

CENTRAL WHARF
1 THRU 1940



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Memorandum from Department of Building Inspection, Portland, Maine

1 Central Wharf--Unit heater & water heater for Flaherty & Eskilson--Installer, Portland
Gas Light Co. 10/1/40

To Installer:

Please note that the vent duct for the hot water heater is required to be of standard water pipe, steam pipe or soil pipe, clay pipe, or other approved incombustible and non-corrodible material, except in the room where the appliance is located where the pipe may be of 26 gauge sheet metal. The duct for the unit heater is required to be of 24 gauge galvanized metal or better.

CC Flaherty & Eskilson,
1 Central Wharf

(Signed) Warren McDonald
Inspector of Buildings



FILL IN COMPLETELY AND SIGN WITH INK

Permit No. 9207

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, September 30, 1904

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1 Central Wharf Use of Building Fish Packing No. Stories 3 New Building Existing "Existing"
Name and address of owner of appliance Fleaherty & Eskilson, 1 Central Wharf
Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-3321

General Description of Work

To install unit heater and water heater

NOTIFICATION BEFORE LAMIN OR CLOSING IS WAIVED
REQUIREMENT OF CHIMNEY IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel gas
Material of supports of appliance (concrete floor or what kind) wood - 6" legs
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 12" heater water h
from top of smoke pipe _____ from front of appliance over 4' from sides or back of appliance 8" (water h-)
Size of chimney flue _____ Other connections to same flue _____
Both vented to outside air insulated

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.50 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
Portland Gas Light Co.

INSPECTION COPY Wm. B. ... Signature of Installer Carl M. Morgan

1904

LOCAL PERMIT NO.

INDUSTRIAL ZONE APPLICATION FOR PERMIT PERMIT ISSUED 0937

Class of Building or Type of Structure third JUL 18 1940

Portland, Maine, July 18, 1940

INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect and/or install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1 Central Wharf Within Fire Limits? yes Dist. No. 2

Owner or Lessee's name and address Flaherty-Eskilson Fish Co. Central Wharf Telephone 2-8371

Contractor's name and address Owner Telephone

Architect Plans filed No. of sheets

Proposed use of building Wholesale Fish No. of stories

Other buildings on same lot

Estimated cost \$ 200 Fee \$.75

Description of Present Building to be Altered

Material frame No. stories 3 Heat Style of roof Roofing

Last use Vacant No. families

General Description of New Work

Erect partition 49' long making two rooms in place of one. 2x4 studding 16" OC covered matched boarding one side. Large door from 5'-9" to 12'-0" 4x8 H.P. header.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no

Is any electrical work involved in this work? no Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys no Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing: Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

Flaherty-Eskilson Fish Co. [Signature]

INSTRUCTION COPY



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

JUN 28 1940

Portland, Maine, June 27, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Supersedes application 6/10/40

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: About 10 Central Wharf Use of Building: Manufacturing No. Stories: 2
Name and address of owner of appliance: Mid Central Fish Co., Central Wharf
Installer's name and address: Portland Gas Light Co., 5 Temple St. Telephone: 2-131

General Description of Work

To install 2 gas fired water heaters, 3 gas fired unit heaters
(one unit heater on first floor - the remainder on 2d floor)

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st and 2nd of Fuel gas

Material of supports of appliance (concrete floor or what kind) wood - 10" above floor - protected

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, over 3' water heaters

from top of smoke pipe from front of appliance over 6' from sides or back of appliance 10" insulated

Size of chimney flue All to be vented thru roof IF OIL BURNER

Name and type of burner Penfield Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.) 2.00 add'l fee
Signature of Installer: By Carl M. Morgan

INSPECTION COPY Wm. B. Beaulieu

STATEMENT ACCOMPANYING APPLICATION OF PORTLAND GAS
LIGHT COMPANY FOR A PERMIT TO COVER INSTALLATION OF
A GAS-FIRED WATER HEATER
IN THE BUILDING OF MID CENTRAL FISH CO. CENTRAL WHARF

1. This statement is to be considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirements of the Building Code or any laws relating to the same subject matter, herein, shall not relieve any person, firm or corporation from compliance therewith.

2. The enclosed burners of the gas-fired water heater proposed to be installed will have a rated maximum demand in excess of 50,000 British Thermal Units per hour at maximum input rating, and is proposed to vent this appliance otherwise than to a legal masonry chimney. As provided in Paragraph d of Section 285 of the Building Code of the City of Portland, the undersigned installing company certifies that the flue gas temperatures at the outlet of the flue connection of this appliance will never exceed 550 degrees Fahrenheit, and, after installation, if required by the Inspector of Buildings of the City of Portland, this installing company will run temperature tests to establish this maximum temperature. In event such temperature tests show flue gas temperatures at the outlet of the flue connection of the device in excess of 550 degrees Fahrenheit, this installing company will be responsible for providing a suitable vent from this appliance to a legal masonry flue, all in accordance with the Building Code of the City of Portland.

Portland Gas Light Co.

By Carl M. Morgan



FILL IN COMPLETELY AND SIGN WITH INK

(3) INDUSTRIAL ZONE

PERMIT ISSUED
JUN 10 1940

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

JUN 10 1940

Portland, Maine, June 10, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Central Wharf Use of Building Manufacturing No. Stories 2 Max Existing
Existing

Name and address of owner of appliance Mid-Central Fish Co., Central Wharf

Installer's name and address Portland Gas Light Co. 5 Temple St. Telephone 2-8321

General Description of Work

To install gas fired water heater

NOTIFICATION BEFORE LATHING
OR CLOSING IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 2d Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) wood - 10" above floor - protected

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 3'

from top of smoke pipe from front of appliance over 6' from sides or back of appliance 10'

Size of chimney flue Other connections to same flue insulated

Vented thru roof

IF OIL BURNER

Name and type of burner Penfield Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location of storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.) Portland Gas Light Co.

INSPECTION COPY Signature of Installer By Carl M. Morgan

15 Central Wharf

STATEMENT ACCOMPANYING APPLICATION OF PORTLAND GAS
LIGHT COMPANY FOR A PERMIT TO COVER INSTALLATION OF
A GAS-FIRED steam boiler for heating hot water.
IN THE BUILDING OF Central Wharf Cold Storage Co.
15 Central Wharf

1. This statement is to be considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirements of the Building Code or any laws relating to the same subject matter, herein, shall not relieve any person, firm or corporation from compliance therewith.

2. The enclosed burners of the steam boiler proposed to be installed will have a rated maximum demand in excess of 50,000 British Thermal Units per hour at maximum input rating, and is proposed to vent this appliance otherwise than to a legal masonry chimney. As provided in Paragraph d of Section 285 of the Building Code of the City of Portland, the undersigned installing company certifies that the flue gas temperatures at the outlet of the flue connection of this appliance will never exceed 550 degrees Fahrenheit, and, after installation, if required by the Inspector of Buildings of the City of Portland, this installing company will run temperature tests to establish this maximum temperature. In event such temperature tests show flue gas temperatures at the outlet of the flue connection of this device in excess of 550 degrees Fahrenheit, this installing company will be responsible for providing a suitable vent from this appliance to a legal masonry flue, all in accordance with the Building Code of the City of Portland.

Portland Gas Light Co.

By Carl M. Morgan



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

JUN 9 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, June 3, 1940

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1 Central Wharf Use of Building Ice Making Plant No. Stories 2 New Building Existing
Name and address of owner of appliance Central Wharf Cold Storage Co.
Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install gas fired steam boiler for hot water (to remove ice cakes from pipes)

CERTIFICATE OF OCCUPANCY OR CLOSING-IN IS WAIVED REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel gas
Material of supports of appliance (concrete floor or what kind) wood with concrete over 4" legs
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 3"
from top of smoke pipe from front of appliance over 4" from sides or back of appliance 12"
Size of chimney flue Other connections to same flue insulated jacket
Vented to outside air

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?
Will operator be always in attendance? Type of oil feed (gravity or pressure)
Location oil storage No. and capacity of tanks
Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of Installer Portland Gas Light Co.

By

7 200

STATEMENT ACCOMPANYING APPLICATION OF PORTLAND GAS LIGHT
COMPANY FOR A PERMIT TO COVER INSTALLATION OF A GAS FIRED
APPLIANCES IN THE BUILDING OF WILLARD DAGGETT Co.
26 Union Wharf

1. This statement is to be considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirements of the Building Code or any laws relating to the same subject matter, herein, shall not relieve any person, firm or corporation from compliance therewith.

2. The enclosed burners of the gas appliances proposed to be installed will have a rated maximum demand in excess of 50,000 British Thermal Units per hour at maximum input rating, and is proposed to vent this appliance otherwise than to a legal masonry chimney. As provided in Paragraph d of Section 285 of the Building Code of the City of Portland, the undersigned installing company certifies that the flue gas temperatures at the outlet of the flue connection of this appliance will never exceed 550 degrees Fahrenheit, and, after installation, if required by the Inspector of Buildings of the City of Portland, this installing company will run temperature tests to establish this maximum temperature. In event such temperature tests show flue gas temperatures at the outlet of the flue connection of this device in excess of 550 degrees Fahrenheit, this installing company will be responsible for providing a suitable vent from this appliance to a legal masonry flue, all in accordance with the Building Code of the City of Portland.

Portland Gas Light Co.

By Carl M. Morgan



FILL IN COMPLETELY AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER

Portland, Maine, May 3, 1910

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 26 Central Wharf Use of Building Fish Packing Plant No. Stories 2 New Building
 Existing
 Name and address of owner of appliance Hillard-Daggett Co., 26 Central Wharf
 Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install four unit heaters (3 hang from ceiling, one sits on floor), water heater, and one steam boiler for heating hot water for manufacturing processing.

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) concrete on wood - legs 5" on boiler

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace unit heaters 6"

from top of smoke pipe over 4' from front of appliance over 4' from sides or back of appliance 6" insulated jackets

Size of chimney flue _____ Other connections to same flue _____

All vented thru roof thru Payne insulated **OIL BURNER**
vent pipe

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 3.50 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Portland Gas Light Co.

Signature of Installer

INSPECTION COPY

By

PAID
 MAY 11 1910
 CITY OF PORTLAND
 INSPECTION IS WAIVED
 660



INDUSTRIAL ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Third Class

Portland, Maine, December 26, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 18 Central Wharf Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Central Wharf Co. Telephone _____

Contractor's name and address Lessee - Willard-Daggett Co. Telephone 2-0161

Architect _____ Plans filed no No. of sheets _____

Proposed use of building Fish Packing No. families _____

Other buildings on same lot _____

Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material metal Stories 2 Heat _____ Style of roof _____ Roofing _____

Last use Fish Packing No. families _____

General Description of New Work

To partition off new room 21' x 26' in center of first floor, street side of building,
2x4 studs 16" O.C. - covered on one side with matched pine
To cut in two new windows in this new room on street side.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing, Lumber—Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By Willard-Daggett Co. Lessee

INSTRUCTION COPY

G. C. Felt

Rept. 6194C-I

December 19, 1959

Lubec Fish Produce Co., Inc. — 4-1851
53 Central Wharf,
Portland, Maine

Gentlemen:

We have an application in the name of your company by Portland Gas Light Company to cover installation of a "deep fat fryer" in your plant at 53 Central Wharf. Since some type of food is apparently produced in your plant, the approval of the Health Department was necessary and they have notified me that they do not care to approve the permit until the arrangements are adjusted or at least a little more clearly known.

It seems that they have some information that you will either now or sometime later on increase your facilities and number of employees probably employing a number of both sexes, a change which will require separate toilets for men and women properly separated from the place where food is prepared or served. There is also some question as to whether or not the room where this fryer is proposed will be properly separated from the present toilet room.

Apparently the Health Department thinks that you should construct a separate room where the food would be prepared, canned or otherwise, that all the doors leading from this room where food is to be prepared to the space where the present toilet room is located should be made self-closing so as to be normally closed at all times and kept closed by a suitable door check, spring or other approved device. The toilet room door also should be similarly equipped.

There is also the question of fire hazard in that it is understood that the proposed location of the fryer would be on a wooden floor while the floor a short distance away from that location is of concrete. Could not the fryer be installed in such a location that it would be supported upon the concrete floor?

It also seems necessary to have a diagram, to scale, showing the location of the fryer, the location, size, material and outlet of the duct intended to ventilate the hood over the fryer.

Will you be kind enough to let me have promptly a plan to a definite scale, preferably a quarter of an inch to the foot, showing all of the arrangements that you propose, so that we may give the Health Department the information that they need and also be able to check the proposition against Building Code requirements?

We should also like to know from the Portland Gas Light Company, which is receiving a copy of this letter, how many burners there are in the proposed fryer and what is the total BTU rating.

Very truly yours,

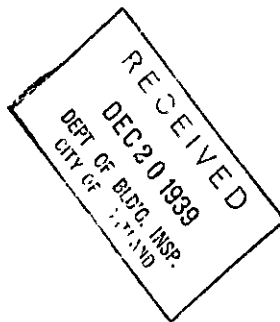
Inspector of Buildings

CC: William Bunting
Restaurant Inspector

Portland Gas Light Co., 5 Temple Street



CITY OF PORTLAND, MAINE
HEALTH DEPARTMENT



December 20, 1939.

Mr. Warren McDonald
Bldg Inspector
Cit Bldg.

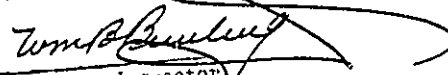
Dear Mr. McDonald:

Inspection has been made at 39 Central wharf relative to permit for gas fired deep fat fryer. Our conversation with the owner - the Lubec Fish Products Co - lessee had planned to install same on a wood floor but our suggestion to them was that they install same onto a concrete floor near by which will be of great assistance towards fire prevention cast of a boiler over cooking oil. Include hood over steam kettles as well as fat fryer.

Separate wood floor from concrete floor with layer of brick or concrete base and enclose room by partition. Cut windows to outside wall for light and ventilation. If women are employed necessity for extra toilets and lavatories.

Under these conditions we feel a complete plan should be submitted and are returning to you the permit unsigned.

Very truly yours,


Restaurant Inspector

December 16, 1939

STATEMENT ACCOMPANYING APPLICATION OF PORTLAND GAS LIGHT
COMPANY FOR A PERMIT TO COVER INSTALLATION OF A GAS FIRED
DEEP FAT FRYER IN THE BUILDING OF LUBEC FISH PRODUCE CO.
AT 39 Central WHARF

1. This statement is to be considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirements of the Building Code or any laws relating to the same subject matter, herein, shall not relieve any person, firm or corporation from compliance therewith.

2. The enclosed burners of the deep fat fryer proposed to be installed will have a rated maximum demand in excess of 50,000 British Thermal Units per hour at maximum input rating, and is proposed to vent this appliance otherwise than to a legal masonry chimney. As provided in Paragraph dth of Section 285 of the Building Code of the City of Portland, the undersigned installing company certifies that the flue gas temperatures at the outlet of the flue connection of this appliance will never exceed 550 degrees Fahrenheit, and, after installation, if required by the Inspector of Buildings of the City of Portland, this installing company will run temperature tests to establish this maximum temperature. In event such temperature tests show flue gas temperatures at the outlet of the flue connection of this device in excess of 550 degrees Fahrenheit, this installing company will be responsible for providing a suitable vent from this appliance to a legal masonry flue, all in accordance with the Building Code of the City of Portland.

Portland Gas Light Co.

By _____

FILL IN COMPLETELY AND SIGN WITH INK

(1) INDUSTRIAL

PERMIT ISSUED
No. 6020

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT
JAN 10 1940

Portland, Maine, December 16, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 39 Central Street Use of Building Fish Packing Plant No. Stories 4 New Building
 Existing

Name and address of owner of appliance Lubac Fish Produce Co., Inc.

Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install deep fat fryer

NOTIFICATION BEFORE LATENT
OR CLOSING IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 2nd Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) wood 2' above floor

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 7'

from top of smoke pipe _____ from front of appliance 4' from sides or back of appliance 4'

Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Hood to be provided
 Vented to outside air

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
Portland Gas Light Co.

Signature of Installer [Signature]

INSPECTION COPY

Restaurant Inspector



(1) INDUSTRIAL ZONE
APPLICATION FOR PERMIT **PERMIT ISSUED**

Class of Building or Type of Structure Third Class Permit No. 2184

Portland, Maine, December 1, 1939 DEC 1 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location to Central Wharf Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Central Wharf Cold Storage Co. Telephone _____

Contractor's name and address Roy Gould 51 Frederic Street Telephone _____

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building Storage of fish No. families _____

Other buildings on same lot _____

Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material wood meta No. 10 foris 3 Heat _____ Style of roof _____ Roofing _____

Last use Storage of fish No. families _____

General Description of New Work

To partition off three cold storage rooms on third floor of building, 2x6 studs 16" OC, cork insulation

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no **DEPARTMENT OF ECONOMY & DEVELOPMENT IS WANTED**

Is any electrical work involved in this work? yes Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting invol.ed? _____

Framing Lumber Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed? yes

Signature of owner _____ By Roy Gould

INSPECTION COPY



INDUSTRIAL ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
2187

Class of Building or Type of Structure: Third Class

DEC 1 1939

Portland, Maine, November 29, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~less~~ all the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 26 Central Wharf Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Central Wharf Cold Storage Co. Telephone _____

Contractor's name and address Roy Gould, 51 Prater Street Telephone no. _____

Architect _____ Plan: filed RD No. of sheets: _____

Proposed use of building: Fish Packing Plant No. families: _____

Other buildings on same lot: _____

Estimated cost \$ 525 100. Fee \$ 50

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____

Last use: Storage and packing No. families: _____

General Description of New Work

To put in ten new windows on second floor of building, water side of building
To put in new partition to provide room 20' x 60' on second floor, 2x4 studs 16" OC,
boarded

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CRITERIA OF CONSTRUCTION REQUIREMENTS

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate: _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thick'ness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing Lumber—Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner: Central Wharf Cold Storage Co.

INSTRUCTION COPY

By Roy Gould

Rept. 5682C-1

October 12, 1939

Mr. Edward L. Duncombe,
81 Spruce Street,
Portland, Maine

Dear Sir:

I do not feel that the arrangement of the tops of the proposed smoke ovens for Lubec Fish Products Co. at 39 Central Wharf or the arrangement of the smoke breaching would be safe from fire hazard. I suggest that you make the tops of the ovens of masonry, either reinforced concrete or hollow tile supported upon stool. You would then have room enough to provide considerably more air space between the second floor and the top of the breaching.

You said you were going to use magnesia blocks under the second floor for insulation as I remember it, but asbestos is shown on the plan without any thickness or how to be supported. I understood that you were to use gypsum wallboard on the walls of the building close to the ovens. You show sheet metal.

You have neglected to show the material or thickness of the doors or of the hoods over the ovens.

There is no indication of what kind of floor the ovens will have or what the present floor of the building consists of. If the floor of the building is wood at present, we would need very definite insulation under the ovens. In fact it would be better to remove the floor and use concrete if the wharf is a filled one.

Please let me have revised plan. The plan which you have filed may be revised if you desire, but you should either file here a blueprint of it or two identical copies, so that we can check them to be sure they are alike.

Very truly yours,

FKGD/H

Inspector of Buildings



(D) INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Permit No. 1936 **PERMIT ISSUED**

Kind of Building or Type of Structure Third Class

1936
OCT 17 1939

Portland, Maine October 10, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect alter~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 39 Central Wharf Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Central Wharf Cold Storage Co. Telephone _____

Contractor's name and address E. L. Duncombe, 81 Spruce St. Telephone 3-2161

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Fish Canning and Smoking plant No. families _____

Other buildings on same lot _____

Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 3 Heat no Style of roof flat Roofing _____

Last use Vacant No. families _____

General Description of New Work

To build four brick ovens in former boiler room as shown on plan submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing: Lumber—Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Central Wharf Cold Storage Co.
E. L. Duncombe

INSTRUMENT COPY

By Edward L. Duncombe

Permit No. 39/1836

Local 39 Central Wharf

Owner Lurie Fish Products Co

Date of permit 10/17/39

Notif. closing-in

Inst. closing-in

Final insp.

Final Inspn. 1/16/40

Cert. of Occupancy issued None

NOTES

11/39 - Opening in chimney

was made at top of

chimney & bricked up.

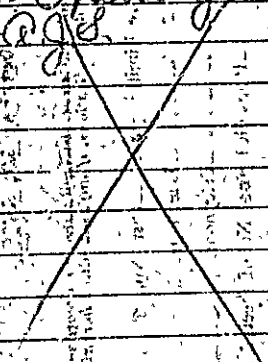
11/39 - Chimney not

yet finished with

12/40 - same as

1/16/40 - Opening closed

with brick.



P. 53/265-1

June 25, 1939

Willard-DeBrett Co.,
17 Central Wharf
Portland, Maine

Gentlemen:

In connection with the toilet room which has been provided at your lobster shop at 26 Central Wharf, we find while the door between the larger room outside of this toilet room and the main lobster shop has been equipped with a suitable spring to keep it closed at all times, that your men have formed a practice of tripping the door open, thus defeating the requirement of the Building Code that no toilet room shall open directly into any room where food is prepared.

Please instruct all those who might do this to refrain from fastening the door open in the future so that the requirements may be observed.

Very truly yours,

EMC/H
CC: Mr. Bunting

Inspector of Buildings

P.59/263-I

5-24-33-R

May 16, 1933

Willard-Daggett Co.,
17 Central Wharf
Portland, Maine

Gentlemen:

In connection with the toilet room which you have partitioned off in the lobster shop at 26 Central Wharf, you have not provided an outside window in the toilet room of sufficient size, you have not made the door of the toilet room self-closing or the door leading from the larger room, in which the toilet room is located, to the main shop self-closing, and you have covered the toilet room partitions on only one side.

It is necessary that you enlarge this window to at least three square feet in area of sash and at least one foot in width as agreed to in your application for the permit and required by law, the fact that you struck some minor difficulties in the framing of the building having no bearing whatever on the situation; that you cover the toilet room partitions tightly on both sides and that you put a heavy spring on the toilet room door and the door leading from the larger room to the main shop so that both of these doors will be self-closing in such a way that they will be normally closed except when

Please have these matters fully taken care of at least by May 23, 1933, notifying this office when the work is done so that another inspection may be made.

Very truly yours,

EMGD/H

Inspector of Buildings



APPLICATION FOR PERMIT 0263

Class of Building or Type of Structure Third Class **PERMIT ISSUED**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Portland, Maine, March 22, 1939 **MAR 22 1939**

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 26 Central Wharf Within Fire Limits? yes Dist. No. 2
 Owner's or Lessee's name and address Willard-Laggett Co., 17 Central Wharf Telephone 2-0161
 Contractor's name and address OWNER Telephone _____
 Architect _____ Plans filed yes No. of sheets 1
 Proposed use of building Lobster shop No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 115. Fee \$ 25.

Description of Present Building to be Altered

Material Frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Last use Lobster shop No. families _____

General Description of New Work

To partition off 4' x 6' portion of existing storage room for new toilet room, partitions to be pine sheathing, 2x3 studs, 16" O.C. Partitions to be 8' high and ceiled over. To cut in new window at least three square feet in area for ventilation of same.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

yes Height average grade to top of plate 23
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or fill? and? earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing - Lumber - Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By: Alton C. Farrin
Willard-Laggett Co.

W. B. Bunting

935



INDUSTRIAL ZONE
APPLICATION FOR PERMIT Permit No. 0509

Class of Building or Type of Structure Third Class
 Portland, Maine, April 27, 1939 MAY 2 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 10 Central Wharf Within Fire Limits? yes Dist. No. 2
 Owner's or lessee's name and address Proprietors of Central Wharf Telephone _____
 Contractor's name and address Owner (Ray Gould) Telephone 4-1667
 Architect _____ Plans filed 89 No. of sheets _____
 Proposed use of building Storage of fish No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 25. Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 3-2 Heat _____ Style of roof _____ Roofing _____
 Last use Storage of fish No. families _____

General Description of New Work

To cut in new door (2'6") to lead from third floor onto roof of two story portion

NO INSPECTION BEFORE LATHING
 OR CLOSING-IN IS WAIVED
 CERTIFICATE OF OCCUPANCY
 BY THE CITY ENGINEER IN THE NAME OF THE CITY

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

no Height average grade to top of plate _____
no Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Proprietors of Central Wharf

Signature of owner Ray Gould

INSPECTION COPY

4178C

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Record of Inquiry

Verbal in person

By telephone

Date

Location

10 Central Wharf - Feb 4-1962

Made by

Inquiry-1

Can frame addition be built on present 2 story

section shown on 1-34 A 12 (nearest Commercial St.)

1. Prop. addition to be 15' x 25' @ height

3

Answer-1

Frame construction not permitted in

area of two stories, Frame about #2

2

See letter 4/28/39 - W.M.D.

3

Please call - Mr. Frank Duntov - Room 4-4962

Reply by

Inquiry
10 Central Wharf

April 20, 1939

Mr. Frank Dumton,
10 Central Wharf,
Portland, Maine

Dear Sir:

Referring to your inquiry as to whether or not a third story of wooden construction may be added upon a certain two story portion of the building at 10 Central Wharf, the wharves are called Fire District No. 2 under the Building Code, and the Building Code provides that no frame building may be more than two stories in height unless such buildings or parts of buildings are intended for use as coal or grain elevators or for the storage of similar materials which require a greater height to make possible handling by gravity. With buildings of such a use, an extreme height of 60 feet is permitted but only if such greater height is approved by the Chief of the Fire Department.

All new buildings or additions to existing buildings of frame construction on the wharves are required to be covered on the outside with metal.

Very truly yours,

WCD/H

Inspector of Buildings



INDUSTRIAL ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 0165

Class of Building or Type of Structure Third Class

FEB 25 1939

Portland, Maine, February 25, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 26 Central Wharf Within Fire Limits? yes Dist. No. 2
 Owner's or Lessee's name and address Willard-Daggett Co., 26 Central Wharf Telephone 2-0161
 Contractor's name and address Owner Telephone _____
 Architect _____ Plans filed? yes No. of sheets 1
 Proposed use of building Wholesale Fish Plant No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 10 Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
 Last use Wholesale Fish Plant No. families _____

General Description of New Work

To extend present partitions of toilet and vestibule to ceiling, 2x3 studs 16" OC, covered with sheathing, existing window at least three square feet in area for ventilation, doors to be at least 24" wide and made self-closing in such a way that there will be little chance of both doors being open at the same time

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front yes depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ lot being _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 4x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner by Willard-Daggett Co. A.C. Farnham

INSPECTION COPY

Wm. B. Bunting

2031

10 Central Wharf

BP 38/1232

May not be any definite violation here except that of installing hoists before permit for hoists was issued.

It is my impression that there was something about safety protection of the shaft which was in question. There has never been time to investigate, so have decided to charge the job off with this note and not to issue permit for hoists which ^{was} applied for belatedly.

wmc

P. 38/1252-I

10-28-38-S

October 24, 1938

Central Wharf Cold Storage Co.
10 Central Wharf,
Portland, Maine

Gentlemen:

It appears that the electric hoist has been installed and is in operation in the shaft which you constructed under building permit No. 38/1252, but no separate permit has been secured to cover the installation of the hoist, as required by the Building Code and as indicated to you in my letter of August 15th.

Such a permit is to be taken out by the installer, and even though the hoist is already installed please see to it that the installer applies for the permit without delay. This application should be made at this office, on forms furnished by us, by the installer in person or by his agent and before the hoist can be legally operated, the installer will have to make a sworn affidavit that to his best knowledge and belief the device has been installed according to the regulations of the Building Code and to comply with all the rules of ordinary safety. This affidavit form is attached on the bottom of the application and must be sworn to.

Very truly yours,

Inspector of Buildings

W.M.C.

P.S. May we hear from you at the latest by October 27, 1938.

Permit 2473C-1

August 15, 1928

Central Wharf Cold Storage Co.,
10 Central Wharf,
Portland, Maine

Gentlemen:

Enclosed is the permit covering construction of an enclosed shaft and electric hoist at 10 Central Wharf. In the absence of a framing plan of the shaft, which you do not seem willing to furnish, I am forced to place the responsibility of the safety and rigidity of the structure upon you.

It is my understanding that you propose 4-4" x 8" corner posts continuous for the 40-foot height with lap splices of suitable length at each joint of the corners; that these corners are to be adequately braced by horizontal braces at least at each floor level of the building and by adequate diagonal braces in each story and on all three sides of the shaft exposed to the outside; that vertical studs not less than 2 x 4 are to be put in vertically between the bracing and nominal 1" boards nailed on the outside of the studs to form the enclosure; that all outside walls exposed to the open air are to be covered with new galvanized metal at least 26 gauge, including any outside finish, corner boards and cornice.

It is my understanding that the capacity of the hoist is to be 1500 lbs., and that under no circumstances are persons to be allowed to ride on the car. The Building Code requires that a separate permit be secured for the installation of the car, machinery, etc., and this permit is to be taken out by the installer, who is required to file an affidavit to the effect that all safety devices have been provided and tested. When that permit is applied for the questions will be settled as to safety gates controls, etc. required, if any.

Since no plans of the structure are now being submitted, in event anything about it appears to be inadequate, additional strength will have to be provided to make it comply with the law.

I note that you are substituting an all-wood frame for the all-metal frame originally designed for the structure. This appears to be legal, but I wish to call your attention to the fact that all woodwork: "joes and coves", shrinks, etc. so that often it is not considered satisfactory for such a hoist.

Very yours,

Inspector of Buildings

August 3, 1938

Central Wharf Cold Storage Co.,
10 Central Wharf
Portland, Maine

Gentlemen:

Before I can tell whether or not the hoistway which you propose on the easterly side of your building at 10 Central Wharf would comply with the Building Code, it will be necessary to furnish a clear framing plan showing the arrangement of all framing members of the enclosure. The plan submitted shows an all-metal frame work to support the hoist, but nothing that I can discover as to the metal-clad enclosure which you mention in the application.

This plan should be to scale and should be intelligible without having any person present to explain it.

We should also have information as to the capacity of this hoist, what the bucket or car is to be made out of, what power is to operate the hoist and what type of equipment is to be used in the way of cables, etc.

Very truly yours,

W.M.C.D./H

Inspector of Buildings



(1) INDUSTRIAL ZONE
APPLICATION FOR PERMIT **PERMIT ISSUED**
Permit No. **1232**

Class of Building or Type of Structure Third Class AUG. 15 1938

Portland, Maine, August 3, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 10 Central Wharf Within Fire Limits? YES Dist. No. 2
Owner's or Lessee's name and address Central Wharf Cold Storage Co., 10 Central Wharf
Contractor's name and address Roy Gould, 45 Frederic St. Telephone _____
Architect _____ Plans filed YES No. of sheets 1
Proposed use of building Fish Freezing Plant No. families _____
Other buildings on same lot _____
Estimated cost \$ 150. Fee \$.75

Description of Present Building to be Altered

Material metal-clad No. stories 3 Heat _____ Style of roof flat Roofing T&G
Last use Fish Freezing Plant No. families _____

General Description of New Work

To construct 40' metal-clad 61"x51" elevator hoist on easterly side of building, changing window to door at third floor level (no opening at first and second floor levels)

ALL EXTERIOR EXPOSED WOODWORK EXCEPT DOORS AND WINDOW SASH TO BE COVERED WITH METAL.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF COMPLETION
REQUIREMENT IS WAIVED

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof flat Rise per foot 1/4" Roof covering Asphalt roofing Cl. & G Und. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet? Sills and corner posts all one piece? no cross section.
Joists and ratters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Central Wharf Cold Storage Co.

Signature of owner Roy Gould

INSPECTION COPY

327



INDUSTRIAL ZONE
APPLICATION FOR PERMIT **PERMIT ISS 173**

Class of Building or Type of Structure Third Class **OCT 14 1938**

Portland, Maine, October 14, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 188 Commercial Street Within Fire Limits? YES Dist. No. 2
Owner's or Lessee's name and address Central Wharf Cold Storage Co., 10 Central Telephone 10
Contractor's name and address Roy Gould, 48 Frederic Street Telephone 10
Architect _____ Plans filed NO No. of sheets _____
Proposed use of building Store No. families _____
Other buildings on same lot _____
Estimated cost \$ 10. Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Last use Store No. families _____

General Description of New Work

To cut in one new window, second floor front,

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Size, front _____ depth _____ No. stories _____ Height average grade to top of _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? yes
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Central Wharf Cold Storage Co.

Signature of owner Roy Gould

INSPECTION COPY

3102C



AN INDUSTRIAL ZONE PERMIT No. ISSUED
APPLICATION FOR PERMIT **2110**

Class of Building or Type of Structure Third Class DEC 7 1936

Portland, Maine, December 7, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~insert~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 188 Commercial St. Ward 4 Within Fire Limits? yes Dist. No. 2
 Owner's or Lessee's name and address Harris Co., 188 Commercial Street Telephone _____
 Contractor's name and address A. A. Berry, 113 Stevens Avenue Telephone no
 Architect's name and address _____
 Proposed use of building Ship Chandler No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? no No. of sheets _____
 Estimated cost \$ 150. Fee \$.75

Description of Present Building to be Altered

Material wood No. stories 5 Heat _____ Style of roof _____ Roofing _____
 Last use Ship Chandlery No. families _____

General Description of New Work

To enlarge and divide one office room on second floor front
insulating board partitions 2x5 studs 16" OC

CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger: Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Or centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 The Harris Co.

Signature of owner by A. A. Berry

INSPECTION COPY

P.35/1762-I

3-24-38

March 12, 1938

Mr. Charles Littlejohn,
139 Commercial Street,
Portland, Maine

Dear Sir:

Back in October 1935 we issued a permit in your name as owner to the Portland Gas Light Company to cover installation of a gas-fired restaurant range. The application for the permit indicated that a hood would be provided over the range as required by the Building Code.

In August 1936 you agreed to provide such a hood. It has not been provided.

It is necessary for me to require that you have this metal hood provided to cover the entire area of the top of the range and to project a short distance beyond the area of the range all around, at least by March 25, 1938. Before the hood is installed, however, it would be well for you to get in touch with Mr. Bunting, Restaurant Inspector of the Health Department, and see if the Health Department will require anything in the way of ventilation of this hood.

Very truly yours,

Inspector of Buildings

MCD/H

CC: Mr. Bunting,
Restaurant Inspector

Files: Rcpt. 1171C-1

January 20, 1938

Willard & Eggett Company,
Central Wharf
Portland, Maine

Gentlemen:

We are issuing to John H. Simonds Company a building permit to cover repair after fire in your building on Central Wharf.

It appears that this fire was confined entirely to the smokehouse which has brick walls but which, to avoid troubles caused by condensation and by frost penetrating to the inside of the smokehouse, had been lined with quite a portion of their area with wooden sheathing on wooden strapping.

Chief Sanborn of the Fire Department who is very much aware of the threat to the entire water front that one fire may offer, is of the opinion that this wooden sheathing is too hazardous an arrangement to be allowed. He feels that a sheathing of non-burnable material should be used in place of the wooden sheathing.

Under these circumstances I dislike to give approval of this department to replacement of this wooden sheathing, realizing, of course, at the same time that you have a very definite problem to solve as regards this condensation and frost penetration.

In order to clear up the situation will you not try to find some material that will at the same time meet your need and also satisfy the ideas of Chief Sanborn. He is agreeable to fastening this sheathing, if of non-burnable material, on wooden strapping. I have an idea that the value of the sheathing anyway is largely in the air space between the sheathing and the brickwork and that the question as to whether or not the bottom and the top of this sheathed space is closed or open would have a good deal of bearing on the success of any material to accomplish your purpose. Perhaps an experienced man in insulation work could answer your question at once.

Very truly yours,

WmC/D/H

Inspector of Buildings



APPLICATION FOR PERMIT TO REPAIR BUILDING

Permit No. 0058
PERMIT ISSUED

Third Class Building

JAN 20 1938

Portland, Maine, January 20, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Central Wharf Ward 4 Within fire limits? yes Dist. No. 12

Owner's name and address Willard & Daggett Co., Central Wharf Telephone _____

Contractor's name and address John H. Simonds Co., 12 Monument Square Telephone 3-5123

Use of building Flash house

No. stories 1 1/2 Height _____ ft., Gross area _____ sq. ft., Style of roof g'tch

Type of present roof covering asphalt and slate

General Description of New Work

To repair after fire to former condition. No alterations. (Fire in smokehouse)
(Cause-unknown)

If Roof Covering is to be Repaired or Renewed

When last repaired? _____ Area then repaired _____

Are repairs or renewal due to damage by fire? yes If so, what area damaged? _____

Area of roof to be repaired now? portion sq. ft. _____

Type of roofing to be used asphalt and slate sq. ft. _____

Trade name and grade of roof covering to be used Class G Und. Lab. No. plies _____

Estimated cost \$ 100.

Fee \$.50

INSPECTION COPY

Signature of owner By _____

Willard & Daggett Co.
John H. Simonds Co.

CERTIFICATE OF OCCUPANCY
BY GOVERNMENT AS BY APPLICANT

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

October 8, 1935

Philip J. Deering, Chairman

Dear Sir:-

The following applications for permits for alterations and relocations of various advertising poster panels are attached hereto for your consideration as Chairman of the Committee on Zoning and Building Ordinance Appeals.

By the Kimball System of Portland:

At 315 St. John Street, to remove two existing poster panels and relocate one existing poster panel as shown on plan submitted.

At 240 Washington Avenue, to remove two existing poster panels and relocate one existing poster panel as shown on plan submitted.

By the Puritan Advertising Company:

At 325 Congress Street, to relocate existing poster panel on side wall of building as shown on plan submitted. This is merely a relocation of a wall panel to another part of the wall on which it is now located.

At 1300 Forest Avenue, to remove four existing billboards and to erect six new billboards each 25' x 12' as shown on plan submitted.

I shall be glad to examine the locations of these proposed changes with you if you so desire.

There is also attached application for a permit for alterations in the building at 198 Commercial Street which has been a restaurant but now proposes to apply for a license to sell beer, this for the consideration of the Municipal Officers as to location.

Very truly yours,

Inspector of Buildings.

McD/H



INDUSTRIAL ZONE

Permit No. 1735

APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure Third Class OCT 12 1935

Portland, Maine, October 1, 1935

Completed October 7, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine; the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 138 Commercial Street Ward 4 Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Proprietors of Central Wharf Telephone _____

Contractor's name and address A. P. Dennison, Telephone _____

Architect's name and address _____

Proposed use of building Restaurant, 2d floor vacant No. families _____

Other buildings on same lot _____

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ 100. Fee \$.60

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____

Last use Restaurant, No. families _____

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WANTED

General Description of New Work

To put in partitions (2x3 stud with wood sheathing on both sides) to provide two new toilets in rear as per plan

To put in partition 6' high to provide new kitchen

To cut in one one window at least three square feet in area for ventilation of one toilet, existing window for ventilation of the other toilet

Doors to toilets and vestibules to be at least 24" wide and to be made self-closing in such a way that there will be little chance of both doors being open at the same time.

To close up existing front door and provide new door into existing hallway to second floor all as shown on plan submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Proprietors of Central Wharf

Signature of owner Charles F. [Signature]

INSPECTION COPY
Approved by Bunting, Port. Insp.

Ward 4 Permit No. 35/1735

Location 198 Commercial St.

Owner Prop. Central Wharf

Date of permit 10/12/35

Notif. closing-in

Person closing-in

Final Notif.

Final Inspu: 8/12/35

Cert. of Occupancy issued No. C-

See notes
Comp. C-35-153

NOTES

10/11/35 - P.D. plays
location OK with
City Council on
Prop. of M. O. Van

10/12/35 - This has been
a restaurant &
lunch room for
many years, the
question being
if done - should
8/12/35 - Toilet not just
in beer is not
served - A.G.

Permit No. 35-1735

City of Boston

Department of Public Works

10/12/35

10/12/35

10/12/35

10/12/35

10/12/35

10/12/35



Original Permit No. 11111 **PERMIT ISSUED**
 Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT 25733

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, 8/22/55

The undersigned hereby applies for an amendment to Permit No. 25,024 pertaining to the building or structure described in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 16-17 Central Wharf Ward 4 With the Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Central Wharf Co., Central Wharf

Contractor's name and address John H. Simonds Co., 219 Federal St. S-5125

Plans filed as part of this Amendment yes No. of Sheets 1

Increased cost of work 76. Additional fee .25

Description of Proposed Work

To build canopy over loading platform app. 40' x 50' on wharf side of building, as per plan submitted

Central Wharf Co.
 John H. Simonds Co.

Signature of Owner

By: [Signature]

Approved:

8/25/55

R. 4295B-I

May 18, 1935

John H. Simonds Co.,
216 Federal St.,
Portland, Me.

Attention Mr. Bowdoin

Gentlemen:

Enclosed is the building permit covering construction of 2-story storage building for the Central Wharf Co. at 16-17 Central Wharf.

Please note that the Building Code requires that the studs in the outside walls shall be spaced 16" from center to center instead of 18" as shown on the plan.

I can find no indication as to what kind of lumber is to be used in the heavy timbers in first and second floors, and whether or not these timbers are to be dressed or full size. Please advise with regard to this particular.

It is understood that a second set of stairs from the first to the second floor is to be provided at the south end of the building, and the permit is given with this understanding.

Very truly yours,

Inspector of Buildings.



APPLICATION FOR PERMIT

0624

MAY 13 1935

Class of Building or Type of Structure Third Class

Portland, Maine, May 10, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 16-17 Central Wharf Ward 4 Within Fire Limits? yes Dist. No. 2
 Owner's or Lessee's name and address Central Wharf Co., Central Wharf Telephone _____
 Contractor's name and address John H. Simonds Co., 216 Federal Street Telephone 5-5123
 Architect's name and address _____
 Proposed use of building Fish Warehouse No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? yes No. of sheets 2
 Estimated cost \$ 8,000. Fee \$ 5.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect two story frame, metal-clad building 532' as per plan

ALL EXTERIOR EXPOSED WOODWORK EXCEPT WINDOW SASHES AND DOORS TO BE COVERED WITH METAL

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 128'4" depth 53'-48' No. stories 2 Height average grade to top of plate _____
 Height average grade to highest point of roof 24'
 To be erected on solid or filled land? fill and piles earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof flat Rise per foot _____ Roof covering Gar and Gravel, 5 ply
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat central heating plant Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner. By John H. Simonds

Central Wharf Co.

[Handwritten signature]

12715

Permit No. 35/624 ⁴⁷
 Location 17 Central Wharf
 Owner Central Wharf Co.
 Date of Permit 5/13/35
 Notif. closing-in
 Inspn closing-in
 Final Notif
 Final Inspection NOT COMPLETED
 Cert. of Occupancy issued

NOTES

5/16/35 Framing
 first floor A.G.
 5/29/35 Framing
 completed A.G.
 6/19/35 Putting in
 on outside A.G.

3x4 16' oc - 17 spans placed

2x8 - 16' oc - 20 spans

Rafters replaced
 in front of 4' 4" deep

no floor load signs
 no fire-escape signs

ISSUED



PERMIT ISSUED

Permit No. _____

1938

APPLICATION FOR PERMIT TO REPAIR BUILDING

Class Building

Portland, Maine, April 20, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 13 and 14 Central Wharf Ward 4 Within fire limits? yes Dist. No. 2

Owner's name and address Central Wharf Proprietors, Central Wharf Telephone _____

Contractor's name and address E. P. Dennison, 28 Bolknap St. Telephone 4-4884

Use of building Ice Plant

No. stories 2 Height _____ ft., Gross area _____ sq. ft., Style of roof flat

Type of present roof covering tar and gravel

General Description of New Work To Repair after Fire to former condition. No alterations. ALL NEW WOODWORK OTHERWISE EXPOSED METAL. (Cause - Unknown) on the EXTERIOR EXCEPT WINDOW SASH AND DOCKS WILL BE COVERED WITH

Preliminary permit to cover repair to the extent of adequately supporting and protecting machinery from the weather ONLY issued April 20, 1938
If Roof Covering is to be Repaired or Renewed

DATE OF OCCUPANCY
REQUIRED

When last repaired? _____ Area then repaired _____ sq. ft.

Are repairs or renewal due to damage by fire? yes If so, what area damaged? _____ sq. ft.

Area of roof to be repaired now? _____ sq. ft.

Type of roofing to be used _____ No. plies _____

Trade name and grade of roof covering to be used _____

Estimated cost \$ 500. Fee \$.75

Central Wharf Proprietors

Signature of owner By E. P. Dennison

INSPECTION COPY

4224

Ward 4 Permit No. 35/783

Location 13 & 14 Central Wharf

Owner Central Wharf Piers

Date of permit 6/10/35

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. INSPECTION NOT COMPLETE

Cert. of Occupancy issued

NOTES

6/19/35 Work started

10/19/35 Rafter on lower
pitch on wharf side
are 2x8-76" o.c. on 20'
span and are
spliced 8' in from
end of building.

$1\frac{1}{3} \times 20 \times 30 = 800\#$
2x8 on 20' span is
good for 782#

Rafter on top roof
are 3x6-16" o.c. - 17' span
 $1\frac{1}{3} \times 17 \times 45 = 1020\#$
3x6 on 17' span is good
for 765#

It is not considered a repair installation or renovation.



PERMIT ISSUED
6433

APPLICATION FOR PERMIT

APR 20 1935

Class of Building or Type of Structure Third Class

Portland, Maine, April 20, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 7 and 8 Central Wharf Ward 4 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Proprietors of Central Wharf Telephone 4-1874

Contractor's name and address A. P. Dennison, 23 Belknap St. Telephone 4-1874

Architect's name and address _____

Proposed use of building Storehouse and Pool Room No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 75. Fee \$.60

Description of Present Building to be Altered

Material wood No. stories 2-2 Heat _____ Style of roof _____ Roofing _____

Last use Storehouse No. families _____

General Description of New Work

To put in 40' sheathing partition lengthwise of second floor setting off an area for a pool room.
To change existing double door to single door and build new open stairway from second floor to wharf on easterly side of building, this door to swing outwards.
To build two partitions of wooden studs and gypsum wall board to form a corridor leading from the pool room to an existing stairway and to make the door at the bottom of this stairway to swing outwards, this door to be equipped with such hardware that it may never be looked against the inside. This inside stairway is to be lined underneath with gypsum wall board and the new corridor and stairway provided with sufficient light so that persons may see their way to get out.

It is understood that this permit does not include installation of heating apparatus, which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____

On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are complied with? yes

Signature of owner Proprietors of Central Wharf

INSPECTION COPY [Signature]

4600

File Receipt No. 4050B-I

April 6, 1935

Proprietor's of Central Wharf,
Central Wharf,
Portland, Maine.

Gentlemen:

With relation to your application for a building permit to cover alterations in the second story of the building at 7 and 8 Central Wharf, filed by A. P. Dennison, the Chief of the Fire Department whose approval is required on this permit because the building is used, in part, as a garage and because of his jurisdiction over exits from such a building, feels that he cannot approve the permit in view of the proposed use of a certain portion of the second floor as a pool room.

Under these circumstances I am unable to issue the permit and duty bound to notify the Municipal Officers so that a license will not be granted.

It is certainly unfortunate as well as illegal that this alteration work should have been practically completed without a building permit in your possession. Application for the permit was made by Mr. Dennison on April 3rd. On the same day an inspector from this office visited the premises in order to get sufficient information to intelligently pass upon the permit and found that the new doorway had been cut through the outside wall and that the outside stairway was practically completed. It must be obvious to you that one good reason for requiring the permit to be procured and posted upon the premises before any work is commenced, is that, if such a procedure is followed, the owner will always know whether or not the proposed work is legal before he has spent any money upon it.

Unless the stairway and partitions are to be removed, a permit is still necessary for their construction, but before such a permit may be issued, it will be necessary for some responsible person to come to this office, make out a new application and on this application indicate that no part of the building will be used for a licensed amusement place.

Very truly yours,

McD/H
CC: Silas Lemont

Inspector of Buildings.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 3, 1955

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 7 and 8 Central Wharf Ward 4 Within Fire Limits? yes Dist. No. 2

Owner's or Lessee's name and address Proprietors of Central Wharf Telephone _____

Contractor's name and address A. P. Dennison, 23 Belknap St. Telephone 4-4886

Architect's name and address _____

Proposed use of building Storehouse No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 75. Fee \$ 30

Description of Present Building to be Altered

Material wood No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use Storehouse No. families _____

General Description of New Work

To put in 40' sheathing lengthwise partition, second floor,
To change double door to single door and build new open stairway from second floor to
wharf on water side of building

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories 2 Height average grade to top of plate _____

To be erected on solid or filled land? _____ Height average grade to highest point of roof _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 2x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Proprietors of Central Wharf

Signature of owner _____ By Amos P. Dennison

INSPECTION COPY

Wm. P. Scarborough

CHIEF OF FIRE DEPT.

Ward 4 Permit No. 35)493

Address 18 Central Wharf

Owner Pipe Central Wharf

Date of permit 4/20/35

Off. in

Inspn. closing-in

Final Notif. 4/25/35 9:20 AM

Final Inspn:

Cert of Occupancy issued 4/29/35

NOTES

4/3/35 - Stairway cut
thru and stairs
nearly completed at
timely inspection
This space on second
story is to be used
as a pool room.
Premises with
door has been left
in partition giving
access to rest of
2nd story from which
a flight of lead to
ground floor - A.D.



(C) INDUSTRIAL ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN 1894
OVER PUBLIC SIDEWALK OR STREET
NOV 15 1934

Portland, Maine, Nov. 10, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 188 Commercial St. Ward 4 Within Fire Limits? yes Dist. No. 19

Owner of building to which sign is to be attached Prop. of Central Wharf

Name and address of owner of sign The Harris Co., 168 Commercial St.

Contractor's name and address J. H. Middlebrook 12 Elm St. Telephone 3-2312

When does contractor's bond expire? January 1, 1935

Information Concerning Building

No. stories 4 Material of wall to which sign is to be attached Wood

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Details of Sign and Connections

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

Electric? No Vertical dimension after erection 54" Horizontal 36"

Weight app. 200 lbs., Will there be any hollow spaces? Yes

Material of frame T Iron No. advertising faces 2 material Porc. Enam. Iron

No. rigid connections 2 Are they fastened directly to frame of sign? Yes

No. through bolts None Size _____ Location, top or bottom _____

No. guys One material Iron rod Size 3/8

Minimum clear height above sidewalk or street about 10-0

Maximum projection into street 0-0

Fee \$ _____

Signature of contractor

INSPECTION COPY Oliver T. Sanborn

OFFICE OF FIRE DEPT.



PERMIT ISSUED

Original Permit No. _____

Amendment No. 31 1934

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, October 31, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 34/1680 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 100 Commercial Street Ward 4 With the Fire Limits? Yes Dist. No. 2

Owner's or Lessee's name and address The Harris Co., 183 Commercial St.

Contractor's name and address H. G. MacKinn, 15 Brier Road, West Rosbury, Mass

Plans filed as part of this Amendment _____ No. of sheets _____

To change type of construction of shaft enclosure and construct the enclosure in the main of solid plaster partition 3" thick. Each wall of the enclosure on each story is to be outlined with the frame of steel angles of sufficient size and bolted together so that each panel will be self-supporting between floor and ceiling. Each of these panels will have 4" channels running horizontally as well as vertical to the frame and expanded metal lath 2.75 lbs. to the square yard will be applied to the frame and the horizontal channels. Where woodwork occurs at the corners and over the doorways the woodwork will be wrapped with metal lath and plastered as well as along the otherwise exposed woodwork between floor and ceiling at each level. Door bucks will run from floor to ceiling in each case, the part above the door being covered with plaster and the rest of the bucks and frame covered with sheet metal so that air will be excluded. All doors to the shaft-way are to be metal-clad and either self-closing or automatic.

Signature of Owner The Harris Co.
By H. V. Ed Mann
By Patrick Connolly

Approved:

Approved: 10/31/34

City of Portland, Maine, Department of Buildings, Fire Department

8



INDUSTRIAL ZONE PERMIT ISSUED
APPLICATION FOR PERMIT

1660

Class of Building or Type of Structure Third Class 17-1934

Portland, Maine, October 17, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 198 Commercial Street Ward 4 Within Fire Limits? Yes Dist. No. 2
Owner's or Lessee's name and address The Harris Co., 180 Commercial St. Telephone _____
Contractor's name and address A. P. Jernison, 7 Keswick Rd. Co. Port Telephone 4-4782
Architect's name and address _____ Telephone _____
Proposed use of building Ship Chandlery No. families _____
Other buildings on same _____
Plans filed as part of this application? Yes No. of sheets _____
Estimated cost \$ 500.00 Fee \$.75

Description of Present Building to be Altered

Material wood No. stories 4 Heat _____ Style of roof flat Roofing _____
Last use Ship Chandlery No. families _____

General Description of New Work

To provide new elevator shaftway in rear of main building, shaftway 5'x8' to be enclosed with wood stud partitions with metal lath and plaster on both sides. This elevator enclosure is to extend from the cellar floor to the roof. The exposure at each floor in the shaft is to be covered with metal lath and plaster as well as the partitions in the various stories. Either self-closing or automatic fire doors are to be provided at each floor level by the elevator manufacturer. The existing pent house will serve the new elevator and windows with glass area equal to not less than three-quarters of the area of the shaftway will be provided in the outside walls of the pent house. Glass to be no more than 3/16" thick and the lights not less than 200 sq. inches in area.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____
If a Garage _____
No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
The Harris Co.

Signature of owner By A. P. Jernison

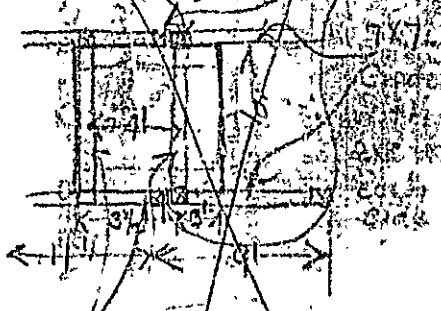
INSPECTION COPY

3/16/34

Ward 4 Permit No 34/1660
 Locⁿ 38 Commercial St.
 Owner The Harris Co
 Date of permit 10/17/34
 Notif closing-in 12/18/34
 Inspⁿ closing-in 12/18/34 67.
 Final Notif _____
 Final Inspn 1/16/35
 Cert. of Occupancy issued None

NOTES

10/17/34 - work with Mr. Sloman
 on A.G. & T.R.P.
 S.D.P.



11/5/34 - Enclosure not
 yet completed.
 11/13/34 - Same
 11/30/34 -
 12/14/34 - Enclosure almost
 completed. Cold fore
 in it is O.K. to plaster

12x(13x26) 4056" - 280"
 shaft = 6x6 = 36"
 3/4 of 36" = 27"
 12/31/34 Enclosure
 completed doors not
 yet made gate closing
 or auto-mul. - A.G.
 1/31/34 - ~~Gate~~ H.O.
 hood, that install
 say doors will be
 made automatic
 and gates operatⁿ w
 with movement
 of car will be
 used at each floor
 level. - ~~man~~



APPLICATION FOR PERMIT

Permit No. **0620**
ISSUED **May 21 1954**

Class of Building or Type of Structure Third Class

Portland, Maine, May 16, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby apply for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location: By End of Central Wharf Ward 4 Within Fire Limits? yes Dist. No. 1
 Owner's or Lessee's name and address: Willard-Daggett Co., Central Wharf Telephone _____
 Contractor's name and address: Coogins & Clark, 48 Portland St. Telephone 2-8169
 Architect's name and address: _____
 Proposed use of building: Lobster Shop No. families _____
 Other buildings on same lot: _____
 Plans filed as part of this application? no No. of sheets _____
 Estimated cost \$ 400. Fee \$.75

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof flat Roofing T&G
 Last use: Storage of fish and barrels No. families _____

General Description of New Work

To remove three intermediate posts, first floor,
 To partition off room 50' x 70', first floor, finishing walls and ceiling of same with sheathing
 To partition off room for cooking lobsters 12' x 20' in this new room
 To put small door in place of existing large door in end of building, and cut in one new large door in end of building, first floor
 To cut in one double mullion window, and one single window in end of building, and one new double mullion window on wharf side of building, first floor
 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining? _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining hereto are observed? yes
 By Willard-Daggett Co.
 By Coogins & Clark

Signature of owner _____

INSPECTION COPY

18559

Ward 4 Permit No. 34/620
Location Ely End of Central Wh.
Owner Willard Daggott Co.
Date of permit 5/21/34.
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 6/19/34
Cert. of Occupancy issued None

NOTES-

5/21/34 - There appears to be quite a sag in 12X12 where post is to be removed but this is evidently due to overloading before post was inserted. Building was formerly used for soft storage, but no second floor is used only for light storage such as empty crates, barrels, boxes, etc. This 12X12 c/w 16' span loaded as now is good for or load of approx. 1000 lbs per sq ft (over)

The 10X12 girders under roof on 16' span is good for 15,000# so that intermediate post theoretically should not carry any load as roof load is only 9,600#
5/31/34 - Work progressing - A.J.S.
6/19/34 - Work nearly completed. Two more posts than called for in permit have been removed. See sketch



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 10, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect/alter/install the following building structure/equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location End of Central Wharf, Easterly side Ward 4 Within Fire Limits? yes Dist. No. 2
 Owner's or Lessor's name and address Willard-Daggott Co., Central Wharf Telephone _____
 Contractor's name and address A. P. Dennison, 7 Keswick Rd. So. Portland Telephone 4-4782
 Architect's name and address _____
 Proposed use of building Lobster Shop No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? no No. of sheets _____
 Estimated cost \$ 2,000. Fee \$ 2.75

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Last use Storage of fish, and barrels No. families _____

General Description of New Work

To finish off room 50' x 90', first floor of building, with sheathing for lobster shop,
 To remove two 10x10 posts and truss on second floor as per plan submitted
 To provide small room for office, and small room for cooking lobsters.

Preliminary permit given 5/10/34 to finish off room 50' x 90'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By Willard Daggott Co.
A. P. Dennison

182913

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

Bldg. No. 1-34 Block Shee. of

Location of Bldg. 1/4 Lem. Wharf

Owner Prop. Lem. Wharf

Occupant Willard Packing Co.

Inspection by H. B. Pugh Date 8-27-34

Formal Complaint No. Date

Letter sent without complaint

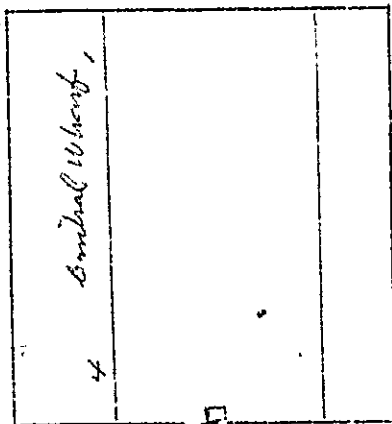
Building Data

Mat'l outside walls Wood Int. Frame wood

No. stories 3 Style of Roof Flat

No. elev. in bldg. Passenger Freight 1

Location of Elevator on Street Floor
Shown Below



St. Ave.

This report for 1 identical elevators

Elev. Man'f'r. Plain

Use of elev. Pass Frt. ✓ Comb'n. which

No. stops 3 Bsmt. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Shaftway

Open? Hatch doors Auto. ✓ Non-auto

Gates, auto. ✓ Semi-auto. Hand

Enclosed? ✓ Mat'l. of enclosure Wood

Fire Doors ✓ Normally closed ✓ open

Are enclosure doors interlocked? +

Height enclosure, full story ✓ what ht.

Elevator Machinery

Type of Power Elec.

Type of Machine Worm Gear

Location of Machine Front Room

Material of Supports Wood of Guides Wood

Material of cables Steel

No. cables, hoisting counterweight

Type of brakes

Has elev. following safeties: Governor

Car Safety ✓; Elect. Brakes ; Auto. Ter-

minial Stops top & bottom ✓; Slack Cable

Stops ✓; Safety Floor Stops ✓

Remarks: (note defects, if any)

Elevator Car

Platform Dimensions 52 x 6 Capacity 0

Mat'l. of encl. Wood No. sides encl. 2

Height of enclosure 4 ft No. entrances 2

Type of gates or doors Auto

Are they interlocked? +

Have they auto-closing devices? ✓

Type operation, Push-Buttons Operator

Any emergency exit?

Remarks: (note defects, if any)

General Remarks:

4 Wood 2 and 1-2nd floor

2 x 3 and 1-2nd floor