

Ward 3 Permit No. 30/1780

Location 51 1/2 Exchange St.

Owner R. H. Rivers

Date of permit 8/21/30

Notif. closing-in _____

Inspn. closing-in _____

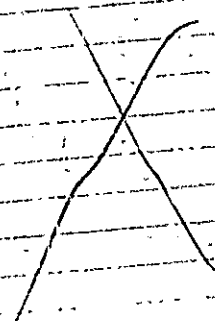
Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

NOTES

9/21/30 - Work done - J.P.





Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, 7-12-13 701.

To the

INSPECTOR OF BUILDINGS:

66-68 Market St.

The undersigned applies for a permit to alter the following-described building:—

Location, 5 1/2 & 53 Exchange St. Wd. 3

Name of owner is? Albert S. Ruess Address, _____

Name of mechanic is? Owner by Day " _____

Name of architect is? A. Longenecker " J.M.C. G. Bldg.

Material of building is? Brick Style of roof? Shingled Material of roofing? Shingle

Size of building, feet front? 38 1/2 feet rear? 38 1/2 feet deep? through No. of stories? 4

Size of L, feet long? _____; feet wide? _____; feet high? _____; No. of storeys? _____; roof? _____

No. of feet in height from sidewalk to highest point of roof? _____ Material of foundation? _____

Thickness of external walls? _____ Party walls? _____ Distance from line of street? _____ Width of street? _____

What was the building last used for? Post Office How many families? _____ Number of storeys? 2

Nature of egress? Staircase Size of lot front? _____; rear? _____; deep? _____

Building to be occupied for same after alteration. Estimated cost? \$4500

DETAIL OF PROPOSED WORK.

To remove take out old staircase and change location of partitions and install new heating plant new pent-house. Wood covered with iron.

IF EXTENDED ON ANY SIDE.

Size of extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____

No. of stories high? _____; style of roof? _____, material of roofing? _____

Of what material will the extension be built? _____ Foundation? _____

If of brick, what will be the thickness of external walls? _____ inches; and party walls _____ inches.

How will the extension be occupied? _____ How connected with main building? _____

Distance from lot lines:— Front? _____; side? _____; side? _____; rear? _____

WHEN MOVED, RAISED OR BUILT UPON.

Number of stories in height when moved, raised or built upon? _____ Proposed foundations? _____

Number of feet high from level of ground to highest part of roof to be? _____

Distance back from line of street? _____ Distances from lot lines when moved? _____

Distance from next buildings when moved? _____; front? _____; side? _____; side? _____; rear? _____

How many feet will the external walls be increased in height? _____ Party walls? _____

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED.

Will an opening be made in the party or external walls? _____ in _____ for _____

Size of the opening? _____ How protected? _____

How will the remaining portion of the wall be supported? _____

Signature of owner or authorized representative,

Albert S. Ruess
By D.P. Parker

Address, _____

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK.



51 1/2 - 53 Exchange St.

FINAL REPORT.

..... 191 .
Has the work been completed in accordance with
this application and plans filed and approved?

Law been violated? ... Doc. No. ... of 191 .

Nature of violation?

PERMIT GRANTED.

..... 7-12-..... 191 3
Permit filled out by *J. A. R.*

Permit number

Location ... *Exchange St.*

Violation removed when? 191 .

Estimated cost of alterations, etc., \$

Inspector of Buildings.

City of Portland, Maine
IN BOARD OF MUNICIPAL OFFICERS

June 4, 1945

Adopted 6/4/45

ORDERED:

That the building permit to cover construction of an open metal fire escape required for means of egress to extend over the public sidewalk at 57 Exchange Street be and hereby is approved, in accordance with the provisions of Section 211-3-4 of the Building Code.



Original Permitted 15/222
PERMIT ISSUED
 Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT 1945

Portland, Maine, May 31 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 15/222 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Garage Barn Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Phillip Clifford

Contractor's name and address Goring & Clark, 65 Portland Street

Plans filed as part of this Amendment Yes No. of Sheets 5

Is any plumbing work involved in this work? Yes Is any electrical work involved in this work? Yes

Increased cost of work \$1,500. Additional fee \$15.00

Framing Lumber: Kind? _____ Dressed or Full Size? _____

Description of Proposed Work

To help identify & flag as per plan submitted.

5/26/45
5/26/45
 Phillip Clifford
 Goring & Clark

Approved: _____

Chief of Fire Department.

By: _____
 Signature of Owner Goring & Clark
W. Fred Goring
 Approved: _____
 Inspector of Buildings.

File
 INSPEC. ON COPY Commissioner of Public Works.



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 0126

FEB 4 1941

Class of Building or Type of Structure Second-Class

Portland, Maine, February 4, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect or alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 57 Exchange Street Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address H. H. Clifford Co. 57 Exchange St. Telephone

Contractor's name and address F. P. & C. H. Murray, South Portland P. O. #1 Telephone 2-1621

Architect Edgewater & Poston (for their own occupancy) Plans filed yes No. of sheets 1

Proposed use of building offices No. families

Other buildings on same lot

Estimated cost \$ 300 Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 5 Heat Style of roof Roofing

Last use Offices No. families

General Description of New Work

To make alterations to fifth floor of building as per plan submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber--Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 1-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner W. H. Clifford Co.

INSPECTION COPY



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
October 3, 1963
Portland, Maine,

PERMIT ISSUED

01349
C.T. 15 363

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 57 Exchange St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address W.H. Clifford Company 57 Exchange St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owners Telephone 773-3646
Architect _____ Specifications Yes Plans Yes No. of sheets 6
Proposed use of building Office Building No. families _____
Last use _____ No. families _____
Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 20,000.00 Fee \$ 40.00

General Description of New Work

Sent to Fire Dept. 10/9/63
From Fire Dept 10/14/63

- To relocate existing inside stairway from first to fourth floor.
- To cut in outside entranceway (Market St. side of building).
- To remove existing non-bearing partitions on 2nd and third floors.
- To erect several non-bearing partitions on 2nd and 3rd floors. 2x4 studs 16" o.c. covered with 5/8" sheetrock.
- To close up existing inside stairwells one on each floor.
- All as per plan and specifications.

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ Depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Carl E. Johnson
CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

W Clifford Company

CS 101

INSPECTION COPY

Signature of owner

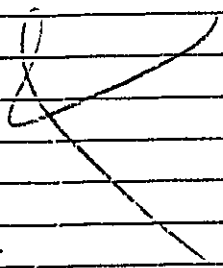
by:

A. J. Lund

7M

NOTES

11-5-63 OK to close in
 elevator + stair wells
 12-18-63 Work continued
 1-30-64 Stair way
 about done. Inside
 fire shield on Elevator
 90% in *SPH*
 6-16-64 Comp. Pict. *SPH*



Permit No. 63/1349

Location 57 E. Lincoln St.

Owner N. H. DeWitt Co.

Date of permit 10/15/63

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

10.23

Memorandum from Department of Building Inspection, Portland, Maine

AF- 57 Exchange St.

October 15, 1963

A. J. Lund
W. H. Clifford Company
57 Exchange Street

cc to: George A. Hunt
New England Fire Insurance Rating Assn.
434 Congress Street

Dear Mr. Lund:

Sprinkler system will need to be adjusted to meet the new partition arrangement. A separate permit issuable only to the actual installer will be needed for this work.

A separate permit will be needed for the new fire escape and with application therefor will need to be filed a plan of the proposed structure. Since the fire escape is to project over the public sidewalk, approval of the permit by the Municipal Officers before issuance will be necessary. For this reason permit application should be filed as soon as possible.

Very truly yours,

Gerald E. Mayberry
Deputy Building Inspection Director

GEM:m

Memorandum from Department of Building Inspection, Portland, Maine

AP- 57 Exchange St.

October 15, 1963

RECEIVED
DEC 16 1963
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

A. W. Lund
W. H. Clifford Company
57 Exchange Street

George ...
... insurance rating Assn.
434 Congress Street

Dear Mr. Lund:

Sprinkler system will need to be adjusted to meet the new partition arrangement. A separate permit issuable only to the actual installer will be needed for this work.

A separate permit will be needed for the new fire escape and with application therefor will need to be filed a plan of the proposed structure. Since the fire escape is to project over the public sidewalk, approval of the permit by the Municipal Officers before issuance will be necessary. For this reason permit application should be filed as soon as possible.

Very truly yours,

Gerald E. Nayberry
Deputy Building Inspection Director

N. E. FIRE INS. RATING ASSN.

REC'D OCT 13 1963
PORTLAND, MAINE

*Sprinkler system adjustments satisfactory
performed by a recognized
Sprinkler Contractor*
K. Hunt

CS-27

W. H. CLIFFORD COMPANY
57 EXCHANGE STREET
PORTLAND, MAINE

PHILIP G. CLIFFORD, CLERK AND TREAS.

WILLIAM H. CLIFFORD, PRES.

SPECIFICATIONS FOR REMODELING 57 EXCHANGE STREET BUILDING

Basement Entrance

- Removing coal bin and building new bin in boilerroom
- Removing closets in area shown on plan of new entrance to elevator
- Installing new door with vestibule lock
- Cutting through brick walls for new entrance to elevator, using 4 - $3\frac{1}{2}$ x $3\frac{1}{2}$ x $3/8$ steel angles for lintels
- Removing middle stairway to first floor and closing in floor as shown on plan #5
- Removing wooden door to boilerroom and installing steel fire door with closer
- Closing in old doorway to elevator with 2 x 4 studs and $5/8$ fire code sheetrock two sides
- All electric equipment to be removed from boilerroom, to be relocated in entrance hall

Elevator Shaft

- All open walls of shaftway to be studded 16" on centers and covered two sides with $5/8$ fire-clad sheetrock
- Elevator and elevator doors to be installed by others

Stairway

- All center stairways from first floor to fourth floor to be removed and built in new location as shown on plans; treads to be not less than 9" and risers to be not more than $6\frac{1}{2}$ " high
- Handrail to be installed on all stairs, all new walls to be 2 x 4 studs 16" on centers, covered two sides with $5/8$ " fire clad sheetrock
- Doors on each floor to be solid core doors, labeled with automatic closers
- Treads to be solid pine with rubber treads
- The remaining stair wells to be closed in with 2 x 10 floor timbers 16" on centers, covered with 1" hemlock boards and $5/8$ plywood

General

All other work, closing in doors and new partitions, will be done according to the city building code and in the best building workmanship manner

New fire-escape, plumbing, heating, electric and sprinkler work to be done by others

RECEIVED
OCT 3 1983
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND



B3 BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

MAY 22 1968

48

Class of Building or Type of Structure Second Class

Portland, Maine, May 21, 1968

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 57 Exchange St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address W.H. Clifford Co. 57 Exchange St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Temperature Controllers Inc. Box 56 Limington Maine Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Office Building No. families _____
 Last use _____ " " _____ No. families _____
 Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To install Air-Conditioning system first floor office area only as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

O.H. - 5/22/68 - Issued - Allen

Temperature Controllers Inc.

Signature of owner by: Thomas C. Elliott, Sales Mgr.

CS 301

INSPECTION COPY

Signature of owner

711



E3 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, March 4, 1968

PERMIT ISSUED
MAR 6 1968
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 53 Exchange St. Within Fire Limits? Dist. No.
Owner's name and address Acme Engineering Co, 53 Exchange St. Telephone
Lessee's name and address Verrill, Dana Philbrick Whitehouse & Putnam, 57 Exchange St. Telephone
Contractor's name and address Albert J Lund, 57 Exchange St. Telephone 773-2247
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Offices No. families
Last use No. families
Material brick No. stories 4 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$10,000 Fee \$ 20.00

General Description of New Work

To cut in 3 1/2' x 7' high openings on second and third floors, also to make alterations as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO A.J. Lund-57 Exchange St.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

0.11 - 3/6/68 - Allen

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Acme Engineering Co.
Albert J. Lund

CS 301

INSPECTION COPY

Signature of owner by:

Albert J. Lund

M

SPECIFICATIONS FOR (57 Exchange Street, second floor
(53 Exchange Street, third floor

Cut through brick walls from second floor of building at 57 Exchange Street to third floor of building at 53 Exchange Street and install one Class "A" Fire Door on each side of wall, secured by fire link.

Install in each passageway between buildings a double swing door for smoke screen.

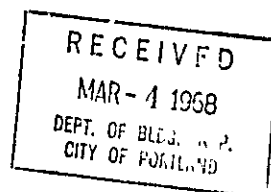
No. 2 passageway between shaftway walls will be one-hour walls and ceiling.

Closed-in stairway to second floor walls and doors will be one-hour. Door hardware will be panic. Bar type to be used only in case of fire.

All other work to be carried out as per plan and Building Code.

All brick openings to have 3 x 4 x 3/8 lintels, one for each course, of brick.

March 4, 1968



A. P. - 53 Exchange Street

March 5, 1968

Mr. Albert J. Lund
57 Exchange Street
Portland, Maine

CC to: Acme Engineering Company
53 Exchange Street, Portland, Maine
CC to: Verrill-Dana-Philbrick-Whitehouse-Futram
57 Exchange Street, Portland, Maine

Dear Mr. Lund:

We cannot finish processing your permit until enclosed certificate of design is signed by a qualified designer who is willing to take responsibility for steel lintels to be used over openings between the two buildings.

At least one handrail is required for steps at each opening.

Very truly yours,

A. Allan Soule
Acting Deputy Director

AAS: kc

Enclosure: 1



B3 BUSINESS ZONE PERMIT ISSUED

APPLICATION FOR PERMIT

403
APR 24 1970

Class of Building or Type of Structure Second Class

Portland, Maine, April 24, 1970

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 57 Exchange St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address W H Clifford Company, 499 1/2 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address F P & C H Murray, Ocean House Road Cape Eliz. Telephone 799-8106
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Offices No. families _____
 Last use _____ No. families _____
 Material second class No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 6,000 Fee \$ 12.00

General Description of New Work

(entire)
To make alterations on third floor as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractors

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O. B. E. J. R. 4/27/70

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

W H Clifford Company
F P & C H Murray

INSPECTION COPY

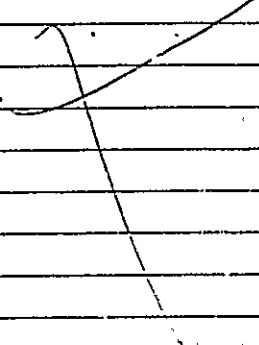
Signature of owner _____ by: [Signature]

7M

NOTES

5-21-70 Framing started (10)

6-15-70 Completed (10)



Permit No. 261/403

Location 57 Stebbins St

Owner W. Caldwell

Date of permit 4/27/70

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, Dec. 21, 1971

PERMIT ISSUED

DEC 27 1971

1615

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 57 Exchange Street _____ Work: Fire Limits? _____ Dist. No. _____
 Owner's name and address Morse Payson & Noyes, 57 Exchange St. _____ Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address F.P. & C. H. Murray, Box 2297, So. Portland Telephone 799-8136
 Architect _____ Specifications _____ Plans yes _____ No. of sheets 2
 Proposed use of building Offices _____ No. families _____
 Last use _____ " _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 55,000. _____ Fee \$ 165.00

General Description of New Work

To make alterations to basement and first floor as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** _____ contractor

Details of New Work

Is any plumbing involved in this work? yes _____ Is any electrical work involved in this work? yes _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.K. E.B. 12/27/71

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Morse Payson & Noyes
F.P. & C. H. Murray

CS 301

INSPECTION COPY

Signature of owner _____ By: _____

Edna Murray

NOTES

1-17-72 Work: *[Signature]*

1-12-72 Work going in
per plan *[Signature]*

1-17-72 Work going in
per plan *[Signature]*

1-24-72 same as above *[Signature]*

2-1-72 Work going in
per plan *[Signature]*

2-7-72 same as above *[Signature]*

2-14-72 Work going in
per plan *[Signature]*

2-18-72 Work going in
per plan *[Signature]*

2-24-72 Work going in
per plan *[Signature]*

3-6-72 work same
as above *[Signature]*

5-7-72 work done
D.K. *[Signature]*

[Large handwritten mark]

Permit No. 71/1615

Location: St. Elizabeth St

Owner: Mrs. Raymond & Mary

Date of permit: 12/27/71

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

Setting Out Notice 54M

Form Check Notice _____

[Large handwritten X mark]

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00095
ZONING LOCATION PORTLAND, MAINE Feb. 11, 1983

PERMIT ISSUED
FEB 15 1983
CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications.

LOCATION 53 Exchange Street - 3rd Floor Rear
1 Owner's name and address Ram & Company - 103 Exchange St., 04101
2 Lessee's name and address 95
3 Contractor's name and address Stevens Construction - West Elm St., Yar., Me. 04096
Proposed use of building Offices
Estimated contractual cost \$ 5,000.00
FIELD INSPECTOR - Mr. @ 775-5451
To make interior renovations, as per plan.
TOTAL \$ 35.00

(ISSUE PERMIT TO #3)

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO Is any electrical work involved in this work? YES
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on center
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION-PLAN EXAMINER Will work require disturbing of any tree on a public street? NO
ZONING
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES
Fire Dept.
Health Dept.
Others:

Signature of Applicant Lesley MacDonald Phone #
Type Name of above Lesley MacDonald for Stevens Const.
Other
and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

10 Nugent

NOTES

3/3/83 RENOVATION AREA LOCKED
UP @ INSPECTION TIME
5/25/83 WORK DONE TO PLANS. DM

Permit No. R3/095

Location

534 Greenwood St. 3rd Floor

Owner

2-11-83

Date of permit 2-15-83

Approved

Dwelling -

2-11-83

Garage

Alteration



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date February 22 19 83
 Receipt and Permit number A 96620

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 53 Exchange St. - 3rd floor
 OWNER'S NAME: Ram & Co. ADDRESS: 103 Exchange St.

OUTLETS:		FEES
Receptacles <u>6</u> Switches <u>2</u> Plugmold _____ ft. TOTAL <u>1-10</u>		<u>3.00</u>
FIXTURES: (number of)		
Incandescent _____ Flourescent <u>10</u> (not strip) TOTAL <u>10</u>		<u>3.00</u>
Strip Flourescent _____ ft.		
SERVICES:		
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____ ..		
METERS: (number of) _____		
MOTORS: (number of)		
Fractional _____		
1 HP or over _____		
RESIDENTIAL HEATING:		
Oil or Gas (number of units) _____		
Electric (number of rooms) _____		
COMMERCIAL OR INDUSTRIAL HEATING:		
Oil or Gas (by a main boiler) _____		
Oil or Gas (by separate units) _____		
Electric Under 20 kws _____ Over 20 kws _____		
APPLIANCES: (number of)		
Ranges _____	Water Heaters _____	
Cook Tops _____	Disposals _____	
Wall Ovens _____	Dishwashers _____	
Dryers _____	Compactors _____	
Fans _____	Others (denote) _____	
TOTAL _____		
MISCELLANEOUS: (number of)		
Branch Panels _____		
Transformers _____		
Air C'nditioners Central Unit _____		
Separate Units (windows) _____		
Signs 20 sq. ft. and under _____		
Over 20 sq. ft. _____		
Swimming Pools Above Ground _____		
In Ground _____		
Fire/Burglar Alarms Residential _____		
Commercial _____		
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____		
over 30 amps _____		
Circus, Fairs, etc. _____		
Alterations to wires _____		
Repairs after fire _____		
Emergency Lights, battery _____		
Emergency Generators _____		
	INSTALLATION FEE DUE:	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	DOUBLE FEE DUE:	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	TOTAL AMOUNT DUE:	<u>6.00</u>

INSPECTION:
 Will be ready on ready anytime 19; or Will Call _____
CONTRACTOR'S NAME: Michael Menario
ADDRESS: P O. BOX 1263
TEL.: _____
MASTER LICENSE NO.: 4488 **SIGNATURE OF CONTRACTOR:** _____
LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00990

ZONING LOCATION PORTLAND, MAINE Sept. 22, 1983

SEP 23 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 57 Exchange Street Fire District #1 #2

1. Owner's name and address Ram & Co. - 163x 178 Middle St. Telephone 774-9801

2. Lessee's name and address Telephone 774-4353

3. Contractor's name and address Tyson Co. - P.O. Box 269 - 04112 Telephone 774-4353

..... No. of sheets

Proposed use of building offices No. families

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 1,000 Appeal Fees \$

FIELD INSPECTOR—Mr. Base Fee 15.00

@ 775-5451 Late Fee 15.00

TOTAL \$

To make alterations to existing office area erect partitions as per plans. partitions to divide area into smaller spaces.

Stamp of Special Conditions

send permit to # 3 04112

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

possible

Is any plumbing involved in this work? no Is any electrical work involved in this work? possible

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories Solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? no

ZONING: Will there be in charge of the above work a person competent

BUILDING CODE: to see that the State and City requirements pertaining thereto

Fire Dept.: are observed?

Health Dept.:

Others:

Signature of Applicant M.G. Weiss Phone # same

Type Name of above Mark Weiss for Tyson Co. 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

TO Mr. Ruger

NOTES.

9/26/83 WORK ~~FINISHED~~ FINISHED. DMO

10/4/83 WORK ~~FINISHED~~ FINISHED. DMO

Permit No 83/990

Location

Owner

Date of permit

Approved

Dwelling

Garage

Attention

57 Phillips St.
Dunham & Company, Inc.

9-22-83

9-23-83

to Phillips

[Empty lined area for notes]

[Empty lined area for notes]

APPLICATION FOR PERMIT

PERMIT ISSUED

10

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00990

SEP 23 1983

ZONING LOCATION PORTLAND, MAINE Sept. 22, 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 57 Exchange Street

1. Owner's name and address .. Rem. & Co. - 123 178 Middle St. Fire District #1 #2

2. Lrssee's name and address Telephone 774-9801

3. Contractor's name and address .. Tyson Co. - P.O. Box 269 - 04112 Telephone 774-4353

Proposed use of building .. offices No. of sheets

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$.. 1,000

FIELD INSPECTOR—Mr. Appeal Fees \$

@ 775-5451

Base Fee 15.00

Late Fee 15.00

TOTAL

To make alterations to existing office area erect partitions as per plans. partitions to divide area into smaller spaces.

Stamp of Special Conditions

send permit to # 3 04112

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? possible
Is connection to be made to public sewer?
Has septic tank notice been sent?
Height average grade to top of plate
Size, front depth
Material of foundation
Kind of roof
No. of chimneys
Framing Lumber—Kind
Size Girder
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On rafters: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING

BUILDING CODE

Fire Dept.

Health Dept.

Other:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant

Type Name of above

Phone # same

Mark Weiss for Tyson Co.

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Hewes, Culley, Feehan & Beals**

LOCATION

103 Exchange Street

Date of Issue **Sept. 14, 1983**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **83-590**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Limiting Conditions: **Entire**

APPROVED OCCUPANCY

Law Offices

This certificate supersedes
certificate issued

Approved:

9/15/83

(Date)

Inspector

.....
Inspector of Buildings
.....

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0245 April 4, 1983

APR 6 1983

ZONING LOCATION PORTLAND, MAINE

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 103 Exchange St. Fire District #77-9381
1. Owner's name and address Telephone
2. Lessee's name and address Telephone same
3. Contractor's name and address Telephone same

Proposed use of building office for insurance company No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot 10,000

Estimated contractual cost \$ Appeal Fees \$ 60.00
Base Fee
Late Fee 60.00
TOTAL \$

FIELD INSPECTOR—Mr. @ 775-5451

To make alterations to already existing insurance offices, no structural changes as per plans. 1 sheet of plans.

send permit to # 3 04101

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes
Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewer?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Other

Signature of Applicant Kenneth Janson for Ram Management, Ram & Co. Phone #
Type Name of above 1 0 2 3 4

10

Other and Address



CITY OF PORTLAND

JOSEPH E GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

April 13, 1983

Mr. Richard Hanson
Ram & Company
103 Exchange Street
Portland, Maine 04111

Re: 57 Exchange Street

Dear Mr. Hanson:

The Fire Department will be able to sign off on the Certificate of Occupancy when the following projects are completed:

1. Additional fire alarm pull stations are required in the lobby, 2nd and 4th floors. ✓
2. Provide magnetic door holder for the door connecting 57 to 53 Exchange. The door holder will release this door upon activation of an alarm device. Smoke detectors shall be provided on both sides of this door. ✓
3. Install approved door closers on all janitor closets. ✓
4. Provide an exit sign at door to rear exit on 1st. floor. ✓
5. Install an additional emergency exit light in rear stairway at the lower level. ✓
6. Provide a sprinkler head at top of mechanical chase. ✓

In addition, be advised that storage of flammable liquids within this structure is prohibited.

When these conditions have been met, contact me for your final inspection.

Respectfully,

Lt. James P. Collins
Fire Prevention Bureau

JPC/jmr

OK TO C/O 2/20/83
ISSUE [Signature]

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 00056

JAN 21 1983

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE ..Jan.. 18., 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or list all the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 57 Exchange Street - 1st floor
 1. Owner's name and address Ram & Co. - 103 Exchange St. Fire District #1 #2
 Telephone 774-9801
 2. Lessee's name and address Telephone
 3. Contractor's name and address Stevens Constr. - 95 W Elm St. Yarmouth Telephone 846-3000
 Proposed use of building No. of sheets
 Last use No. families
 Material Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$... 10,000

FIELD INSPECTOR—Mr. Appeal Fees \$
 @ 775-5451 Base Fee 60.00
 Late Fee
 TOTAL \$ 60.00

To make alterations to existing area to be used for offices as per plans. 1 sheet of plans.

send permit to # 04096

Stamp of Special Conditions
PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and sub-contractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: **DATE** **MISCELLANEOUS**
 BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
 ZONING: N/A
 BUILDING CODE:
 Fire Dept.: James P. Collins, Chief Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
 Health Dept.:
 Others:

Signature of Applicant Leslie MacDonald Phone # same
 Type Name of above Stevens Constr./Ram & Co. 1 2 3 4
 Other
 and Address

PERMIT ISSUED FIELD INSPECTOR'S COPY WITH LETTER

APPLICANT'S COPY OFFICIAL FILE COPY

10 MR. N. J. ...

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0.0.2.4.5
ZONING LOCATION PORTLAND, MAINE April 4, 1983

APR 6 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 57 Exchange Street - 3rd floor

- 1. Owner's name and address Ram & Co. - 103 Exchange St. Fire District #1 [], #2 []
2. Lessee's name and address Royal Insurance - same Telephone 774-9801
3. Contractor's name and address Ram Management - same Telephone same

Proposed use of building office for insurance company No. of sheets
Last use same No. families
Material No. stories Heat Style of roof Roofing

Other buildings on same lot
Estimated contractual cost \$ 10,000

FIELD INSPECTOR-Mr. @ 775-5451
Appeal Fees \$
Base Fee 60.00
Late Fee
TOTAL \$ 60.00

To make alterations to already existing insurance offices, no structural changes as per plans. 1 sheet of plans.

send permit to # 3 04101

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... yes, no ... Is any electrical work involved in this work? ... yes ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage?
Has septic tank notice been sent? ... For a notice sent?
Height average grade to top of plate ... Height average grade to highest point of roof
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock?
Material of foundation ... Thickness, top ... bottom ... cellar
Kind of roof ... Rise per foot ... Roof covering
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel
Framing Lumber-Kind ... Dressed or full size? ... Corner posts ... Sills
Size Girder ... Columns under girders ... Size ... Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof
On centers: 1st floor ... 2nd ... 3rd ... roof
Maximum span: 1st floor ... 2nd ... 3rd ... roof
If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to ... s habitually stored in the proposed building?

APPROVALS BY:
BUILDING INSPECTION-PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.: James P. Collins, Chief
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Kenneth D. Janson Phone # same
Type Name of above Kenneth Janson for Ram Management/Ram & Co.
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

Handwritten notes at the bottom left of the page.

NOTES

07/20/83
OK FOR C/O
WORK ACC'DONE

Permit # o.

83/215

Location

57 E. Chicago

Owner

James E. Hill

Date of permit

4-7-83

Approved

4-6-83

Dwelling

Garage

Alteration

to ballroom ducts



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

April 13, 1983

Mr. Richard Hanson
Ram & Company
103 Exchange Street
Portland, Maine 04111

Re: 57 Exchange Street

Dear Mr. Hanson:

The Fire Department will be able to sign off on the Certificate of Occupancy when the following projects are completed: -

1. Additional fire alarm pull stations are required in the lobby, 2nd and 4th floors.
2. Provide magnetic door holder for the door connecting 57 to 53 Exchange. The door holder will release this door upon activation of an alarm device. Smoke detectors shall be provided on both sides of this door.
3. Install approved door closers on all janitor closets.
4. Provide an exit sign at door to rear exit on 1st. floor.
5. Install an additional emergency exit light in rear stairway at the lower level.
6. Provide a sprinkler head at top of mechanical chase.

In addition, be advised that storage of flammable liquids within this structure is prohibited.

When these conditions have been met, contact me for your final inspection.

Respectfully,

Lt. James P. Collins
Fire Prevention Bureau

JPC/jmr



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Nov. 19, 1982
 Receipt and Permit number A 92420

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 57 Exchange St., 2nd floor
 OWNER'S NAME: Ram & Co. ADDRESS: 103 Exchange St.

OUTLETS:
 Receptacles _____ Switches _____ Light old _____ ft TOTAL 31-60
 FIXTURES: (number of)
 Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
 Strip Fluorescent _____ ft _____

SERVICES: existing 100 amp service for entire bldg.
 Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) 1 _____ TOTAL _____
 MOTORS: (number of) _____ TOTAL _____
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels 1 _____
 Transformers _____
 Air Conditioners Central Unit _____
 Separate Units (windows) _____

Signs 20 sq. ft. and under _____
 Over 20 sq. ft. _____
 Swimming Pools Above Ground _____
 In Ground _____

Fire/Burglar Alarms Residential _____
 Commercial _____
 Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____
 over 30 amps _____

Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Emergency Lights, battery _____
 Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
 TOTAL AMOUNT DUE: 6.50

INSPECTION: Bx in wall. can check
 man said to tell you that what he was done has been fished
 Will be ready on _____, 19____; or Will Call _____
 CONTRACTOR'S NAME: Walsh Electric Co.
 ADDRESS: 119 Four Winds Road
 TEL.: _____
 MASTER LICENSE NO.: 1740 SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date February 24, 19 83
 Receipt and Permit number A 966.6

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
 LOCATION OF WORK: 58 Exchange Street - Cellar and First Floor
 OWNER'S NAME: Portland Realty Group ADDRESS: 44 Exchange Street

FEES

OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of)
 Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
 Strip Fluorescent _____ ft.

SERVICES:
 Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) _____

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by sep. rate units) _____
 Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of)

Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____

TOTAL _____

MISCELLANEOUS: (number of)

Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____
 Separate Units (windows) _____

Signs 20 sq. ft. and under _____
 Over 20 sq. ft. _____

Swimming Pools Above Ground _____
 In Ground _____

Fire/Burglar Alarms Residential _____ **\$5.00**
 Commercial _____

Heavy Duty Out Volt (such as welders) 30 amps and under _____
 over 30 amps _____

Circus, Fairs, etc _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery _____

Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
 TOTAL AMOUNT DUE: KX 5.00

INSPECTION:
 Will be ready on February 24, 1983, or Will Call _____
 CONTRACTOR'S NAME: John Perry
 ADDRESS: 381 Danforth Street, Portland, Maine 04102
 TEL.: 773-5824
 MASTER LICENSE NO.: 3695 SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS

Permit Number 96626

Location 5 P. Exchange St. 1st

Owner Portland Realty

Date of Permit 2-24-83

Final Inspection 2-25-83

By Inspector Kelly

Permit Application Register Page No 139

INSPECTIONS: Service _____ by _____
Service called in _____
Closing-in _____ by _____

PROGRESS INSPECTIONS: 2-25-83 / _____
/ _____
/ _____
/ _____
/ _____

CODE
COMPLIANCE
COMPLETED
DATE 5-25-83
DATE: _____

REMARKS:

Blank lines for remarks and additional notes.



CITY OF PORTLAND

JOSEPH F. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

May 5, 1983

Ms. Davida Sky
55 Deake Street
South Portland, Me.

Dear Ms. Sky:

Your application to change the use of 58 Exchange Street, Portland, Me., from a vacant area to retail sales, has been reviewed and a building permit is herewith issued subject to the following building & fire code requirements:

1. Any glass walls shall be $\frac{1}{4}$ " wired glass in a steel sash and shall be a fixed closed position.
2. Electrical and plumbing permits must be obtained by masters of their trade.

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

B

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00379
ZONING LOCATION PORTLAND, MAINE May 3, 1983

MAY 6 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ~~58 Exchange Street - Basement - 1st floor~~ **Portland Realty - 44 Exchange St;** Fire District #1 , #2
1. Owner's name and address Telephone
2. Lessee's name and address **Davida Sky - 59 Deake St. So. Portland** Telephone **H 799-7193**
3. Contractor's name and address Telephone **B 761-2565**
Proposed use of building **retail of childrens clothing & toys** No. of sheets
Last use **vacant** **used goods & furniture** No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$.....

FIELD INSPECTOR—Mr.
@ 775-5451
Change of use from vacant area to retail of used & new childrens clothing, furniture and toys no alterations or structural changes.
Application fee \$
Base Fee 25.00
Late Fee
TOTAL \$ 25.00

Stamp of Special Conditions

Send permit to # 3 04106

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? **no** Is any electrical work involved in this work? **no**
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant *Davida Sky* Phone #
Type Name of above **Davida Sky**
Other
and Address

10

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 58 Exchange Street - Basement -left rear
Date of Issue May 12, 1983

Issued to Davida Sky

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 83- 379, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

left rear - basement

Limiting Conditions:

APPROVED OCCUPANCY

Retail of used and new childrens clothing, furniture and toys

This certificate supersedes certificate issued

Approved:

7/2/83
(Date)

Inspector

James J. Collins, Jr.
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND

JOSEPH E GRAY JR
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

May 5, 1983

Ms. Davida Sky
55 Deake Street
South Portland, Me.

Dear Ms. Sky:

Your application to change the use of 58 Exchange Street, Portland, Me., from a vacant area to retail sales, has been reviewed and a building permit is herewith issued subject to the following building & fire code requirements:

- VARIANCE GRANTED BY LT. COLLINS 5/10/83*
1. Any glass walls shall be 4" wired glass in a steel sash and shall be a fixed closed position.
 2. Electrical and plumbing permits must be obtained by masters of trade.

NONE NEEDED

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

APPLICATION FOR

PERMIT ISSUED

MAY 6 1983

MAY 3, 1983

CITY OF PORTLAND

B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION 13-3 PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORT AND MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 58 Exchange Street - Basement - left rear
1. Owner's name and address Portland Realty - 44 Exchange St. Fine District #1 #2
2. Lessee's name and address Davida Sky - 55 Deake St., So. Portland Telephone H: 799-7193
3. Contractor's name and address Telephone B: 761-2565
Proposed use of building retail of ~~electronics~~ childrens clothing & toys No. of sheets
Last use vacant used goods & furniture No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$

FIELD INSPECTOR - Mr. @ 775-5451
Appeal Fees \$
Use \$
Basic Fee 25.00
\$ 25.00

Change of use from vacant area to retail of used & new childrens clothing, furniture and toys no alterations or structural changes.

Send permit to # 3 04106

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - kind Dressed or full size? Column posts Sills
Size Girder Columns under eiders Size Max on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters 1st floor 2nd 3rd roof
On centers 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairs be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: BUILDING INSPECTOR PLAN EXAMINER DATE
ZONING OFFICER
BUILDING CODE OFFICER
Fire Dept.
Health Dept.
Others: *James J. Collard*
Will work require disturbing of any tree on a public street?
Is there to be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Davida Sky Phone # same
Type Name of above Davida Sky

PERMIT ISSUED WITH LETTER

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
MA. Nugent

Permit No. 83/379
 Location 58 Exchange St.
 Owner Scottland Realty
 Date of permit 5-3-83
 Approved 5-6-83
 Dwelling Change of use
 Garage _____
 Alteration _____

5/12/83 C/O KSS/KED
 NOTES
 MR. SKY WAS ADVISED THAT
 LT. COLLINS WILL ALLOW THE
 CROSS FRONT - SMOKE &
 HEAT EXHAUSTION SYSTEM
 NEW BEAM EXTENDED TO
 COVER THIS AREA.

(Signature)

APPLICATION FOR PERMIT

PERMIT ISSUED

JUL 20 1982

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00562

ZONING LOCATION B-3 PORTLAND, MAINE July 13, 1982

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION 57, Exchange St. - 1st, 2nd, 3rd & 4th floors Fire District #1 #2
1. Owner's name and address Ram & Co. - 103 Exchange St. Telephone 774-9801
2. Lessee's name and address
3. Contractor's name and address Donalco, Inc. - 141 Main St., So. Portland Telephone 767-2248

..... No. of sheets

Proposed use of building ... office spaces No. families

Last use

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 15,000 ...

FIELD INSPECTOR—M
@ 775-5451

Appeal Fees	\$
Base Fee	...85.00
Late Fee
TOTAL	\$85.00

To make alterations to already existing floors
to be used for offices as per plans.
4 sheets of plans.

Stamp of Special Conditions

send permit to # 3 04106

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

Or center: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINE

ZONING: *W. H. MacCall* 7/15/82

BUILDING CODE

Fire Dept: *James P. [Signature]*

Health Dept:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant *Brian Sharkey* Phone # .. same

Type Name of above *Brian Sharkey for Donalco Inc.* 1 2 3 4

PERMIT ISSUED WITH LETTER

3

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

NOTES

7-22-82 Started partitioning
 2nd - 4th floor mostly framed up
 with a plumbing is started
 8-26-82 2nd & 3rd floor
 front being ready to occupy
 put wrong fire doors on second
 change - almost done with
 sprinkler system - exit signs
 & lights are up
 8-27-82 changed doors
 OK

Permit No. 82/562
 Location 57 Exchange St.
 Owner Glenn F. [unclear]
 Date of permit 7-13-82
 Approved 7-24-82
 Dwelling 2nd, 3rd, 4th floors
 Garage [unclear] for new [unclear]
 Alteration to [unclear] partitioning

[Blank lined area for notes]

[Blank lined area for notes]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 57 Exchange St. - 2nd & 3rd Floor - Front

Issued to Ram & Co.

Date of Issue August 27, 1982

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 82-129, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

See above

Offices

Limiting Conditions:

Temporary certificate good thru Sept. 15, 1982

This certificate supersedes
certificate issued

Approved:

8-27-82
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

57

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Stephen T. Honey, City Manager
FROM: George A. Flaherty, Director of Parks & Public Works
SUBJECT: Request for City Council Order
Ram & Company License
→ 57 Exchange Street

DATE: 4/26/82

Please prepare the following City Council Order for consideration at the City Council meeting of May 3, 1982.

ORDERED, that Ram & Company be granted a license to construct an exterior stairway within the public right-of-way (sidewalk) at 57 Exchange Street.

STATEMENT OF FACTS

Ram and Company has purchased and is renovating the former Morse, Payson, and Noyes building, at 57 Exchange Street.

Ram and Company's renovation plan includes the utilization of the ground floor area for rental to retail business. The floor layout requires the addition of two new means of access. Since the ground floor elevation is three-to-five feet below the sidewalk grade, they propose to construct two new entrances in the sidewalk area.

A field inspection of the proposed entrance locations indicate that these proposed new entrances will not cause any problems for pedestrian traffic.

Attached is a copy of a letter from Ram and Company which sets forth their request.

GAF/dmg 

CC: David Lourie, Corporation Counsel
Jane Durgin, City Clerk
Gerald B. Brewster, City Engineer
David Vining, Street Opening Inspector

Attachment

570

ORDER
RE: LICENSE FOR RAM & CO. TO OCCUPY
SPACE IN SIDEWALK ON MIDDLE STREET

IN THE CITY COUNCIL

MAY 3 19 82

Read twice and passed, 8 Yeas
(O'Leary out).

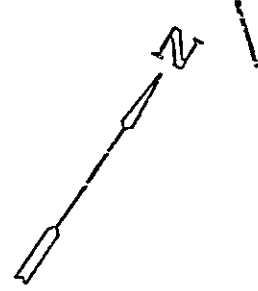
Attest

John D. Quinn
City Clerk.

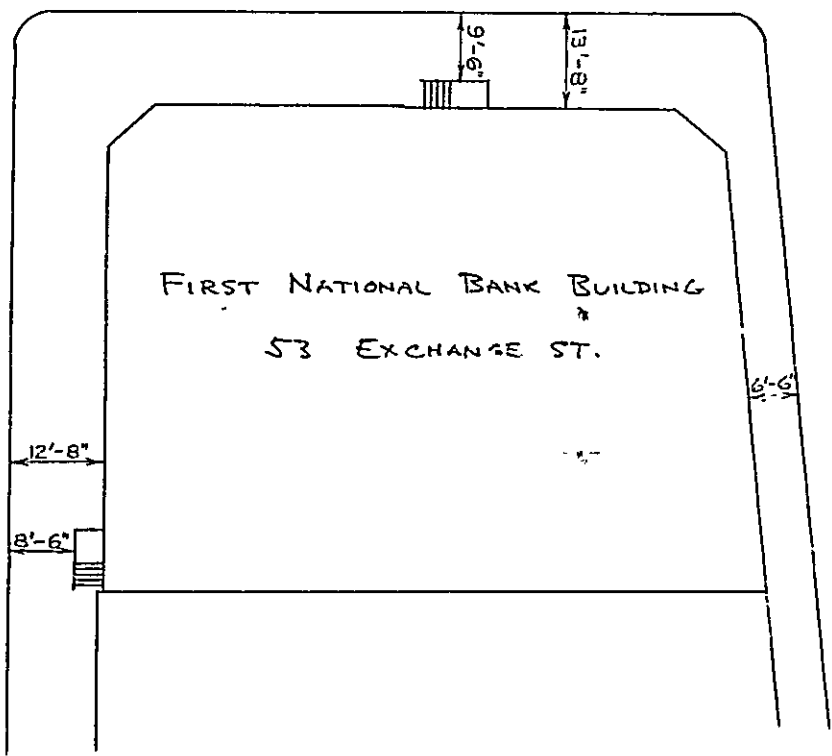
Yeas

Nays

MIDDLE STREET



EXCHANGE STREET



MARKET STREET

FIRST NATIONAL BANK BUILDING
53 EXCHANGE ST.

PROPOSED SIDEWALK ENTRANCES

BY RAM & CO.
4-29-82

SCALE 1" = 20'



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

April 12, 1982

Donalco Inc.
141 Main Street
South Portland, Maine 04106

Re: 57 Exchange Street

Dear Sir:

As per our telephone conversation on April 12, 1981, reference 57 Exchange Street, it was this department's understanding when the permit was issued, the stairs located on Exchange and Middle Street couldn't be installed until they received permission from Public Works. Also, the door swinging over a public walk on Exchange would have to have the same permission.

If you have any question on this requirement, please call.

Sincerely,

P. S. Hoffsee
Chief of Inspection Services

PSH/jmr



CITY OF PORTLAND

JOSEPH E. McDONOUGH
FIRE CHIEF

March 10, 1982

Donalco Inc.
141 Main Street
South Portland, Maine 04106

Re: 57 Exchange Street

Dear Sir:

Your permit application to make alterations to building with structural changes, at the above named address, is hereby approved subject to the following conditions:

- CODE # - 4. Internally lit exit signs and emergency lighting shall be provided for all exits and paths to reach same.
10. All doors involved in the means of egress shall be equipped with latch sets which shall open from the inside without the use of keys, special knowledge, or ability, but by merely turning the usual knob or by pressure on a plate or lever.
 11. The boiler room shall be enclosed with construction having a fire rating of at least one hour, including the ceiling, and fire doors with self-closers.
 15. All vertical openings (stairways) shall be enclosed with construction having a fire rating of at least two-hour including fire door with self-closers.
 17. An approved manual fire alarm system shall be provided with pull stations at each exit, on each floor, connected to horn and flashing light sounding devices placed throughout as required.
 27. All storage areas shall be enclosed with construction having a fire rating of at least one-hour including fire door with self-closers.

Be advised that a separate permit and approval must be issued for the fire alarm system.

If I may be of any further assistance, please feel free to contact me at 775-5451, Ext. 354.

Yours truly,

James P. Collins
Lt. James P. Collins
Fire Prevention Bureau

JPC/jmr

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP ... B
 B.O.C.A. TYPE OF CONSTRUCTION ... 3-B 00129

ZONING LOCATION ... B-3 PORTLAND, MAINE ... Feb. 22, 1982

PERMIT ISSUED

MAR 11 1982

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
 The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 57 Exchange St. Fire District #1 , #2
 1. Owner's name and address ... Ram & Co. -103 Exchange St. Telephone ..
 2. Lessee's name and address .. Telephone ..
 3. Contractor's name and address Donalco Inc. -141 Main St., So. Port. Telephone 767-3248
 Proposed use of building ... offices No. of sheets ..
 Last use ... same No. families ..
 Material ... No stories Heat .. Style of roof .. No. families ..
 Other buildings on same lot .. Roofing ..
 Estimated contractual cost \$.. 240,000

FIELD INSPECTOR—Mr.
 @ 775-5451

Appeal Fees \$..
 Base Fee .. 1,210.00
 Late Fee ..
 TOTAL \$.. 1,210.00

To make alterations to building, also structural changes as per plans. 7 sheets of plans.

Send permit to # 3

Stamp of Special Conditions
**PERMIT ISSUED
 WITH LETTER**

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering Kind of heat fuel
 No. of chimneys Material of chimneys of lining Corner posts Sills
 Framing Lumber—Kind Dressed or full size? Size Max. on centers
 Size Girder Columns under girders Bridging in every floor and flat roof span over 8 feet.
 Studs (outside walls and carrying partitions) 2x4-16" O. C. 1st floor 2nd 3rd roof
 Joists and rafters: On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION—PLAN EXAMINER DATE
 ZONING: O.K. M.C.P.
 BUILDING CODE: [Signature]
 Fire Dept.: [Signature]
 Health Dept.: [Signature]
 Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Brian Shangrow Phone # .. same
 Type Name of above Brian Shangrow Other
 for Donalco Inc. and Address

**PERMIT ISSUED
 WITH LETTER**

FIELD INSPECTOR'S COPY

OFFICE FILE COPY

3

Marge

Dono Brian At Don also → 772-0066
FOR AT PAM TER AND
NOTES AND

3-19-87 / Slab work finished
Add towards Abate partitions
While doing bldg measurement
4-14-82 Met Dave Unger
contractor at the site
check out the new entrances
on the side walk
5-17-82 started work on exterior
sidewalks for entrances
copy of contract ok - in file
6-17-82 ground floor mostly
completed → inside of pipe
check & stairway 3rd
→ 5/9/11

→ see comments for ground
level construction under
separate permit
7-22-87 see other permit
for New tenants
STARTED floor
insulation

Phase 2
Phase 3
Phase 4
Phase 5
Phase 6
Phase 7
Phase 8
Phase 9
Phase 10

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PERMIT EXCHANGE

Permit No.	82/129
Location	67 Exchange
Owner	Exchange
Date of permit	2-22-82
Approved	3-11-82
Dwelling	0
Garage	15th

Further discuss bldg
changes
permit

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

636

JUN 6 1934

ZONING LOCATION

PORTLAND, MAINE

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, remove or in all the foregoing building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and the Ordinance of the City of Portland with plans and specifications, if any, submitted hereunto and the following specifications:

LOCATION 57 Broadway Street - 2nd Fl. Fire District 71 E. 72 C Telephone 710-2501

1. Owner's name and address Geo. W. King - 178 Middle Street - 2201 Telephone 710-2501

2. Lessee's name and address

3. Contractor's name and address Geo. W. King - 178 Middle Street - 2201 Telephone 710-2501

Proposed use of building Office space No. of sheets

Material No. stories Heat Style of roof Roofing

Estimated construction cost \$ 5,100.00

APPEAL FEE \$

BASE FEE \$

LATE FEE \$

TOTAL \$ 5.00

Stamp of Special Conditions

NOTICE TO APPLICANT: Special requirements contained by the Inspectors and subcontractors of heating, plumbing, electrical and mechanical.

DETAILS OF NEW WORK

Is any structural work involved in this work? No. Is any electrical work involved in this work? No. If not, what is proposed for it? None. Has special work been done? No. Height of work grade to highest point of roof? 10 feet. Material of roof? Asphalt. Kind of heat? Fuel. Material of chimney? Brick. Kind of floor? Concrete. Size of floor? 10' x 10'. Max. on center? 10'. Trade floor slab and carry partitions 2 1/2" U. C. bridging in every floor and 1/2" roof span over 8 feet. On center? 10'. Height? 10'.

SPA GARAGE

No. cars to be accommodated in carport? 2. Number commercial cars to be accommodated? 0. Will electrical repairs be done other than simple repairs to cars habitually stored in the proposed building? No.

MISCELLANEOUS

Will work require disturbing of any tree on a public street? No. Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes.

Signature of Applicant: Geo. W. King. Type Name of above: Geo. W. King. Phone #: 710-2501.

ELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY