

# KIMBALL CHASE

company, inc.

CONCEPTUAL RAMP  
SCHEME

CLIENT LIBERTY GROUP

PROJECT CHANDLER WHARF

JOB NO PS 774.75

DETAIL GANGWAY

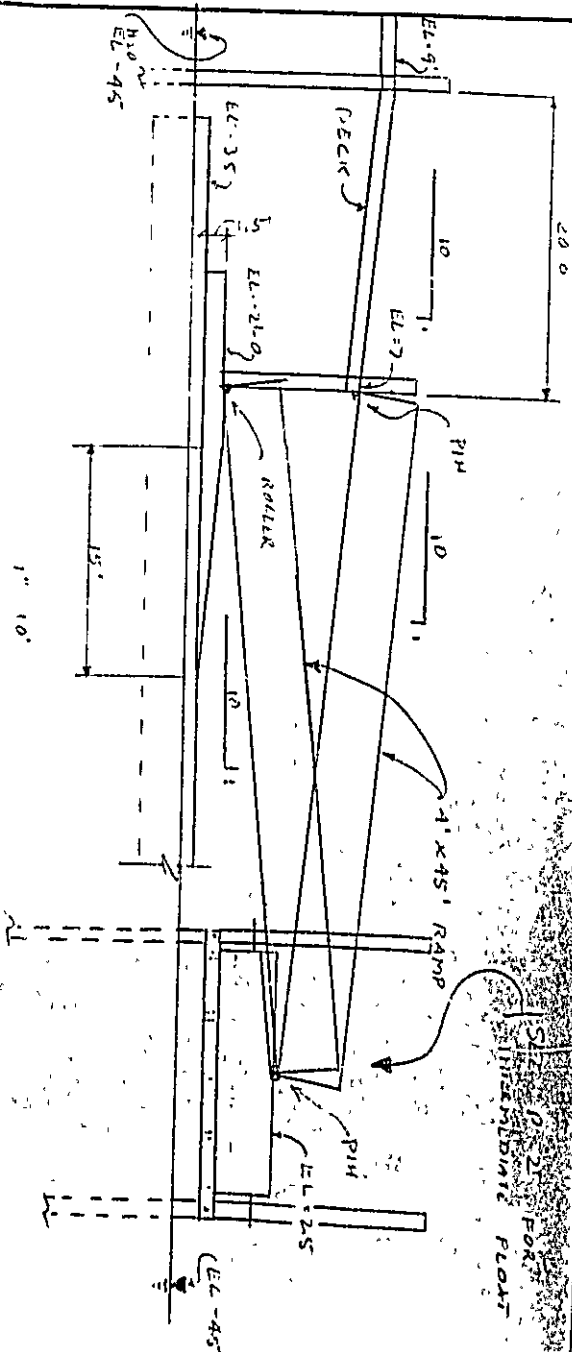
PAGE NO 1

CALCULATED BY KAH

DATE 6-6-86

CHECKED BY \_\_\_\_\_

DATE \_\_\_\_\_



DOUBLE RAMP @ MLW = -4.5'  
INTERMEDIATE FLOOR SITS ON BEAMS SO THAT  
THE TOP OF THE FLOOR BOSS AND LOWER TRAIN CL. 2.5'

# KIMBALL CHASE

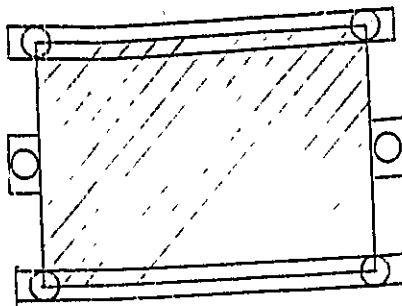
company, inc.

CONCRETE RAMP  
SCHEME

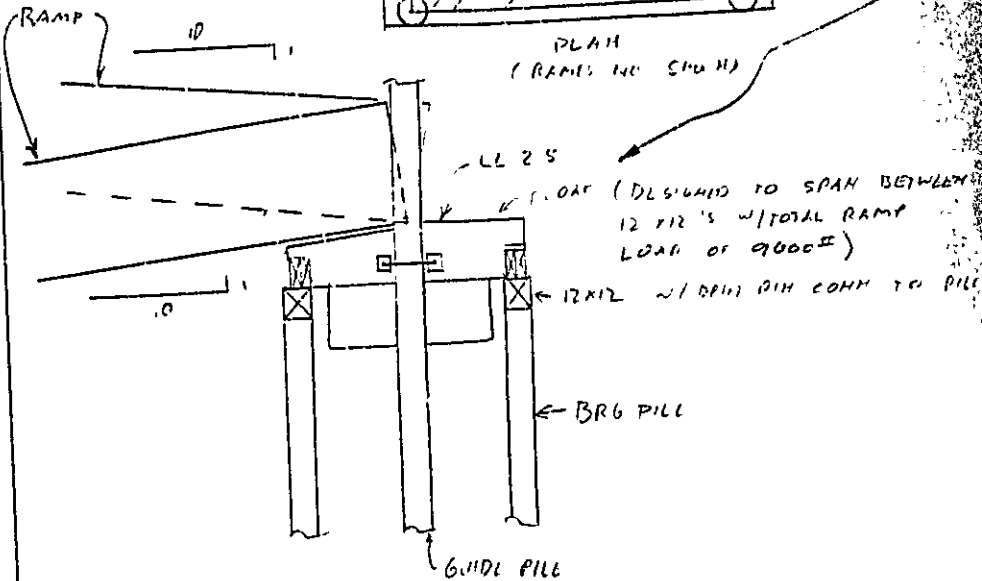
CLIENT: LAUREY GROUP  
PROJECT: CHANDLER WHARF JOB NO: CS-724-75  
DETAIL: CONCRETE RAMP PAGE NO: 1  
CALCULATED BY: KAP DATE: 12/28/80  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

INTERMEDIATE FLOAT  
PLATFORM

6 PILES REBO



PLAN  
(RAMP NOT SHOWN)



LL 2'S  
12x12 (DESIGNED TO SPAN BETWEEN  
12 PILES W/TOTAL RAMP  
LOAD OF 9000#)

← 12x12 W/ 6x12 PILE CONN TO PILE

← BR6 PILE

GUIDE PILE

PILE HOOPS SIZE TO ALLOW LATERAL  
MOVEMENT OF FLOAT 1/4"

(EXACT DIMENSIONS OF FLOAT REQUIRED)

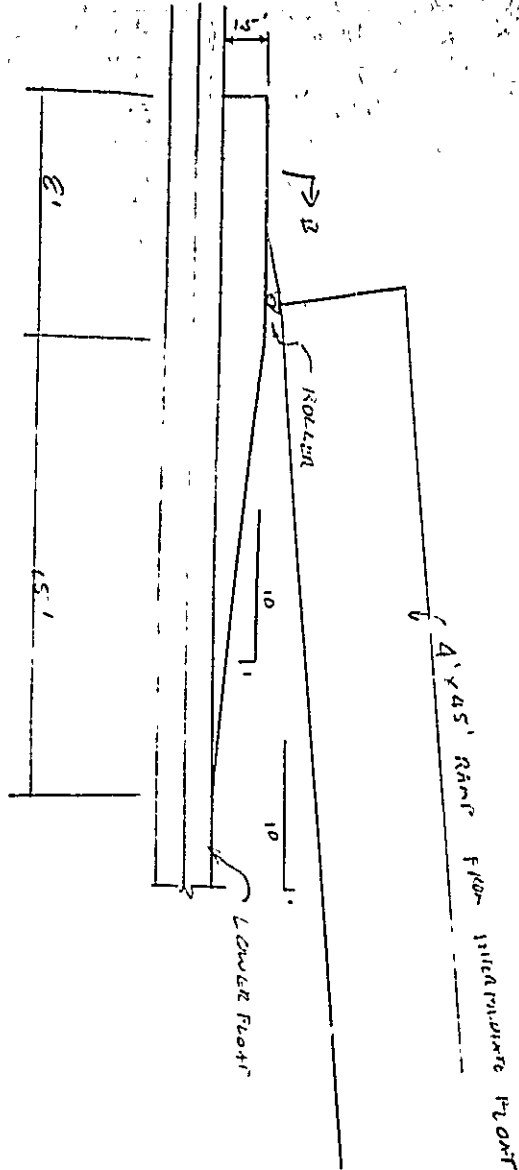
# KIMBALL CHASE

company, Inc.

CONCEPTUAL RAMP  
SCHEME

CLIENT: STURDY GROUP  
PROJECT: CHANDLER WARE  
DETAIL: LOADING RAMP LDB  
CALCULATED BY: KAH  
CHECKED BY: \_\_\_\_\_

DATE: 6-7-86  
SCALE: 3/8" = 1'-0"

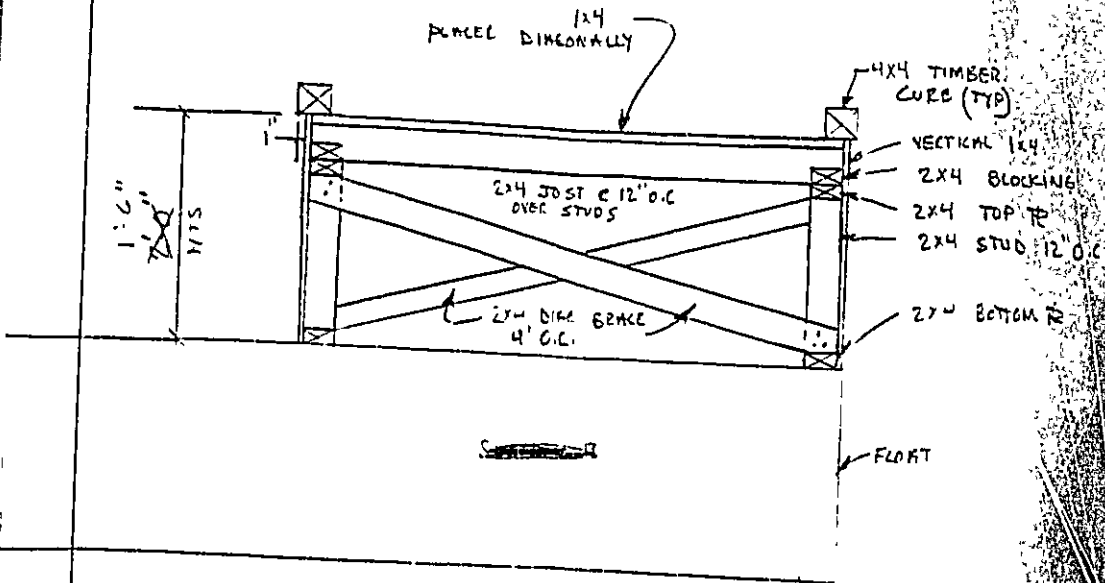


# KIMBALL CHASE

company, inc.

CONCEPTUAL RAFT  
SCHEMATIC

CLIENT LIBERTY GROVE  
 PROJECT CHANDLER'S WHARF JOB NO. 85-7104.78  
 DETAIL FLOATING LAMP LANDING PAGE NO. 4  
 CALCULATED BY RNS DATE 5-16-86  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_



SECTION ~~A~~ B  
 3/4" = 1'-0"

NOTES:

1. ALL TIMBER .4 #/CT P.T.
2. ALL TIMBER  $F_L > 1200$  PSI  
 AFTER .4 #/CT P.T.
3. ALL NAIL & HARDWARE TO BE H.C. ONLY.
4. FLOAT MANUF TO SUPPLY ATTACHMENT DETAILS

Notes from Meeting

Date: July 23, 1986  
RE: Chandler's Wharf  
Building 7  
Location: Portland Planning Board Office

Present: David Cope, Jamie Corriveau - Liberty Group; Paul Frenko - Bernstein, Shur, Sawyer & Nelson; Sam Hoffsis, Joe Gray, Alex Jaegerman, Richard Flewelling - City; Bill Hopkins, CynDee Sabin - Archtellic.

Presentation to city was to trace history of Building 7 and public access around Building 7 to assure we are constructing Building 7 as proposed.

Bill gave presentation:

-During our office move presentation boards were thrown out. We have material that look like presentation boards.

-In March 1985 Planning Board reviewed drawings showing conceptals for Building 7. At that time, a building was in the center of the project. Alex remembered that.

-At May 14, 1985 Planning Board presentation we showed public access and fisherman ramp through Building 7. We were aware of need for a 10' ramp to reach deck.

-June 5, 1985 no offsets for Building 7. We had the walkway and driveway included. First schematics of Building 7 with 10' drive through and 15' total public access. Showed set of elevations.

-Subdivision plan showed 5' public access inside Building 7. We had plenty of room at south end of Building 7. Subdivision plan used as base for drafting site plan which city signed. In the rerafting an error occurred by omitting north end of Building 7. It was different from anything else we were drafting and we are sure it was a drafting error.

-Sam agreed his drawings submitted by Jamie last summer/fall indicate what is being built.

-Alex and Joe thought a 10' ramp abutted north property line.

-Bill explained during the presentation the staff said we needed a walkway separate from ramp so we moved the ramp inside building.

Notes to Meeting  
July 23, 1986  
Page 2 of 3

- Alex - site plan says Building 116' long but unclear where ends of building are so they couldn't agree about location of end of building and unclear if we are moving the building.
- Bill - We have separate issues here.
- Joe questioned if recording plat needed to be changed.
- Alex suggested an as built drawing be drafted and approved by Planning Board.
- Alex asked if our building affects the 5', 10' access. Bill - No, we are building it with both allowed for.
- This is a technical question.
- Jamie - He will change site plan to reflect as built for any "sidewalk superintendant" who might go to city hall to check if we are building according to plan. Would this mean we would get a go ahead to continue work?
- Alex would like an as-built.
- Joe - Note technical change on as-built.
- Jamie - he has talked with staff about changing commercial space on 1st floor to 3 residential units; consolidate public access to rundown westside of Building 7 and turn to east of southern wall of Building 7 and west of project; eliminate end deck and replace east fixed deck with floating deck. Planning Board has a board requesting this change and will be discussed at August 19th meeting.
- Question about what can be dealt with internally by Planning Staff and what must go to the Planning Board. Change of use must go to Planning Board but the deck issues can be dealt with internally.
- Alex thinks everything (including north end of Building 7) should go to Planning Board.
- Warren Turner advised Joe Gray that the code says we must set back from piles - keeping piles intact.
- David said one year ago he met often with Malcolm Ward who always said edge of wharf is to be used, not decks, for setback. Thus we never put a deck along west side.

Notes to Meeting  
July 23, 1986  
Page 3 of 3

- Paul - Also they had meetings with Planning Staff, Fire Chief and Corporation Council who all agreed on that same interpretation. There are ties between the structure and piling and that determined to be the structure.
- Joe - if the issue of north end of Building 7 can be handled administratively, Archtellic is to submit an as-built and the stop work order will be rescinded. If Planning Board must decide, it will be August 19, 1986 before work can progress.
- Paul - Ordinance says issues go to Planning Board if relating to a condition or requirement of Planning Board.
- Richard - Feels Joe can handle this administratively with a revised partial site plan.
- Archtellic - to submit revised partial site plan today.
- Liberty Group to look through files for any documentation regarding 5' setback.
- David - every plan we submitted was based on the approval of the Planning Board that requirements were met.
- Richard - Is no connection between retention plan and fixed deck.
- Will be one more workshop before planning board public hearing regarding retention plan.

CENTRAL WHARF ASSOCIATES  
38 PREBLE STREET  
PORTLAND, MAINE 04101  
(207) 772-0548

RECEIVED  
NOV 25 1986  
DEPT. OF BUILDING INSPECTORS  
CITY OF PORTLAND

November 18, 1986

Mr. Jack H. Humeniuck, Chairman  
Portland Planning Board  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

Re: Central Wharf

Dear Mr. Humeniuck and Members of the Planning Board:

Please accept my apologies for the lateness of this submission, but due to circumstances beyond my control (outside entities), it could not be helped.

I am in hopes that the Board will consider the following items in reference to the staff outline dated November 14, 1986:

1. Relocation of 700' of fish boat berthing to Hobson's Wharf and acceptance of 90' of fish boat berthing at Union Wharf.
2. Substitution of floating deck for fixed decks. Please find attached from Kimball Chase Company, Inc. two letters substantiating the strength and durability of the floating deck system. These two letters are marked Attachment A. As stated in this letter, the system will handle up to an 80' boat without any structural changes.
3. Truck and pedestrian access along Building 7. Please find attached Plan No. 1 that shows the vehicular access to the east side as approved by the Planning Board on August 13, 1985. Also, please note Plan No. 2, which shows our proposed change to the vehicular and pedestrian access on the east side. The diagram shows that the 10' access strip will be provided, if necessary, directly adjacent to Building 7. This was accomplished by obtaining a 5' easement from Harris Company and combining it with our 5' setback from our property line giving us a total of 10'. This access area has always been there and interfaces with the existing platform and ramp.
4. Public access. Please refer to the attached site plan, which shows the new public access circulation system. Basically, the change here has only been one of simplification.



# KIMBALL CHASE

company, inc.

Civil  
Environmental  
Engineers  
Landscape Architecture

P.O. Box 537  
40 Bridge Street  
Portsmouth  
New Hampshire 03801

603-411-2520

November 17, 1986

Liberty Group, Inc.  
38 Preble Street  
Portland, ME 04101

Attn: Jamie Corriveau

Re: Chandlers Wharf Marina Modifications - East 86-1333

Dear Jamie:

Enclosed please find my letter summarizing my analysis of the existing float system on the east side of Chandlers Wharf.

I would like to expand on what "minor" modifications may entail in using this facility for year round commercial fishing vessels.

Blake Wood at Thompson Floatation Inc. (TFI) feels that without a 3/8" top skin underneath the deck as there is on the fingers, we will have to modify the fendering to induce loads into the floats at the piles.

In order to maintain reasonable lateral deflections in the system we will require that compression struts be placed on all existing piles to tie back the piles to the bulkhead.

Chris Clark has informed me that they have doubled up on heavy duty cleats on the east side and used 5/8" O bolts which should be acceptable for the intended use. Chris also feels that the power posts have been recessed but I feel we should look at this relative to the actual hulls that will be berthed on this side.

Enclosed also please find conceptual details of proposed modifications.

Once you have made a final determination of the necessity to berth commercial fishing vessels on this system and have a list of vessels we can finalize this assessment and prepare final details.

If you have any questions, please feel free to contact me.

Sincerely,

KIMBALL CHASE COMPANY, INC.

*Bob*

Robert M. Snover, P.E.  
Project Manager

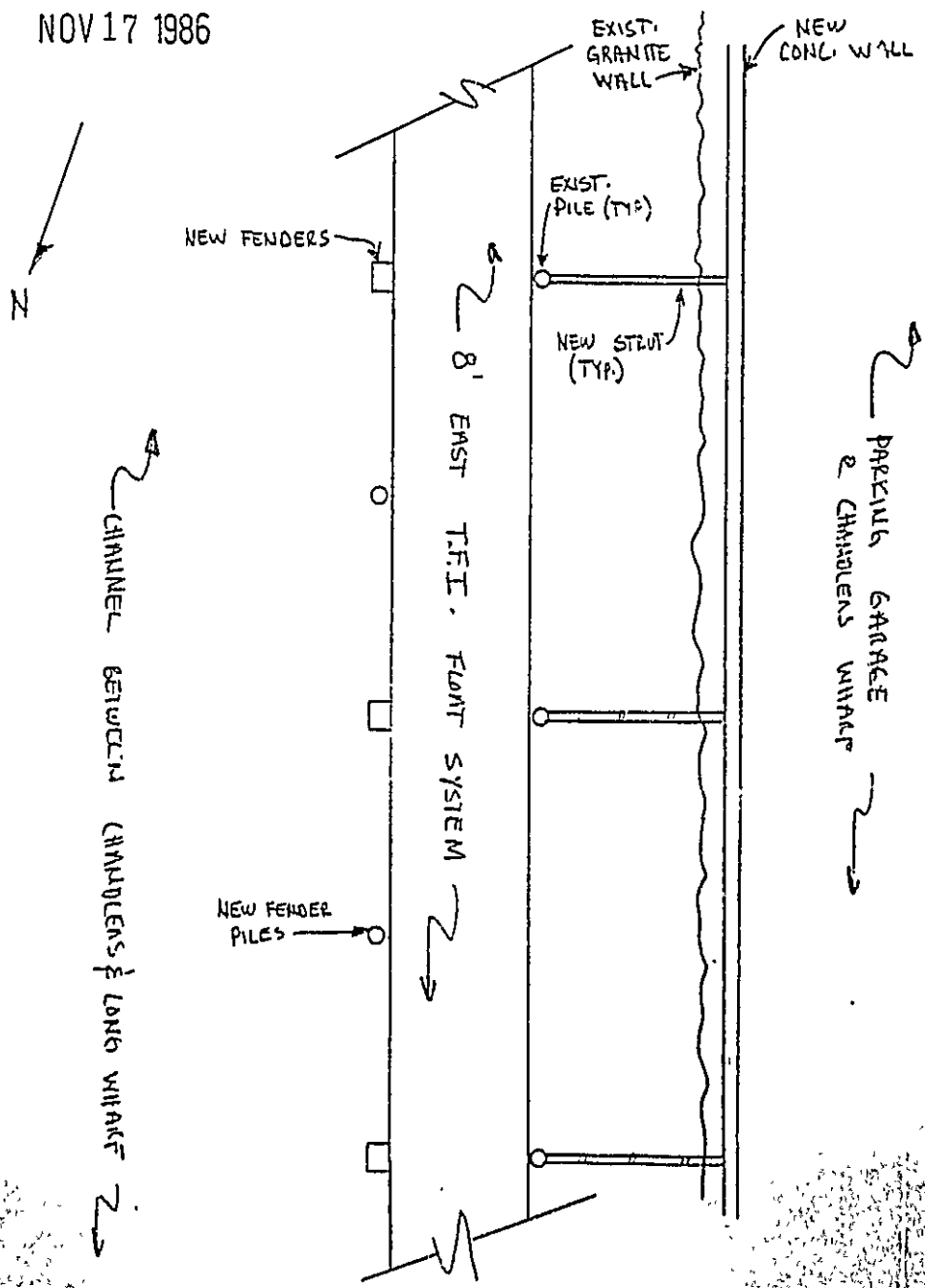
RMS/sjo

Enclosure

**KIMBALL CHASE**  
company, inc.  
**PRELIMINARY**

CLIENT USERT / GROUP  
PROJECT CHANDLER'S WHARF JOB NO 86-1333  
DETAIL EAST - MODIFICATIONS PAGE NO 1 of 1  
CALCULATED BY RMS DATE 11/16/86  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

NOV 17 1986





**FIRE RESISTANT  
GYPSUM SHEATHING**



**GYPSUM  
ASSOCIATION**

1603 Orrington Avenue, Evanston, Illinois 60201

## DESCRIPTION

Gypsum sheathing manufactured to meet the requirements of ASTM C-79 and Federal Specification SS-L-30 has the following characteristics:

	1/2" Sheathing**	5/8" Type X Sheathing**
Width	4'	4'
Standard Lengths	8'	8'
Approximate Weight	2.0 lbs./SF	2.5 lbs./SF
Edges	*square	square
Core	plain or water resistant	plain or water resistant
Surface	water repellent	water repellent

\*Also available 2' wide with T & G edges

\*\*ASTM C-79 also covers other lengths and thicknesses. Consult manufacturers for specifications.

## USES

Gypsum sheathing is used with a variety of exterior finishes such as siding, masonry veneer, stucco and shingles.

## FUNCTION AND UTILITY

### FIRE PROTECTION

The noncombustible core of gypsum sheathing protects the framing from the hazards of external fire, even when covered by combustible siding. When exposed to high temperatures, water contained in the chemical composition of the gypsum is gradually released, and this provides additional protection until the sheathing is completely calcined. Gypsum sheathing has a low flame spread rating (less than 25 as compared to 100 for Red Oak when tested by ASTM E-84).

### WEATHER PROTECTION

The edges of vertically applied 4' wide sheathing panels fall over the stud so it provides a barrier to minimize wind and water infiltration. The T & G edges of 2' wide panels properly applied, also resist the passage of wind and water. The surfaces of gypsum sheathing are water repellent. These special features make the use of building felt unnecessary in most cases, although it may be required when regular core sheathing is used or square edge sheathing is applied horizontally, or in exterior stucco curtain walls. (See Limitations of Use).

### STRUCTURAL

Racking tests have been conducted for the Gypsum Association by an independent laboratory according to ASTM Method E 72-77. Average ultimate racking load values were as follows:

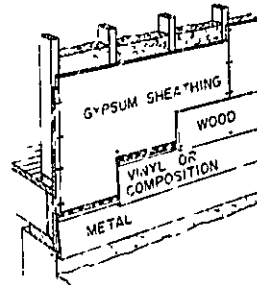
	Shear Load in lbs. per linear ft.	
	Dry	Wet*
1/2" x 4' wide sheathing	543	332
5/8" x 4' wide type X	654	522

\*Treated core only

*Studs spaced 16" o.c. fasteners 7" o.c. in field and 4" o.c. on edges and ends for 5/8" gypsum sheathing, 8" o.c. in field and 4" o.c. on edges and ends for 1/2" gypsum sheathing*

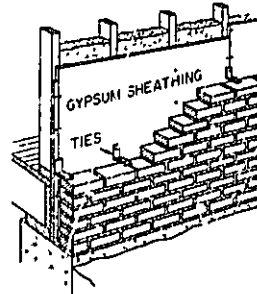
**Corner Bracing** — Where continuous diagonal bracing is required, many building codes allow the use of four foot wide panels of 1/2 inch gypsum sheathing applied vertically to be used in place of 1 inch by 4 inch wood lat-in bracing.

**Shear Walls** — Where wind or seismic forces require shear walls to resist these lateral forces, most building codes provide allowable shear values for walls having gypsum sheathing applied to wood framing. Specific values with construction requirements and limitations are contained in the major model building codes (Basic/National Building Code, Standard Building Code and Uniform Building Code).



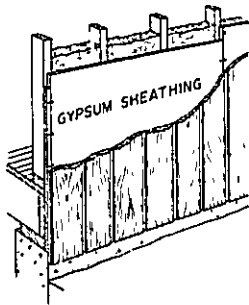
### WOOD, VINYL, COMPOSITION, AND METAL SIDINGS

These sidings are applied directly over gypsum sheathing with fasteners driven through the sheathing and into the studs.



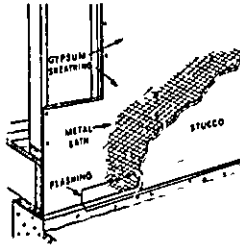
### MASONRY VENEER

Masonry veneer can be applied over gypsum sheathing in the same manner as over any other type of sheathing. The wall ties are secured by nails driven through the gypsum sheathing and into the studs.



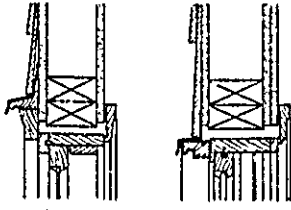
#### PLYWOOD SIDING

Plywood siding is applied directly over gypsum sheathing with nails driven through the sheathing and into the studs.



#### EXTERIOR STUCCO

Self furring stucco mesh may be directly applied over gypsum sheathing with nails driven through the sheathing into the studs. Wood furring strips or self furring nails may be used for attachment of flat stucco reinforcement.



#### DETAILS FOR FRAMED OPENINGS

Standard 4 1/2" window and door frames permit the use of 1/2" sheathing without alteration. There is no need to use shimming unless a deeper reveal is desired. Thicker wall constructions require thicker jambs or extension jambs in the frame.

#### VAPOR PERMEABILITY

Gypsum sheathing typically has an average vapor permeance of 20 perms (dry cup), which provides for the escape of normal water vapor. This exceeds the accepted minimum of five perms when the "U" value of the wall is less than 0.25 and a vapor barrier not exceeding one perm is installed on the interior side.

#### ECONOMY

Material cost is low for gypsum sheathing, and there is a minimum of waste. Gypsum sheathing panels are applied quickly and easily. In some cases fewer nails are required to cover a given area than with other sheathing materials. Low material and labor costs, plus possible elimination of the need for building felt, are important economic advantages gained by the use of gypsum sheathing.

#### PERMANENCE

Since gypsum is an inert material, gypsum sheathing provides long-lasting stability to a structure's vital framing elements. Inspections of residences 25 years old have shown the original gypsum sheathing to be in excellent condition.

#### LIMITATIONS OF USE

1. Should not be used as a nailing base.
2. Exterior cladding applied over gypsum sheathing should be applied with mechanical fasteners through the sheathing into the wall framing.
3. Application of gypsum sheathing to framing by adhesives only is not recommended.
4. Maximum stud spacing is 24" o.c.
5. Not recommended for exterior ceilings, soffits, or sills.
6. May be stored outside for up to one month, stacked off the ground under protective covering.
7. May be left exposed to the elements for one month after application, or up to six months if cutouts, corners and joints in the sheathing are filled with a flexible sealant at the time of application. Building felt, applied immediately after the sheathing application, properly lapped, attached and anchored by metal lath or exterior stucco, is an alternate for the flexible sealant.

#### RECOMMENDED SPECIFICATIONS

##### SCOPE OF WORK

All exterior walls should be covered with gypsum sheathing.

##### FRAMING

Framing members should be installed not to exceed 24" o.c.

##### MATERIALS

Gypsum Sheathing: Sheathing should be (plain or water resistant core) water repellent gypsum sheathing 1/2" or 5/8" thick 4' wide with square edges, or 1/2" thick 2' wide with tongue and groove edges. All sheathing shall meet the requirements of ASTM C-79.

Nails: Nails shall be galvanized 11 gauge, 7/16" head, 1 1/2" long for 1/2" sheathing, and 1 3/4" long for 5/8" sheathing.

Staples: Staples for 1/2" sheathing shall be galvanized 16 gauge, 7/16" x 1 1/2" long with divergent points.

Screws: Consult the sheathing manufacturer for screw spacing and attachment detail for wood and metal framing.

Metal studs: Consult the sheathing manufacturer for recommended systems with metal framing.

##### APPLICATION

Nail heads or screw heads or the crown of staples should bear tightly against the face of the sheathing, but not cut into the face paper. Staples should be driven with the crown parallel to the framing. Fasteners should be no less than 3/8" from the ends and edges of the sheathing.

### GYPSUM SHEATHING — 4 FT. WIDE

Apply 4 ft. wide gypsum sheathing vertically with vertical edges over framing members. Fit sheathing snugly around all window and door openings. Flashings should be installed around all openings. When using nails, secure sheathing to studs 4" o.c., around the perimeter of the board, and 8" o.c. in the field of the board. (When using staples, secure sheathing to studs 3" o.c. around the perimeter of the board and 6" o.c. in the field.)

For horizontal application, and for screw application, consult manufacturer.

### GYPSUM SHEATHING — 2 FT. WIDE

Apply 2 ft. wide gypsum sheathing with the long dimension at right angles to the framing members, with grooved edges down, interlocking the tongue of the adjacent panel, bring long edges into contact with each other without forcing. Ends of panels should abut over the centers of framing members and all end joints should be staggered. Fit sheathing snugly around all windows and door openings. Flashing should be installed around all openings. Secure sheathing to studs with fasteners spaced approximately 4" o.c. (8" o.c. where wood siding or diagonal bracing is used.)

### EXTERIOR CLADDING:

- Note 1: Building felt is not needed over gypsum sheathing but may be required by local building codes.
- Note 2: Exterior cladding applied over gypsum sheathing should be applied with mechanical fasteners through the sheathing into the wall framing.

Exterior Insulation Finish Systems (EIFS): Exterior Insulation Finish Systems incorporating gypsum sheathing may be used with either mechanical fasteners or adhesives. The performance of these systems and recommendation of the proper method of attachment are the sole responsibility of the EIFS manufacturer.

Sidings: Apply horizontal siding directly over gypsum sheathing. Fasteners should have a minimum penetration of 1" into the framing. End joints of siding should abut over framing members.

Stone or Brick Veneer: Fasten masonry ties for the veneer securely through the sheathing and into the framing, spacing ties as required by masonry courses. Use an 8d nail or larger.

Stucco: Apply stucco mash according to manufacturer's directions, using self-furring material, furring strips or furring nails. Nail through the sheathing using nails which penetrate at least 1 in. into the framing.

Wood Shingles or Shakes: Apply 1 x 2 in. wood furring strips horizontally over the gypsum sheathing, spaced to correspond to the shingle exposure specified. Use nails of sufficient length to provide at least 1 in. penetration into the studs. Nail through the sheathing into the framing with a minimum of one nail at each intersection of stud and furring.

Plywood Panel Siding: Apply siding directly over gypsum sheathing. Nails shall have a minimum penetration of one inch into the framing. Vertical edge joints of siding should occur over framing members.

Characteristics, properties or performance of materials or systems herein described are based on data obtained under controlled test conditions. The Gypsum Association and the member companies make no warranties or other representations as to their characteristics, properties or performance under any variation from such conditions in actual construction.

### MEMBERS

The Celotex Corporation  
Centex American Gypsum Company  
Donitar Gypsum America Inc.  
Domtar Industries Inc.  
Genstar Gypsum Products Co  
Georgia-Pacific Corporation  
Gold Bond Building Products  
Norwest Gypsum  
Pabco Gypsum  
Republic Gypsum Company  
Temple-Eastex Inc.  
United States Gypsum Company  
Western Gypsum Company  
Windsor Gypsum Inc.

Atlantic Gypsum Limited  
Domtar Construction Materials  
Westco Industries Limited



## GYPSUM ASSOCIATION

1603 Orrington Avenue,  
Evanston, Illinois 60201

1110 Fidler Lane, Suite 413  
Silver Spring, Maryland 20910

1800 North Highland Avenue  
Hollywood, California 90028



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, Feb. 2, 1987

PERMIT  
FEB 8  
CITY OF P

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit N85-1477 pertaining to the building or structure in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Chandlers Wharf - Bldg. #7 Within Fire Limits?  Dist. No. 8  
 Owner's name and address Central Wharf Assoc. 38 Preble St. Telephone 77  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Yankee Construction - 84 Middle St. Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building 90 condominium units No. families \_\_\_\_\_  
 Last use same No. families \_\_\_\_\_  
 Increased cost of work none Additional fee none

### Description of Proposed Work

To change use of Bldg. # 7 from commercial to residential ( 2 units) for a total of 90 units

Change 1st floor use of bldg. # 7 from 1 commercial unit to 3 residential units for a total of 90 units due to the joining of 2 units on the top floor

### Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: \_\_\_\_\_

Signature of Owner Jim [Signature] for Central Wharf Assoc.

Approved: \_\_\_\_\_ Inspector of Buildings

FILE COPY



**APPLICATION FOR PERMIT**  
**DEPARTMENT OF BUILDING INSPECTIONS SERVICES**  
**ELECTRICAL INSTALLATIONS**

Date May 20, 1987  
 Receipt and Permit number D 09444

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Chandlers Wharf Bldg. 7  
 OWNER'S NAME: Liberty Group ADDRESS: 38 Preble St.

	FEES
<b>OUTLETS:</b>	
Receptacles <u>560</u> Switches <u>258</u> Plugmold <u>0</u> ft. TOTAL <u>818</u> .....	80.80
<b>FIXTURES:</b> (number of)	
Incandescent <u>X</u> Fluorescent _____ (not strip) TOTAL <u>320</u> .....	34.00
Strip Fluorescent _____ ft. ....	
<b>SERVICES:</b>	
Overhead _____ Underground <u>X</u> Temporary _____ TOTAL amperes <u>1600</u> ..	7.00
<b>METERS:</b> (number of) <u>19</u> .....	9.50
<b>MOTORS:</b> (number of)	
Fractional _____	
1 HP or over _____	
<b>RESIDENTIAL HEATING:</b>	
Oil or Gas (number of units) _____	
Electric (number of rooms) <u>20</u> .....	90.00
<b>COMMERCIAL OR INDUSTRIAL HEATING:</b>	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
<b>APPLIANCES:</b> (number of)	
Ranges <u>18</u> Water Heaters <u>18</u>	
Cook Tops <u>0</u> Disposals <u>18</u>	
Wall Ovens <u>0</u> Dishwashers <u>18</u>	
Dryers <u>18</u> Compactors <u>0</u>	
Fans <u>18</u> Others (denote) _____	
<b>TOTAL</b> <u>108</u> .....	140.40
<b>MISCELLANEOUS:</b> (number of)	
Branch Panels <u>19</u> .....	19.00
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial <u>1</u> .....	5.00
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery <u>5</u> each floor .....	2.50
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (304-16.b) .....	
TOTAL AMOUNT DUE: _____	388.20

**INSPECTION:**  
 Will be ready on 5/20/87, 19\_\_; or Will Call \_\_\_\_\_  
**CONTRACTOR'S NAME:** Warren Elec.  
**ADDRESS:** 39 Warren Ave. Portland-Westbrook  
**TEL.:** 854-0441  
**MASTER LICENSE NO.:** 02580 OK **SIGNATURE OF CONTRACTOR:** [Signature]  
**LIMITED LICENSE NO.:** \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN



ELECTRICAL INSTALLATIONS

Permit Number 09-2444  
Location Woodlee Ctr  
Owner John G. Sharp  
Date of Permit 5/20/87  
Final Inspection 10/2/87  
By Inspector J. Russo  
Permit Application Register Page No. 150

INSPECTIONS: Service 1600 amp by Russo  
Service called in 5/19/87  
Closing-in 5/15/87 by Russo

PROGRESS INSPECTIONS: 3/27/87 10/2/87  
4/10/87 1  
4/14/87 1  
4/28/87 1  
5/15/87 1  
5/15/87 1

DATE:	REMARKS:
<u>3/27/87</u>	<u>Closing 5th fl Bldg #7</u>
<u>4/14/87</u>	<u>Closing 2nd, 3rd &amp; 4th fl Bldg #7</u>
<u>5/15/87</u>	<u>Closing 15th fl - Bldg #7.</u>
<u>10/2/87</u>	<u>Branch Panels in individual units are properly marked.</u>
<u>10/2/87</u>	<u>Final for C of O - Completed this date.</u>

CODE  
COMPLIANCE  
COMPLETED  
DATE 10/2/87



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION

Issued to Chandler's Wharf Association

Chandler's Wharf

Date of Issue August 26, 1987

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_ has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Building 7 units 9

APPROVED OCCUPANCY

Single family condominiums

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

26/Aug/87 [Signature]  
(Date) Inspector

[Signature]  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

EG. B  
B.R.

# PLUMBING APPLICATION

Department of Human Services  
Division of Health Engineering  
(207) 289-3826

**PROPERTY ADDRESS**

Town Or Plantation: **Portland**

Street: \_\_\_\_\_

Subdivision/Lot #: **Chandler & Wharf Bldg. #7**

**PROPERTY OWNERS NAME**

Last: \_\_\_\_\_ First: **Liberty**

Applicant Name: **Warren Mechanical, Inc.**

Mailing Address of Owner/Applicant (if Different): **P.O. Box 149, Westbrook, Me.**

**PORTLAND** PERMIT # **2,250** TOWN COPY

Local Plumbing Inspector Signature: *[Signature]* L.P.I. # \_\_\_\_\_

Fee: \$ \_\_\_\_\_

Double Fee Charged:

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and I understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: *[Signature]* Date: **4/6/87**

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: \_\_\_\_\_ Date Approved: **OCT 19 1987**

**PERMIT INFORMATION**

This Application is for:

1.  NEW PLUMBING

2.  RELOCATED PLUMBING

APR 10 1987

Type Of Structure To Be Served:

1.  SINGLE FAMILY DWELLING

2.  MODULAR OR MOBILE HOME

3.  MULTIPLE FAMILY DWELLING

4.  OTHER - SPECIFY \_\_\_\_\_

Plumbing To Be Installed By:

1.  MASTER PLUMBER

2.  OIL BURNERMAN

3.  MFG'D HOUSING DEALER/MECHANIC

4.  PUBLIC UTILITY EMPLOYEE

5.  PROPERTY OWNER

LICENSE # **0, 1, 7, 9, 6**

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
1	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	3	Hosebibb / Sillcock	22	Bathtub (and Shower)
		1	Floor Drain		Shower (Separate)
			Unnal	18	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste	29	Water Closet (Toilet)
			Water Treatment Softener, Filter, etc	18	Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator	18	Dish Washer
			Dental Cuspldor	18	Garbage Disposal
			Bidet		Laundry Tub
1	Hook-Ups (Subtotal)		Other: _____	18	Water Heater
\$ 6.00	Hook-Up Fee	4	Fixtures (Subtotal) Column 2	141	Fixtures (Subtotal) Column 1
				4	Fixtures (Subtotal) Column 2
				145	Total Fixtures
				\$ 175.00	Fixture Fee
				\$ 6.00	Hook-Up Fee
				\$ 181.00	Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY



**APPLICATION FOR PERMIT**  
DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
ELECTRICAL INSTALLATIONS

Date July 25, 19 86  
Receipt and Permit number D 24356

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Commercial St- Chandler's Wharf  
OWNER'S NAME: Liberty Group ADDRESS: 38 Preble St.

	FEES
<b>OUTLETS:</b>	
Receptacles <u>2313</u> Switches <u>1618</u> Plugmold _____ ft. TOTAL <u>3931</u> .....	392.10
<b>FIXTURES (number of)</b>	
Incandescent <u>1688</u> fluorescent _____ (not strip) TOTAL <u>1659</u> .....	167.20
Strip Fluorescent _____ ft. ....	
<b>SERVICES:</b>	
Overhead _____ Underground <u>X</u> Temporary _____ 5- 600 amp = 1 800 TOTAL amperes .....	36.00
<b>METERS: (number of)</b> <u>82</u> .....	246.00
<b>MOTORS: (number of)</b>	
Fractional _____	
1 HP or over _____	
<b>RESIDENTIAL HEATING:</b>	
Oil or Gas (number of units) <u>72</u> .....	216.00
Electric (number of rooms) <u>108</u> .....	108.00
<b>COMMERCIAL OR INDUSTRIAL HEATING:</b>	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
<b>APPLIANCES. (number of)</b>	
Ranges <u>72</u> .....	72
Cook Tops _____	72
Wall Ovens _____	72
Dryers <u>72</u> .....	72
Fans <u>195</u> .....	195
Water Heaters _____	72
Disposals _____	72
Dishwashers _____	72
Compactors _____	1
Others (denote) _____	734.00
<b>TOTAL</b> .....	734.00
<b>MISCELLANEOUS: (number of)</b>	
Branch Panels <u>82</u> .....	82.00
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential <u>1</u> .....	2.00
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery <u>22</u> .....	11.00
Emergency Generators _____	
INSTALLATION FEE DUE: _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE: _____	
FOR REMOVAL OF A "STOP ORDER" (301-16.b) .....	
<b>TOTAL AMOUNT DUE:</b> .....	1,795.00

INSPECTION:  
Will be ready on \_\_\_\_\_, 19 \_\_\_\_; or Will Call \_\_\_\_\_  
CONTRACTOR'S NAME: Warren Electric  
ADDRESS: 19 Warren Ave. Westbrook  
TEL: 854-04441  
MASTER LICENSE NO.: 2580 SIGNATURE OF CONTRACTOR: David Longman  
LIMITED LICENSE NO.: \_\_\_\_\_

INSPECTOR'S COPY — WHITE  
OFFICE COPY — CANARY  
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS

Permit Number 24856  
 Location Amherst, N.Y. - New York City  
 Owner Amherst City  
 Date of Permit 7/15/87  
 Final Inspection 10/2/87  
 By Inspector W. J. [unclear]  
 Permit Application Register Page No. 111

INSPECTIONS: Service 4000 by A. [unclear]  
 Service called in 10/29/86  
 Closing-in 8/14/86 by A. [unclear]

PROGRESS INSPECTIONS:  
8/14/86, 12/28/86, 4/10/87  
8/10/86, 1/22/87, 4/14/87  
10/16/86, 1/22/87, 4/15/87  
10/29/86, 2/10/87, 5/15/87  
1/24/87, 2/13/87, 5/19/87  
1/9/87, 3/10/87, 6/24/87  
1/14/87, 5/27/87, 10/2/87

CODE  
 COMPLIANCE  
 COMPLETED  
 DATE 10/2/87

DATE:	REMARKS:
8/14/86	Bldg # 4 Closing (walls)
8/14/86	Closing service OK
10/16/86	Bldg # 3 Closing (walls)
10/29/86	Called C.M.P. to place meters (Bldg # 3) 11
1/24/87	Called C.M.P. to place meters (Home Unit # 2)
4/14/87	walls may be closed Bldg # 3 (1st floor)
12/13/86	" " Bldg # 2
1/9/87	walls may be closed (Guard school)
1/9/87	parking bus. conduits must be protected (OK 4/10/87)
1/14/87	Final inspection Bldg # 4 unit 12 - 54 units
1/14/87	Called C.M.P. to connect house panel # 106
1/14/87	Emergency had transformer Bldg # 186
1/14/87	Called C.M.P. to place 12 (meters) Bldg # 4
1/20/87	Called C.M.P. to place meters (Bldg # 2) units 5-12
1/22/87	walls may be closed (Bldg # 5 2nd floor)
1/27/87	meters may be placed units 2, 3 & 4
1/29/87	Closing Bldg # 5 1st fl.
2/10/87	Closing Bldg # 1 entire - meters placed 9 units
2/13/87	meters may be placed Bldg # 6 - 12 meters
3/10/87	Closing Bldg # 6 - 12 units
3/19/87	Permit for C of O - Bldg # 4 unit # 12
4/10/87	Final Bldg # 3 - 15 units completed for C of O.
4/14/87	Final " " # 4 - 11 units completed for C of O.
4/25/87	Receptacles in all "C" units must be G.F.C.I. Protected
4/28/87	Final Bldg # 2 - 12 units completed for C of O.
5/19/87	Final Bldg # 5 - completed for C of O.
6/24/87	Final Bldg # 6 & Bldg # 1
10/2/87	walk through final inspection OK



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION Chandler's Wharf

Date of Issue August 26, 1987

Issued to Chandler's Wharf Association

**This is to certify** that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES  
Building 7 units 1G

APPROVED OCCUPANCY  
Single family condominiums

Limiting Conditions:

This certificate supersedes certificate issued \_\_\_\_\_

Approved: 26/AUG/87  
(Date)

Inspector

James P. Collins, Sr.  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and must be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

EG  
RB



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION **Chandler's Wharf**

Issued to **Chandler's Wharf Association**

Date of Issue **October 7, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 7 Unit 17**

**Single family condominium**

Limiting Conditions.

This certificate supersedes certificate issued

Approved:  
**30/591/57**  
(Date)

*[Signature]*  
Inspector

*[Signature]*  
*[Signature]*  
Inspector of Buildings

*Ross D. G.*  
*6/20/87*

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION

Chandler's Wharf

Issued to Chandler's Wharf Association

Date of Issue August 26, 1987

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Building 7 units 19

Single family condominiums

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

26 Aug 1987  
(Date) Inspector

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

EG  
AA





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION Chandler's Wharf

Issued to Central Wharf Assoc.

Date of Issue August 4, 1987

This is to verify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

East Side Slips #57 thru 77

Berthing

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

8/4/87 W. Schumaker  
(Date) Inspector

[Signature]  
Inspector of Buildings

O. Ruess

8/4/87 OK'd by Rick Knowland & Alex Jaegerman

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Central Wharf Assoc.**

LOCATION

**Chandler's Wharf**

Date of Issue

**August 4, 1987**

**This is to certify** that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**East Side slips #57 thru 77**  
Limiting Conditions:

**Berthing**

This certificate supersedes  
certificate issued

Approved:

*8/4/87*  
(Date) *[Signature]*  
Inspector

*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association** LOCATION **Chandler's Wharf**  
Date of Issue **October 1, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 7 Unit 713**

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:  
*30 Sept 87*

(Date)

*E. J. Fawcett*  
D. Pharo

Inspector

*James P. Collins*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association**      Date of Issue **October 1, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 7 Unit 712**

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved  
**30 SEPT 1987**

(Date)  
**E. J. Stone**  
**ORum**

Inspector

*[Handwritten signature]*

*[Handwritten signature: James V. Callahan]*  
*[Handwritten signature: D. Samuel Haffner]*

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Chandler's Wharf Association

Chandler's Wharf

October 1, 1987

Issued to

Date of Issue

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Bldg. 7 Unit 711

Single family condominium

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:  
307/11/87

(Date)

*ea*  
*DR*

*R. Hoffer*  
Inspector

*James P. Colby*  
*P. Samuel Hoffer*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE

Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association**

LOCATION

**Chandler's Wharf**

Date of Issue

**October 1, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—  
—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform  
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for  
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

**aldg. 7 Unit 708**

APPROVED OCCUPANCY

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

**30/Sept/87**

(Date)

*DAW*

*[Signature]*  
Inspector

*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from  
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION **Chandler's Wharf**

Issued to **Chandler's Wharf Association**

Date of Issue **October 1, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

**Bldg. 7 Unit 707**

APPROVED OCCUPANCY

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate-issued

Approved:  
*30/SEP/87*

(Date)  
*E. J. Russo*  
*D. Russo*

*[Signature]*  
Inspector

*James V. Collins, Sr.*  
*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association** LOCATION **Chandler's Wharf** Date of Issue **October 1, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

FORTION OF BUILDING OR PREMISES

**Bldg. 7 Unit 705**

APPROVED OCCUPANCY

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved

30/509/87

(Date)

E.A. [Signature]  
D. Russo

Inspector

James V. [Signature]  
[Signature]  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association** LOCATION **Chandler's Wharf** Date of Issue: **October 1, 1980**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 7 Unit 705**

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:  
30/5/80  
E. J. Russo  
(Date)

*[Signature]*  
Inspector

*[Signature]*  
Inspector of Building

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION **Chandler's Wharf**

Issued to **Chandler's Wharf Association**

Date of Issue **October 1, 1987**

**This is to certify** that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Laiding Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 7 Unit 704**

**Single family condominium**

Limiting Conditions:

This certificate supersedes certificate issued

Approved: **30/SEPT/87**  
(Date)

*E. J. Jones*  
L. 11000

*[Signature]*  
Inspector

*James P. Collins, Sr.*  
*[Signature]*  
Inspector of Buildings

Notice: This certificate certifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association** LOCATION **Chandler's Wharf** Date of Issue **October 1, 1987**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. \_\_\_\_\_, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

**Bldg. 7 Unit 703**

APPROVED OCCUPANCY

**Single family condominium**

Limiting Conditions:

This certificate supersedes certificate issued

Approved: *30 Sept 87*  
(Date)

*E. D. Jones*  
*D. P. ...*

*[Signature]*  
Inspector

*James P. Collins, Sr.*  
*[Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

Issued to **Chandler's Wharf Association**      LOCATION **Chandler's Wharf**      Date of Issue **October 1, 1937**

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PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 7 Unit 702**

**Single family condominium**

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved: *[Signature]*  
29 Sept 1937  
(Date)

*[Signature]*  
Inspector

*[Signature]*  
*[Signature]*  
Inspector of Buildings

*[Handwritten initials]*  
*[Handwritten initials]*

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Department of Building Inspection

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PORTION OF BUILDING OR PREMISES

**Bl&g. 7 Unit 714**

APPROVED OCCUPANCY

**Single family condominium**

Limiting Conditions:

This certificate supersedes certificate issued

Approved: *[Signature]*  
Date: *10/1/87*

(Date)  
*[Signature]*  
*D Russo*

*[Signature]*  
Inspector

*[Signature]*  
*[Signature]*  
Inspector of Building

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CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

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LOCATION **Chandler's Wharf**

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PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

**Bldg. 2 Unit 715**

**Singdo family condominium**

Limiting Conditions:

This certificate supersedes certificate issued

Approved: **30/Sept/87**

(Date)  
*E. A. [Signature]*  
*D. P. [Signature]*

*[Signature]*  
Inspector

*[Signature]*  
*[Signature]*  
Inspector of Buildings

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CITY OF PORTLAND, MAINE  
Department of Building Inspection

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PORTION OF BUILDING OR PREMISES

**Bldg. 7 Unit 716**

APPROVED OCCUPANCY

**Single family condominium**

Limiting Conditions:

This certificate supersedes certificate issued

Approved: *[Signature]*  
30 SEPT 87

(Date)  
*E. J. [Signature]*  
*D. Russ*

*[Signature]*  
Inspector

*[Signature]*  
Inspector of Buildings

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CENTRAL WHARF ASSOCIATES  
38 PREBLE STREET  
PORTLAND, MAINE 04101  
(207) 772-0548

June 27, 1986

HAND DELIVERED


Sam Hoffses, Building Inspector  
City of Portland  
City Hall, 389 Congress Street  
Portland, Maine 04101

RE: Chandler's Wharf - Building 7

Dear Sam:

For the record and as per our conversation, the footprint of Building 7 has not changed since the submittal of our original site plan. It should also be noted that whether or not we obtain approval of our "conditional use" request, the footprint of Building 7 will not change.

Sincerely,



Jamie Corriveau  
Project Manager

JC/rec

cc: Rick Knowland  
Alex Yaegermann  
Joel Gray  
David Cope





# APPLICATION FOR AMENDMENT TO PERMIT **PERMIT ISSUED**

Amendment No. # 1

**FEB 8 1987**

Portland, Maine, Feb. 2, 1987

City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit 85-1477 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Chandlers Wharf - Bldg. # 7 Within Fire Limits? ..... Dist. No. ....

Owner's name and address Central Wharf Assoc. - 38 Preble St. Telephone 772-02548

Lessee's name and address ..... Telephone .....

Contractor's name and address Yankee Construction - 84 Middle St. Telephone .....

Architect ..... Plans filed ..... No. of sheets .....

Proposed use of building 90 condominium units ..... No. families .....

Last use same ..... No. families .....

Increased cost of work none ..... Additional fee none .....

### Description of Proposed Work

To change use of Bldg. # 7 from commercial to residential ( 2 units) for a total of 90 units

send permit to # 1 04101

### Details of New Work

Is any plumbing involved in this work? yes ..... Is any electrical work involved in this work? yes .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top .. bottom ..... cellar .....

Material of underpinning ..... Height ..... Thickness .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining .....

Framing lumber—Kind ..... Dressed or full size? .....

Corner posts ..... Sills ..... Girt or ledger board? ..... Size .....

Girders ..... Size ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor....., 2nd....., 3rd....., roof .....

On centers: 1st floor....., 2nd....., 3rd....., roof .....

Maximum span: 1st floor....., 2nd....., 3rd....., roof .....

Approved:

Signature of Owner [Signature]  
 Approved: [Signature] Inspector of Buildings

INSPECTION COPY