

Florida Avenue
 International Airport
 Bangor, Maine 04401
 207-947-0172

JORDAN CORRILL ASSOCIATES
 Consulting Engineers

379 Congress Street
 (Lab. at 116 Pearl Street)
 Portland, Maine 04111
 207-774-0313

Date: May 22, 1973

Job Number: P-39 (7202483C)

Project: Canal Plaza - Satellite Two Building

Client: Pizzagalli Construction

Placement: Additional 2" wearing strip on roof in the penthouse slab.

Date: Received: 4-25-73
 Made: 4-24-73
 Tested: 5-22-73
 Age: 28 Days

Supplier: Cook Concrete Co.
 Mixer # 30
 Ticket # 46335
 Load # 1
 Placement: 12.5 cubic yards

Storage:
 Job Site day (s)
 Lab: Lime Solution days
 Other days

Materials:
 C Type II*
 FA
 CA 3/8"*
 Admix

Specimen Dimensions: 6" dia. x 12" length

W/C Ratio:

Temperatures:
 Air: 60's
 Concrete:

Mix (per cubic yard)
 C
 FA
 CA
 Admix

Slump: 6"

Air:

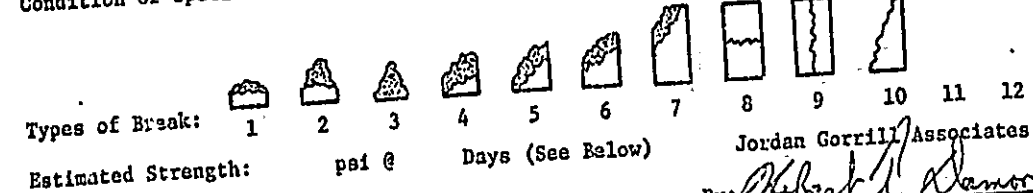
Design Requirements: 3,000 psi @ 28 Days*

Specimen No.	Density, pcf	Type of Break	Load, kips	Strength, psi
SAT-29C		4	109.5	3,870
SAT-29D		6	102.0	3,610

Remarks:

Condition of Specimen:

Average Strength: 3,740 psi



Types of Break: 1 2 3 4 5 6 7 8 9 10 11 12
 Estimated Strength: psi @ Days (See Below)

Jordan Corrill Associates
 By: *Robert A. Hanson*

*Indicates data furnished by others:

Note: Estimated strengths are extrapolated from early-age test results on the basis of age-strength relationships developed from Maine and nation-wide data. The projected strength values are provided only as an indication of probable future compressive strengths. It is important to note that actual strengths of later test specimens or the concrete in the structure may vary from the projected value.

Rev. 11/72

Florida Avenue
International Airport
Bangor, Maine 04401
207-947-0172

JORDAN GORRILL ASSOCIATES
Consulting Engineers

379 Congress Street
(Lab at 116 Pearl Street)
Portland, Maine 04111
207-774-0313

Date: May 21, 1973

Job Number: P-39 (7202483C)

Project: Canal Plaza - Satellite Two Building

Client: Pizzagalli Construction

Placement: First floor structural slab from column line 'B'+18' to line 'D' between column line '2' and line '5'.

Date: Received: 5-16-73
Made: 5-14-73
Tested: 5-21-73
Age: 7 Days

Supplier: Cook Concrete Co.
Mixer # 47
Ticket # 53989
Load # 3
Placement: 40± cubic yards

Storage:
Job Site 2 day (s)
Lab: Lime Solution 5 days
Other days

Materials:
C Type II*
FA
CA 3/4" Solite*
Admix

Specimen Dimensions: 6" dia. x 12" length

W/C Ratio:

Temperatures:
Air:
Concrete:

Mix (per cubic yard)
C
FA
CA
Admix

Slump: 5"

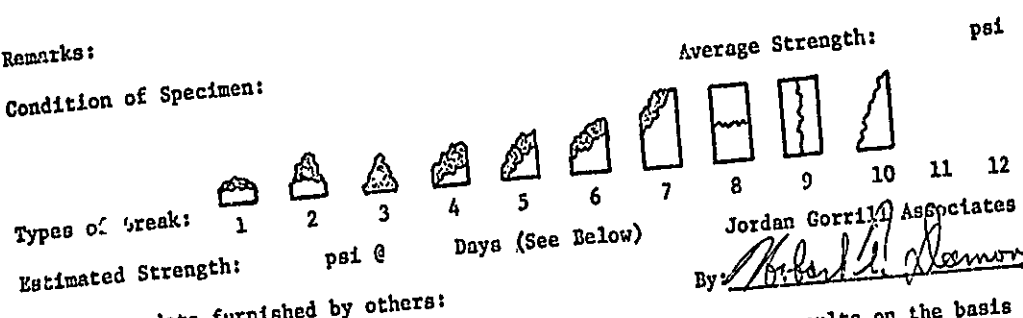
Air: 5.5%

Design Requirements: 3,000 psi @ 28 Days*

Specimen No.	Density, pcf	Type of Break	Load, kips	Strength, psi
SAT-32A		4	80.0	2,830

Remarks:

Condition of Specimen:



*Indicates data furnished by others:

Note: Estimated strengths are extrapolated from early-age test results on the basis of age-strength relationships developed from Maine and nation-wide data. The projected strength values are provided only as an indication of probable future compressive strengths. It is important to note that actual strengths of later test specimens or the concrete in the structure may vary from the projected value.

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Florida Avenue
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207-947-0172

JORDAN GORRILL ASSOCIATES
Consulting Engineers

379 Congress Street
(Lab at 116 Pearl Street)
Portland, Maine 04111
207-774-0313

Date: May 14, 1973

Job Number: P-39 (7202483C)

Project: Canal Plaza - Satellite Two Building

Client: Pizzagalli Construction

Placement: Third floor structural slab from column line 'A' to line 'B'+18' between column line '1' and line '5'.

Date: Received: 4-17-73
Made: 4-16-73
Tested: 5-14-73
Age: 28 Days

Supplier: Cook Concrete Co.
Mixer # 44
Ticket # 45954
Load # 5
Placement: 70+ cubic yards

Storage:
Job Site 1 day (s)
Lab: Lime Solution 6 days
Other Humidity 21 days
Controlled
Specimen Dimensions: 6" dia. x 12" length

Materials:
C Type II*
FA
CA 3/4" Solite*
Admix

Temperatures:
Air: 70's
Concrete:
Slump: 4 1/2"
Air: 5.5%

W/C Ratio:
Mix (per cubic yard)
C
FA
CA
Admix

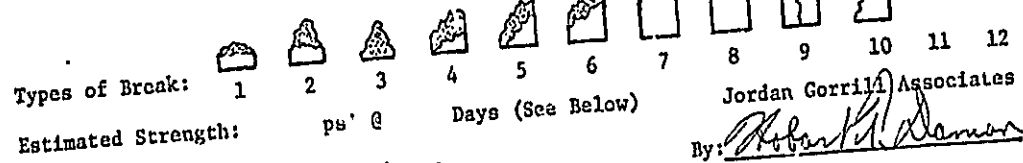
Design Requirements: 3,000 psi @ 28 Days*

Specimen No.	Density, pcf	Type of Break	Load, kips	Strength, psi
SAT-24C	117.05	5	130.0	4,600
SAT-24D	116.64	4	127.5	4,510

Remarks: Wet density - 118.8 pcf.

Condition of Specimen:

Average Strength: 4,555 psi



*Indicates data furnished by others:

Note: Estimated strengths are extrapolated from early-age test results on the basis of age-strength relationships developed from Maine and nation-wide data. The projected strength values are provided only as an indication of probable future compressive strengths. It is important to note that actual strengths of later test specimens or the concrete in the structure may vary from the projected value.

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RECEIVED
 MAY 16 1973
 DEPT. OF TRANSPORTATION
 CIVIL ENGINEERING DIVISION

Florida Avenue
 International Airport
 Bangor, Maine 04401
 207-947-0172

JORDAN GORRILL ASSOCIATES
 Consulting Engineers

379 Congress Street
 (Lab at 116 Pearl Street)
 Portland, Maine 04111
 207-774-0313

Date: May 15, 1973

Job Number: P-39 (7202483C)

Project: Canal Plaza - Satellite Two Building

Client: Pizzagalli Construction

Placement: 20' wide section of roof slab from column line 'A' to line 'B'+18' between line '1' and line '5'.

Date: Received: 4-18-73
 Made: 4-17-73
 Tested: 5-15-73

Age: 28 Days

Storage:
 Job Site: 1 day (s)
 Lab: Lime Solution 6 days
Other Humidity 21 days
Controlled

Specimen Dimensions: 6" dia. x 12" length

Temperatures:
 Air: 70's
 Concrete:

Slump: 5"

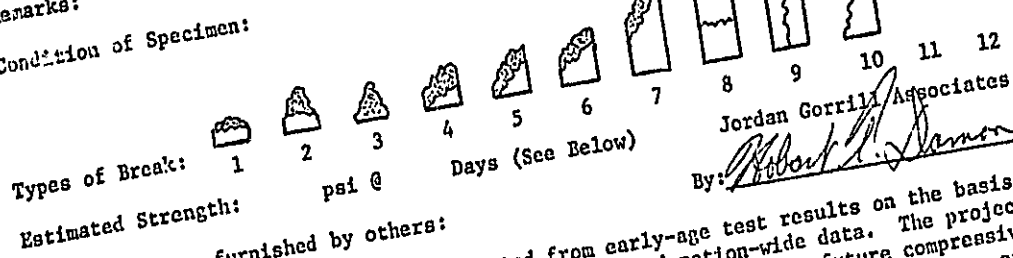
Air: 6.0%

Design Requirements: 3,000 psi @ 28 Days*

Specimen No.	Density, pcf	Type of Break	Load, kips	Strength, psi
SAT-25C	114.76	10	125.0	4,420
SAT-25D	114.88	5	124.5	4,400

Average Strength: 4,410 psi

Remarks:
 Condition of Specimen:



Jordan Gorri Associates
 By: *Robert A. Damon*

*Indicates data furnished by others:

Note: Estimated strengths are extrapolated from early-age test results on the basis of age-strength relationships developed from Maine and nation-wide data. The projected strength values are provided only as an indication of probable future compressive strengths. It is important to note that actual strengths of later test specimens or the concrete in the structure may vary from the projected value.

Rev. 11/72

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TERRIEN ARCHITECTS 5 Moulton Street Portland Maine 04101 707 771 6000

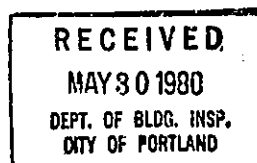
OFFICE EXPANSION AND RENOVATION FOR
THAXTER, LIPEZ, STEVENS, BRODER AND MICOLEAU
OUTLINE SPECIFICATIONS
31 March 1980
Issued 24 April 1980

SECTION 01010: SUMMARY OF THE WORK

1. The expansion and renovation of these law offices includes, but is not necessarily limited to, the following items:
 - a. Removal of existing carpet in selected areas.
 - b. Demolition of selected existing partitions.
 - c. Demolition of existing hung ceiling in new waiting and conference areas.
 - d. Construction of new partitions.
 - e. Relocation of selected existing doors
 - f. Installation of new finish wood in new waiting and conference rooms.
 - g. Fabrication and installation of new storage shelving.
 - h. Fabrication and installation of new wood and glass doors and sidelights at entrance to waiting room.
 - i. Fabrication and installation of new wood cabinets, shelves, and furniture.
 - j. Installation of new hung ceiling in selected areas.
 - k. Installation of new wiring, lights, switches, and outlets.

SECTION 01300: SUBMITTALS

1. Shop drawings for the following items must be submitted to the Architect before beginning work, and in sufficient time for review, modification if necessary, and approval (Work performed on the below items without approved shop drawings will be at the Contractors own risk):
 - a. custom millwork at entry door #1.
 - b. " " " conference room door #2.



George B. Terrien · Samuel W. Van Dam · William Burlin · Richard K. Renner
Robert E. Howe · Jenny P. Scheu · Nancy L. Klintz

OFFICE EXPANSION AND RENOVATION FOR
THAXTER, LIPEZ, STEVENS, BRODER AND MICOLEAU
OUTLINE SPECIFICATIONS
31 March 1980
Issued 24 April 1980

SECTION 01300: SUBMITTALS

1. c. Custom shelves and cabinets in waiting and conference room.
d. Wood finishes at waiting and conference room soffits.
2. A schedule of construction values, broken down according to sections, or combination of sections of the specifications, or as may be modified for the convenience of the Contractor. The schedule of values shall be submitted within thirty (30) days of the signing of the Agreement.
3. Paint color and wall covering samples on 1'-0" X 1'-0" tempered masonite. Submit two (2) samples for each paint color and wall covering material.
4. Submit a hardware schedule for doors #1 and #2.
5. For the following items, submit manufacturers' literature for the Architect's review and approval:
 - a. Suspended ceiling and tile system in conference and waiting rooms.
 - b. Electrical fixtures for conference and waiting rooms.
 - c. Fabric wall covering installation instructions.

SECTION 01500: TEMPORARY FACILITIES

1. The General Contractor may connect into the existing water and electrical services in the building and may use without payment to the Owner whatever water and electricity may be required for the reasonable execution of the Work. Such connection and use shall be at the risk of the Contractor for any damage to the existing structure, the property of the Owner, the Work, and the performance of the Work.
2. All Contractors shall provide and maintain proper guards and temporary barriers as required for the protection and the safety of all employees and all other persons during construction.
3. When required for reasons of security or temporary protection the contractor shall provide secure temporary closure at doorways.

EXPANSION AND RENOVATION FOR
PTER, LIPEZ, STEVENS, BRODER AND NICOLPAU
AND SPECIFICATIONS

Page 3

March 1980
Issued 24 April 1980

SECTION 01500: TEMPORARY FACILITIES

4. The Contractor shall limit the areas of work within the building to only the size necessary for the convenient performance of the Work. He shall protect the premises and the Work from damage or loss from any cause, including water, fire, theft, vandalism, dirt, dust and debris.
5. If damage occurs to the premises and surroundings or to the Work caused by the work, negligence, or inadequate protection the Contractor shall restore the premises and surroundings to at least its former condition, and the Work as described in the Contract Documents.

SECTION 01501: SPECIAL REQUIREMENTS OF THE WORK

1. The Contract Documents are prepared in accordance with available information as to existing conditions and locations. If, during construction, conditions are revealed that are at variance with the Contract Documents, the Contractor shall notify the Architect immediately so that supplementary instructions may be issued. No extra compensation will be allowed because of differences between actual measurements and dimensions shown. Refer such differences to the Architect for consideration before beginning.
2. Some disruption of office functions is inevitable, but every effort should be made to minimize these disruptions.
3. On a daily basis, the Contractor shall keep the construction area free from accumulation of waste material and rubbish.

SECTION 02110: DEMOLITION AND DISASSEMBLY

1. Comply with all applicable requirements and laws, including the OSHA requirements for safety in building construction work. Comply with the ANSI "Standard Safety Code for Building Construction."
2. Notify the Architect and Owner in advance of commencing demolition and dismantling work to minimize inconvenience to the Owner.
3. Several partitions selected for removal contain doors, sidelights, and frames which will be reused in new locations. The Contractor shall disassemble these doors and frames carefully and store them in a safe location selected by the Owner.

EXPANSION AND RENOVATION FOR
R. ALIPEZ, STEVENS, BODER AND MICOLEAU
SPECIFICATIONS

1980
 April 1980

SECTION 05400: LIGHTGAUGE METAL FRAMING

1. All steel studs for partitions shall be model 358AT10, 20 g., manufactured by U.S. Gypsum, or equal approved by Architect. Runners and other accessories shall be from the same manufacturer. Install in strict accordance with manufacturers instruction, and suggested details.
2. Securely attach steel runners at floor and ceiling to structural elements with suitable fasteners located 2" from each end and spaced 24" o.c., or to suspended ceilings with toggle or molly bolt spaced 16" o.c.
3. Position studs vertically, engaging floor and ceiling runners, and space 24" o.c. When necessary, splice studs with 8" nested lap and one positive attachment per stud flange. Place studs in direct contact with all door frame jambs, abutting partitions, partition corners, and existing construction elements.
4. Anchor all studs for shelf-walls and those adjacent to door and window frames, partition intersections, and corners to ceiling and floor runner flanges. Securely anchor studs to jamb and head anchor clips of door and borrowed-light frames, place horizontally a cut-to-length section of runner, with a web flange bend at each end, and secure with one positive attachment per flange. Position a cut to length stud (extending to ceiling runner) at vertical panel joints over door frame header.
5. Provide adequate blocking for all shelving supports.

SECTION 06200: FINISH CARPENTRY AND MILLWORK

1. Contractor shall submit shop drawings showing materials, dimensions and details of the following items: shelves and cabinets in waiting and conference rooms, wood finishes at soffit in waiting and conference rooms, waiting room reception desk and conference room table.
2. All millwork shall conform to American Woodworking Institute Specifications custom grade specifications or better. All exposed wood shall be clear with uniform color and grain as noted on plans.

SECTION 08100: METAL DOORS AND FRAMES

1. Existing metal entrance doors and sidelights to be reused shall be removed carefully, stored in a safe place, and reinstalled securely in locations shown on the drawings.

EXPANSION AND RENOVATION FOR
ERRY, LIPEZ, STEVENS, BRODER AND MICOLEAU
REPAIR SPECIFICATIONS

March 1980
Revised April 1980

SECTION 08200: WOOD DOORS

1. The Contractor shall submit shop drawings showing materials, dimensions, and details of the doors, sidelights, and frames at openings number 1 and 2, and 3.
2. Doors, door frames, and sidclight frames shall be straight, true, and free from defects and shall conform or exceed the American Woodworking Institute's custom grade specifications.
3. New doors for offices to be 3' X 7' birch solid core.

SECTION 08700: HARDWARE

1. All hardware shall be installed in accordance with the manufacturers' recommendations and shall conform to the following schedule:
 - a. Door #1:
Hinges - Stanley FBB 179 5 X 5 US10A (1½ pair)
Closer - ICN 2014 H
Kick Plates - 8 X 36 US10B 16 ga. bronze (inside only)
Lockset - Sargent 8105 LNB US10B
 - b. Door #2:
Hinges - Stanley FBB 179 5 X 5 US10A (1½ pair)
Closer - none
Lockset - Sargent 8124 LNB US10B
 - c. Door #3:
Hinges - F179 4½ X 4½ US10A (3 pair)
Lockset - Sargent 1793 CB US10B
2. Key system shall be coordinated with building key system.

SECTION 08800: GLAZING

1. All glass in all doors, transom panels, and sidelights shall meet or exceed the requirements of the CPSC Safety Standard for Architectural Glazing Materials. The exact type and thicknesses shall be as noted on the drawings.

SECTION 09250: GYPSUM WALLBOARD

1. All gypsum wallboard for partitions shall be 5/8" Regular or Firecode C (at rated partitions) as manufactured by U.S. Gypsum, or equal approved by the Architect. Gypsum wallboard shall be installed in strict accordance with the manufacturer's instructions using approved fasteners and accessories.

AND RENOVATION FOR
PEZ, STEVENS, BRODER AND MICOLEAU
MODIFICATIONS

1980

April 1980

SECTION 09250: GYPSUM WALLBOARD

2. Apply gypsum panels vertically parallel to studs. Position all edges over studs. Use maximum practical lengths to minimize end joints. Fit ends and edges closely, but not forced together. Stagger joints on opposite sides of partition.
3. For single layer parallel application of gypsum panels space screws 16" o.c. in field of panels and along vertical abutting edges. For double layer screw attachment, space screws 24" o.c. in base layer and 16" o.c. in face layer. Apply both layers of gypsum panels vertically with joints in the face layer offset from base layer joints. For 5/8" panels, use 1" screws for base layer and 1-5/8" for face layer.
4. At soffits space screws 12" o.c. at edges and in field.
5. Finish all face panel joints and internal angles with U.S.G. Joint System (or approved equal) installed according to manufacturer's directions. Spot exposed fasteners on face layers, finish corner bead, and trim as required with at least three coats of joint compound, feathered out into panel faces and sanded smooth.
6. Reinforce all exterior corners with corner bead fastened with screws 9" o.c. on both flanges along the entire length of bead.

SECTION 09500: ACOUSTICAL TREATMENT

1. Selected partitions, noted on the drawings, shall be completely filled with fiberglass acoustic insulation.

SECTION 09510: ACOUSTICAL CEILINGS

1. Submit for Architect's review and approval manufacturer's literature showing system, colors, and suggested details.
2. Acoustical ceiling and suspension system in conference and waiting rooms shall be as noted on drawings and installed in strict accordance with manufacturer's directions and recommendations.
3. Suspension system grid installation shall conform to the spacing shown on the reflected ceiling plan.

SECTION 0900: PAINTING

1. Submit 2 samples for each paint color to the Architect for approval. Samples should be on 1'-0" X 1'-0" tempered masonite. Give Architect enough advance notice so that colors can be selected and samples prepared, submitted, and approved before painting is scheduled to begin.
2. All surfaces to receive paint or clear finish shall be cleaned until they are free from dirt, oil and all other foreign substances.
3. The Contractor shall use the Benjamin-Moore products specified or, with the Architect's approval, the products of another manufacturer.
 - a. Interior gypsum wallboard
Prime coat: Latex Quick D. / Prime Seal
Finish: Regal Aquavelvet (washable eggshell) - 2 coats
 - b. Interior wood, clear finish
Finish: 2 coat Birchwood Urethane Finish - low lustre - thinned with mineral spirits

SECTION 09950: WALL COVERING

1. Fabric wall covering in the waiting and conference rooms shall be "Origon" AC4-1014 Color #4 30" pretrimmed manufactured by Arch-com Fabrics, 6 East 32nd Street, New York, N.Y. 10016.
2. Submit 2 samples mounted on 1'-0" X 1'-0" tempered masonite for the Architect's review and approval. Also, submit installation instructions for Architect's information and review.
3. The fabric wall covering shall be hung horizontally in strict accordance with the instructions and recommendations of the manufacturers of the wall covering and the adhesive.

SECTION 15000: MECHANICAL

1. Except for the connecting vent between the waiting and conference rooms, all mechanical work will be performed by the building maintenance staff as directed by the Owner. The Contractor shall be prepared to coordinate his work with the requirements of the mechanical work.

EXPANSION AND RENOVATION FOR
FR. LIPEZ, STEVENS, BRODER AND MICOLEAU
THE SPECIFICATIONS

March 1980
Issued 24 April 1980

SECTION 16000: ELECTRICAL

1. Furnish and install all labor, materials, equipment, tools, transportation, supervision and services required to provide, completely tested and operative, all electrical work in accordance with the drawings and specifications. The electrical work shall include:
 - a. lighting fixtures
 - b. outlet boxes
 - c. switches, boxes and coverplates
 - d. wiring
 - e. fixture supports
2. All work shall comply with the following Codes, Standards and Authorities:
 - a. National Electrical Code NFPA 70-1978
 - b. City of Portland, Maine
 - c. Central Maine Power Co.
3. All material and workmanship shall be guaranteed for one year from the date of acceptance. Defects shall be corrected without charge, including all patching, painting and other incidental repairs or replacements.
4. All work shall be installed in a neat, orderly manner. Exact locations of all items shall be as detailed on the drawings and/or coordinated in the field. All work shall be in conformance with the National Electrical Code, authorities of the State of Maine and of the City of Portland and to the satisfaction of the local wiring inspector.
5. All materials shall be new and shall conform to applicable standards established for that material by the following:
 - a. American Society for Testing and Materials (ASTM)
 - b. Underwriters Laboratories, Inc. (UL)
 - c. National Electrical Manufacturers' Association (NEMA)
 - d. American National Standards Institute (ANSI)
 - e. National Fire Protection Association (NFPA)

PAKSTON AND RENOVATION FOR
ER, LIPEZ, STEVENS, BRODER AND MICOLEAU
E SPECIFICATIONS
arch 1980
ued 24 April 1980

SECTION 16000: ELECTRICAL

6. Lighting fixtures and lamps shall be as described on the drawings. Furnish shop drawings or catalog cuts of lighting fixtures and devices for review and approval by the Architect prior to placing final order.
7. Electrical contractor shall be Falmouth Electric or alternate approved by Plaza Realty.
8. There shall be at least one 120 volt duplex outlet for each 125 square feet of office area unless otherwise shown on plans.
9. There shall be at least one telephone outlet for each 200 square feet of office area.

ARCHITECTS 5 Moulton Street Portland Maine 04101 207-771-6016

May 1980

ADDENDUM NUMBER ONE

Office Expansion and Renovation for Thaxter, Lipez, Stevens, Broder, and Micolean

A. OUTLINE SPECIFICATIONS

SECTION 02110: DEMOLITION AND DISASSEMBLY

Add after Item 3:

- 4. The Contractor shall remove existing carpet only as necessary to complete the work.

SECTION 05400: LIGHTGAUGE METAL FRAMING

Add after Item 5:

- 6. Studs for all walls except party walls separating tenant spaces and between tenant spaces and the hall shall be 2 1/2" wide. Party wall studs shall be 3 1/2" wide.

SECTION 08200: WOOD DOORS

Delete Item 3, add new Item 3 as follows:

- 3. New door for small storage closet shall be 2'-6" birch solid core. All other doors (except openings 1, 2, and 3) shall be existing doors reused.

SECTION 09250: GYPSUM WALLBOARD

Item 1: delete 5/8" gypsum wallboard, except at party walls separating tenant spaces or between tenant space and hall. All other gypsum wallboard to be 1/2".

SECTION 09900: PAINTING

Add after Item 3:

- 4. Except in the conference and waiting rooms, paint colors for new walls shall match existing walls. Break between new paint and existing paint shall occur at an interior or exterior corner.
- 5. In conference and waiting rooms, existing walls not covered by fabric shall receive one coat of paint.

George B. Terrien · Samuel W. Van Dam · William Burlin · Richard K. Renner
Robert E. Howe · Jenny P. Scheu · Nancy L. Klintz

MEMO NUMBER ONE
Ice Expansion and Renovation for Thaxter,
Lopez, Stevens, Broder, and Nicoleau

SECTION 15000: MECHANICAL

Add after Item 1:

2. The sound transfer duct shall be 1'-0" X 1'-0" 26 gauge galvanized steel with 1" of 1 1/2 lb. density neoprene coated fiberglass insulation held in place with "Stic-Klips" at 1'-0" O.C.

B. DRAWINGS

SHEET 1 OF 7

1. See attached copy showing location of fabric wall covering and extent of new wall replacing door to existing waiting room.

SHEET 2 OF 7

1. See attached copy showing modification of detail 2.
2. Detail 3 - delete insulation.



APPLICATION FOR PERMIT

PERMIT ISSUED

JUN 11 1980

17 395

CITY OF PORTLAND

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION PORTLAND, MAINE, .. May .30., 1980

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 1 Canal Plaza ... 10th floor ... Fire District #1, #2
1. Owner's name and address Plaza Realty ... Telephone
2. Lessee's name and address Thaxter, Liper, Stevens, Broder & Micolean ... Telephone
3. Contractor's name and address F.P. & C. H. Murray-P.O. Box 2297, Portland, ME 04106 ... Telephone 799-8136
Architect Specifications Plans No. of sheets
Proposed use of building law firm No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 30,000 Fee \$ 136.00

FIELD INSPECTOR—Mr. Marge GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations & renovations
Demolitions
Change of Use
Other

To make alterations & renovations to 10 th floor to be used as law firm no structural changes. 7 sheets of plans Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span. 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..
ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ..
BUILDING CODE?
Fire Dept. James P. Collins
Health Dept.
Others:

Signature of Applicant F. P. & C. H. Murray Phone #
Type Name of above 1 2 3 4

FIELD INSPECTOR'S COPY

Other and Address

NOTES

1-12-80 Started work - No bearing
walls - sprinkler to remain over
MAAIA and to highway -
9-23-80 Completed

Permit No. 80/395

Location 1 Canal Plaza

Owner Plaza Realty

Date of permit 6-11-80

Approved [Signature] in my office

Large grid area with horizontal and vertical lines, mostly blank with a large diagonal scribble.



APPLICATION FOR PERMIT

PERMIT ISSUED

FEB 16 1984

CITY of PORTLAND

B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION **01.24**
 ZONING LOCATION PORTLAND, MAINE **Feb. 8, 1984**

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION **Canal-Dep. Bank - Northgate Plaza** Fire District #1 #2
 1. Owner's name and address Telephone
 2. Lessee's name and address **Shaw, S Realty - No. Mall Plaza** Telephone **773-0211**
 3. Contractor's name and address **Neo-Kraft Sign Co. - 15 Westminster St. Lewiston** Telephone **782-9654**

Proposed use of building **bank** No. of sheets
 Last use No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractural cost \$.....
 FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
 Base Fee **23.00**
 Late Fee
 TOTAL \$ **23.00**

Replacing existing roof sign with 5' x 8' sign

Stamp of Special Conditions

send permit to # 3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers. 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

MISCELLANEOUS

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street
 ZONING:
 BUILDING CODE Will there be in charge of the above work a person competent
 Fire Dept.: to see that the State and City requirements pertaining thereto
 Health Dept.: are observed?
 Others:

Signature of Applicant **Vincent M. Labozzo** Phone # **same**
 Type Name of above **Neo-Kraft Sign Co.** 1 2 3 4
 Other
 and Address

4

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0048
BUILDING LOCATION ... B-3 Zone PORTLAND, MAINE ... Jan. 9, 1984

JAN 20 1984

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1. Canal Plaza Fire District #1 , #2
1. Owner's name and address Pizzagalli Constr., 7 Joy Drive, So. Burlington, Vt. Telephone
2. Lessee's name and address Canal Bank - same Telephone 775-6511
3. Contractor's name and address Neo-Kraft - 15 Westminster St. Lewiston Telephone 782-9654
Proposed use of building professional bldg. No. of sheets
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost
FIELD INSPECTOR—Mr. @ 775-5451
Appeal Fees \$
Base Fee 79.00
Late Fee
TOTAL \$ 75.00

To removing letters 5' and replacing with same size letters as per plans. 1 sheet of plans. removing 36 5' letters on ~~building~~ building replacing with 28 5' letters.

Stamp of Special Conditions

send permit to # 3 04240

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof R e per foot Roof covering
No. of chimneys Material on chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? NO.
ZONING: O.K. 2/19/84 B-3 Zone
BUILDING CODE Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes
Fire Dept.
Health Dept.
Others:
Signature of Applicant Vincent M. Loboza Phone # same
Type Name of above Vincent Loboza for Neo-Kraft 1 2 3 4
Sign Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
10 MA. 11/9/84

Permit No. 84/148

Location Canal Baya

Owner Rajagalli Govt.

Date of permit 1-1-84

Approved 1-21-84

Dwelling

Garage

Alteration Sign

NOTES

Sign CP
1/1/84

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION ... 0 3002

ZONING LOCATION ... PORTLAND, MAINE ... Dec. 6, 1983

PERMIT ISSUED

DEC 9 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications

LOCATION ... 1 Canal Plaza ... 9th floor ... Fire District #1 [] #2 []
1 Owner's name and address Canal Bank ... same ... Telephone ...
2 Lessee's name and address ... Perkins, Thompson, Hinckley, & Keady ... same Telephone 775-0741 ...
3 Contractor's name and address ... LedgeWood Inc. ... P.O. Box 8107-04104 Telephone 775-0741 ...
Proposed use of building law firm ... No. of sheets ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$... 140,000 ...
FIELD INSPECTOR—Mr ... @ 775-5451

Appeal Fees \$...
Base Fee ... 710.00 ...
Late Fee ...
TOTAL \$... 710.00 ...

To make alterations to existing space on 9th floor of building as per plans. 2 sheets of plans.

Stamp of Special Conditions

send permit to # 3

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... NO ... Is any electrical work involved in this work? ... YES ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Mills ...
Size Girde: ... Columns under girders ... Size ... Max. on center ...
Joists (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers 1st floor ... 2nd ... 3rd ... roof ...
Maximum span 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION PLAN EXAMINER ... Will work require disturbing of any tree on a public street? ... NO
ZONING: ...
B'ILDING CODE: ... Will there be in charge of the above work a person competent
Fire Dept James V. ... to see that the State and City requirements pertaining thereto
Health Dept ... are observed? YES ...
Others: ...

Signature of Applicant Robert Balfe for LedgeWood Inc. Phone # ... same
Type Name of above ... Robert Balfe for LedgeWood ... 1 [] 2 [] 3 [] 4 []
Inc. Other ...
and Address ...

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

1107 Mr. Wages

Permit No. 83/3002
Location 1 Canal Plaza
Owner Canal Bank
Date of permit 12-6-83
Approved 12-9-83
Dwelling _____
Garage _____
Alteration to 9th floor of bldg.

NOTES

2/27/84 work done to floor
[Signature]

ED

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 360

APR 18 1984

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES PORTLAND MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION . . . Canal Plaza Fire District #1 #2

1. Owner's name and address . . . Canal Bank Telephone 775-6521

2. Lessee's name and address Telephone

3. Contractor's name and address . . . The Pochobit Co., Inc., 844 Susanna Ave. Telephone

Proposed use of building . . . bank & offices No. of the

Last use . . . same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated construction cost \$. . . 25,000 Appeal Fees \$

FIELD INSPECTOR—Mr. Base Fee 135.00

@ 775-5451

Late Fee

TOTAL \$ 135.00

To make alterations to existing building, no structural changes as per plans, 3 sheets of plans.

Stamp of Special Conditions

send permit to # J 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Is connection to be made to public sewer? existing If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber--Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet

Joists and rafters, 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span, 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS

BUILDING INSPECTION--PLAN EXAMINER Will work require disturbing of any tree on a public street? no

ZONING:

BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant Walter Pochobit Phone # 8-370

Type Name of above, Inc. 1 2 3 4

Other and Address

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-5826

PROPERTY ADDRESS

Town Or Plantation: **Portland, Maine**
Street: **1 Canal Plaza 10th floor**
Subdivision Lot #: **1**

PROPERTY OWNER'S NAME

Last: **Canal Bank**
First:

Applicant Name: **Aaskov Plbg. & Htg. Co.**

Mailing Address of Owner/Applicant (if Different): **900 Riverside Street
Portland, Maine 04103**

PORTLAND PERMIT # 393 TOWN COPY

Date Permit Issued: **4/18/84** FEE: **\$11.23**

Local Plumbing Inspector Signature: *[Signature]*

Owner/Applicant Statement
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: *[Signature]* Date: **4/18/84**

Caution: Inspection Required
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: **MAY 29 1984**

PERMIT INFORMATION

This Application is for:

1. NEW PLUMBING
2. RELOCATED PLUMBING

APR 23 1984

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY: **Bank**

Plumbing To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D HOUSING DEALER MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER

LICENSE # **0.1.3.4.1**

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
	HOOK-UP: to public sewers in those cases where the connection is not regulated and inspected by the local Sanitary District		Hose bibb / Sillcock		Bathtub (and Shower)
			Floor Drain	1	Shower (Separate)
			Urinal	1	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain	1	Wash Basin
			Indirect Waste	1	Water Closet (toilet)
			Water Treatment Softener, Filter, etc.		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____	1	Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
				5	Fixtures (Subtotal) Column 2
				5	Total Fixtures
				15.00	Fixtures Fee
\$				15.00	Hook-Up Fee
					Permit Fee
					Total

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Page 1 of 1
HHE-211 R3-483

TOWN COPY



APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date May 2, 19 84
 Receipt and Permit number B-21646

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 1 Canal Plaza - 10th Floor
 OWNER'S NAME: Canal Bank - Key ADDRESS: same

OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>1-30</u>	FEES <u>3.00</u>
FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____ Strip Fluorescent _____ ft. _____	
SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of) Fractional _____ 1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____ Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____ Oil or Gas (by separate units) _____ Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____ Water Heaters _____ Cook Tops _____ Disposals _____ Wall Ovens _____ Dishwashers _____ Dryers _____ Compactors _____ Fans <u>1</u> Others (denote) _____	<u>1.50</u>
TOTAL _____	
MISCELLANEOUS (number of) Branch Ps _____ Transformers _____ Air Conditioners Central Unit _____ Separate Units (windows) _____ Signs 20 sq. ft. and under _____ Over 20 sq. ft. _____ Swimming Pools Above Ground _____ In Ground _____ Fire/Burglar Alarms Residential _____ Commercial _____ Heavy Duty Outlet, 220 Volt (such as welders) 30 amps and under _____ over 30 amps _____	<u>2.00</u>
Circus, Fairs, etc. _____	
Alterations to wires xxx _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____	INSTALLATION FEE DUE: _____ DOUBLE FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____	TOTAL AMOUNT DUE: <u>6.50</u>

INSPECTION: Will be ready on ready, 19 84; or Will Call _____

CONTRACTOR'S NAME: John Perry

ADDRESS: 381 Danforth Street

TEL.: _____

MASTER LICENSE NO.: 3695 SIGNATURE OF CONTRACTOR: [Signature]

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY - WHITE
 OFFICE COPY - CANARY
 CONTRACTOR'S COPY -- GREEN

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3428

PROPERTY ADDRESS

Town Or Plantation: PORTLAND
Street Subdivision Lot #: ONE CANAL PLAZA

PROPERTY OWNERS NAME

Last: _____ First: _____
Applicant Name: RUDOLPH DIMALE
Mailing Address of Owner/Applicant (If Different): 1231 GREAT AVE

PORTLAND PERMIT # 732 TOWN COPY
 \$ _____ FEE
 \$ _____ L.P.I. # _____
 Local Plumbing Inspector Signature: [Signature]

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant

Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

OCT 31 1984
Date Approved

PERMIT INFORMATION

This Application is for

- 1. NEW PLUMBING
- 2. RELOCATED PLUMBING

Type Of Structure To Be Served:

- 1. SINGLE FAMILY DWELLING
- 2. MODULAR OR MOBILE HOME
- 3. MULTIPLE FAMILY DWELLING
- 4. OTHER - SPECIFY: _____

Plumbing To Be Installed By:

- 1. MASTER PLUMBER
- 2. OIL BURNERMAN
- 3. MFG'D. HOUSING DEALER/MECHANIC
- 4. PUBLIC UTILITY EMPLOYEE
- 5. PROPERTY OWNER

LICENSE # 41,2,2,4

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Silcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal	2	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____	1	Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2	3	Fixtures (Subtotal) Column 1
				3	Fixtures (Subtotal) Column 2
					Total Fixtures
				\$ 9.	
				\$.	
				\$ 9.	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation: **Portland, Maine**

Street: **1 Canal Plaza**

PROPERTY OWNERS NAME

Last: **Plaza Realty** First: _____

Applicant Name: **Aaskov Plumbing & Heating**

Mailing Address of Owner/Applicant (if different): **900 Riverside Street
Portland, Maine 04103**

PORTLAND PERMIT # **901** TOWN COPY

Date Permit Issued: **2/13/85**

Signature: *[Signature]*

L.R.I. # _____

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: *[Signature]* Date: **2/8/85**

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: *[Signature]* Date Approved: **2-25-85**

PERMIT INFORMATION

This Application is for:

- NEW PLUMBING
- RELOCATED PLUMBING

Type Of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY: Commercial - offices

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # **11541**

FEB 23 1985

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal		Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc.		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspldor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____		Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2	2	Fixtures (Subtotal) Column 1
					Fixtures (Subtotal) Column 2
				2	Total Fixtures
\$				12.00	Fixture Fee
\$					Hook-Up Fee
\$				12.00	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0.058
ZONING LOCATION PORTLAND, MAINE .. Jan. 23, 1965

JAN 22 1965

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... Canal Plaza ... Fire District #1 [] #2 []
1. Owner's name and address ... Plaza Realty ... Telephone ...
2. Lessee's name and address ... Curtis Thaxter Law ... Telephone .. 775-2361
3. Contractor's name and address ... The Inextor Co. ... Telephone .. 773-5553
Proposed use of building ... professional bldg. ... No. of sheets ...
Last use ... same ... No. families ...
Material ... No stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$.. 16,000 ...
Appeal Fees \$...
Base Fee 90.00
Late Fee ...
TOTAL \$.. 90.00

FIELD INSPECTOR—Mr. @ 775-5451

To make renovations to existing space for law firm as per plans. 1 sheet of plans. no structural changes

Stamp of Special Conditions

send permit to # 3 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... yes ... Is any electrical work involved in this work? ... yes ...
Is connection to be made to public sewer? ... existing ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... , to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:
BUILDING INSPECTION—PLAN EXAMINER ...
ZONING: ...
BUILDING CODE: ...
Fire Dept.: ...
Health Dept.: ...
Others: ...

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ...
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ...

Signature of Applicant ... Curtis Thaxter for ... Phone # ... same ...
Type Name of above ... Curtis Thaxter Law firm ... 1 [] 2 [] 3 [] 4 []
Other ... and Address ...

10

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

3/28/86

NOTES

OK

Permit No. 85/177

Location

Owner

Date of permit

Approved

Dwelling

Garage

Alteration

to grade

Small (3) sq ft

Springville, Colorado

5-21-85

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APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date March 26, 19 86
 Receipt and Permit number D 26373

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 1 Canal Plaza - 3rd Floor - Key Bank executive offices
 OWNER'S NAME: Plaza Realty ADDRESS: same

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>1-30</u>	3.00
FIXTURES: (number of)	
Incandescent _____ Fluorescent <u>20</u> (not strip) TOTAL <u>20</u>	4.00
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____ ..	
METERS: (number of)	
MOTORS: (number of)	
Fractional	
1 HP or over	
RESIDENTIAL HEATING:	
Oil or Ga. (number of units)	
Electric (number of rooms)	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler)	
Oil or Gas (by separate units)	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water H. 'ers _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL	
MISCELLANEOUS: (number of)	
Branch Panels	
Transformers	
Air Conditioners Central Unit	
Separate Units (windows)	
Signs 20 sq. ft. and under	
Over 20 sq. ft.	
Swimming Pools Above Ground	
In Ground	
Fire/Burglar Alarms Residential	
Commercial	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under	
over 30 amps	
Circus, Fairs, etc.	
Alterations to wires	
Repairs after fire	
Emergency Lights, battery	
Emergency Generators	
	INSTALLATION FEE DUE:
	DOUBLE FEE DUE:
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	TOTAL AMOUNT DUE: <u>7.00</u>
FOR REMOVAL OF A "STOP ORDER" (304-16.b) ..	

INSPECTION:
 Will be ready on _____, 19__; or Will Call xx
 CONTRACTOR'S NAME: John Perry
 ADDRESS: 381 Danforth St.
 TEL.: 773-5824
 MASTER LICENSE NO.: 3695 SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GFREN



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date March 26, 19 86
 Receipt and Permit number D 26373

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 1 Canal Plaza - 3rd Floor - Key Bank executive offices
 OWNER'S NAME: Plaza Realty ADDRESS: same

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>1-30</u>	3.00
FIXTURES: (number of)	
Incandescent _____ Flourescent <u>20</u> (not strip) TOTAL <u>20</u>	4.00
Strip Flourescent _____ ft.	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES. (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
	INSTALLATION FEE DUE: _____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	DOUBLE FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16 b)	TOTAL AMOUNT DUE: <u>7.00</u>

INSPECTION.

Will be ready on _____, 19__; or Will Call xx

CONTRACTOR'S NAME: John Perry
 ADDRESS: 381 Danforth St.
 TEL.: 773-5824
 MASTER LICENSE NO. 3695 SIGNATURE OF CONTRACTOR: _____
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

PERMIT # 631 CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Perkins, Thompson, Kinckley & Keddy

Address: One Canal Plaza, Portland

LOCATION OF CONSTRUCTION: One Canal Plaza - Eighth Floor

CONTRACTOR: Ledgewood, Inc. SUBCONTRACTORS: _____

ADDRESS: Portland, Oregon 97204 775-0741

Est. Construction Cost: 710,000 Type of Use: Office

Permit Use: Office

Building Dimensions: L. _____ B. _____ H. _____

In Proposed Use: _____

Comments: Interior renovations and tenant fit up

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only _____

Number of Units: _____

Foundation:

- Type of Soil: _____
- Setbacks - Front _____ Rear _____ (Side(s)) _____
- Footings: Size _____
- Foundation Size _____
- Other _____

Floor:

- Sills: Size _____ Sills must be anchored
- Girders: Size _____
- Lally Columns: Spacing _____ Size _____
- Joists: Size _____ Spacing 16" O.C.
- Bridging: Type _____ Size _____
- Floor Sheathing: Type _____ Size _____
- Other Material _____

Exterior Walls:

- Studding: Size _____ Spacing _____
- No. windows _____
- No. Doors _____
- Header Sizes _____ Span(s) _____
- Bracing: Type _____ No. _____
- Corner Posts: Size _____
- Insulation: Type _____ Size _____
- Sheathing: Type _____ Size _____
- Siding: Type _____ Weather Exposure _____
- Masonry Materials _____
- Other Materials _____

Interior Walls:

- Studding: Size _____ Spacing _____
- Header Sizes _____ Span(s) _____
- Wall Covering: Type _____
- Fire Wall: Type _____
- Other Materials _____

For Official Use Only

Date: May 27, 1988 Subdivision: Yes / No _____
 Inside Fire Limits _____ Name _____
 IFC Code _____ of _____
 Use Limit _____ Permit Expiration: _____
 Estimated Cost: 710,000 Ownership: _____
 Value of Structure _____
 Fee: 570 **PERMIT ISSUED**

Ceiling:

- Ceiling Joists: Size _____ Spacing _____
- Ceiling Strapping: Size _____ Spacing _____
- Type: _____
- Insulation: Type _____
- Ceiling Height: _____

Roof:

- Truss or Rafter: Size _____ Span _____
- Sheathing: Type _____ Size _____
- Roof Covering: Type _____
- Other _____

Chimneys: _____ Number of Fire Places _____

Heating: _____ Type of Heat _____

Electrical: _____ Service Entrance Size _____ Smoke Detector Required: Yes _____ No _____

Plumbing:

- Approval of soil test if required: Yes _____ No _____
- No. of Tubs or Showers _____
- No. of Fixtures _____
- No. of Lavatories _____
- No. of Bathrooms _____

Swimming Pools:

- Type _____
- Pool Size _____ Square Footage _____
- Must conform to National Electrical Code and State Law

Zoning: District _____ Street Frontage Req. _____ Provide _____
 Req. Inset Setbacks: Front _____ Back _____ Side _____

Review:

Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Sp. Pl. _____ Subdivision _____
 Shore and Floodplain Mgmt. _____ Special Exemption _____
 Other (Explain): _____
 Date Approved: _____

Permit Received By: Lynne Bennett

Signature of Applicant: Marion Sanders Date: 5/27/88

Signature of CEO: Marion Sanders Date: _____

Inspection Dates: _____



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 6/19/90, 19__
 Receipt and Permit number 01377

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
 LOCATION OF WORK: 1 Key Plaza - penthouse
 OWNER'S NAME: Plaza Realty ADDRESS: same FEB

OUTLETS:
 Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of)
 Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
 Strip Fluorescent _____ ft. _____

SERVICES:
 Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) _____

MOTORS: (number of)
 Fractional _____
 1 HP or over 4 (three are 100 hp) _____ 4.00

RESIDENTIAL HEATING: & is 50 hp
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of)

Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____

TOTAL _____

MISCELLANEOUS: (number of)

Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____
 Separate Units (windows) _____

Signs 20 sq. ft. and under _____
 Over 20 sq. ft. _____

Swimming Pools Above Ground _____
 In Ground _____

Fire/Burglar Alarms Residential _____
 Commercial _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____
 over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after hire _____

Emergency Lights, battery _____

Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____

FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____

INSTALLATION FEE DUE: _____
 DOUBLE FEE DUE: _____
 TOTAL AMOUNT DUE: 5.00
 minimum fee

INSPECTION:
 Will be ready on _____, 19__; or Will Call _____

CONTRACTOR'S NAME: Bay Electric

ADDRESS: Bx 6316 - Cape Eliz.

TEL.: 799-0350

MASTER LICENSE NO.: #09171

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:
Don D. [Signature]

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION One Canal Plaza

Issued to Key Bank

Date of Issue 1/15/91

This is to certify that the building, premises, or part thereof, at the above location, built -- altered -- changed as to use under Building Permit No. 90/2196, that had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Tenth floor renovation

Conference room

Limiting Conditions:

Occupant load - under 49

This certificate supersedes
certificate issued

Issued on

1/15/91

(Date)

Mark Mitchell
Inspector

Ms. S. [Signature]
Inspector of Buildings

Notice: This certificate certifies lawful use of building or premises, and ought not to be construed as a warranty or assurance of any nature. Care will be demanded to correct or remove any defects.

902186

Permit # City of Portland BUILDING PERMIT APPLICATION Fee \$35. Zone Map # Lot#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Key Bank Phone # 974-7199
 Address: One Canal Plaza, Ptd, 4E 04001
 LOCATION OF CONSTRUCTION: 10th floor
 Contractor: The Tuxter Co. Inc. Phone # 774-5553
 Address: 11A Union (harb); Ptd, ME Phone # 04101
 Est. Construction Cost: 15,000 Proposed Use: CONF. ROOM & RENOV. Job #
 Past Use: CONF. ROOM
 # of Existing Res. Units # of New Res. Units
 Building Dimensions L W Total Sq. Ft.
 # Stories: # Bedrooms Lot Size:
 Is Proposed Use: Seasonal Condominium Conversion
 Explain Conversion Interior renovations - 10th floor

For Official Use Only PERMIT ISSUED
 Date: 11/19/90 Subdivision: Name: DEC 5 1990
 Inside Fire Limits: Lot:
 Bldg Code: Ownership: City Of Portland
 Time Limit: Estimated Cost: 15,000
 Street Frontage Provided
 Provided Setbacks: Front Back Side
 Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shoreland Zoning Yes No Floodplain: Yes No
 Special Exception
 Other (Explain) OK W/HA - 12-4-90

Foundation:

- Type of Soil:
- Set Backs - Front Rear Side(s)
- Footings Size:
- Foundation Size:
- Other

Floors:

- Sills Size: Sills must be anchored.
- Girder Size:
- Lally Column Spacing: Size:
- Joists Size: Spacing 16" O.C.
- Bridging Type: Size:
- Floor Sheathing Type: Size:
- Other Material:

Exterior Walls:

- Studding Size Spacing
- No. windows
- No. Doors
- Header Sizes Span(s)
- Bracing: Yes No
- Corner Posts Size
- Insulation Type Size
- Sheathing Type Size
- Siding Type Weather Exposure
- Masonry Materials
- Metal Materials

Interior Walls:

- Studding Size Spacing
- Header Sizes Span(s)
- Wall Covering Type
- Fire Wall if required
- Other Materials

Ceiling:

- Ceiling Joists Size:
- Ceiling Strapping Size Spacing HISTORIC PRESERVATION
 Not in District or Landmark.
 Does not require review.
- Type Ceiling: Requires review.
- Insulation Type Size
- Ceiling Height:

Roof:

- Truss or Rafter Size Span Action: Approved.
- Sheathing Type Size Approved with Conditions.
- Roof Covering Type

Chimneys:

- Type: Number of Fire Places Date: 11/19/90
 Signature: [Signature]

Heating:

- Type of Heat:

Electrical:

- Service Entrance Size: P Detector Required Yes No

Plumbing:

- Approval of soil test if required Yes No
- No. of Tubs or Showers
- No. of Flushes
- No. of Lavatories
- No. of Other Fixtures

Swimming Pools:

- Type:
- Pool Size: Square Footage
- Must conform to National Electrical Code as a State Law.

Permit Received By Louise F. Chace

Signature of Applicant [Signature] Date 11.19.90

Signature of CEO [Signature] Date 12-3-90

Inspection Dates

11.19.90

White-Tax Assessor

Kelly SPOON

White Tax

Copyright SPCOG 1988

PLOT PLAN



FEES (Breakdown From Front)		Type	Inspection Record	Date
Base Fee \$	75-00			/ /
Subdivision Fee \$				/ /
Site Plan Review Fee \$				/ /
Other Fees \$				/ /
(Explain)				/ /
Late Fee \$				/ /

COMMENTS

Done CB Issued 11/15/91 MCM

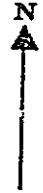
Signature of Applicant

Richard ... Agent for Owner

Date

11-14-90

PLOT PLAN



FEE'S (Breakdown From Front)

Base Fee \$ 93-00
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

Done GO Issued 11/15/91 mcm

Signature of Applicant

Paul Woods Asent for Owner

Date

11-19-90

Key Bank of Maine
A KeyCorp Bank

One Canal Plaza
Portland, Maine 04112
(207) 874-7000



November 30, 1990

Lt. W. Garroway
City of Portland
Portland, ME

Dear Lt. Garroway:

With regards to the permit for renovation to the Directors' and Phoenix room at One Canal Plaza Key Bank agrees to limit the number of people in either room to no more than 49.

If in the event that we should want to change the present use we would apply for a change permit and add the additional egress that is required.

Sincerely,

KEY BANK

Robert W. Emmons

Robert W. Emmons
Facilities Manager



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION One Canal Plaza

Issued to Key Bank of Maine

Date of Issue 12/10/91

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 91/2738 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

seventh floor

office space

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

12/10/91

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lease if so desired.

912738 912738

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee 575.00 Zone _____ Map # _____ Lot # _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Key-Bank of Maine Phone # 774-1...
Address: 308 Canal St Apt: 4E #1101
LOCATION OF CONSTRUCTION: 4th Canal Plaza - 7th floor
Contractor: Pochobit Co. Sub: 797-3122
Address: 914 Stevens Ave City: Portland Phone # 1-1-1111

Est. Construction Cost: 155,000 Proposed Use: Office
Past Use: Office
of Existing Res. Units: _____ # of New Res. Units: _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms: _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion: date on renovations - 11/1/91

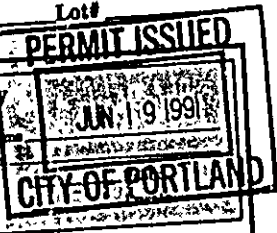
Foundations:
1. Type of Soil: _____ Rear _____ Side(s) _____
2. Set Backs - Front _____
3. Footings: Yes _____
4. Foundation Size: _____
5. Other: _____

Floors:
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____ Size: _____
3. Lally Column Spacing: _____ Spacing 18" O.C.
4. Joists Size: _____ Size: _____
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____
7. Other Material: _____

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No 19/5/11/91
6. Corner Posts Size _____ Size: _____
7. Insulation Type _____ Size: _____
8. Sheathing Type _____ Size: _____ Weather Exposure 1-0
9. Siding Type _____
10. Masonry Material: _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only
Date: 6/20/91
Subdivision: _____
Inside Fire Limits: _____
Blg. Code: _____
Time Limit: _____
Ownership: _____
Estimated Cost: 155,000
Zoning: _____
Street Frontage Provided: _____
Provided Setbacks: Front _____ Back _____ Side _____
Review Required:
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
Special Exception _____
Other (Explain) _____



Ceiling:
1. Ceiling Joists Size: _____ Spacing _____ Not in brackets nor landmarks.
2. Ceiling Strapping Size: _____ Does not require review.
3. Type Ceiling: _____ Size: _____ Requires Review.
4. Insulation Type: _____
5. Ceiling Height: _____

Roof:
1. Truss or Rafter Size: _____ Span _____ Approved.
2. Sheathing Type: _____ Size: _____ Approved with conditions.
3. Roof Covering Type: _____ Date: 7/20/91

Chimneys:
Type: _____ Number of Fire Places _____ Signature: _____

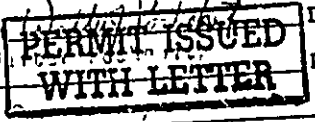
Heating:
Type of Heat: _____

Electrical:
Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
1. Approval of soil test if required _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____ Square Footage _____
2. Pool Size: _____
3. Must conform to National Electrical Code and State Law.

Permit Received By: Quinn C. Gias
Signature of Applicant: _____ Date: 5-30-91
Signature of CEO: _____ Date: _____
Inspection Date: _____



White-Tax Assessor Yellow-GPCOG

White Tag-GEO [10] Copyright GPCOG 1988
W. W. Mitchell

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ 795-
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type

Date

Type	Date
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

COMMENTS 6/2/91 - Demo Completed many partitions are up. Inspected rough in plumbing.
6/25/91 - Permit turned over to Mr. Joviny - district change

Signature of Applicant

Walter Pochobut

Date 5-30-91

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207)874-8300



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

June 19, 1991

RE: One Canal Plaza -- 7th Floor

Pochebit Co.
844 Stevens Avenue
Portland, Maine 04103

Dear Sir:

Your application to make interior renovations on the seventh floor of One Canal Plaza, has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

1. The builder of a facility to which Section 4594-C of the Maine State Rights Act, Title 10 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
2. All fire rated wall openings, such as door, will have equal rating assemblies as the walls.
3. All rooms containing plumbing fixtures shall be vented in accordance with the State Plumbing Code.
4. All means of egress lighting shall be done in accordance with 1990 BOCA Building Code Article 8, section 822.0 and section 823.0 subsections 822.1, 822.2, 823.3, 822.4 and 823.1.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: LT. Wallace Garroway, Fire Prevention Bureau

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 20, 1991

Pochobit Company
844 Stevens Avenue
Portland, ME 04103

Re: Key Bank - One Canal Plaza, 7th Floor

To whom it concerns:

Following a request for a rough inspection of wiring on the 7th floor, I am remitting my finding.

The space for occupancy is acceptable by the city of Portland and NEC 1990 standards, however the electrical/communication closet existing on the same floor, does not comply to the requirements of the noted standards.

I would highly recommend that your onsite contractor address these violations or any other contractor of your choice. Please feel free to call this office if there are any questions.

Very truly yours,

Sven Borglund
Chief Electrical Inspector

cc: P. Samuel Hoffses, Chief of Inspection Services
Murk Mitchell, Code Enforcement Officer
Lt. Wallace Garroway, Portland Fire Department
Mancini Electric

/kb

923923

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee 755⁰⁰ Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

* please call 787-1234

Owner: Key Bank of Me Executive Office # _____
 Address: One Canal Plaza Seventh Floor
 LOCATION OF CONSTRUCTION One Canal Plaza 4,5,7th Floors
 Contractor: The Pochebit Co. * Mike White
 Address: 844 Stevens Ave. Phone # 797-3369
 Est. Construction Cost: 147,000 Proposed Use: comm office bldg
 Past Use: comm office bldg
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion interior renovations

For Official Use Only

Date 7/10/92 Subdivision: _____
 Inside Fire Limits _____ Name JUL 16 1992
 Bldg Code _____ Lot _____
 Type Limit _____ Ownership: _____
 Estimated Cost _____

Zoning: Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) WDA - 7-13-92

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing _____ Size _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Celling:
 1. Ceiling Joists Size: _____ Not in District for Landmark
 2. Ceiling Strapping Size _____ Spacing _____ Post not require review
 3. Type Ceilings: _____ Require Review
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 Action: Approved Not Approved
 1. Truss or Rafter Size _____ Span _____ Approved with _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____ Date: 7/10/92
 Signature: [Signature]

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No of Other Fixtures _____

Swimming Pools:
 1. Type: _____ Square Footage _____
 2. Pool Size: _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By J. Fogg
 Signature of Applicant [Signature] Date: 7/10/92
 CEO's District Mike White

PERMIT ISSUED WITH LETTER

PERMIT ISSUED WITH LETTER

CONTINUED TO REVERSE SIDE
Ivory Tag - CEO [Signature]

White - Tax Assessor