

134-136 FEDERAL STREET
POLICE STATION

POLICE STATION

SHAW-WALKER

11/10/50 # 920H 11/10/50 # 9202R 11/10/50 # 9203R 11/10/50 # 9203R

209 Newbury St.

October 21, 1974

Nelson Construction
869 Saco St.
Westbrook, Maine

c.c. Cumberland County
209 Newbury St.
Portland, Maine

Gentlemen:

Building permit to replace existing attendance house at the above named location is being issued subject to the following:

1. This building will be located in the same location as the one now existing. You will be no closer to either street than the building attendance building that is there at the present time.
2. The outside of this structure must be covered with incombustible material as this is located in the fire district.

Very truly yours,

A. Allan Soulo
Assistant Director

AAS:k

1011



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP ... B.O.C.A. TYPE OF CONSTRUCTION ...

1011 OCT 21 1974

ZONING LOCATION ... PORTLAND, MAINE, Oct. 21, 1974

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTOR SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 209 Newbury St (Cumberland County Parking Lot) Fire District #1 [] #2 [x]
1. Owner's name and address ... Cumberland County, same ... Telephone ...
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address ... Nelson Const, 869 Saco St, Westbrook ... Telephone 839-3586
4. Architect ... Specifications ... Plans ... No. of sheets ...
Proposed use of building ... Guard shack ... No families ...
Last use ... same ... No families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ 1,000.00 Fee \$ 5.00

FIELD INSPECTOR—Mr. Cartwright GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 to replace an existing 6'x8' guard shack per plan.
Dwelling ... Garage ... Masonry Bldg. ... Metal Bldg. ... Alterations ... Demolitions ... Change of Use ... Other ...

Stamp: PERMIT ISSUED WITH LETTER

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [x] 4 [] Other: ...

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 7' Height average grade to highest point of roof 9'3"
Size, front 8' depth 6' No. stories 1 solid or filled land? solid earth or rock? rock
Material of foundation none (conc. pad) Thickness, top bottom cellar asphalt shingle
Kind of roof pitch Rise per foot 15"/3 Roof covering
No. of chimneys 9 Material of chimneys of lining Kind of heat elec. fuel box sill/RR ties
Framing Lumber—Kind spruce Dressed or full size? dr. Corner posts 3x2x4 Sills 2x6
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd, 3rd, roof 2x6
On centers: 1st floor 6", 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ..., to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..
ZONING: 64-10/21/74 Will there be in charge of the above work a person competent
BUILDING CODE: to see that the State and City requirements pertaining thereto
Fire Dept.: are observed? ..
Health Dept.: ..
Others: ..

Signature of Applicant Eugene Nelson Phone #
Type Name of above Eugene Nelson 1 [] 2 [] 3 [x] 4 []

FIELD INSPECTOR'S COPY

Other and Address

1101

NOTES

APPLICANT'S NAME

Completed reported
Siding - 2
338-340

Permit No. 74/1011
Location 204 Newbury St.
Owner Elmwood & Company
Date of permit 10/2/74
Approved

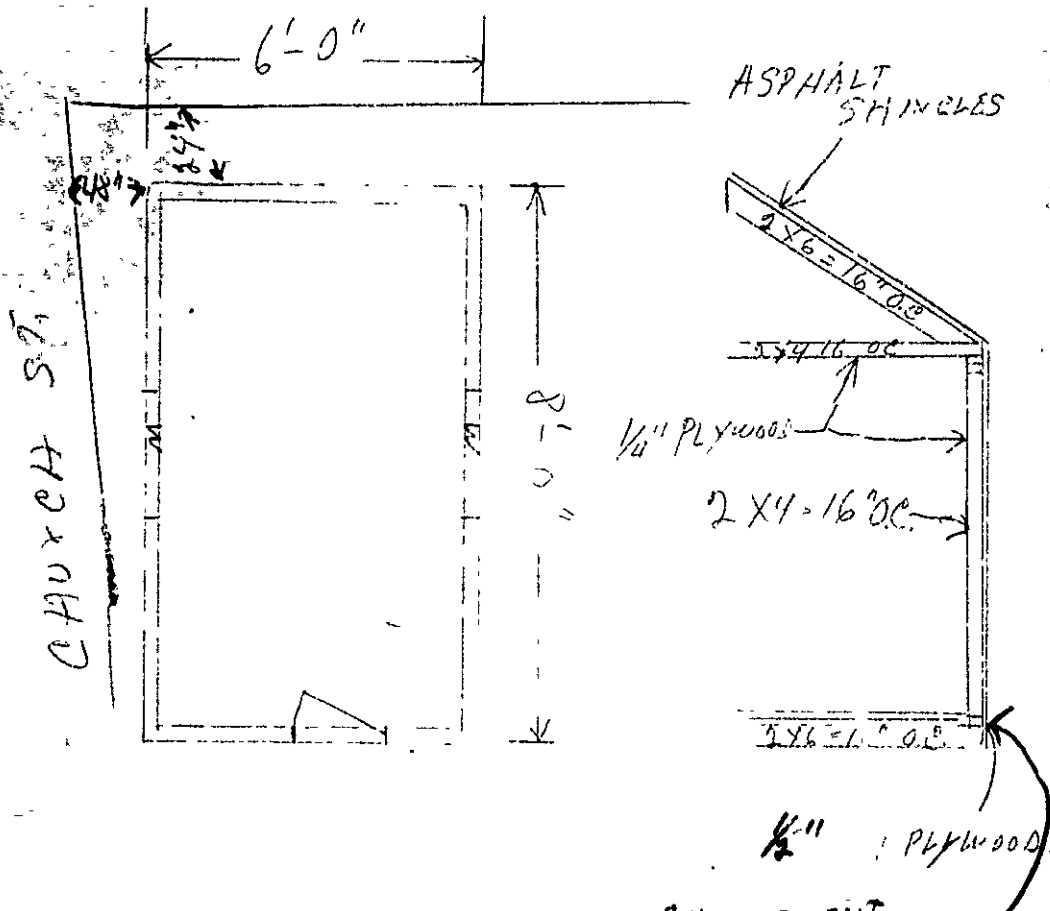
McLean

Table with multiple rows and columns, containing various permit details and notes, including a large handwritten 'X' across the top section.

RECEIVED
30721 1071
NOV 15 1971
NO. OF BLDG. MAP
NO. OF DISTRICT

1

209 NEW BURY ST.



CUMBERLAND COUNTY
COURT HOUSE
PARKING LOT
GUARD HOUSE

3/16" CEMENT
ASBESTOS
SIDE WALLS

CITY OF PORTLAND, MAINE

Bid #9964

NEW GARAGE DOOR & ALTERATIONS TO THE
POLICE DEPARTMENT GARAGE

Notice and General Specifications

Sealed bids for the Two Overhead Garage Doors and alterations to the Police Department Garage, in the form of a firm bid will be received by the City of Portland, Maine, Purchasing Agent, Room 107, City Building, until 10:30 A.M., Thursday, May 28, 1964, at which time they will be publicly opened and read.

Proposals will be submitted in sealed envelopes, plainly marked "PROPOSAL FOR NEW GARAGE DOOR & ALTERATIONS TO THE POLICE DEPARTMENT GARAGE". Each bid must be accompanied by a deposit of 10% of the amount of the bid. This may be a properly certified check, bank treasurer's check, bank money order, postal money order, cash or a bid bond. Checks and money orders shall be made payable to the City of Portland, Maine. Such deposits will be returned to bidders within a few days after contract is signed, with the exception that if the successful bidder should fail to carry out the terms of his proposal, the deposit security will be retained by the City of Portland, Maine as liquidated damages.

The bidder shall agree to save the City harmless from all loss, cost or damages caused by his acts or those of his agents, and shall provide Public Liability Insurance in the amount of \$25,000 to \$50,000 and Property Damage Insurance in the amount of \$10,000. He shall also agree to furnish a performance bond in the amount of the bid. The City disclaims any and all responsibility for injury to contractors, their agents or others while examining the buildings or at any other time.

SCOPE OF THE WORK

Scope of the work shall include: the removal of the two overhead doors together with their tracks and hardware and the relocation of one existing door as shown, new overhead door, new steel lintel and column, concrete patching, grout, painting and complete shoring as required.

The two door openings where work is to be done will not be used by the Police Department during the progress of this work. Contractor's materials may be stored within the building but not beyond the line of the first steel girder. The third door where no work is required will be used as an access for the Police Department vehicles during the work, and this passage must be kept open.

CONCRETE: - for patching, at beam, and for filling concrete column shall be 3000 lb. ready mixed concrete, 3/8" aggregate, placed and handled in accordance with ACI Building Code No. 318-63.

GROUT: - for bearing of column, new lintel on masonry and above lintel to pick up existing wall shall be stiffly mixed non-shrinking type grout, well-rodged until the void is thoroughly filled.

STEEL: - for column, lintel, etc., shall be in accordance with ASTM Specifications for Structural Steel, Designation A-36. Steel shall be cleaned and prime painted with zinc chromate or red lead. Welding shall be done by a certified welder in accordance with the American Welding Society Standards.

SCOPE OF WORK (CONTINUED)

SHORING: - at both openings shall be thorough and complete in order to prevent any cracking of the concrete deck or brickwork above. Care shall be taken to shore in such a manner as to allow the introduction of the new steel lintel. Shoring as shown on the drawings is for a general guide only, and the contractor shall be completely responsible for this work.

PAINTING: - shall include: all exposed steel, two coats; new door, three coats; and the exterior of both existing doors to remain, one coat; new wood trim, three coats. One color to be selected by owner. Final coat of paint in all instances shall be Latex paint or an approved exterior trim paint. Paint primers, undercoaters, etc., shall be Benjamin Moore or approved equal. Existing work to be painted shall be sanded and spot-primed before finish coat.

ELECTRICAL: - Electrical work shall include only the moving of ceiling fixture as shown and that required for electrical door operator included under the Alternate. Power to the motor will be provided by owner. Existing outlet in garage as shown may be used as a source of temporary power for the contractor without charge.

GARAGE DOORS:

- (a) Remove two existing doors and hardware, relocating door at left in center opening. This relocated door is to be inactive.
- (b) New garage door shall be Raynor Model T-15 or approved equal. Stiles and rails shall be one continuous piece (no finger joints) made of quality kiln-dried Douglas fir or Sitka spruce, full 1-3/4" thick, section joints mortise and tenon, steel doweled and water-proof glued. Panels are to be 1/4" hardboard with lifetime guarantee.

Hardware shall be heavy gauge galvanized steel track with graduated seal for weather-tight closing. All hinges and brackets to be of heavy gauge galvanized steel. Doors shall be counter-balanced with heavy duty torsion springs on a continuous ball bearing cross header shaft. Lift cables shall be galvanized and have a minimum safety factor of 5 - 1. Door to have rubber astragal on bottom of door. Door sections and paneling including glazing shall match existing doors in so far as possible.

- (c) Alternate No. 1 shall include an electrical operator for new door-Raynor Model RMJ 311, heavy duty jack shaft type, 1/3 h.p., 110v, single phase. Operator shall have roller chain drive, adjustable friction clutch, quick disconnect for emergency operation and magnetic brake. Motor starter shall be a NEMA 1 enclosure, shall have a control voltage under 120v, and shall include overload motor protection. Wiring to this motor will be by the owner, but control wiring shall be by the contractor.

If Alternate is accepted, overhead doors shall be changed from Model T-15 standard lift, to Model T-24, high lift. AMOUNT OF LIFT CLEARANCE WHICH IS AVAILABLE SHALL BE VERIFIED BY DOOR CONTRACTOR AT THE JOB.

Bid #9964

OVERHEAD DOORS & ALTERATIONS TO THE POLICE DEPARTMENT GARAGE

Contractor to state in his bid when work will be started and approximate date of completion.

No bid may be withdrawn within a period of thirty (30) days after opening of bids.

The City of Portland, Maine reserves the right to waive any informalities in bids, to accept any bid, and to reject any or all bids, should it be deemed for the best interest of the City so to do.

FORREST S. DAVIS
Purchasing Agent

May 15, 1964

P_R_O_P_O_S_A_L

The UNDERSIGNED hereby agrees to furnish the work and materials as stated in the attached Notice and Specifications, dated May 15, 1964, as follows:

CONTRACT PRICE for NEW GARAGE DOORS AND
ALTERATIONS TO THE POLICE DEPARTMENT GARAGE
AS SPECIFIED,.....\$ _____

IF ALTERNATE No. 1 for the addition of an
electric door operator is accepted, the
UNDERSIGNED offers to do this work for the
ADDED SUM OF\$ _____

TOTAL CONTRACT PRICE:\$ _____

WORK TO START
APPROXIMATELY:

SIGNED: _____

WORK COMPLETED
APPROXIMATELY:

BY: _____

ADDRESS: _____

DATE: _____

A.P.- 201 Newbury Street

June 29, 1964

Carroll Beck & Son, Inc.
158 Westbrook Street, So. Portland
Douglas K. Goodspeed
57 Exchange St., Portland

cc to: Philip Burnham
Public Building Engineer

Gentlemen:

We will be unable to issue a permit to enlarge the garage door opening at the above location from approximately 9 feet to 11 feet 9 inches until details are provided to show how the column and lintel are to be fireproofed for not less than a 4 hour rating.

Very truly yours,

Gerald A. Fayberry
Deputy Building Inspection Director

GEM:m

Revised permit received 6/30/64 - JF

CITY OF PORTLAND, MAINE

Bid #9954

NEW GARAGE DOOR & ALTERATIONS TO THE
POLICE DEPARTMENT GARAGE

Notice and General Specifications

Sealed bids for the Two Overhead Garage Doors and alterations to the Police Department Garage, in the form of a firm bid will be received by the City of Portland, Maine, Purchasing Agent, Room 107, City Building, until 10:30 A.M., Thursday, May 28, 1964, at which time they will be publicly opened and read.

Proposals will be submitted in sealed envelopes, plainly marked "PROPOSAL FOR NEW GARAGE DOOR & ALTERATIONS TO THE POLICE DEPARTMENT GARAGE". Each bid must be accompanied by a deposit of 10% of the amount of the bid. This may be a properly certified check, bank treasurer's check, bank money order, postal money order, cash or a bid bond. Checks and money orders shall be made payable to the City of Portland, Maine. Such deposits will be returned to bidders within a few days after contract is signed, with the exception that if the successful bidder should fail to carry out the terms of his proposal, the deposit security will be retained by the City of Portland, Maine as liquidated damages.

The bidder shall agree to save the City harmless from all loss, cost or damages caused by his acts or those of his agents, and shall provide Public Liability Insurance in the amount of \$25,000 to \$50,000 and Property Damage Insurance in the amount of \$10,000. He shall also agree to furnish a performance bond in the amount of the bid. The City disclaims any and all responsibility for injury to contractors, their agents or others while examining the buildings or at any other time.

SCOPE OF THE WORK

Scope of the work shall include: the removal of the two overhead doors together with their tracks and hardware and the relocation of one existing door as shown, new overhead door, new steel lintel and column, concrete patching, grout, painting and complete shoring as required.

The two door openings where work is to be done will not be used by the Police Department during the progress of this work. Contractor's materials may be stored within the building but not beyond the line of the first steel girder. The third door where no work is required will be used as an access for the Police Department vehicles during the work, and this passage must be kept open.

CONCRETE: - for patching, at beam, and for filling concrete column shall be 3000 lb. ready mixed concrete, 3/8" aggregate, placed and handled in accordance with ACI Building Code No. 318-63.

GROUT: - for bearing of column, new lintel on masonry and above lintel to pick up existing wall shall be stiffly mixed non-shrinking type grout, well-rodged until the void is thoroughly filled.

STEEL: - for column, lintel, etc., shall be in accordance with ASTM Specifications for Structural Steel, Designation A-36. Steel shall be cleaned and prime painted with zinc chromate or red lead. Welding shall be done by a certified welder in accordance with the American Welding Society Standards.

1964

SCOPE OF WORK (CONTINUED)

SHORING: - at both openings shall be thorough and complete in order to prevent any cracking of the concrete deck or brickwork above. Care shall be taken to shore in such a manner as to allow the introduction of the new steel lintel. Shoring as shown on the drawings is for a general guide only, and the contractor shall be completely responsible for this work.

PAINTING: - shall include: all exposed steel, two coats; new door, three coats; and the exterior of both existing doors to remain, one coat; new wood trim, three coats. One color to be selected by owner. Final coat of paint in all instances shall be latex paint or an approved exterior trim paint. Paint primers, undercoaters, etc., shall be Benjamin Moore or approved equal. Existing work to be painted shall be sanded and spot-primed before finish coat.

ELECTRICAL: - Electrical work shall include only the moving of ceiling fixture as shown and that required for electrical door operator included under the Alternate. Power to the motor will be provided by owner. Existing outlet in garage as shown may be used as a source of temporary power for the contractor without charge.

GARAGE DOORS:

- (a) Remove two existing doors and hardware, relocating door at left in center opening. This relocated door is to be inactive.
- (b) New garage door shall be Raynor Model T-15 or approved equal. Stiles and rails shall be one continuous piece (no finger joints) made of quality kiln-dried Douglas fir or Sitka spruce, full 1-3/4" thick, section joints mortise and tenon, steel doweled and water-proof glued. Panels are to be 1/4" hardboard with lifetime guarantee.

Hardware shall be heavy gauge galvanized steel track with graduated seal for weather-tight closing. All hinges and brackets to be of heavy gauge galvanized steel. Doors shall be counter-balanced with heavy duty torsion springs on a continuous ball bearing cross header shaft. Lift cables shall be galvanized and have a minimum safety factor of 5 - 1. Door to have rubber astragal on bottom of door. Door sections and paneling including glazing shall match existing doors in so far as possible.

- (c) Alternate No. 1 shall include an electrical operator for door - Raynor Model RMJ 311; heavy duty jack shaft type, 1/3 h.p., 110v, single phase. Operator shall have roller chain drive, adjustable friction clutch, quick disconnect for emergency operation and magnetic brake. Motor starter shall be a NEMA 1 enclosure, shall have a control voltage under 120v, and shall include overload motor protection. Wiring to this motor will be by the owner, but control wiring shall be by the contractor.

If Alternate is accepted, overhead doors shall be changed from Model T-15 standard lift, to Model T-24, high lift. AMOUNT OF LIFT CLEARANCE WHICH IS AVAILABLE SHALL BE VERIFIED BY DOOR CONTRACTOR AT THE JOB.

Bid #9964

CYELHEAD DOORS & ALTERATIONS TO THE POLICE DEPARTMENT GARAGE

Contractor to state in his bid when work will be started and approximate date of completion.

No bid may be withdrawn within a period of thirty (30) days after opening of bids.

The City of Portland, Maine reserves the right to waive any informalities in bids, to accept any bid, and to reject any or all bids, should it be deemed for the best interest of the City so to do.

FORREST S. DAVIS
Purchasing Agent

May 15, 1964

PROPOSAL

The UNDERSIGNED hereby agrees to furnish the work and materials as stated in the attached Notice and Specifications, dated May 15, 1964, as follows:

CONTRACT PRICE for NEW GARAGE DOORS AND
ALTERATIONS TO THE POLICE DEPARTMENT GARAGE
AS SPECIFIED, .. \$ _____

If ALTERNATE No. 1 for the addition of an
electric door operator is accepted, the
UNDERSIGNED offers to do this work for the
ADDED SUM OF\$ _____

TOTAL CONTRACT PRICE: \$ _____

WORK TO START
APPROXIMATELY:

SIGNED: _____

WORK COMPLETED
APPROXIMATELY:

BY: _____

ADDRESS: _____

DATE: _____



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

00253
JUN 30 1964

CITY of PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, June 24, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 201 Newbury Street Within Fire Limits? _____ Dist No. _____
Owner's name and address City of Portland Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Carroll Beck & Son, Inc., 158 Westbrook St. So. Portland, Maine Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Garage No. families _____
Last use _____ " _____ No. families _____
Material masonry No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 1750. Fee \$ 6.00

General Description of New Work

To make alterations to garage as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Carroll Beck & Son, Inc.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber-kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Order _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.R. 6/30/64-agg

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

City of Portland
Carroll Beck & Son, Inc.

LS 301

INSPECTION COPY

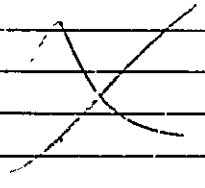
Signature of owner By: Carroll Beck & Son

PH

7-10 23 8-17 9-11

NOTES

7-14-64 Not started
7-31-64 " " (W)
9-3-64 Completed (W)



Permit
AP- 142 Free Street

July 10, 1963

Gould-Farmer Co. of Maine
70 Free Street

cc to: Fire Department
cc to: Police Department

Gentlemen:

Permit for installation of oil burning equipment in connection with existing steam heat in Police Station is issued herewith. The Fire Department in approving permit has stipulated that a pad be placed over the top of the tank to compensate for the traffic in and out of the parking lot. Capt. Ridley of that department should be consulted as to the size and material of this pad.

Very truly yours,

Albert J. Soars
Building Inspection Director

AJS:m

INTER-OFFICE CORRESPONDENCE

CITY OF PORTLAND, MAINE
FIRE DEPARTMENT

To: Mr. Albert J. Sears, Building Inspector

DATE: July 10, 1963

FROM Woodbury H. Ridley, Captain

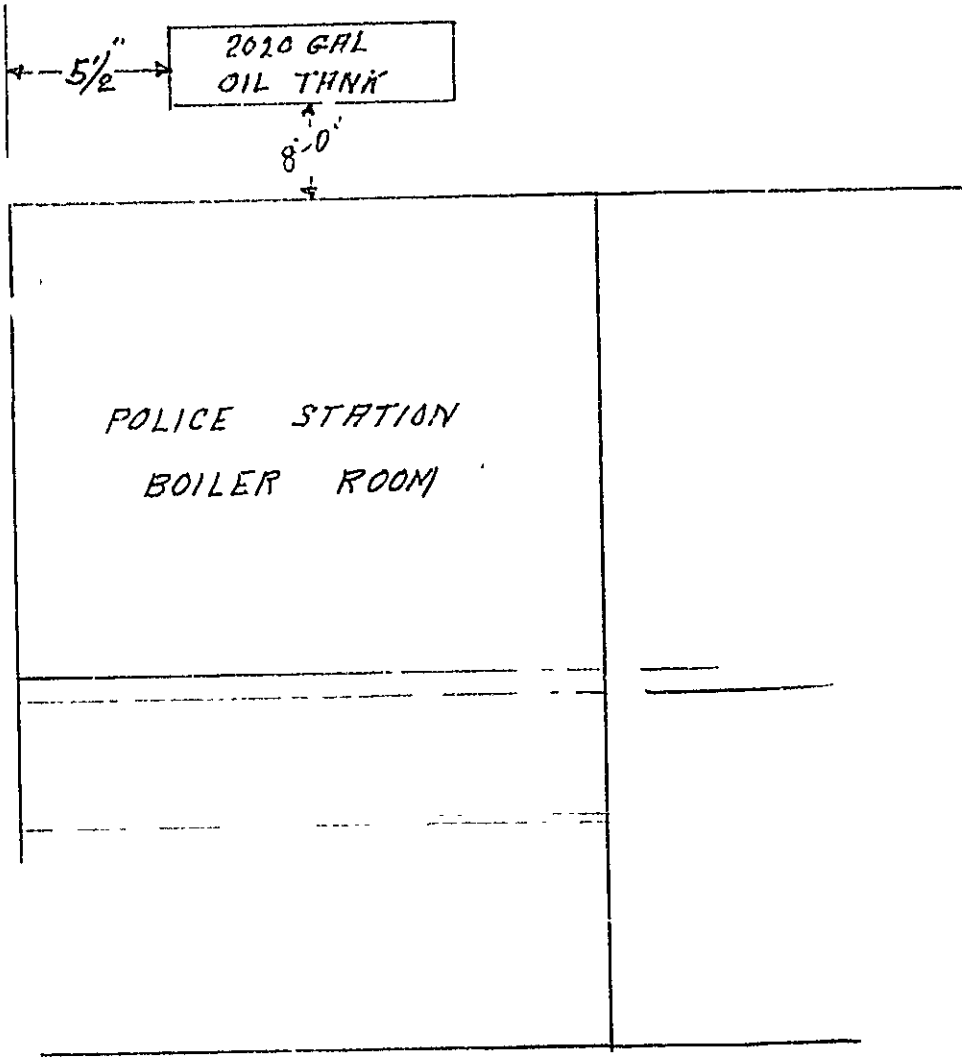
SUBJECT: Permit to install oil burning equipment for City of Portland
at 142 Federal Street

This application is approved subject to a pad being placed
over the top of the tank to compensate for the traffic in
and out of the parking lot.

Woodbury H. Ridley
capt.

PARKING LOT

Federal ST.





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 9, 1963

PERMIT ISSUED JUL 16 1963 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 137 1/2 Federal Street Use of Building Police Station No. Stories New Building Existing "
Name and address of owner of appliance City of Portland
Installer's name and address Gould-Farmer Co. of Maine, 70 Free St. Telephone

General Description of Work

To install oil burning equipment in connection with existing steam heat (conversion)

IF HEATER, OR POWER BOILER

Sent to Fire Dept 7/9/63 Rec'd from Fire Dept 7/10/63

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Permit Issued with Letter

Name and type of burner National Airoil Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner concrete Size of vent pipe 1 1/2"
Location of oil storage outside underg. rd Number and capacity of tanks 1-2000 1-2020 gal.
Low water shut off yes Make McDonnell-Miller No. 51V
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank to be buried 3' below grade; coated with asphaltum; bears Und. Lab.

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., \$1.00 additional for each additional heater, etc., in same building at same time)

APPROVED:

Signature of Chief of Fire Dept

CHIEF OF FIRE DEPT

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes Gould-Farmer Co. of Maine

Signature of Installer

By: [Signature]

INSPECTION COPY

2-17-9-11

Permit No. 63 / 780

Location 112 Stearns St

Owner City of Portland

Date of permit 4/10/63

Approved

NOTES

1	Full Pipe	
2	Work Pipe	
3	Kind of Heat	
4	Number Holes & Supports	
5	Name & Title	
6	Stack (Height)	
7	High Lead Control	
8	Remote Control	
9	Pipe Support & Protection	
10	Valves in line	
11	Capacity of Tanks	
12	Tank Heating & Support	
13	Tank Diameter	
14	Oil Storage	
15	Insulation	
16	Water Storage	

8-5-63 Tank covered

10 ch. by Fire Dept *ED*

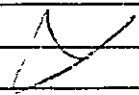
8-22-63 Burner not *ED*

9-25-63 Burner

completed *ED*

To asphalt parking

lot over tank *ED*



CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Lt. John J. Davis, Police Dept.

DATE April 15, 1959

FROM: Albert J. Sears, Inspector of Buildings

SUBJECT: Barricading of section of Milk Street between Exchange and Market Streets

There appears to be no reason why the blocking off of the full width of Milk Street adjoining the City owned building at the corner of Exchange and Milk Streets may not be discontinued, provided the public sidewalk abutting the building along Milk Street is blocked off and that parking of motor vehicles be prohibited on that side of the street adjoining this section of the sidewalk. I understand that the contract for repairing of the wall has been let and that work is to be started at once.

Very truly yours,

AJS/H

Inspector of Buildings

cc: Julian H. Orr
City Manager

Leon T. Webber, Chief of the Police Department

October 22, 1957

Warren McDonald, Inspector of Buildings

Locking devices on entrance and exit doors of restaurants and other mercantile establishments as affected by the Building Code.

Perhaps our information is faulty, but our field inspector has been told that on some occasions some member of the Police Department has ordered restaurant keepers or proprietors of other places of business to attach a padlock on the outside of the entrance door to the establishment, presumably to serve some purpose for security involving the Police Department.

The particular case which came to our attention is the altered restaurant at 228 Middle St., where the Building Code requires that all locks and fastening devices of both front and rear doors must be of such a type that a person on the inside can leave without requiring a key or any special knowledge by turning the usual knob or pressing on the usual thumb latch. Not to be at cross-purposes with your department in any way, we have told the proprietor to remove the padlock and hasp from the door as well as requiring that the new lockset on the door be corrected to comply with Building Code requirements.

That our two departments may not be issuing orders or applying regulations contrary to each other, let me explain that the Building Code requires in any new or enlarged establishment calculated to accommodate more than 20 persons at one time, that all required exit doors (the entrance door, of course, is a required exit door) shall be equipped with this type of hardware so that in an emergency the patrons or employees can escape without delay and without panic.

While the Building Code applies only to newly established places or those which may be altered to increase capacity, it appears that padlocks should not be ordered on any establishments accommodating more than 20 persons because even though the existing locks are non-conforming to some extent, it is hardly good policy to increase the amount of non-conformity.

I feel sure you will understand what we are trying to do, Leon, and if this creates a problem related to the duties of your department, I shall be glad to talk the matter over if you will let me know.

WMC/D

Inspector of Buildings

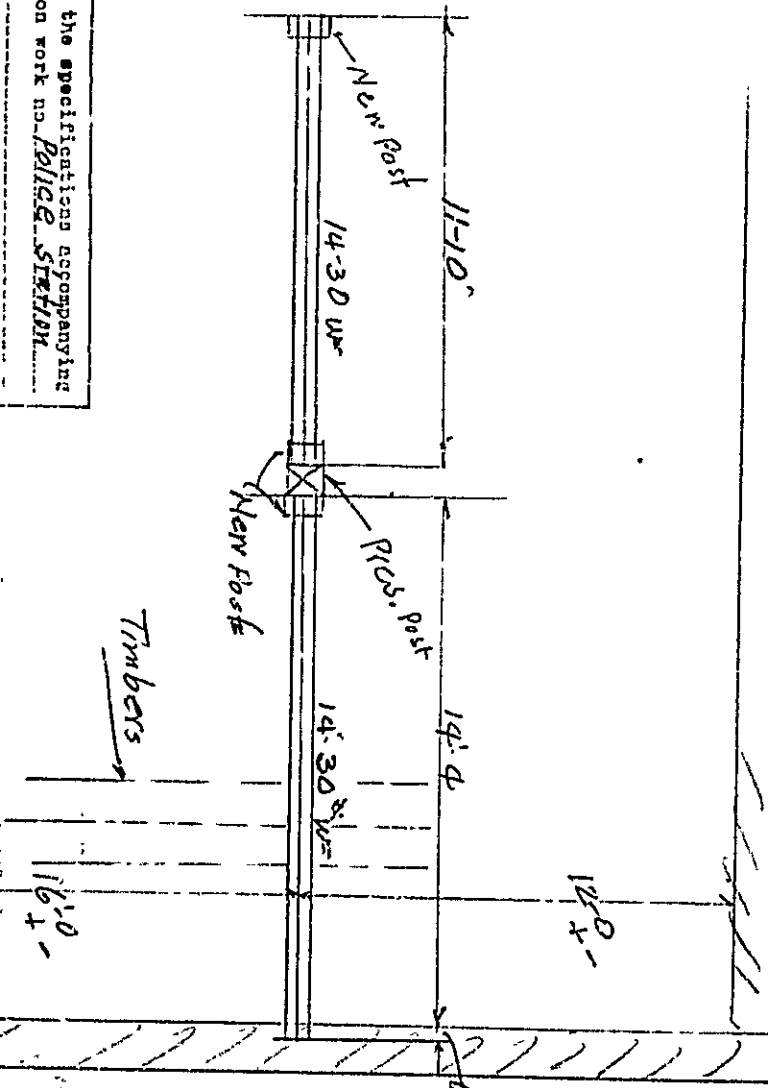
cc: City Manager

9B

Total load on 14' span is about 20,000 lbs
 14" WF @ 30' - 14' span is good for 40,000 lbs

These plans (sheets) and the specifications accompanying
 the same, covering construction work on POLICE STATION
 have been designed and drawn up by the undersigned according
 to the latest rules of engineer's practice and to comply with
 the allowable working stresses, or loads, etc., required by
 the Building Code of the City of Portland.

(Signature) Wegener & Trench
 By W. C. Spaulding



Federal St

(A) APARTMENT HOUSE ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure... Second Class

Portland, Maine... May 14, 1956

PERMIT ISSUED

00634

MAY 15 1956

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to alter... in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 132 Federal St. Within Fire Limits? yes Dist. No.
Owner's name and address City of Portland Telephone
Lessee's name and address Telephone
Contractor's name and address King Butland 163 Maine Ave. Telephone 2-7704
Architect Specifications Plans yes No of sheets 1
Proposed use of building police station No. families
Material brick No. stories Heat Style of roof Roofing
Estimated cost \$ 500. Fee \$ 2.00

General Description of New Work

To remove bearing partition in first story as per sketch.
To remove one non-bearing partition in first story.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO King Butland

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

OK-5/15/56-ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

City of Portland

Signature of owner by:

King Butland

INSPECTION COPY

C16-254-1M-Marks

NOTES

5/16/56 - Mr. [unclear] [unclear]

[The notes section contains a large handwritten 'X' and several lines of faint, illegible text.]

Permit No. 54434
 Location 137 Federal St.
 Owner Chas. J. O'Connell
 Date of permit 5/15/56
 Notif. closing-in _____
 In _____ closing-in _____
 Final Inspn. _____
 Cert. of Occupancy issued _____
 Staking Out Notice _____
 Form Check Notice _____

INSPECTION COPY

INQUIRY BLANK

ZONE Apartment
FIRE DIST. #1

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Date 10-1-48

Verbal
By Telephone

LOCATION 132 Federal St. (137-136) OWNER City of Portland

MADE BY Chief of Police John Mulhern TEL. 3-5651

ADDRESS 132 Federal St.

PRESENT USE OF BUILDING Police Station

CLASS OF CONSTRUCTION Second NO. OF STORIES 3

REMARKS: Officer Bonner in charge of project.
General idea plan attached.

INQUIRY: ~~Officer Bonner in charge of project Tel 4-2165~~

Do third floor strong enough for proposed sheet
stud backboard for rifle range.

ANSWER: Only if suitable design of supports
to detent the weight in the
proper places. I'll measure &
design plan.

DATE OF REPLY 1/5/49 REPLY BY LMH

1-132 Federal Street
(Police Station)

John H. Mulkern, Chief of Police

January 5, 1949

Warren McDonald, Insptr. of Bldgs.

Construction and supporting of steel deflector for use in shooting range on third floor of Police Station at 132 Federal Street

Enclosed are two blueprints of the above job about which we have talked with you and Officer Bonner at some length. This plan needs some explanation, which I will try to give, and if any details are in doubt, we will try to do anything else we can to further the project. There may be details which you or Officer Bonner think would better be made different, and of course you are at liberty to do so. If you depart widely from the design shown, however, it will be best to talk it over in advance of the change.

We have shown nothing as to the sand cushion which I understand you propose on the floor, because we do not have the data as to the thickness or area to be covered. That probably would not limit the proposition, anyway, because the design of the supports of the deflector plate does not call for any of that weight to be supported on the floor outside of a negligible amount on the vertical angles against the wall and the angle where floor and brick wall intersect.

In this design we had to make some assumptions as to how the assembled deflector plate would be erected--this after talking the matter over with Officer Bonner.

The way we have envisioned the job, the $5 \times 3\frac{1}{2} \times 5/16$ angle where third floor surface joins brick wall would be put in place first, to get a flat bearing on the floor and to be bolted to the brick wall by carefully installed $3/4$ " expansion bolts spaced about 30" from center to center and with the end bolts in each case about 6" from the end of the angle. The $3\frac{1}{2}$ " leg of the angle ought to be placed against the brick wall.

The four plates can then be taken into the building and laid flat on the floor in the same relative position they will be when the deflector plate is erected and with what will be the lower edge snug against the angle at the brick wall, already placed and bolted. It might be a good idea to apply graphite to that edge of the plate for ease in erection. Officer Bonner says that he has already planned to put protection on the floor so that heat from the welding will not damage the floor.

Next step would appear to be to apply the $4 \times 4 \times 5/8$ " angle at the center joint of the floor plates running from the base angle toward the marksman's end of the range, and weld it to the plates. This angle will have to be all one length, a little less than 10' long, and will have to be "coped" out at the bottom end so as to give freedom of movement when the end toward the marksman's bench is raised, also cut off on the other end to allow for the angle which we have shown to tie the plates together during the process of jacking up the end toward the marksman's bench.

Then the $4 \times 4 \times 5/8$ " angles may be applied to the other joints between the four

January 5, 1949

plates (running the width of the room) and welded. Two angles are needed here because the 10-foot angle just mentioned has to be continuous and the latter angles will have to be left against it, but running out to the edge of the plates at either side of the room.

The auxiliary angle, on the markann's bench end of the deflector plate as it lies on the floor may then be applied the full width of the plate, about 16', and welded there. This could well run across the end of the 10-foot angle already mentioned and be welded to it.

This method seems to be necessary due to the fact that the floor plates have to be fastened together in some safe manner so that the end toward the markann's bench can be jacked up into its final position when all the welding toward the brick wall has been finished, because it apparently will not be possible to do any welding between the brick wall and the deflector plate after erection.

Officer Bonner says that at this point what is to be the upper edge of the plate can be jacked up and wedged up sufficiently from the floor so that the $4 \times 4 \times 5/8"$ angle, marked with an encircled figure 1, the full width of the plate at the top can be placed and welded on. This angle should run from wall to wall, is to "pick-up" the central (10-foot) angle on the back of the plate, and is to be supported in turn by the two $1/2 \times 5/8"$ angles, also marked by encircled figure 1, which are to be placed flat against the outside wall of the building and against the inside partition.

It would appear then that the assembly would be ready for jacking up into its final location. There is one point here which I would like to talk over with Officer Bonner before he starts the operation. That is the question as to whether or not the 10-foot long edges of the plates which will be practically against either side wall will buckle when the outer end of the deflector plate is jacked up, since they have no reinforcement up to that point. It may be deemed necessary to provide an auxiliary angle on the upper side of the plate while it is still resting upon the floor to avoid this deflection. Perhaps these auxiliary angles can be avoided if some way can be found in the jacking to jack-up beneath the points where the horizontal 4×4 angle in back of the board will be practically against either wall.

If auxiliary angles against the walls are necessary, they would have to be welded on before any jacking is done. Then it would appear that all was ready to jack the deflector plate up in its final location. While the plate is held temporarily in its final location, the $4 \times 4 \times 5/8"$ angles, marked by an encircled figure 1, against the outside wall and the opposite partition would be applied to the plate with the outstanding leg flat against wall or partition, these angles welded to the plate and then bolted to both wall and partition. Bolts about $5/8"$ in diameter ought to be enough. Those against the brick wall would have to be expansion bolts and carefully applied getting at least one bolt above the window, and about 30" on centers elsewhere. Bolts on the other side could be lag bolts but they would have to be bolted into the studs of the wooden partition. These latter angles have to be coped at the bottom so as to fit into the angle erected against the brick wall and at the top to fit against the vertical angles now to be erected.

The two ^{vertical} $1/2 \times 5/8"$ angles, marked with an encircled figure 1, could then be erected and bolted to wall and partition in the same manner as just explained for the angles against the plate. These vertical angles would have to be bevelled at the tops to give a good bearing for the 4×4 angle at the top of the plate running the width of the room, and this latter angle should be welded to the vertical angles. It would be no harm to provide a $5/8"$ plate beneath each vertical angle to give a good bearing on the floor. As far as I can see the job would then be done. Officer Bonner says that some sort of a small doorway will be provided in the corridor partition, so that in case of need some one could get behind the deflector plate.

John H. Mulkern, Chief of Police-----3

January 5, 1949

It appears necessary to do some careful figuring and detailing as to the length of these angles and how much they will be cut, so that they will all go into place easily, since there will be very little chance to do any cutting after the jacking up process is started. Presumably this will all be worked out so that either the plate itself or the angle along its face at the top will go clear to the ceiling. No mention has been made of any protection needed on the ceiling at this point, and I suppose there is no danger of some wild shot penetrating the ceiling in front of the deflector plate.

Officer Bonner and I have talked over quite a lot ^{of} the difficulties of assembling and erecting these heavy plates and angles. I am sure he has had experience in such work, but it is not out of place to caution against injury because the entire outfit is not worth one single serious injury.

WML/G

Inspector of Buildings

Enclosure: Two blueprints and copy of this letter

JOHN M. MULKERN
CHIEF OF POLICE
CLARENCE F. HOFACKER
DEPUTY CHIEF OF POLICE



CITY OF PORTLAND, MAINE
POLICE DEPARTMENT

May 7, 1949.

Mr. Warren McDonald,
City Building Inspector,
City Hall,
Portland, Maine.

RECEIVED
MAY 9 1949
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

Dear Sir:

We, the members of the Portland Police Department, are proud to announce the completion of the pistol range at headquarters.

Through the combined skills of a number of our officers, with mention of Officer Bonner in particular, we take great pride in our accomplishment by being able to carry through our objective. We now have a pistol range that we believe to be second to none throughout the East.

I wish to convey to you the sincere thanks and best regards of the entire department for your kind and generous contribution of expert advice and materials. Without your assistance we would have been unable to achieve such splendid success.

Your inspection of our project is cordially solicited.

A. T. H.
To note and
have file under
Police Dept. records
under which
file is
filed.
W. J. P.
7/7/49.

Sincerely yours,

John M. Mulkern
John M. Mulkern,
Chief of Police.



FILL IN COMPLETELY AND SIGN WITH INK

MIT ISSUED

Permit No. 6500

JUN 8 1944

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 8, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 130 Federal Street Use of Building Police Station No. Stories 2 New Building Existing " "

Name and address of owner of appliance City of Portland

Installer's name and address Kazan & Leonard Co., 197 Fore St.

Telephone 2-7116

General Description of Work

INSPECTION NOT COMPLETED

To install steam boiler (replacement-coal fired in place of oil)

a.k. 6/8/44. o.e.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE
in boiler room)

Is appliance or source of heat to be in cellar? yes If not, which story Kind of Fuel coal

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, no loadmark
from top of smoke pipe from front of appliance from sides or back of appliance

Size of chimney flue 20x24 Other connections to same flue none hot water boiler (summer)

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)
KAZAN & LEONARD CO.

Signature of Installer C. Hegan

4770611

INSPECTION COPY

Permit No. 44) 580

Location: 30 Federal St.

Owner: City of Portland

Date of Permit: 6-8-144

Post Card sent

Notif. for insp.

Approval Tag issued

6/18/44

Oil Burner Check List (date)

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage
5. Tank Distance
6. Vent Pipe
7. Fill Pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
- 16.

NOTES

Permit No. 44/500

Location 130 Federal St

Owner City of Portland

Date of Permit 6/8/44

Post Card sent _____

Notif for inspr _____

Approval Tag issued _____

See also P.T. 44/406

Oil Worker Check List (date) _____

1. Kind of heat _____

2. Label _____

3. Anti siphon _____

4. Oil storage _____

5. Tank Distance _____

6. Vent Pipe _____

7. Fill Pipe _____

8. Guage _____

9. Rigidity _____

10. Feed safety _____

11. Pipe sizes and material _____

12. Control valve _____

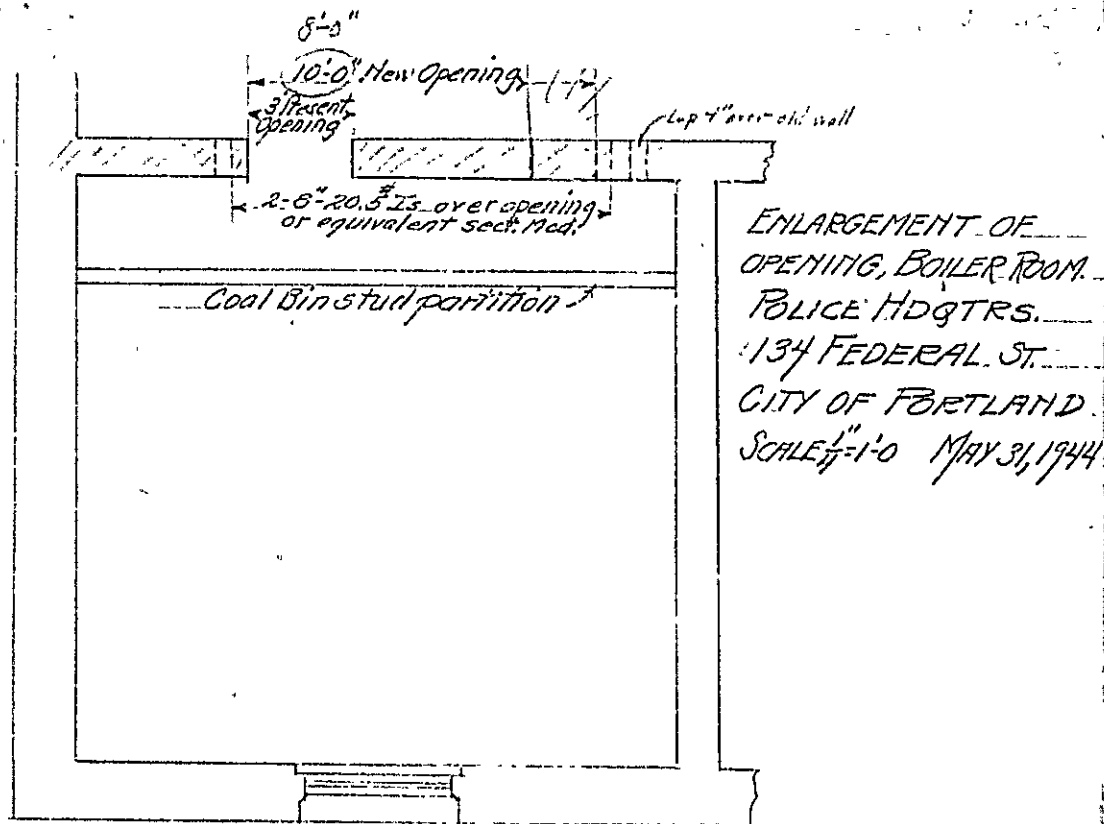
13. Ash pit vent _____

14. Temp or pressure safety _____

15. Instruction card _____

16. _____

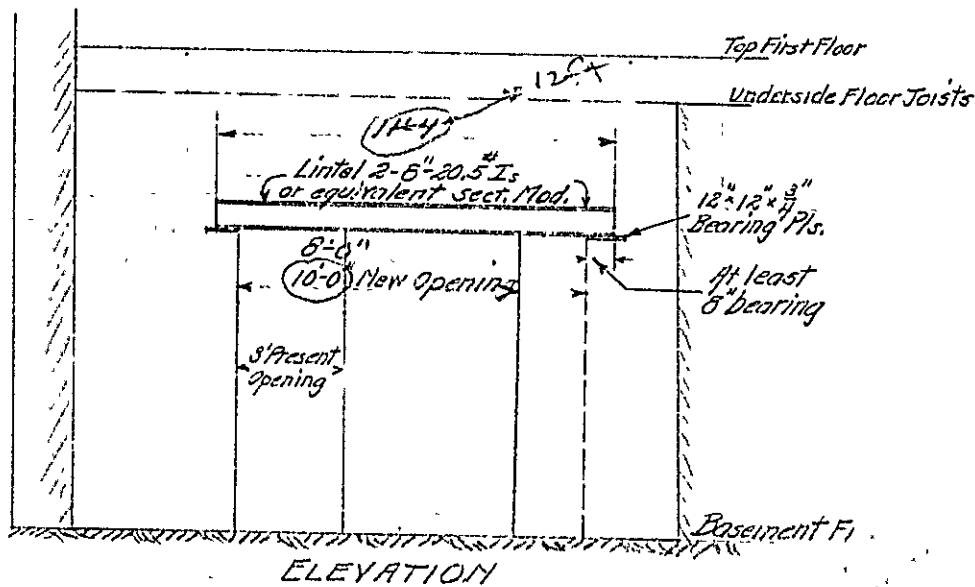
NOTES



ENLARGEMENT OF
 OPENING, BOILER ROOM.
 POLICE HDQTRS.
 134 FEDERAL ST.
 CITY OF PORTLAND.
 SCALE $\frac{1}{4}'' = 1'-0''$ MAY 31, 1944.

NOTE - CORRECTED FIGURES
 IN RED.

PLAN



ELEVATION



APPLICATION FOR PERMIT

PERMIT ISSUED

0486

Permit No.

JUN 6 1911

Class of Building or Type of Structure _____

Portland, Maine, June 6, 1911.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 134 Federal Street Within Fire Limits? yes Dist. No. 1

Owner's or lessee's name and address City of Portland Telephone _____

Contractor's name and address G. H. Gailley & Son 12 Irving Street Telephone 2-5606

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Police Station No. families _____

Other buildings on same lot _____

Estimated cost \$ 350 Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 2 Heat steam Style of roof flat Roofing T&G

Last use Police Station No. families _____

General Description of New Work

To enlarge opening in brick wall of coal bin as per plan submitted
steel support - 8' opening

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point on _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

City of Portland
By G. H. Gailley & Son

By Gailley

INSPECTION COPY

4692

Permit No. 44/486

Location 134 Federal St.

Owner City of Portland

Date of permit 6/6/44

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Order 44/500

NOTES

1. The work shown on the plans is to be completed in accordance with the provisions of the Building Code of the City of Portland, Oregon, and the rules and regulations of the Department of Public Works, Portland, Oregon, and the rules and regulations of the Board of Fire Commissioners, Portland, Oregon.

2. The work shown on the plans is to be completed in accordance with the provisions of the Building Code of the City of Portland, Oregon, and the rules and regulations of the Department of Public Works, Portland, Oregon, and the rules and regulations of the Board of Fire Commissioners, Portland, Oregon.

3. The work shown on the plans is to be completed in accordance with the provisions of the Building Code of the City of Portland, Oregon, and the rules and regulations of the Department of Public Works, Portland, Oregon, and the rules and regulations of the Board of Fire Commissioners, Portland, Oregon.

Description of Work to be Performed

REPAIR WORK TO BE PERFORMED

REPAIR WORK TO BE PERFORMED

134 FEDERAL ST. PORTLAND, OREGON

CITY OF PORTLAND, MAINE
EXECUTIVE DEPARTMENT

File with application

November 26, 1940

RECEIVED
NOV 27 1940
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Mr. Warren McDonald
Building Inspector
CITY BUILDING

Dear Sir:

I received your letter of November 18th in regard to the various details in connection with the plans for the new police garage.

I asked Mr. John Thomas to take the various items up with you and he reports that he has done so and ironed out all points of difference.

Very truly yours,

JEB
James E. Barlow
CITY MANAGER

JEB/M

*and one of
application*

Inquiry 201-203 Newbury St.

November 18, 1940

James E. Barlow,
City Manager

Dear Mr. Barlow:

The plans and specifications of the proposed addition to the Police Station for a garage satisfy the Building Code except in one small particular. The brick parapet walls on the rear and east wall of the building are required to have caps of incombustible material without the use of woodwork. The plans and specifications indicate the usual wooden foundation and edge strip for the metal. I have talked this over with Mr. Thomas, and he has no doubt that this detail can be adjusted with the contractor to satisfy the Code.

Several other details have come to mind which seem questionable from the standpoint of the best interests of the city, as follows:

1. Apparently there is no plan to cover the details of the reinforced concrete roof and steel frame to support it, which, I understand, is to be substituted for the mill construction roof detailed on the plan. Neither is there a plan of the shallow windows proposed in the wall of the present garage over the roof of the addition. Perhaps these details are to be worked out after the contract is signed, but certainly such an important part as the roof ought not to be built from specifications only.

2. Since the first story walls are being made thick enough to take a second story, it appears that the new roof ought to be designed so that it may become a second floor. Mr. Thomas says that the mill constructed roof is not so designed but that the reinforced concrete roof is so designed. The main steel girders are graded, however, with one end lower than the other to form the pitch of the roof. This would make it awkward if the roof were to become a floor in the future. I have already talked with you about the low headroom under the steel girders (9 feet). The fireproofed roof would cut this minimum to 8 feet 9 inches.

3. A loose pile drain is shown at the bottom of the foundation wall inside of the wall with no provision for porous backfill, and, as far as I can see no waterproofing is to be provided above the floor line. I am afraid dampness will penetrate the walls below grade but above the floor before it finds its way down the depth of the wall and underneath it to the tile drain.

4. I have already talked with you about the proposition of making the saving evident if a wood frame roof were used and putting it toward a sprinkler system to cover the entire station except the cell rooms and over electrical equipment.

5. I wish to recommend a rolling steel fire shutter in the present garage at the garage end of the passageway leading to the main station. The other end of this passageway opens into the main station beside the boiler-plate door which leads to and is the only exit from the men's cell room. Without such a shutter a quick fire in the present garage might easily cut off the only way of getting the men out of the cell.

Very truly yours,

Inspector of Buildings

WMD/H

OFF

Inquiry 201-209 Newbury St.

November 7, 1940

Mr. John P. Thomas,
21 Free Street,
Portland, Maine

Dear Mr. Thomas:

Examination of the plans of the proposed garage addition for the Police Department at 201-209 Newbury Street shows the following details in question as regards compliance with the Building Code:

1. The floor drain is required to be equipped with a grease and oil trap of a type approved by the Plumbing Inspector under the Plumbing Code.

2. I presume the strap iron anchors between roof timbers and masonry walls are to be fastened to the bottom edge of each timber. These should occur no less than eight feet from center to center where the timbers are parallel with the wall, that would mean one between each pair of steel beams.

3. All sash in the easterly and rear walls are required to be glazed with wire glass.

4. A parapet wall at least two feet above the roof surface is required along the easterly wall and the rear wall. The parapet may be eight inches thick, but the coping should have no woodwork in it whatever. The metal cap or coping would be satisfactory, but would be difficult to fasten without using a wooden edge strip or wooden bricks. Split tile coping has been used quite successfully on a number of buildings, also other types.

A number of other questions have come into my mind which are, I suppose, what might be called matters of policy. These represent my own opinion only, and I have not talked with anyone about them until you have had a chance to consider them:

1. I understood that the rear wall of the addition was to follow the rear property line all the way, but the Assessors land plans do not show any jog in the rear property line. When this addition was first talked of, there was a proposition to purchase a small piece of land from the Italian Methodist Church, and I am told this transfer was not actually made. Perhaps everything is in the clear, but I thought that possibly you had not been given correct information as to the actual land that the city owns.

2. What purpose is the land-tile drain to serve on the inside of the wall? If it is to keep the floor dry, I should think your purpose would be better served to narrow and shorten the building a few inches and put a drain outside of the wall, backfilling with gravel or similar.

3. The door from outside to the addition swings in and over two steps down to the addition floor level. I should think there would be less probability of accidents if the door were made to swing out instead of in over the steps.



City of Portland, Maine

Sustained

10/21/40

40/69

Appeal to the Municipal Officers to Change the Decision of the
Inspector of Buildings Relating to the Property Owned
by **City of Portland** at **201-203 Newbury Street**

October 4, 19 40

To the Municipal Officers:

Your appellant, **City of Portland**

who is the owner of property at **201-203 Newbury Street**

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c, of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings **denies a permit to cover construction of a one story addition about 40 feet by 80 feet to the existing Police garage for the purpose of storing and repairing police cars because the proposed addition would be closer than 15 feet to the property line of and closer than 75 feet to the church of the Italian Methodist Church, contrary to the precise terms of the Zoning Ordinance in all zones.**

The reasons for the appeal are as follows: **The need of additional space for police garage is well recognized, and the only available land for such an addition is closer to the church property than permitted by the Ordinance. Since the garage will not be a commercial garage and the entrance doors of the addition would be on Newbury Street while the front of the church property is on Federal Street, it is the belief that the proposed addition would not be noxious or offensive to the church in any way.**

City of Portland

City Manager

City Treasurer

40/69

PUBLIC HEARING UNDER THE ZONING ORDINANCE ON THE APPEAL OF THE CITY OF PORTLAND
AT 201-203 NEWBURY STREET

October 13, 1940

A public hearing on the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the city were Councillors Ward and Martin and the Inspector of Buildings.

A note was received from Rev. Ernest W. Robinson, District Supt. of the Methodist Churches of the Portland District saying that he believed that the Methodist Church would have no objection to the construction of the garage provided there was not undue noise in connection with this operation.

There were no opponents present.

Warren McDonald

40/69

October 21, 1940

To The Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to which was referred the appeal under the Zoning Ordinance of the City of Portland, relating to the construction of an addition to the police garage at 201-209 Newbury Street closer than 15 feet to the property line of a church and closer than 75 feet to a church building, contrary to the precise terms of the Zoning Ordinance, reports that the appeal ought to be sustained.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Chairman

40/62

that the appeal under the Zoning Ordinance of the City of Portland at 201-209 Newbury Street, relating to the construction of an addition to the police garage closer than 15 feet to the property line of a church and closer than 75 feet to a church building, contrary to the precise terms of the Zoning Ordinance, be sustained and that a building permit be granted to said appellant, subject to full compliance with all terms of the Building Code;

BECAUSE enforcement of the Ordinance in this specific case would cause unnecessary hardship by needless interference with the planned improvement of police facilities; and desirable relief may be granted without substantially derogating from the intent and purpose of the Ordinance in that the proposed garage extension would not be detrimental to the church property.

40/69

CITY OF PORTLAND, MAINE
BOARD OF MUNICIPAL OFFICERS
COMMITTEE ON ZONING AND BUILDING ORDINANCE APPEALS

Room 71, City Hall
October 8, 1940

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Municipal Officers will hold a public hearing at the Council Chamber, City Hall, Friday, October 18, 1940, at two o'clock in the afternoon upon the appeal for a variance of the precise terms of the Zoning Ordinance as they relate to the use of the lot of land owned by the City of Portland at 201-209 Newbury Street, adjacent to the garage part of Police Headquarters.

Under the precise terms of the ordinance in all zones, the Inspector of Buildings is unable to issue a permit to construct a proposed one-story brick addition about 40 feet by 80 feet to the present police garage, the addition to be used for storage and repair of police cars, because the proposed building would be closer than 15 feet to the property line of and closer than 75 feet to the chapel of the Italian Methodist Church at 130 Federal Street.

All persons interested either for or against this appeal will be heard at the above time and place, this notice having been sent to owners of property within 500 feet of the lot in question as required by law.

OCT 8 - 1940

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

I shall be out of town on this afternoon but see no reason why our Italian Church should object unless too much noise were involved.

W. Earle Eskilson, Chairman

Ernest W. Robinson
Ernest W. Robinson
Dist. Supt.
Methodist Churches
Portland District

40/6

that the City Manager and the City Treasurer be and hereby are authorized and directed to sign in the name of the City of Portland an appeal under the Zoning Ordinance relating to the construction of an addition to the police garage at 201-209 Newbury Street closer to a building and property used for church purposes than ordinarily permitted under the precise terms of the Zoning Ordinance.

40/69

CITY OF PORTLAND, MAINE
BOARD OF MUNICIPAL OFFICERS
COMMITTEE ON ZONING AND BUILDING ORDINANCE APPEALS

Room 21, City Hall
October 8, 1940

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Municipal Officers will hold a public hearing at the Council Chamber, City Hall, Friday, October 18, 1940, at two o'clock in the afternoon upon the appeal for a variance of the precise terms of the Zoning Ordinance as they relate to the use of a lot of land owned by the City of Portland at 201-209 Newbury Street, adjacent to the garage part of Police Headquarters.

Under the precise terms of the ordinance in all zones, the Inspector of Buildings is unable to issue a permit to construct a proposed one-story brick addition about 40 feet by 80 feet to the present police garage, the addition to be used for storage and repair of police cars, because the proposed building would be closer than 15 feet to the property line of and closer than 75 feet to the chapel of the Italian Methodist Church at 130 Federal Street.

All persons interested either for or against this appeal will be heard at the above time and place, this notice having been sent to owners of property within 500 feet of the lot in question as required by law.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

W. Earle Eskilson, Chairman

Mr. John P. Thomas-----2

November 7, 1940

4. Is there any purpose for the raised threshold of the doorway where the fire door is to occur other than to get over a pipe in the present building? The raised threshold is not required by the Building Code, and perhaps the relocation of the pipe would save a great many awkward steps, if relocation is possible.

5. I am wondering if shallow metal sash and wire glass could not be introduced over the roof of the addition in the wall of the existing garage, instead of bricking up the openings, perhaps getting better light in the present garage?

6. It seems sort of unusual to put the heavy steel roof beams on a slope, and to have the headroom under the lower ends only nine feet. The exterior brick walls are being made thick enough so that a second or third story could be added if desired for future police use. It seems to me that it would be good policy for the city to also make this roof so that it could serve as a second floor with moderate changes. At the same time I should think a greater clearance overhead would be desirable.

7. I presume the capacity of the heating plant has been checked to make sure it is capable of caring for the additional volume.

8. It is my recollection that there is no fire door in the doorway between the present garage and the main building. This no doubt has nothing to do with the addition except that it is at least inconsistent to provide a fire door between the addition and the present main building and leave an unprotected connection through the present garage to the main building. It seems to me also important that this additional fire door or shutter be provided because the present connection opens into the main building very close to the only means of egress from the men's cell room. Later on I shall recommend this fire door to the City Manager.

Very truly yours,

Inspector of Buildings

WACD/H



(C) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Second Class

Permit No. 1511

NOV 21 1940

Portland, Maine, November 20, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~and~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 201-209 Newbury Street (134 Second St) Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address City of Portland Telephone _____

Contractor's name and address Googins & Clark, 16 Portland St. Telephone 2-3168

Architect John P. Thomas, 21 Free St. Plans filed yes & Spec. No. of sheets 4

Proposed use of building Police Station No. families _____

Other buildings on same lot _____

Estimated cost \$ 10,000 Fee \$ 7.50 3.75 add

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine

201-209 Newbury St. --Addition to Police Garage for City of Portland- 11/21/40
Contractor, Googins and Clark

To Contractor:

It is understood that a parapet wall extending at least two feet above the roof is to be provided on the easterly and rear walls. The cap on this parapet wall is required to be without woodwork.

e. e. J. P. Thomas..

(Signed) Warren McDonald
Inspector of Buildings

the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering Tar and gravel 4 or 5 ply

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat from existing plant fuel _____ Is gas fitting involved? _____

Framing lumber - Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY _____
 Signature of owner John P. Thomas
 City of Portland
Googins & Clark
 Signature of contractor Lee H. Clark

8457C
8436C

Permit No. 40/1711

P

Location 201-209 Newbury St.

City of Portland

Date of permit 10/21/40.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 11/12/42

Cert. of Occupancy issued Home

NOTES

10/5/40 - Excavation

completed - O.C.D.

10/13/40 - Foundation

wall poured - O.C.D.

10/17/40 - Brick/stone

work started - O.C.D.

10/30/40 - Brick/stone masonry

completed - O.C.D.

11/16/40 - Wall/brick

work completed - O.C.D.

12/30/41 - Steel beams for

roof installed - O.C.D.

1/1/42 - Final inspection

completed - O.C.D.

3/1/41 - No clearance

3/20/41 - Same

3/27/41 - Work

5

1

1

West Portland St



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 2689

Class of Building or Type of Structure Third Class

DEC 5 1938

Portland, Maine, December 12, 1938

To the INSPECTOR OF BUILDING, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter or ~~remodel~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 201 Newbury Street (134 Street D) Within Fire Limits? YES Dist. No. 1

Owner's or Lessee's name and address City of Portland Telephone _____

Contractor's name and address Woodfords Wrecking Co., 38 Smith St. Telephone 3-3967

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building _____ No. families _____

Other buildings on same lot _____

Estimated cost \$ _____ Fee \$ 1.00

Description of Present Building to be Altered

Material wood No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____

Last use Rooming House No. families _____

General Description of New Work

To demolish building

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision of the Department of Public Works of the City of Portland? Yes

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing Lumber— Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

City of Portland
By Woodfords Wrecking Co.

Signature of owner

By

Louis Serato

34756

Permit No. 38/2089

Location: 201 Newbury St.

Owner: City of Portland

Date of permit 12/5/38

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 12/21/38 No.

Cert. of Occupancy issued

NOTES

~~Blank lined area for notes, crossed out with a large X.~~



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
1938

Class of Building or Type of Structure First Class

Portland, Maine, November 14, 1938 NOV 14 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 134 Federal Street Within Fire Limits? yes Dist. No. 1
 Owner's or Lessee's name and address City of Portland Telephone _____
 Contractor's name and address Osmer Telephone _____
 Architect _____ Plans filed no No. of sheets _____
 Proposed use of building Police Station No. families _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ _____

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Last use Police Station No. families _____

General Description of New Work

To demolish 10' non-bearing partition between kitchen and closet in matron's quarters on second floor.

NOTIFICATION BEFORE LATIN
OR CLOSING IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS IN THE NAME OF

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

City of Portland
Ralph D. Burks
Chief of Police

INSPECTION COPY

Permit No. 38/1998

Location 134 Federal St.

Owner City of Portland

Date of permit 11/14/38

Notif. closing-in

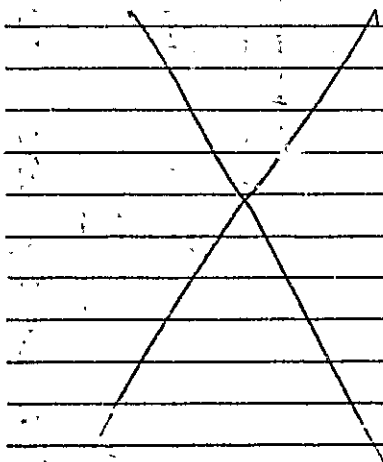
Inspn. closing-in

Final Notif.

Final Inspn. 12/2/38

Cert. of Occupancy issued None

NOTES





GENERAL BUSINESS ZONE Permit No. _____
APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure Second Class APR 30 1937

Portland, Maine, April 30, 1937.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure, in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, submitted herewith and the following specifications

Location 154 Federal Street Ward 3 Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address City of Portland Telephone _____

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building Police Headquarters No. families _____

Other buildings on same lot _____

Plans filed as part of this application? None No. of sheets _____

Estimated cost \$ _____ Fee \$ None

Description of Present Building to be Altered

Material Brick No. stories 2 1/2 Heat _____ Style of roof Flat Roofing _____

Last use Police Headquarters No. families _____

General Description of New Work

To remove 12' non-carrying partition in second story to make one room out of two.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. NOTIFICATION BEFORE LAYING OUT WORKING IS WAIVED
 REQUIREMENT OF OCCUPANCY REQUIREMENT IS WAIVED

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? No

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner City of Portland

By Ralph D. Brooks
Chief of Police

Ward 3 Permit No. 37/557

Location 124 Federal St.

Owner City of Portland

Date of permit 4/30/37

Notif. closing-in _____

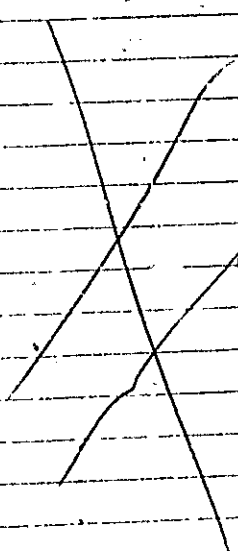
Inspn closing-in _____

Final Notif. _____

Final Inspn. 3/3/37

Cert. of Occupancy issued None

^{NOTES}
3/3/37 - P.L.P. - A.G.S.





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
Pct. No. 1583

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

SEP 28 1938

September 23, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine,

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 152 Federal Street Use of Building Police Station
Name and address of owner City of Portland Ward 3
Contractor's name and address Boya Corporation, 178 Middle St. Telephone 4-2093

General Description of Work

To install 2 Oil Burning equipments

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel oil
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____
from top of smoke pipe _____, from front of heater _____ from sides or back of heater _____
Size of chimney flue _____ Other connections to same flue _____

IF OIL BURNER

Name and type of burner S. T. Johnson (auto.) Labeled and approved by Underwriters' Laboratories? yes
Will operator be always in attendance? existing Type of oil feed (gravity or pressure) pressure
Location oil storage _____ No. and capacity of tanks existing
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____

Amount of fee enclosed? 1.50 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor By: Flanis

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
NOTIFICATION BEFORE LATENESS
OR CLOSING IS WAIVED

PAH
11/9/38

Ward 3 Permit No. 36/1583

Location 132 Federal St.

Owner City of Portland

Date of permit 9/28/36

Post Card sent

Notif. for insp. none

Approval Tag issued 5/22/37

Oil Burner Check List (date) 2/3/37

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage Existing
5. Tank distance
6. Vent pipe
7. Fill pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

4 1/2 in
2/3/37. Unable to locate
possible valve. Mr. Carnes

will check up on this
OK
2/27/37 Mr. Carnes in the
office, will provide
possible valves. OK
4/24/37 Mr. Carnes said valves
and possible tanks or but
would not be out on yet, will
be shortly. Did not use
possible valves because of
possible high temperature
of oil. OK



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1947

JUL 5 1935

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 5 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 134 Federal St Use of Building Police Station Ward 3

Name and address of owner City of Portland Telephone 66495

Contractor's name and address Eastern Oil Inc

To install Oil burner for Hot Water
0 General Description of Work

IF HEATER, POWER BOILER OR COOKING DEVICE
Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel _____
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____
from top of smoke pipe _____, from front of heater _____ from sides or back of heater _____

IF OIL BURNER

Name and type of burner Eastern Oil Labeled and approved by Underwriters' Laboratories yes
Will operator be always in attendance? no Type of oil feed (gravity or pressure) pressure

Location oil storage basement No. and capacity of tanks 1 275 gal

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor Eastern Oil Inc
C. T. McBurnick

INSPECTION COPY

NOTIFICATION BEHIND
OK (CITY OF PORTLAND)

CERTIFICATE OF COMPLETION
REQUIREMENT IS MET

Ward 3 Permit No. 35/941

Location 134 Federal St.

Owner City of Portland

Date of permit 7/5/35

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. 7/16/35 OK

Cert. of Occupancy issued same

NOTES

- Hot Water*
1. Kind of heat Hot Water
 2. Label ✓
 3. Anti-siphon ✓
 4. Oil storage ✓
 5. Tank distance ✓
 6. Vent pipe ✓
 7. Fill pipe ✓
 8. Gauge ✓
 9. Rigidity ✓
 10. Flood safety ✓
 11. Pipe sizes & material ✓
 12. Control valve ✓
 13. Ash pit vent ✓
 14. Trip or pressure safety ✓
 15. Instruction card ✓
 16. _____

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

Bldg. No. 13 Block 1 Shear of old frame

Location of Bldg. 13 Federal

Owner City of Portland

Occupant Police Station

Inspection by H. H. Parke Date 1-26-34

Formal Complaint No. _____ Date _____

Letter sent without complaint _____

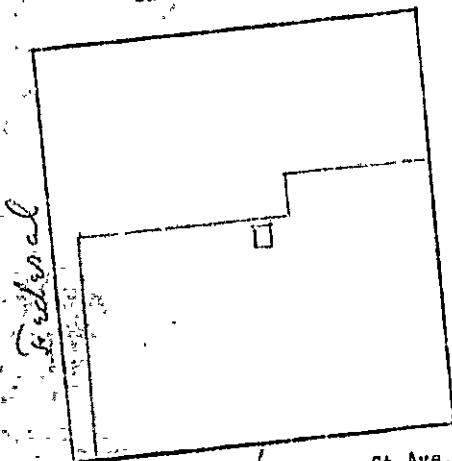
Building Data

Mat'l. outside walls Brick Int. Frame Steel

No. stories 3 Style of Roof Flat

No. elev. in bldg. Passenger Freight

Location of Elevator on Street Floor
Shown Below



Edwards St. Ave.
This report for 1 identical elevators

Elev. Man'f'r Winn (check)

Use of elev. Pass Frt. Comb'n. which

No. stops 3 Bsmt. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Shaftway

Open Hatch doors, Auto. Non-auto

Gates, auto. Semi-auto. Hand

Enclosed? Mat'l. of enclosure Brick

Fire Doors Normally closed open

Are enclosure doors interlocked?

Height enclosure, full story what ht. _____

Elevator Machinery

Type of Power Elec.

Type of Machine Worm gear

Location of Machine 3rd floor over well

Material of Supports Steel of Guides Steel

Material of cables Steel

No. cables, hoisting 2 counterweight 2

Type of brakes Elec.

Has elev. following safeties: Governor

Car Safety ; Elect. Brakes ; Auto. Per-

sonal Stops top & bottom ; Slack Cable

Stops ; Safety Floor Stops

Remarks: (note defects, if any) _____

Elevator Car

Platform Dimensions 8 x 4 1/2 Capacity 0

Mat'l. of Encl. Steel No. sides encl. 3

Height of enclosure No. entrances 1

Type of gates or doors

Are they interlocked?

Have they auto-closing device?

Type operation, Push-Button Operator

Any emergency exit?

Remarks: (note defects, if any) _____

General Remarks:

Elevator Car on 2 floor



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. PERMIT ISSUED 0905

Class of Building or Type of Structure Second Class JUL 12 1933

Portland, Maine, July 12, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter in all the following building ~~erect alter in all the following building~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 134 Federal Street Ward 5 Within Fire Limits? YES Dist. No. 1
Owner's or Lessee's name and address City of Portland Telephone _____
Contractor's name and address Owner Telephone _____
Architect's name and address _____
Proposed use of building Police Headquarters No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ _____ Fee \$ no fee

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof Flat Roofing Tar & Gravel
Last use Police Headquarters No. families _____

General Description of New Work

To erect two wooden antenna masts each 50' long on the roof; to construct pent house about 8' x 10' and 3' high with a pitch roof on the roof of the present building to shelter radio equipment; to construct stairway in place of present ladder from 3rd floor to roof within the area of this pent house. The pent house will be covered on both inside and outside of the walls with "asbestos lumber", gypsum wall board or similar incombustible sheathing.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the heating contractor.

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED. CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

City of Portland
Signature of owner By Floyd L. Barnard - Radio Dept.