams suspended
 from roof timbers.
 Also about metal
 fire stops between tim-
 bers where brick walls
 have wooden strap-
 hings. How about
 stop at top floor
 ceiling level? - A.J.S.
 12/31/29 Talked with
 Mr. Nisbet & he says
 terra cotta
 is to be used.
 1/6/30 - Told Mr. Ward
 it is O.K. to let par-
 titions on third &
 fourth floors. Fire stop
 pins on brick walls
 where wooden strap-
 hings is used to be
 taken care of. - A.J.S.
 1/8/30 - Fire stopping
 on brick walls third
 floor completed.
 1/11/30 - Fire stopping
 on steel joists on
 floor at top level
 completed. - A.J.S.
 1/13/30 - Starting on

wall of third story.
 A.J.S.
 1/22/30 - Anchors on
 top of timbers of fourth
 floor to be removed &
 timbers carried on
 steel by timber
 hangers. Old shaft
 in south wall of
 building to be stopped
 at each floor level.
 A.J.S.
 1/24/30 - Permission
 given to close in
 about half of third
 & fourth floor. - A.J.S.
 1/29/30 - Permission given
 to close in other half
 of third floor. - A.J.S.
 2/5/30 - Vent from
 inside toilet into
 clover system is 15X19
 15X19 = 285 sq. in. actual
 = 4 vents X 56 sq. in. = 224 sq. in.
 required. Plastering
 about all done. - A.J.S.
 3/11/30 - Work pretty well
 along. - A.J.S.
 4/18/30 - Windows in
 alley in new section
 of wall are metal
 sash & wregless. - A.J.S.

HUTCHINS & FRENCH-ARCHITECTS
11 BEACON STREET-BOSTON-MASS.

November 25, 1929

Building Department,
City Hall,
Portland, Maine

Attention of Inspector of Buildings,
Re: Alterations and additions to
Portland National Bank, Portland, Maine

Gentlemen:

Two plans, drawing #24 and #25, and twelve sheets of computations accompanying the same, covering the erection of alterations and additions to the Portland National Bank have been designed and drawn up by the undersigned according to the latest rules of engineering practice and to comply with the allowable working stresses, floor loads, etc., required by the building code of the City of Portland.

Very truly yours,

HUTCHINS & FRENCH

Per

W. Bruce Davis

VBD:EC

29/495

#8898

April 11, 1929

F. J. Cunningham & Sons
181 State Street
Portland, Maine

Gentlemen:

Enclosed is the building permit covering alterations to the Portland National Bank.

The following details are called to your attention as mentioned to Mr. Fallon over the telephone.

The proposed steel spandrel beams over the Congress Street entrance are to be fire-proofed.

Provisions are to be made to adequately ventilate the men and women's toilet rooms on the second floor.

Between the public space in the bank part of the first story and the Congress Street lobby, there is to be an open grille only and it is understood that the doors in this grille are to be open at all times during business hours. The doorway leading from this same public space to the Exchange Street corridor is to be equipped with doors that swing outward, that is toward the corridor, or with double-acting doors.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings.

WM:HO
CC-Mutchins & French



APPLICATION FOR PERMIT

Permit No. 6498
APR 17 1929

Class of Building or Type of Structure Second Class
Portland, Maine, April 9, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 596 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1
Owner's or Lessee's name and address Portland National Bank Telephone _____
Contractor's name and address E. W. Cunningham & Sons, 181 State St. Telephone 1580
Architect's name and address _____ No. families _____
Proposed use of building Bank and Office building
Other buildings on same lot _____

Description of Present Building to be Altered
Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Last use bank and office building No. families _____

General Description of New Work

To make alterations to entrance and first floor of building as per plans submitted
To make alterations on second floor as per plan submitted
Entrance doors to be double action

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? _____ Size of service _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and ~~ceiling~~ partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and ~~ceiling~~ posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application? yes No. sheets 9 Fee \$ 21.50
Estimated cost \$2000-30,000.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes
Signature of owner By Portland National Bank
E. W. Cunningham & Sons
J. J. Connelly

INSPECTION COPY

989

Word 4 Permit No 29/498

Location 396 Congress St.

Portland Natl Bank

Date of permit 4/11/29

Notif closing-in

Inspn. closing-in

Final notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

Work on 2nd floor
toilet under contract
4/22/29 W.L.

Contractor suit p. 10
- started to leave from
project 4/22/29

Check entrance doors
on first

This work closed
without delay

7/5/29 - Work pretty
well along. Mooth
trim and inside
w. floors to Exchange
By one double acting
90

8/1/29 - Work practically
done except for
minor trim in
ing office. C.L.G.

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

PERMIT ISSUED
Permit No. 633

APR 1 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, March 27, 1929

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 326 Congress Street Ward 4 Within Fire Limits? Yes Dist. No. 1
 Owner's or Lessee's name and address Union Safe Deposit & Trust Co.
 Contractor's name and address F. W. Cunningham & Sons, 152 State St. Telephone F 6500
 Architect's name and address _____ Telephone F 6500
 Proposed use of building Offices
 Other buildings on same lot _____ No. families _____

Description of Present Building to be Altered
 Material brick No. stories 5 Heat _____ Style of roof mansard Roofing metal
 Last use Offices No. families _____

General Description of New Work

To remove non-bearing partitions on second floor and relocate
 To cut in three openings in bearing partitions and supporting with steel beams supported on pipe columns - second floor
 Preliminary Permit 3/28/29 - to cover removal of non-bearing partitions and partitions other than those affecting the corridors only.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
 Oil burner, name and model _____
 Capacity and location of oil tanks _____
 Pipes fitting involved? _____ Size of service _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Joists and rafters: _____
 On centers: _____
 Maximum span: _____
 Storey building with masonry walls, thickness of walls? _____ height? _____

If a Garage

Cars now accommodated on same lot _____ to be accommodated _____
 Number commercial cars to be accommodated _____
 Automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Does work require removal or disturbing of any shade tree on a public street? no
 As part of this application? yes No. sheets 1
 Cost \$ 1000 Fee \$ 1.00
 In charge of the above work a person competent to see that the State and City requirements pertaining thereto
 Yes _____
 Signature of owner F. W. Cunningham & Sons
 By J. J. Connolly

470

" 217383
 Congress St.
 Union Safe Deposit
 Date of permit 4/1/29
 Closing-in 4/4/29 - 9:44 AM
 Closing-in
 Final Inspn. 4/16/29 cll
 Cert. of Occupancy issued

NOTES

~~Work under concrete
 formwork to not
 before closing in
 4/3/29 cll~~

~~R.T. Furniture for
 sidewalk 4/5/29 cll~~

~~Elect. Tag not
 A. J. held up
 to roof 4/5/29 cll~~

~~To notify when Cols. in
 place 4/6/29 cll~~

Sally 4/11/29
 over

Sally Col. rest on
 3 Beams no drums
 five bolts at foot, one
 to be set in cement
 4/7/29 cll

Cols. all closed in
 or plastering nearly
 done 4/16/29 cll



PERMIT ISSUED

Permit No. 6775

MAY 7 1928

APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd

Portland, Maine, May 4 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~the~~ following building structure ~~and~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 395 Congress St. Ward 4 Within Fire Limits? yes Dist. No. 1

Owner's or lessor's name and address Union Mutual Life Ins. Co. Same Telephone _____

Contractor's name and address Morganier & Jones 319 31 Pearl St. Telephone F 3060

Architect's name and address _____ Telephone _____

Proposed use of building Offices No. families _____

Other buildings on same lot _____

Description of Present Building to be Altered

Material Brick No. stories 5 Heat _____ Style of roof _____ Roofing _____

Last use Offices No. families _____

General Description of New Work

Attach counter-balanced ladder to present fire-escape
2nd floor to 3rd.

NOTIFICATION BY THE CITY
OF PORTLAND
THAT THE
REQUIREMENT IS WAIVED

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? no No. sheets _____

Estimated cost \$ 500 Fee \$.75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining the

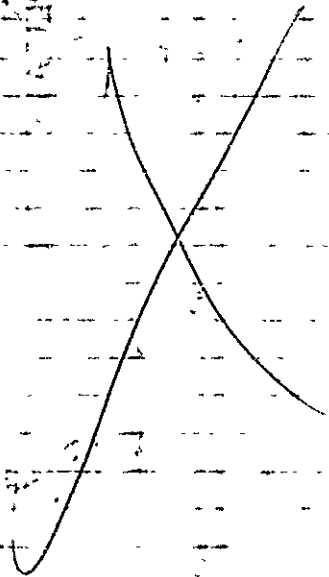
are observed? _____

APPROVED _____ Signature of owner Union Mutual Life Ins. Co.

INSPECTION COPY _____ CHIEF OF FIRE DEPT.

Permit No. 28/775
Location 396 Congress St.
Owner Union Mutual Life Co.
Date of permit 5/7/28
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 5/31/28 MC
Cert. of Occupancy issued _____

NOTES



923445

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$55. Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Recoil Mgt Corp / FDIC Phone # _____
 Address: _____ (former Maine Nat'l Bank)
 LOCATION OF CONSTRUCTION: 400 Congress St.
 Contractor: Favreau's Electric Sub: 725-2005
 Address: PO Box 590- Brunswick, ME Phone # 04011
 Est. Construction Cost: 7000 Proposed Use: office bldg w fire alarm
Neil Favreau M #03538 Past Use: office bldg
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: IMHXKX Install fire alarm system - entire, CBQ bldg

For Official Use Only

Date: 2/20/92 Subdivision _____
 Inside Fire Limits _____
 Bldg Code _____ Ownership _____
 Time Limit _____
 Estimated Cost: 7000

PERMIT ISSUED
 FEB 25 1992
 CITY OF PORTLAND

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____
 Special Exception _____
 Other (Explain) _____

* Temporary system* - per I.C. Garroway

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage: _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase
 Signature of Applicant Neil Favreau Date 2-20-92
 CEO's District 2
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO MR. IRVIN

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

White - Tax Assessor

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type	Inspection Record	Date
<i>2nd Insp - N/A</i>		<i>3 120 199</i>
<i>Progress Insp - N/A</i>		<i>3 125 199</i>
		<i>8 110 199</i>
		<i>1 1</i>
		<i>1 1</i>

COMMENTS *at @ F.D.; 8/10/99 - Discussed this @ Lt. Garraway -
 This temporary system has been approved until a tenant moves in
 then the system is to be upgraded - owner notified;*

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Neil H. [Signature] *37 JORDAN HLD. ARANSWICH CT 04011* *725-2005*
 SIGNATURE OF APPLICANT ADDRESS PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE PHONE NO.

BUILDING PERMIT REPORT

Date: 2-22-92

Address: 400 Congress St

Reason for Permit: install Fire Alarm System - "Temporary"

Building Owner: Recall Mfg Corp / EDIC

Contractor: Favorous Electric

Permit Applicant: Neal Favorous

Approved: NA Denied: _____

Conditions of Approval or Denial:

1. All required Fire Alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
2. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
3. Any Master Box connected to the Municipal Fire Alarm System shall have a supervised Municipal Disconnect Switch.
4. All Master Box locations shall be approved by the Fire Department Director of Communications. A Master Box shall be located so that the center of the box is (5') five feet above finished floor.

5. Note: The intent of this installation is to provide temporary fire detection in this vacant building
not intended to satisfy Fire Prevention or Life Safety Code requirements for an occupied building

1el
7/16/91

Fire Department



Joseph E. Thomas, Jr.
Chief of Department

CITY OF PORTLAND

Mr. Craig Moore
Dirigo Management Company
45 Exchange Street
Portland, Maine 04101

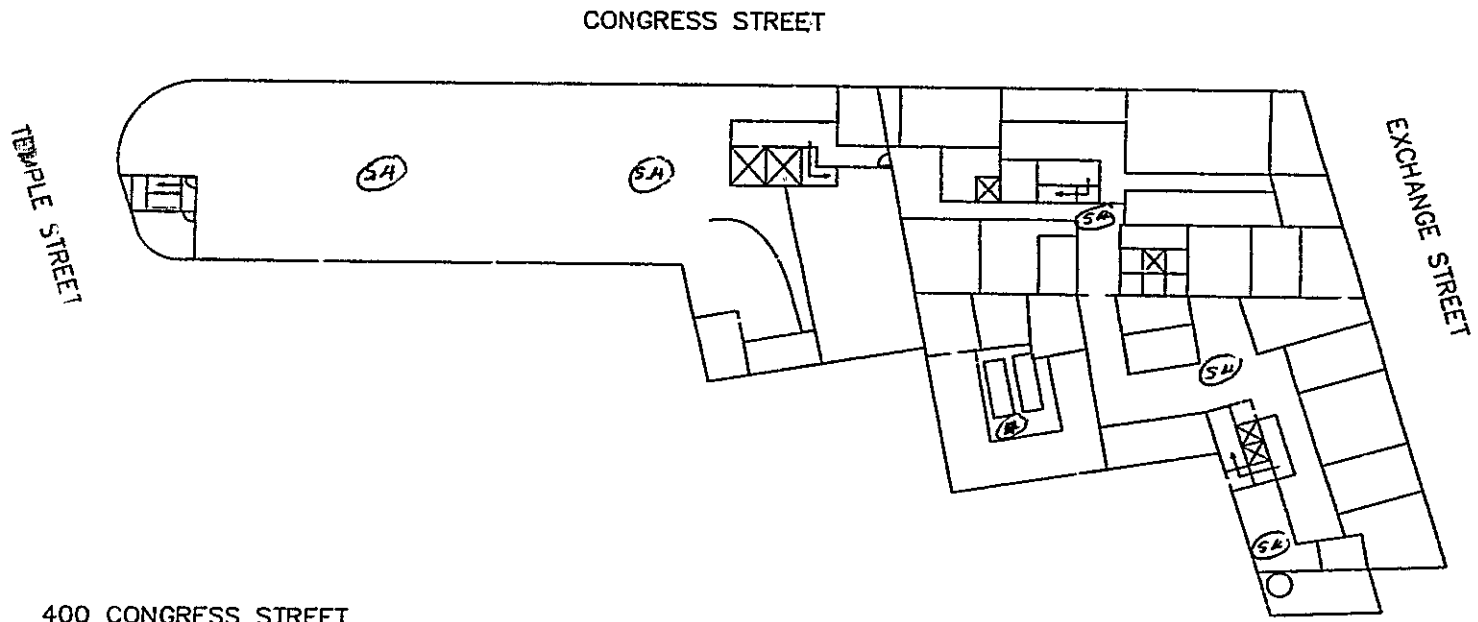
February 18, 1992

Re: 400 Congress Street

Dear Sir:

This letter is a follow up to our tour of 400 Congress Street on January 9, 1992. The following list of requirements is a result of my discussion of the building and its deficiencies with the Chief of Department.

1. All existing fire doors shall be shut.
2. All shafts that are accessible, including discontinued elevator shafts, shall be clearly marked with signs at all points of access.
3. All mechanical spaces and access doors to mechanical penthouses shall be clearly marked by signs.
4. If the building is to be heated, then the existing standpipe shall be kept in service.
5. An automatic fire detection system shall be provided. This system is not intended to satisfy the Life Safety Code requirements for an occupied building but is intended to provide a method of monitoring each smoke or fire compartment on each floor with at least one smoke detector and hopefully provide reasonably early detection of any fire. This fire alarm system shall be monitored by either the Municipal Fire Alarm System or an approved U. L. listed Central Station.
6. The phone numbers of day and night managers or emergency respondents shall be made available to the Fire Department Dispatcher and posted at the entrances of the building.



400 CONGRESS STREET

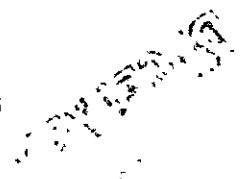
BASEMENT

SCALE @ 1"=40'

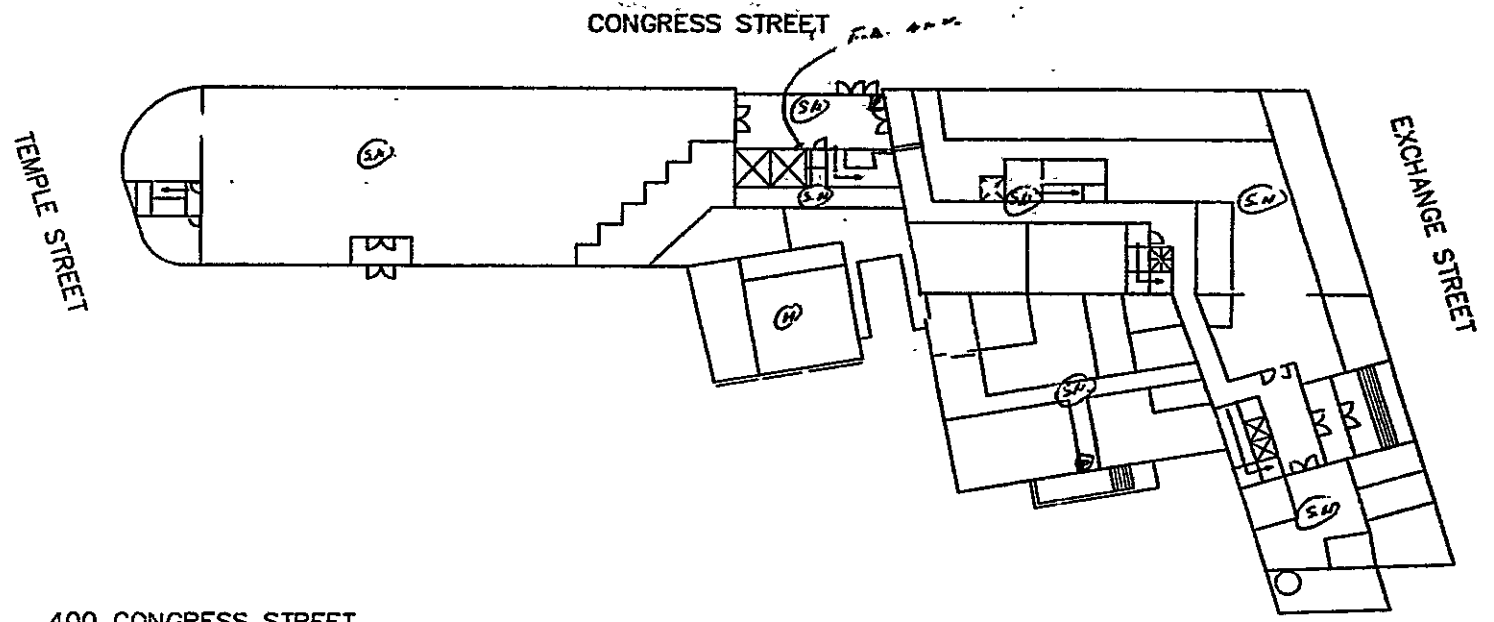
PRELIMINARY PLANS

NOT VERIFIED

FEDERAL STREET



- 35 S. B. = SASH/DOOR UNIT
- 4 H. = HALL DOOR
- 2 M = MAIL STATION
- 4-5 F. A. H. = F. A. HALL LIGHT UNIT
- 1 A. H. = RECEPTION AREA UNIT



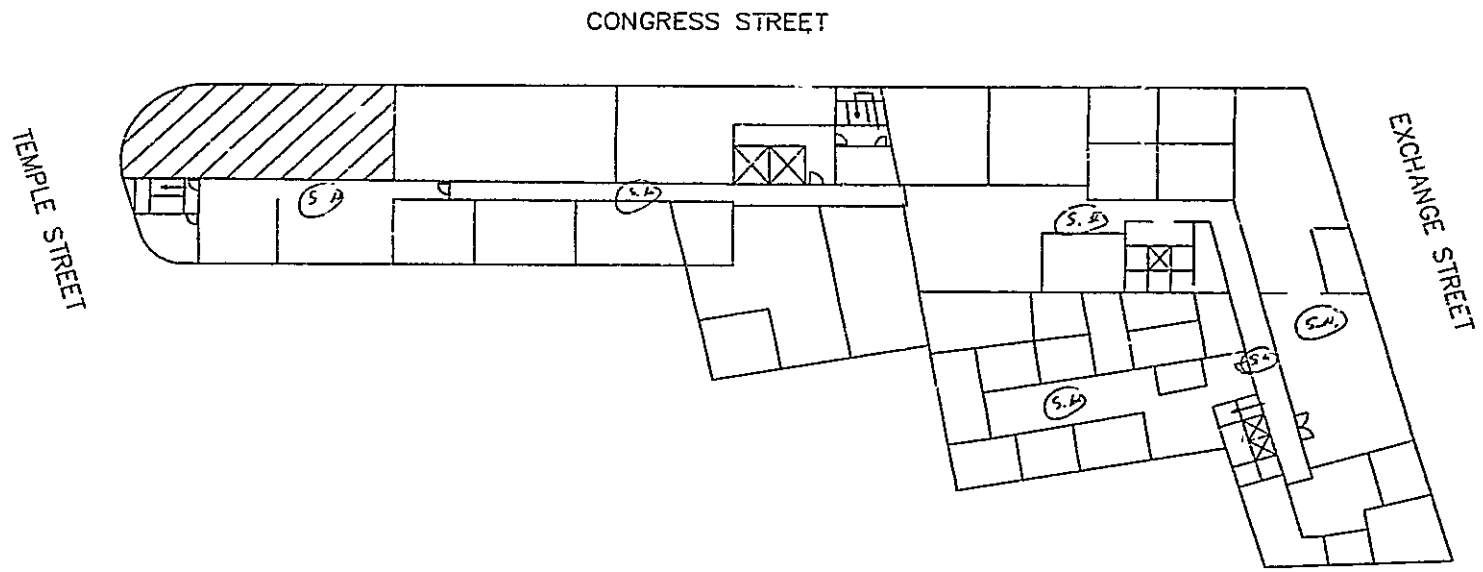
400 CONGRESS STREET

1ST FLOOR

SCALE @ 1"=40'

PRELIMINARY PLANS

NOT VERIFIED



400 CONGRESS STREET

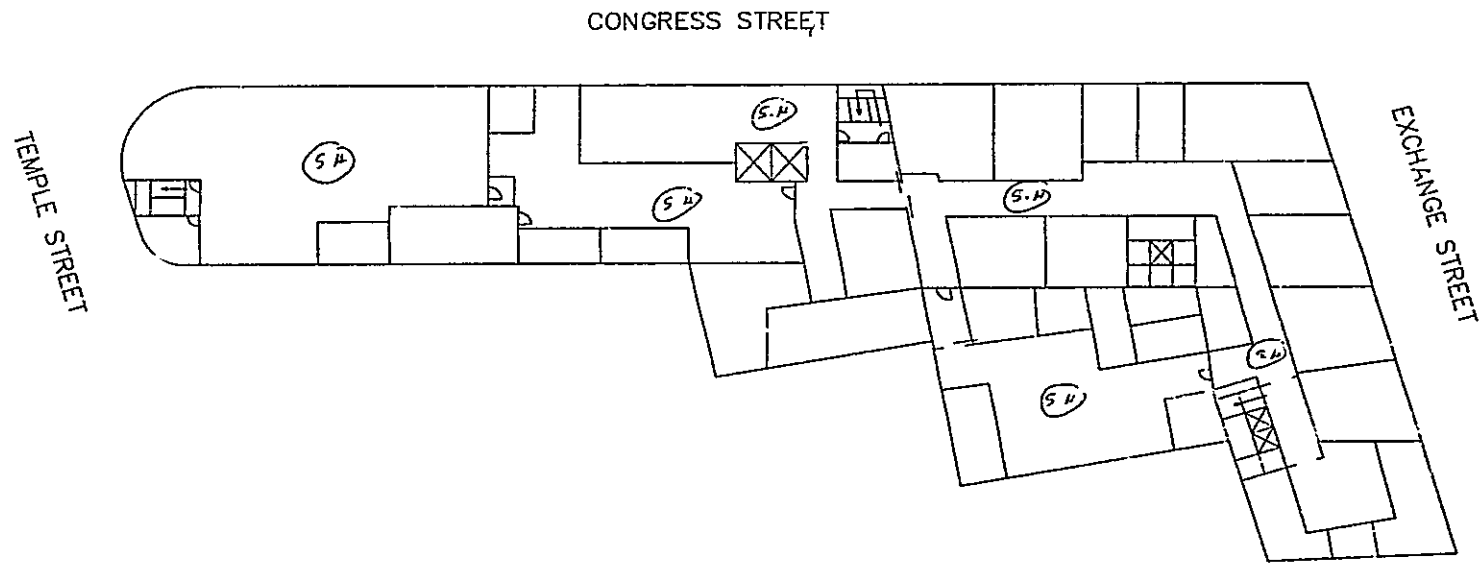
FEDERAL STREET

2ND FLOOR

SCALE @ 1"=40'

PRELIMINARY PLANS

NOT VERIFIED



400 CONGRESS STREET

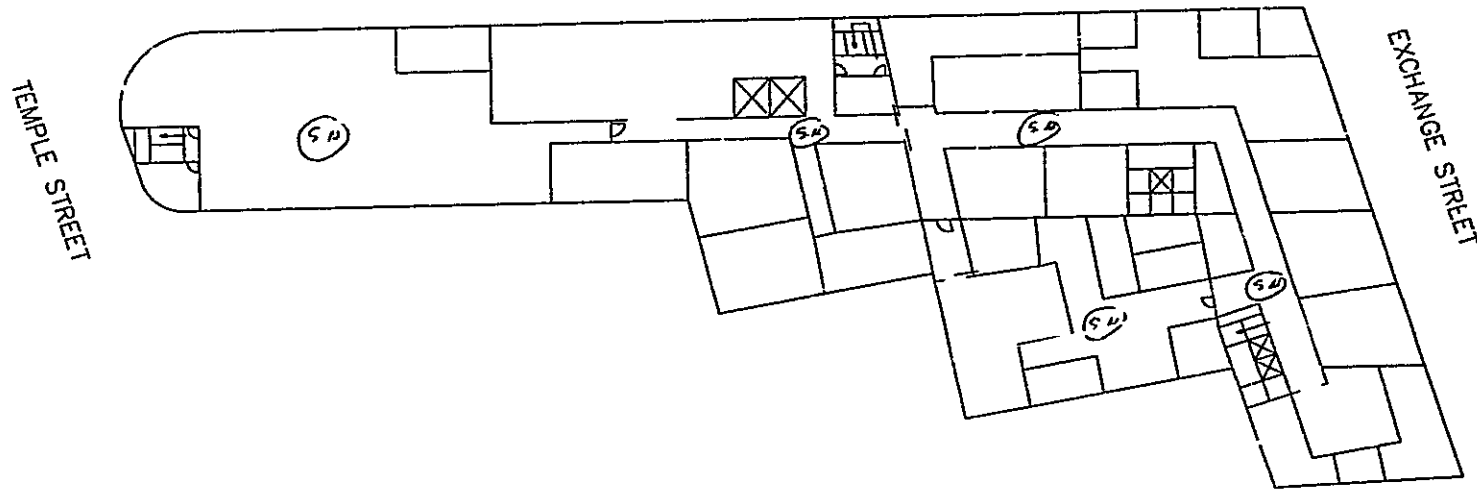
FEDERAL STREET

3RD FLOOR

SCALE @ 1"=40'

PRELIMINARY PLANS

NOT VERIFIED



400 CONGRESS STREET

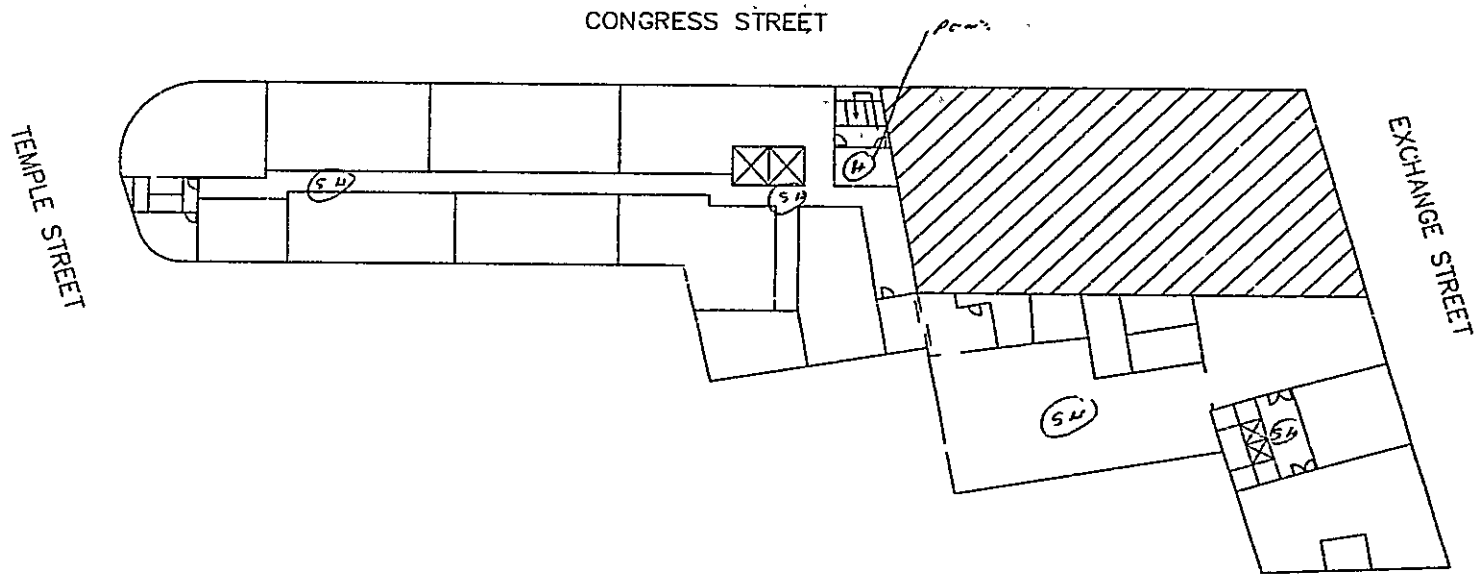
4th FLOOR

SCALE @ 1"=40'

PRELIMINARY PLANS

NOT VERIFIED

FEDERAL STREET



400 CONGRESS STREET

5th FLOOR

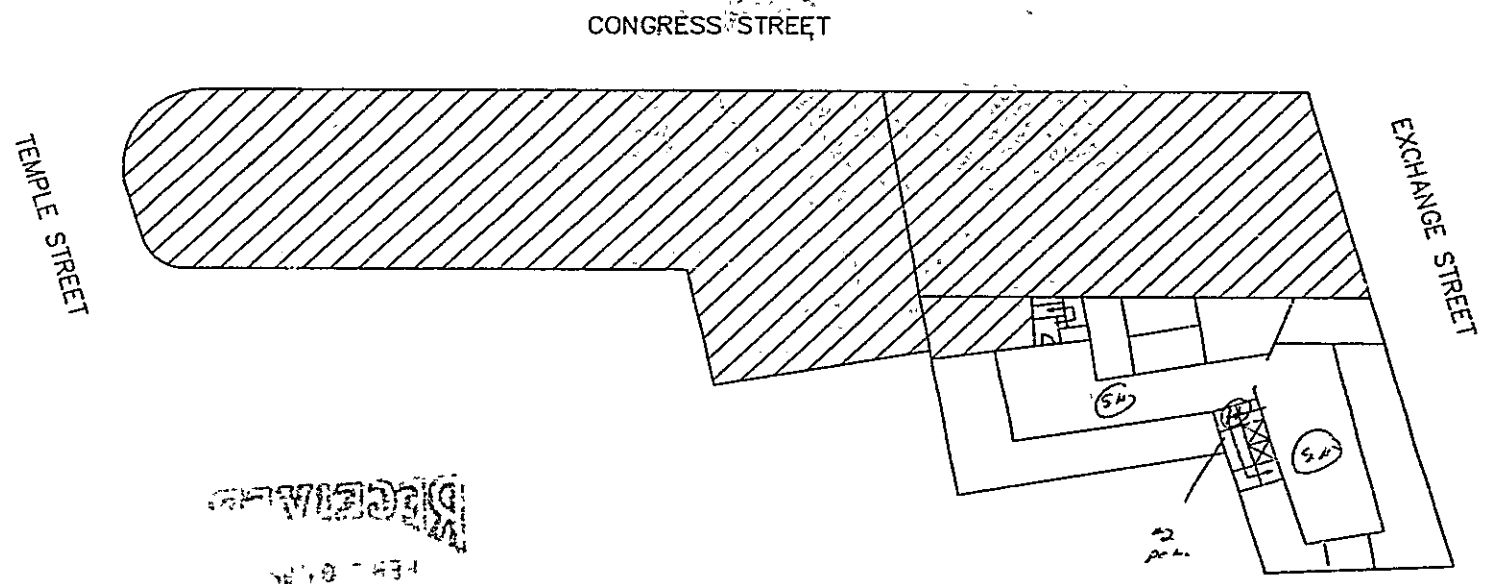
SCALE @ 1"=40'

PRELIMINARY PLANS

NOT VERIFIED

Handwritten notes:
APR 15 1970
L.A. COUNTY ARCHITECTURE DEPARTMENT
DRAWING NO. 111

FEDERAL STREET



CONGRESS STREET

TEMPLE STREET

EXCHANGE STREET

FEDERAL STREET

400 CONGRESS STREET
CALL OFFICE TO VIEW
DRAWING

6th FLOOR

SCALE @ 1"=40'

PRELIMINARY PLANS

NOT VERIFIED