B3 BUSINESS ZONE

PERMIT ISSUED
00347
APR 18 1962
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class

Portland, Maine, April 9, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 465 Congress St. Within Fire Limits? _____ Dist. No. _____

Owner's name and address State Loan Corp. 465 Congress St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address F.W. Cunningham & Sons 181 State St. Telephone 3-0246

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building Office Building No. families _____

Last use " " No. families _____

Material br. & gran. No. stories 11 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 5,000.00 Fee $ 9.00

General Description of New Work

Alterations to basement elevator lobby as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic-tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
O.K. - 4/17/62 - O.J.S.

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

State Loan Corp.
F.W. Cunningham & Sons

CS 301

INSPECTION COPY

Signature of owner by: Arthur J. Sullivan

F.M.

Permit No. 621347

Location 465 Congress St.

Owner State Form Co.

Date of permit 4/16/62

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

6/22/62 - Work scheduled - Collins

7/16/62 - Work progressing - Collins

8/13/62 - Work progressing - Collins

9/17/62 - Job about finished - Collins

10/18/62 - Work done - Collins

B3 BUSINESS ZONE

PERMIT ISSUED
APR 6 1962
CITY of PORTLAND

APPLICATION FOR ELEVATOR PERMIT

Portland, Maine, April 5, 1962

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to install alter (2) elevators in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 465 Congress St. Ward ____ Within Fire Limits? ____ Dist. No. ____

Owner's name and address State Loan Corp. 465 Congress St.

Elevator contractor's name and address Otis Elevator Co. 550 Forest Ave. Telephone 4-8256

Plans filed as part of application yes No. sheets 2

Last use of building Office Building No. families ____

Proposed use of building " " No. families ____

Material of outside walls of building brick, interior frame brick & plaster

No. of stories 12 Style of roof flat No. of existing elevators in building 3

Fee $ 3.00

Remarks

Details of Proposed Work

Extent of work by elevator contractor To remove (2) and install (2) elevators.

Extent of work by owner alterations

Type of Elevator 2-passenger, in new or existing shaftway existing

Shaftway enclosed or open enclosed No. elevator stops 12

Capacity of elevator 1500, Speed in feet per minute 350

Material of cables steel No. and size of hoisting cables 5 each at 5/8 inch

Location of machinery basement Material of supports concrete, of guides steel

Minimum diameter of sheaves driving 30 deflecting 26 Minimum clearance counterweights and overhead beams 5'2"

Minimum clearance above car at topmost floor level 8' 5½"

Minimum clearance buffer plates and springs when car is at lowest floor level 9" oil buffers

Type of power electric Type of machine #2

Will elevator be equipped with the following safety devices—governor? yes, car safety? yes, electric brakes? yes, automatic terminal stops at top and bottom? yes, slack cable stops? no, safety floor stops? yes

If Passenger Elevator

Passenger capacity? 10 Area of platform 5'6" x 4'2" Material of enclosure steel

No. of entrances 1 each Type of gates automatic doors, interlocked yes or automatic closing device? yes

Will elevator be automatic or will operator be in attendance? automatic/with attendant

Will doors in shaftway enclosure be interlocked? yes

If Freight Elevator

Area of platform ____ No. of sides enclosed ____ Height of enclosure ____

Will shaftway be enclosed? ____ Self-closing hatch gates? ____ Height? ____ Bi-parting doors? ____

No. outside entrances to shaftway? ____ Self-closing slatted gates? ____ Height? ____

Otis Elevator Company by: George R Wace

Signature of elevator contractor

O.K. - 4/6/62 - a

Owner State Loan Corp.

Date of permit 4/6/62

Elev. Cont.

Statement of tests rec'd

Final Notif.

Final Inspn.

Certificate issued

NOTES

4/16/62 - work not yet started - Allen

5/14/62 - Work started - Allen

6/4/62 - Work progressing - Allen

6/15/62 - Work progressing - 1st elevator - Allen

9/17/62 - Work started on 2nd elevator - Allen

10/15/62 - Work progressing - Allen

11/15/62 - Work progressing - Allen

12/20/62 - Work progressing - Allen

1/24/63 - Job completed Allen

399

B3 BUSINESS ZONE

PERMIT ISSUED
JUL 12 1961
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Masonry

Portland, Maine, July 12, 1961

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 465 Congress Street Within Fire Limits? _____ Dist. No. _____

Owner's name and address State Loan Co., 465 Congress St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Paul B. McLellan Co., 52 Marginal Way Telephone 2-5951

Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building office bldg. No. families _____

Last use " No. families _____

Material _____ No. stories 10 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 300.00 Fee $ ~~300~~3.00

General Description of New Work

To remove several non-bearing partitions on second floor as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber–Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
O.K.-7/13/61-agl

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Paul McLellan Co.

CS 101

INSPECTION COPY

Signature of owner By: Paul B. McLellan

2 mail

Permit No. 101

Location 4105 Compassville

Owner State Loan Co

Date of permit 7/ /61

Notif. closing-in

Inspn. closing in

Final Notif

Final Inspn

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

Finished Basement

B3 E

DEC 2 19

CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class

Portland, Maine, Dec. 2, 1959

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 465 Congress St. Within Fire Limits? yes Dist. No.

Owner's name and address State Loan, Inc. 465 Congress St. Telephone

Lessee's name and address Telephone

Contractor's name and address Paul B McLellan 52 marginalway Telephone 2-5951

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Offices No. families

Last use " No. families

Material brick-masonry No. stories 10 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 1800.00 Fee $ 5.00

General Description of New Work

To install 2x4 wood partitions covered with sheetrock on both sides.
To install (2) wooden standard size doors on 10th floor (all as per plan)

All one tenancy and less than 5000 square feet in area

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:
O.K.-12/2/59-

Miscellaneous

Will work require disturbing of any tree on public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

State Loan Co.
Paul B McLellan

CS 301

INSPECTION COPY *Signature of owner* by: Paul B McLellan

F-m

Permit No. 59/1,788

Location 465 Upper Cy

Owner Utah Power Co

Date of permit 12/23/59

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

12/24/59 - Work done -

Size of plastic face—12 sq.ft.
Trade name-Plexiglass
Each piece has trade name on it. B3 BUSINESS ZONE
Bears Und. Label

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
01471
OCT 16 1959
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Oct. 14, 1959 19

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 1465 Congress St. Within Fire Limits? yes Dist. No.

Owner of building to which sign is to be attached State Loan Co.465 Congress St.

Name and address of owner of sign Cushman Bakery, 107 Elm St.

Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695

When does contractor's bond expire? Dec. 31, 1959

Information Concerning Building

No. stories 10 Material of wall to which sign is to be attached granite

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric? yes Vertical dimension after erection 3'4" Horizontal 5'4"

Weight 90 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angleiron No. advertising faces 2, material plexiglass

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts no, Size , Location, top or bottom

No. guys 3, material 1-cable-2 angleiron, Size cable 5/16-angleiron ½x1½x3/16

Minimum clear height above sidewalk or street 10'

Maximum projection into street 6'

INSPECTION COPY OK 10/15/59 Signature of contractor by: J. Payne Fee $ 2.00

T.M

10/26

Permit No. 59/14471

Location: 465 Cogswell St.

Owner: Cushman Bakery

Date of permit: 10/15/59

Sign Contractor

Final Inspn. 12/3/59

NOTES

10/16/59 Ready for shop inspection.

10/16/59 Shop insp. made E.S.S.

12/3/59 Work done E.S.S.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES AT 465 Congress St. IN PORTLAND, MAINE

State Loan Co, being the owner of the premises at 465 Congress St. in Portland, Maine hereby gives consent to the erection of a certain sign owned by Cushman Baking Co. projecting over the public sidewalk from said premises as described in application to the Inspector of Buildings of Portland, Maine for a permit to cover erection of said sign;

And in consideration of the issuance of said permit State Loan Co., owner of said premises, in event sign shall cease to serve the purpose for which it was erected or shall become dangerous and in event the owner of said sign shall fail to remove said sign or make it permanently safe in case the sign still serves the purpose for which it was erected, hereby agrees for himself or itself, for his heirs, its successors, and his or its assigns, to completely remove said sign within ten days of notice from said Inspector of Buildings that said sign is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent and agreement this 9th day of Oct., 1959

E. A. Coyne
Witness

State Loan Co.
By Richard H. Dowan
Owner Treas.

RECEIVED
OCT 14 1959
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

B3 BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
No. 01781
DEC 24 1958
CITY of PORTLAND

Class of Building or Type of Structure First Class

Portland, Maine, December 23, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 461 Congress Street Within Fire Limits? _____ Dist. No. _____

Owner's name and address National Bank of Commerce Telephone _____

Lessee's name and address Hutchins, Pierce, Atwood & Allen, 465 Congress St. Telephone _____

Contractor's name and address F. W. Cunningham & Sons, 181 ~~Congress~~ State St. Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building ~~stores~~ Offices No. families _____

Last use " No. families _____

Material masonry No. stories 10 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 800. Fee $ 4.00

General Description of New Work

To make alterations on 9th floor as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO F. W. Cunningham & Son

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber–Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Kind and thickness of outside sheathing of exterior walls? _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK 12-24-58 TTR

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Hutchins, Pierce, Atwood & Allen
F. W. Cunningham & Son

INSPECTION COPY

Signature of owner By: Thomas A. Peter

Permit No. 5/1/58

Location [illegible] Green St

Owner [illegible] Clerce [illegible] & Allen

Date of permit 12/24/58

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

2-24-59 Single tenant 2 FR

1/16/59 – Work done.

Allen

PERMIT ISSUED
00176
FEB 26 1958
CITY of PORTLAND

APPLICATION FOR ELEVATOR PERMIT

Portland, Maine, February 25, 1958

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to install ~~one~~ 1 *elevator* _____ *in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:*

Location 465 Congress Street Ward _____ Within Fire Limits? Yes Dist. No. 1

Owner's name and address State Loan Co., 465 Congress St.

Elevator contractor's name and address Paul B. McLellan Co., 52 Marginal Way Telephone _____

Plans filed as part of application none No. sheets _____

Last use of building Bank and mercantile No. families _____

Proposed use of building " No. families _____

Material of outside walls of building masonry, interior frame _____

No. of stories 10 Style of roof flat No. of existing elevators in building 3

Remarks Fee $ 2.00

This is to be a hand power dumb waiter capacity not to exceed 50lbs and a pulley beam will be provided ~~in~~ at the top of the ~~fix~~ shaftway to carry the load

Details of Proposed Work

Extent of work by elevator contractor constructing shaftway

Extent of work by owner _____

Type of Elevator dumb waiter, in new or existing shaftway new

Shaftway enclosed or open enclosed No. elevator stops 2

Capacity of elevator 50 lbs, Speed in feet per minute ——

Material of cables rope No. and size of hoisting cables —

Location of machinery _____ Material of supports _____, of guides _____

Minimum diameter of sheaves _____ Minimum clearance counterweights and overhead beams _____

Minimum clearance above car at topmost floor level _____

Minimum clearance buffer plates and springs when car is at lowest floor level _____

Type of power hand power Type of machine _____

Will elevator be equipped with the following safety devices:—governor? _____, car safety? _____, electric brakes? _____, automatic terminal stops at top and bottom? _____, slack cable stops? _____, safety floor stops? _____

If Passenger Elevator

Passenger capacity? _____ Area of platform _____ Material of enclosure _____

No. of entrances _____ Type of gates _____, interlocked _____ automatic closing device? _____

Will elevator be automatic or will operator be in attendance? _____

Will doors in shaftway enclosure be interlocked? _____

If Freight Elevator

Area of platform _____ No. of sides enclosed _____ Height of enclosure _____

Will shaftway be enclosed? _____ Self-closing hatch gates? _____ Height? _____ Bi-parting doors? _____

No. outside entrances to shaftway? _____ Self-closing slatted gates? _____ Height? _____

O.K. - 2/26/58 - AJ

Signature of elevator contractor Paul B McLellan

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, _____

I, _____

as an employee of _____, have personally supervised the installation or alterations to the elevator, hatchways and enclosures at _____ as permitted under Building Permit _____, and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and do here state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

_____
(Signature)

PORTLAND, MAINE, _____

STATE OF MAINE

CUMBERLAND, SS:

Personally appeared the above named _____ and made oath the statements by him subscribed are true.

Inspection
FILE COPY

_____
Notary Public Justice of the Peace

Permit No. 58/176

Location 465 Oregon St.

Owner State Abar Co.

Date of permit 2/26/58

Elev. Cont.

Statement of tests rec'd

Final Notif.

Final Inspn.

Certificate issued

NOTES

4/23/58 - Work not done. - Allen

8/5/58 - Mr Mc Lellan says wish not to be done. - Allen

PERMIT ISSUED

FEB 26 1958

CITY OF PORTLAND

APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, February 25, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No 58/41 *pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:*

Location 465 Congress Street — Within Fire Limits? — Dist. No.

Owner's name and address State Loan Co., 465 Congress St. — Telephone

Lessee's name and address — Telephone

Contractor's name and address Paul B. McLellan Co., 52 Marginal Way — Telephone

Architect — Plans filed yes No. of sheets 1

Proposed use of building Bank and mercantile — No. families

Last use " — No. families

Increased cost of work 250. — Additional fee ~~2.50~~ 2.00

Description of Proposed Work

To construct shaftway for dumb waiter to travel from cellar to first floor level. This is to be accomplished by using an existing closet in the first story which has plastered walls. The opening is to be cut down through the concrete floor eliminating all woodwork and the shaftway in the cellar is to be constructed with 4" cinder block plastered on the outside.
The door at each level is to be a standard fire resistant door made self-closing set in structural metal frame. This shaftway is to be covered over the top about 7' from the floor with incombustible materials affording 1 hour fire resistance.

Details of New Work contractor

Is any plumbing involved in this work? — Is any electrical work involved in this work?

Height average grade to top of plate — Height average grade to highest point of roof

Size, front depth — No. stories — solid or filled land? — earth or rock?

Material of foundation — Thickness, top bottom cellar

Material of underpinning — Height — Thickness

Kind of roof — Rise per foot — Roof covering

No. of chimneys — Material of chimneys — of lining

Framing lumber—Kind — Dressed or full size?

Corner posts — Sills — Girt or ledger board? — Size

Girders — Size — Columns under girders — Size — Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved: Albert J. Sears

State Loan Co.
Paul B. McLellan Co.

Signature of Owner By: [illegible]

Approved: 2/26/58 [illegible]
Inspector of Buildings

INSPECTION COPY

CS 105

B3 BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
000
JAN 14 1958
CITY of PORTLAND

Class of Building or Type of Structure 2nd class

Portland, Maine, Januayr 13, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 465 Congress St. Within Fire Limits? yes Dist. No. 1

Owner's name and address State Loan Co. 465 Congress St. Telephone

Lessee's name and address Telephone

Contractor's name and address Paul B McLellan Co. 52 Fargin Alway Telephone 2-5951

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Bank & Offices No. families

Last use " " No. families

Material No. stories 12 Heat Style of roof Roofing

Other building on same lot

Estimated cost $ 1000.00 Fee $ 5.00

General Description of New Work

To remove wooden partition, close up to door opening as per plan.
Install new outside door leading to vestibule, door to be anew aluminum door with side lights.
To install counter all as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys. of lining. Kind of heat fuel

Framing-Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED: O.K. - 1/14/58 - [illegible]

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes.

State Loan Co.
Paul B McLellan Co.
Paul B McLellan

Signature of owner by:

INSPECTION COPY

F.M.

Permit No. 58/1/4
Location [illegible]
Owner Seattle Gas Company
Date of permit 1/14/58
Notif. closing-in
Insp. closing-in
Final Notif.
Final Insp.
Cert. of Occupancy issued
Stalling Out Notice
Form Check Notice

NOTES

1/15/58 Work started - Allen
1/29/58 Done - Allen
2/12/58 Done - Allen
3/5/58 - Done - Allen
3/26/58 - Work started - Allen
4/9/58 - Work progressing - Allen
4/23/58 - Work on dump-water not done - Allen
6/2/58 - Needs to get on to see how work on dump water is going - Allen
8/1/58 Mr. Mc. Fillen says dump-water not to be installed - Allen

AP 467 Congress St.--Proposed projecting sign for National Bank of Commerce

June 21, 1957

Copy to Mr. Philip P. Snow
477 Congress St.

United Neon Display
74 Elm St.
State Loan Company
467 Congress St.

Gentlemen:

Building permit for erection of the above sign is issued to United Neon Display, herewith, subject to the following conditions. If these are not understood please contact this office before the sign is built:

The projection of the sign is shown on the sign as 13 feet and two inches and the width of the sidewalk 15 feet. The 1957 revision of the Zoning Ordinance, effective June 6, provides in the B-3 Business Zone where the building is located, that a projecting sign shall not be less than two feet from the plane of the curb projected upwards. Thus, the Zoning Ordinance requires that the total projection of the sign be cut to 13 feet.

The permit is issued with some misgivings as to the lateral stiffness of the structure under wind load. The only apparent result of our letter of May 16 on this subject is the addition of two structural angles running from the face of the building and at an angle of 45 degrees with it, to the under frame of the sign box. It is hoped that these two braces will be sufficient to prevent undue vibration and sway of the entire structure at time of high wind. There may be as many different opinions on this subject as there were consultants. I am mindful of the fact that most of these projecting signs over the public sidewalks are put up once and for all and are not inspected even yearly. If deterioration takes place it is hard to discover. It does not make for complacency to think of considerable vibration and sway in the structure tending to "work on" the fastenings of the main supports of the structure to or through the door frame to the masonry.

There is still an alternative method for fastening these rigid supports at either side of the existing doorway/the bank. In that connection your attention is called to the fourth paragraph of our letter of May 1, and the question there as to whether or not, if expansion bolts are used, these bolts will be so supported that they will not be in bending.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

Enclosure to United Neon Display: Permit card and copy of application

FB

May 16, 1957

AP 467 Congress St.—Proposed projecting sign for National Bank of Commerce

State Loan Co.,

Mr. Philip P. Snow

United Neon Display

Copy to Mr. Lester I. Beal
465 Congress St.

Gentlemen:

Referring to my telephone conversation with Mr. Snow the other day, concerning the above job, it is my understanding that investigation shows that:

—structural plans of the building or of the marquee are not available, the building having been designed by Desmond & Lord of Boston.
—that the heavy chains holding the marquee are held by large bolts or similar which connect them in a secure manner to the web or flange of some structural member imbedded in the wall of the building and that these connections are in good condition.
—just what kind of material the huge chains were made of or how the links were made cannot be determined.

May I set right a common misapprehension which may be in the minds of the owner and sign company as to the function of this department? It is not a consulting engineering office, and should not be held responsible for checking designs in the way a privately employed consultant would do. It is understood that Mr. Beal has been consulted as to the aesthetics of the proposal, but it is my impression that he has not been consulted as to the structural design.

This is the type of job requiring unusual [illegible]stigation and unusual design which, in recent years has prompted us [illegible]mend to the owner that an independent consultant be engaged to check the original design and confer with the designer to the end that all concerned may benefit from the ingenuity and experience of two minds instead of one. Therefore, it is strongly recommended that the owners employ such an independent consultant of their own choice. In that case we shall expect the consultant's signed statement of design to be furnished to this office to be attached to the plans with Mr. Snow's already furnished.

If the owner decides not to try this arrangement, it will be necessary for Mr. Snow to file his assumptions and computations and methods of design for all of the important structural parts, including, of course, the stress in the chains, the analysis of the fastenings and supports at the building end of the main beams with any tendency toward bending in the bolts or distortion of the existing door frame, and the methods of resisting horizontal wind load on the part of the base frame and the frame of the sign itself (the latter appears to be a

pure vertical cantilever) which projects such an unusual distance over the sidewalk with its only lateral supports evidently to be comparatively close to the building wall.

Though the downward loads are not great, it is my own feeling that the chains of unknown capacity and probably about 40 years old, should not be relied upon. After working out the full stresses in the chains, if Mr. Snow thinks they are perfectly safe, we shall not withhold the permit on that score. It is my considered belief that neither the marquee nor any connections to it should be counted for lateral support or stiffness.

Very truly yours,

WHcD/B

Warren McDonald
Inspector of Buildings

May 1, 1957

AP 467 Congress St.--Proposed projecting sign for National Bank of Commerce

Copy to State Loan Co.
467 Congress St.

United Neon Display
74 Elm St.
Mr. Philip P. Snow
477 Congress St.

Gentlemen:

Since it appears that the basic support of the proposed sign may rely upon existing metal work of the building, which may have been in place since the building was built around 1910, additional assurances are needed from one or both of you while we are looking over the proposed detailed design--this in view of the importance of suspending this structure having a weight of 1000 pounds and subject to lateral wind pressure (according to the plan) of a little more than 1000 pounds, over the heads of pedestrians upon the public sidewalk.

It appears from the plan that the sign is to be supported as to its downward load upon a heavily braced framework of new steel consisting fundamentally of two 6-inch channels; that this new structure will be supported at the building end upon four bolts (two to each channel), these bolts to serve either by "threading" the holes in the door frame or in event the door frame turns out to be less than three-eighths inches thick, these bolts perform their work as expansion bolts with shields extending at least four inches into the masonry.

The outer ends of the new framework to be supported upon the massive chains, which support the existing marquee, by welding certain plates to the chains and welding the new frame to the plates.

Before we shall be able to issue the permit it will be necessary to determine how the inner end of the new supporting frame is to be supported. It is not difficult to determine what the thickness of the door frame is and whether or not the material will respond satisfactorily to an attempt to cut threads in it. If this frame appears inadequate the conditions back of it should be known and some particular detail should be shown of how the expansion bolts will engage the masonry. If the latter method is to be followed, it becomes obvious, since the new channels will be against the inner surface of the door frame and since the outer end of the shield would normally be flush with the face of the masonry and the hole in the frame would have to be large enough to allow the shield to pass through, that at least a small portion of the length of the bolts may be in bending. It appears necessary that the true conditions be known and the designer show a detail to develop these facts.

May 1, 1957

Presumably investigation will have been made before now of the material of the massive links of the chain supporting the marquee, how they were manufactured, and how they are fastened to the wall or frame of the building, and what the true condition of both chain and fastenings is. For the protection of the owners of the building and the pedestrians on the public sidewalk, we surely cannot rely upon the fact that the chains and their fastenings look heavy and ample. If these facts are known, please let us have them in writing rather than over the phone. If such information is not at hand, please get it and let us have it.

In any case we shall need a detail on the plans of how these plates which are to engage the new supporting frame will be placed against a particular link in the chain and how the joints will be made between the link and the plates.

A conservative attitude toward design offers considerable uneasiness as to relying upon these old materials which may be close to 50 years old, and the consequences of failure adds to that uneasiness. That is the reason for desiring to know all about the details as far as may be determined in advance before the permit is issued.

The reason for this uneasiness may be understood when it is realized that this aged material, though obviously bulky and heavy, will not only have considerable downward loads imposed upon it, which it has never been called upon to bear before, but also the chains will be called upon to bear lateral strains due to wind load which chains in such a relative position are never designed to withstand, while the reactions from the wind load at the building end of the channels will be in the direction of pulling out the bolts.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES AT 467 Congress Street IN PORTLAND, MAINE

State Loan Co., being the owner of the premises at 467 Congress Street in Portland, Maine hereby gives consent to the erection of a certain sign owned by Bank of Commerce projecting over the public sidewalk from said premises as described in application to the Inspector of Buildings of Portland, Maine for a permit to cover erection of said sign;

And in consideration of the issuance of said permit State Loan Co., owner of said premises, in event said sign shall cease to serve the prupose for which it was erected or shall become dangerous and in event the owner of said sign shall fail to remove said sign or make it permanently safe in case the sign still serves the purpose for which it was erected, hereby agrees for himself or itself, for his heirs, its successors, and his or its assigns, to completely remove said sign within ten days of notice from said Inspector of Buildings that said sign is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent and agreement this 26 th day of April 1957

State Loan Co.
By Richard H. Downes, Treas.
Owner

J. S. Coyne
Witness

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
JUN 21 1957
008 74

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. *Portland, Maine,* April 26, 19 57

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 467 Congress St. Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached State Loan Co.

Name and address of owner of sign National Bank of Commerce, 467 Congress St.

Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695

When does contractor's bond expire? Dec. 31, 1957

Information Concerning Building

No. stories 11 Material of wall to which sign is to be attached masonry

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric? yes Vertical dimension after erection 6' Horizontal 10' 2"

Weight 1000 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material plastic

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts as per plan, Size , Location, top or bottom

No. guys 2, material chain, Size

Minimum clear height above sidewalk or street 10' 6" not more than 13 ft. See letter

Maximum projection into street 13' 2" United Neon Display Fee $2.00 6/21/57

Signature of contractor by: J. Logue

INSPECTION COPY

Permit No. 57/874

Location 467 Congress St

Owner National Bk. of Commerce

Date of permit 6-21-57

Sign Contractor

Final Inspn.

NOTES

7/18/57 - Work not done
RFB

7/23/57 - Ready for
[illegible] inspection 8:30
7/29/57 - Made shop inspection
O.K. Allen
8/23/57 - Work done
RFB

October 3, 1956

Inquiry - 467 Congress Street

Mr. Lester I. Beal
465 Congress Street

Copy to National Bank of Commerce
467 Congress Street

Dear Mr. Beal:-

In regard to your inquiry concerning replacement of revolving doors at entrance to bank in quarters at the above location, if the new swinging doors are to go in the existing opening without any alteration in its size, it is questionable if a building permit is needed to cover the proposed changes. This being the case, requirements of the Building Code relating to exit arrangements would not apply to this existing condition.

Although you have indicated your belief that there will never be more than 50 persons in the banking area at any one time, computation of capacity according to Building Code standards gives a figure of more than 50 persons so that, if a permit were required for the work, these new doors which you propose to swing inward toward the banking quarters would be required to swing outward in the direction of exit travel.

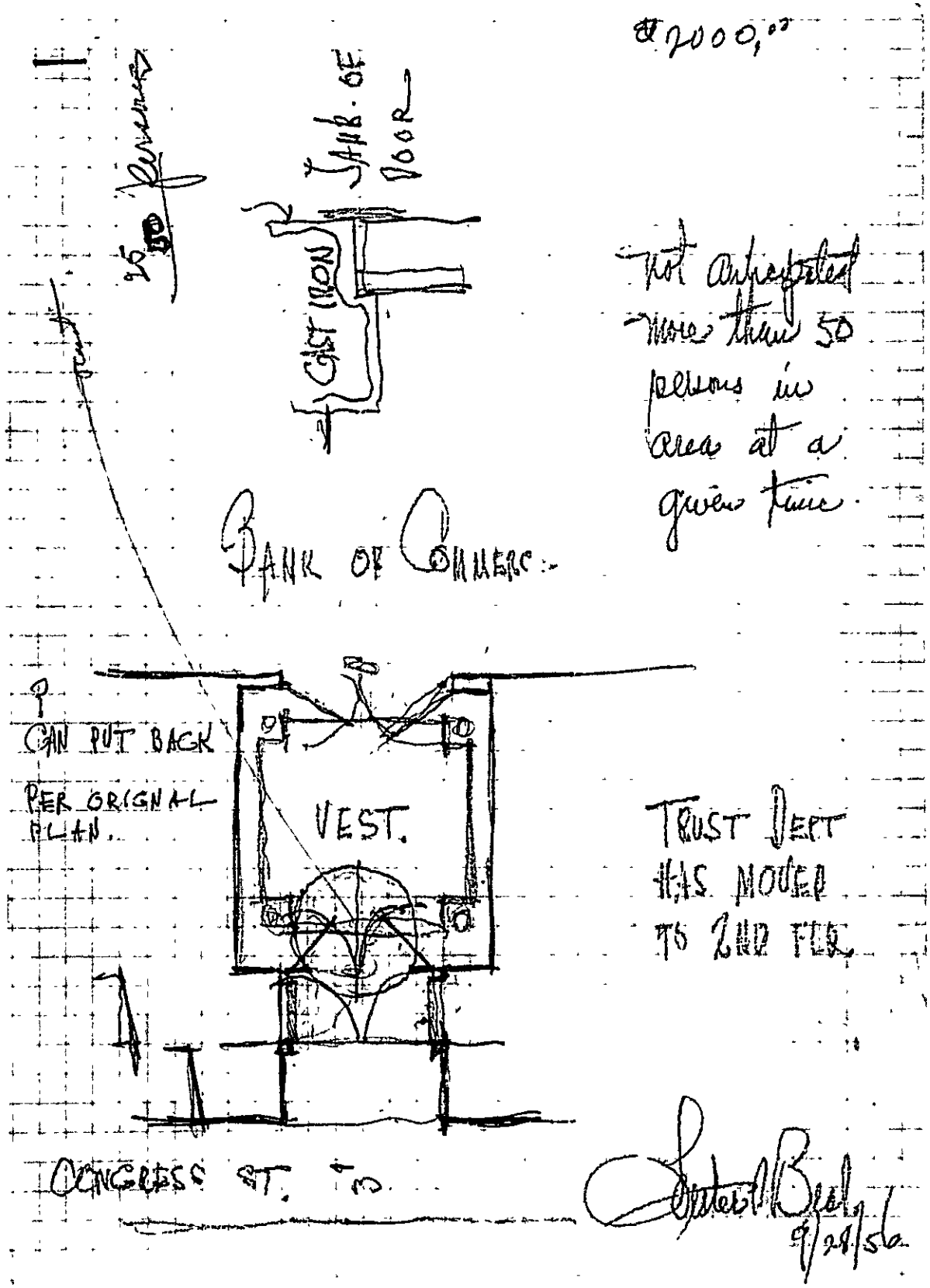
However, aside from any consideration as to compliance with regulations, it would appear undesirable to swing those doors inward in view of the fact that the new doors also to be installed at the inner opening of entrance are to swing outward as at present, thus setting up an awkward situation in the vestibule between the two doorways. Then, too, the general public have become pretty well educated to the need and desirability for entrance and exit doors in buildings such as this to swing outward so that, if the new doors were to be swung inward, it might be a cause for unfavorable comment and criticism.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

$2000.00



not anticipated more than 50 persons in area at a given time.

Robert Beck
9/28/56

INQUIRY BLANK

ZONE G

FIRE DIST. 1

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Date 10/1/56

Verbal
~~By Telephone~~

LOCATION 467 Congress St. OWNER

MADE BY Lestrad Beal TEL. 3-4047

ADDRESS 465 Congress Street

PRESENT USE OF BUILDING Bank & Offices NO. STORIES

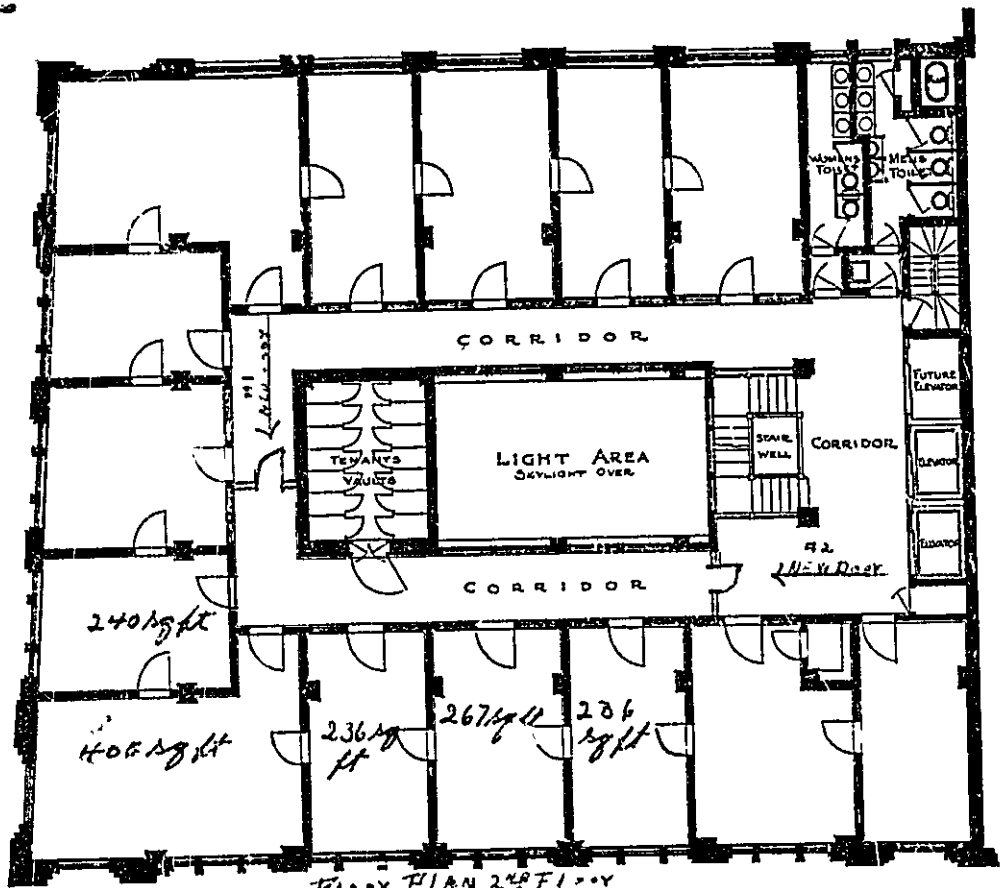
LAST USE OF BUILDING CLASS CONSTRUCTION

REMARKS

INQUIRY 1-Can revolving doors at entrance to banking quarters from Congress Street be replaced by a pair of doors swinging inward and located in existing opening?

ANSWER 1- See letter.

DATE OF REPLY REPLY BY



FLOOR PLAN 2ND FLOOR
467 Cour st (Furness) State Loan Co

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure 1st Class

Portland, Maine, April 11, 1956

00417
APR 1. 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 467 Congress Street Within Fire Limits? Dist. No.

Owner's name and address State Loan Co., 467 Congress St. Telephone

Lessee's name and address Telephone

Contractor's name and address Paul McLellan Co., 52 Marginal Way Telephone 2-5951

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Offices and stores No. families

Last use " No. families

Material masonry No. stories Heat Style of roof Roofing

Other building on same lot

Estimated cost $ 500. Fee $ 2.00

General Description of New Work

To construct two non-bearing partitions, second floor hallway, with metal studs and wood door and frame - doors to be equipped with vestibule locksets.

Mr. McLellan says partitions are to be plastered on metal lath - MS

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Paul McLellan Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

State Loan Co.

Paul McLellan Co.

Signature of owner By: Paul B. McLellan PH

INSPECTION COPY

C16-254-1M-Marks

Permit No. 56-412

Location 757 Ocean Ave

Owner State Oil Co.

Date of permit 4/12/56

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

4/23/56 - Work not started - Allen

5/7/56 - Same Allen

5/29/56 - Work not started - Allen

6/26/56 - Work has not been done - Allen

6/26/56 - This job will be done sometime in the future - Allen

6/28/56 - Check with Paul McLellan if job is not done

8/27/56 - Allen

Job finished Allen

July 12, 1956

RE - 467 Congress Street

Paul B. McLellan Co.
52 Marginal Way

Copy to State Loan Company
467 Congress Street

Gentlemen:-

We are unable to issue an amendment to Permit #56/417 changing construction of two partitions to be built across hallway in second story of building at above location from metal studs covered with wire lath and plaster to wood studs covered with gypsum wall board because in this building of First Class Construction the use of combustible material in construction of partitions bordering corridors or hallways is not permissible under Building Code regulations.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G 8/27/56
Amendment denied. Work done with incombustible material - AJS

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

01660
1 1952

Class of Building or Type of Structure _____

Portland, Maine, Sept. 30, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ *alter* ~~repair demolish move~~ *the following building* ~~structure equipment~~ *in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location 465 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's name and address State Loan Co., 465 Congress Street Telephone

Lessee's name and address Telephone

Contractor's name and address Paul B. McLellan Co., 52 Marginal Way Telephone 2-5951

Architect Specifications Plans yes No. of sheets 1

Proposed use of building ~~offices, stores etc.~~ No. families

Last use " " " No. families

Material masonry No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $500. Fee $2.00

General Description of New Work

To remove plaster and hollow tile partition and erect 2-2x3 studs partitions, 16" on centers, covered on both sides with sheetrock, on sixth floor as per plan.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Paul B. McLellan Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Permit Issued with Letter

State Loan Co.
Paul B. McLellan Co.

Signature of owner by: Paul B. McLellan

INSPECTION COPY

Permit No. 52/1660

Location 465 Cassa[illegible] St.

Owner State Lo[illegible]

Date of permit 10/1/52

Notif. closing-in

Inspn. closing-in

Final-Notif.

Final Inspn. 10-23-52.

Cert. of Occupancy issued

NOTES

AP 465 Congress Street

October 1, 1952

Paul B. McLellan Co.,
52 Marginal Way
The State Loan Co.,
465 Congress Street

Gentlemen:

Building permit for alterations on sixth floor of 465 Congress Street is issued to the contractor, herewith, but subject to the following. If these conditions upon which the permit is issued are not fully understood, or, if for some reason you feel unable to comply with them, it is important that the work shall not be started and that this office be contacted for adjustment.

The fragmentary plan accompanying the application seems to indicate that the Sawyer Agency will have only one entrance doorway from the corridor to its quarters, which is acceptable as far as means of egress is concerned. The photostat copy may not be fully understood, but it appears that it may be the intention to close two and perhaps three doorways in partitions either between the Agency quarters and the public corridor, or between the Agency quarters and the quarters of others.

While the use of the wooden stud partitions in this building required to be of fire proof construction, is allowable within the Agency quarters, it is not allowable to close any window or door openings in the walls or partitions surrounding the Agency quarters, with partitions or closures containing burnable materials. Such openings are required by Section 302al of the Building Code to be filled in using incombustible material only.

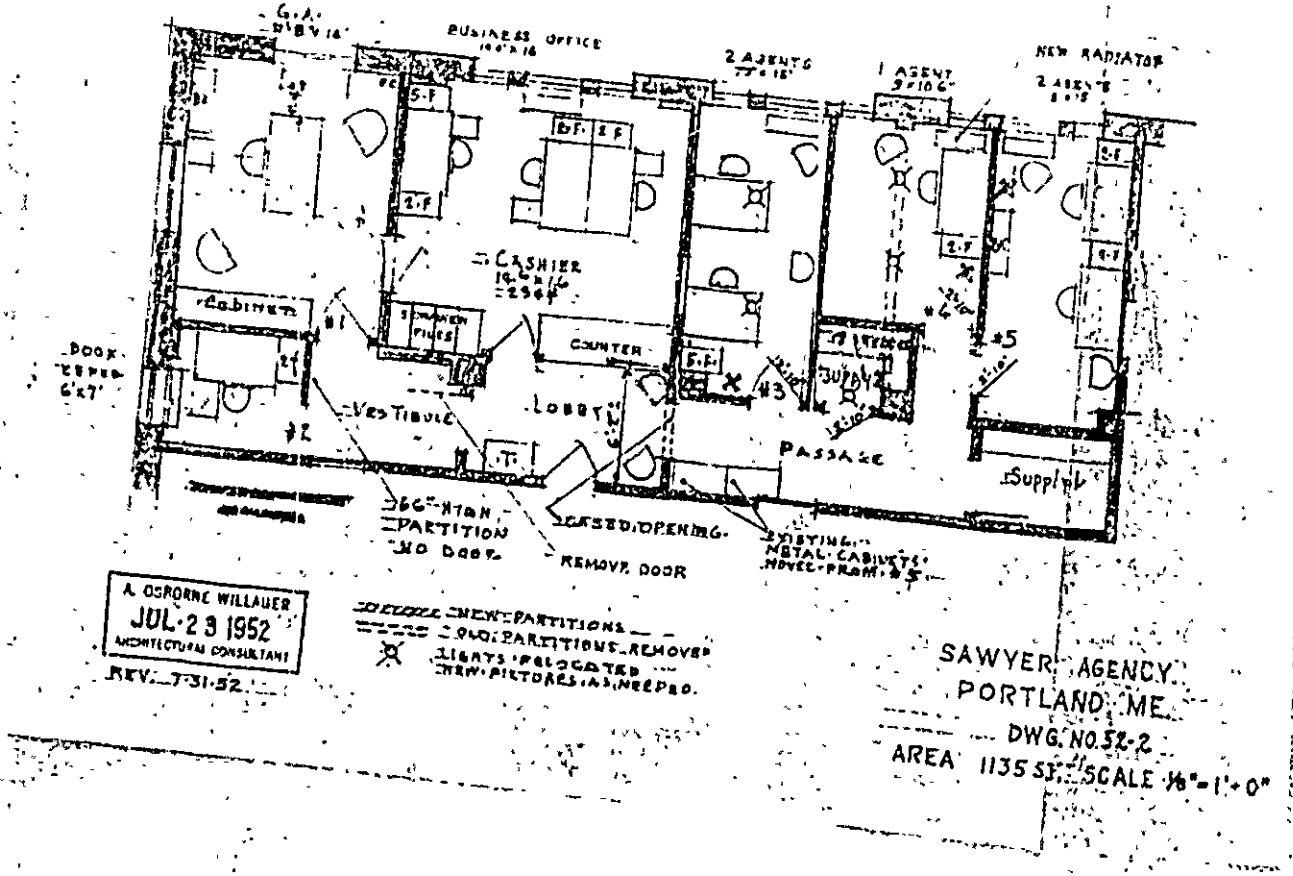
Wood doors, not exceeding 32 square feet in area, are allowable in these outlining partitions of incombustible material, but that is an allowance for efficient use and does not cover permanently closing such a wooden door against regular use.

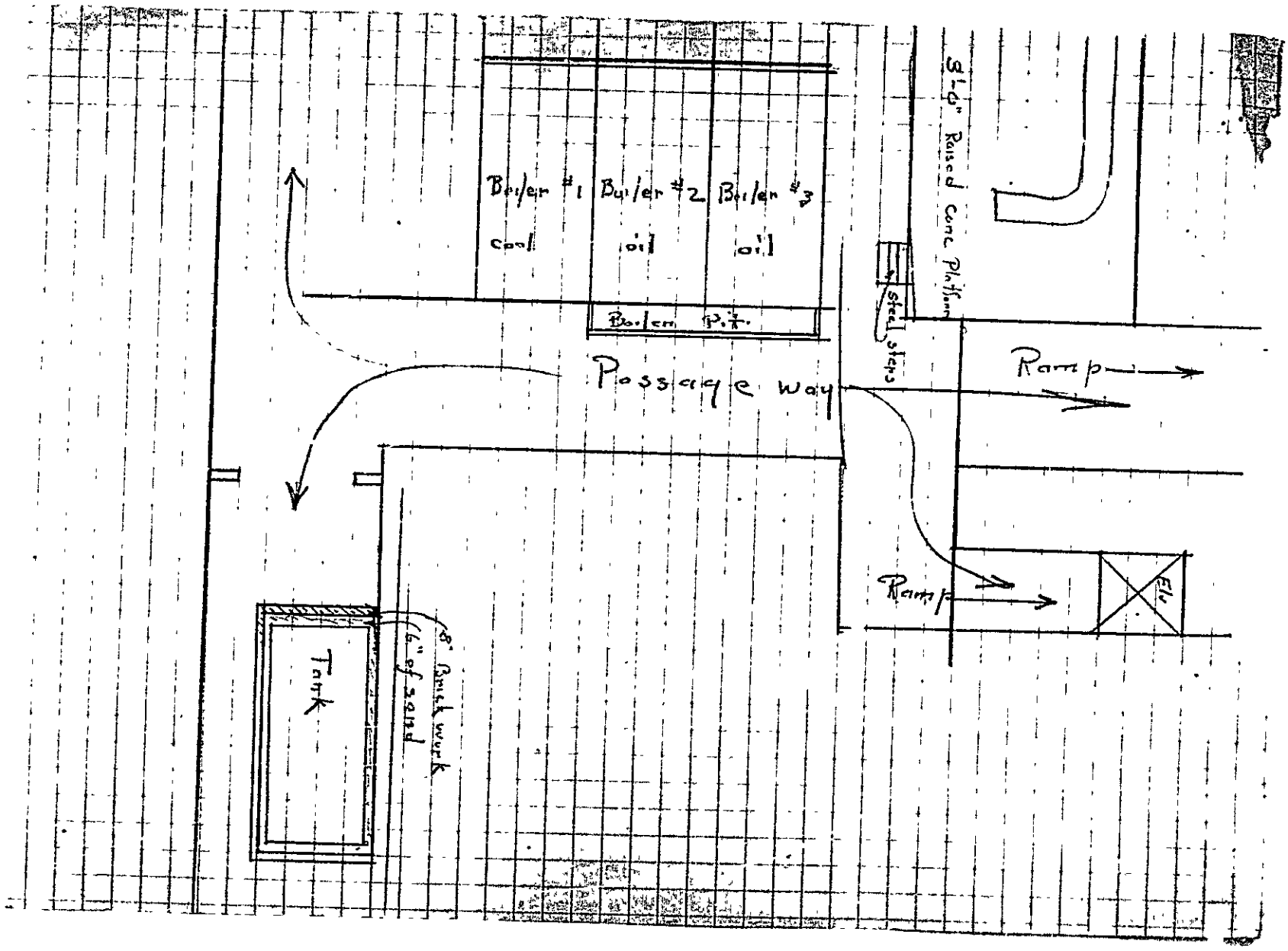
Of course, such existing wooden doors may be permanently closed and left closed, but if that were done, the right to use wooden stud partitions on the interior of the Agency would be forfeited.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B


G.A.
BUSINESS OFFICE
2 AGENTS
1 AGENT
NEW RADIATOR
2 AGENTS
CASHIER
CABINETS
FILES
COUNTER
DOOR
VESTIBULE
LOBBY
PASSAGE
SUPPLY
66" HIGH PARTITION NO DOOR
CLOSED OPENING
REMOVE DOOR
EXISTING METAL CABINETS MOVED FROM #5
NEW PARTITIONS
OLD PARTITIONS REMOVED
LIGHTS RELOCATED
NEW FIXTURES AS NEEDED
A. OSBORNE WILLAUER
JUL 23 1952
ARCHITECTURAL CONSULTANT
REV. 7-31-52
SAWYER AGENCY
PORTLAND, ME.
DWG. NO. 52-2
AREA 1135 SQ. FT. SCALE 1/8" = 1'-0"


Boiler #1
Boiler #2
Boiler #3
coal
oil
oil
Boiler Pit.
Passage way
Steel steps
Ramp
Ramp
Tank
8" Brick work
6" of sand

ATH
EJS
RMT
AJS
PH
DJ
HD
BS

7 Preble
AP 467 Congress Street-I

August 29, 1946

Gould-Farmer Company
Attention: Mr. E. T. Allen
70 Free Street
Portland 3, Maine

Subject: Application for permit to cover installation of two oil burners at 467 Congress Street including one 10,000 fuel oil tank.

Gentlemen:

The application states that the tank is to be in a coal bunker and is to be fireproofed which of course is necessary with such a large tank.

You have not given considerable information necessary to show compliance with Building Code requirements however, these requirements for the most part being standards set up by the Municipal Officers as Standards of the National Board of Fire Underwriters for the Installation of Oil Burning Equipment.

Because the fireproofing of the tanks represents a built-in structure within the building, a separate permit will be required to cover this construction work and with the application should be filed a plan showing the location of the coal bunker with relation to the balance of the building, the location of the proposed tank in the bunker, details, thicknesses and other design of the enclosure, shape and overall dimensions of the tank, and all other pertinent information controlled by Underwriters Standards. If you will refer to Section 6 of the Underwriter's Standards you will find the requirements for the fire-resistive enclosure. Note that if the tank is to be beneath the floor of the building and the floor above the tank does not have a safe sustaining load capacity of 150 pounds per square foot or more, the enclosing walls of the tank enclosure are required to be surmounted by a reinforced concrete slab, this slab to have a design strength of no less than 150 pounds per square foot. If this covering slab appears necessary, the slab should be designed by a competent engineer who should attach to the plan his statement of design as required by Section 10465 of the Building Code. Depending upon the size of the tank and the amount of sand involved will be the question of reinforcement of the 8-inch enclosing walls.

Even if the reinforced concrete cover is not required, the regulations call for at least one foot in depth of sand over the top of the tank. Inasmuch as the tank will have to support the load of this sand at least and perhaps the load of the wet concrete before it has set, if the cover is required, the plan should carry with it the structural design of the tank to show it capable of safely withstanding these loads, whatever they may turn out to be, within the limits set by the Building Code.

No doubt at least one manhole will be needed in the top of such a large tank to permit of cleaning out on occasion, and, if the concrete cover is required, the plan should show the proposed extension of the manhole upward to the upper surface of the slab, and the indication that gaskets will be used which are approved as being resistant to deterioration if exposed to oil fumes.

August 19, 1946

Note from Section 11 of the Underwriters Standards that the minimum thickness of the shell is one-quarter inch (nominal).

Size of the vent pipe should be shown on the application for the oil burner permit.

While the Municipal Officers in adopting the Underwriters Standards have set up an exception which does not require tests of tanks and piping as called for by Section 10 of the regulations, especially if a concrete cover has to be provided upon the enclosure, it is strongly recommended that these tests be applied before sand is placed around the tank. On August 19, 1946, the Municipal Officers adopted an exception to Section (c) of the Underwriters Standards, the exception reading as follows:

"In lieu of sand or earth fill required between masonry wall enclosure and fuel oil tanks in buildings the tank may be located in a room or vault cut off from the balance of the building by separations of no less than two-hour fire resistance, the vault to be of sufficient size to afford room for inspection and, if necessary, repairs of all parts of tank and piping, and the vault to be equipped with mechanical ventilation adequate to purge the vault and so arranged that the fan must be started before the access door to the vault can be opened."

Very truly yours,

Inspector of Buildings

MeD/D

CC: State Loan Company
407 Congress Street

C. H. Bailey & Son
C42½ Forest Avenue

Initial test's engineers report attesting of design and required thickness that 12' of and is to be on top

strength of shell alone tank will be considered to as at least 1.5 of safety by complete design within the closures of tank plates

OFFICE TEL. 2-7623
RES. TEL. 4-1873

ESTABLISHED IN 1925

AMOS A. WITHEE, MGR

PEERLESS WELDING CO., INC.
WELDING ENGINEERS
41-45 UNION STREET
PORTLAND 3, MAINE

September 3, 1946

RECEIVED
SEP 6 1946
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

Gould-Farmer Co. of Me. Inc.,
70 Free Street
Portland Maine

Att: C. E. Bartlett.

Gentlemen:

The tank which we propose for the Fidelity Building, Congress St., Portland, Maine, will have a capacity of approximately 5040 gallons and will be constructed in accordance with drawing No. 16475½.

The above tank will be of all welded construction of ¼" steel plate with reinforcements of 2" x 2" x ¼" structural steel angle and 2" x ¼" steel bar. Inside dimensions to be approximately 20' x 6' x 6' and to include an 18" diameter flanged manhole with bolted tight cover plate, one 8" diameter fill coupling and six additional 2" full couplings, all as shown by above drawing.

The testing of the above tank shall comprise sealing all openings applying air pressure to the interior not exceeding 3 pounds to the square inch gauge and thoroughly inspecting all welded joints with soap and water solution for leaks, this test to be completed when all [illegible], if any, are welded to seal.

We certify that the construction of this tank is suff[illegible] strong to contain the 5040 gallons of oil and to sustain [illegible] of sand over the top.

Very truly yours,

Peerless Welding Co. [illegible]
Amos A. Withee Mgr.
Amos A. Withee

8/31/46

Mr. Bartlett

Land Farmer - to

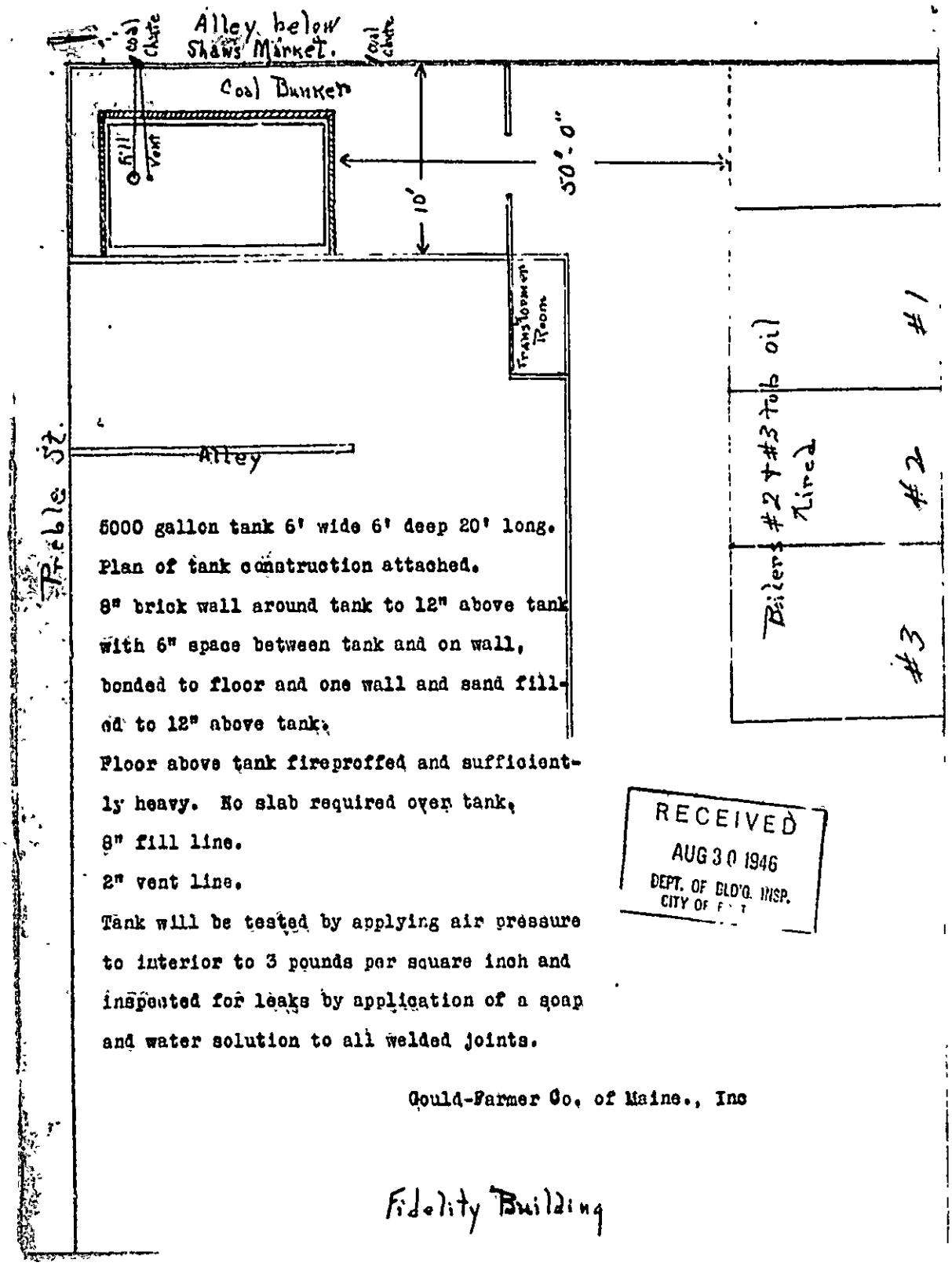
furnish information

requested in Barton

letter of 8/29/46, attached

to application

Ford



5000 gallon tank 6' wide 6' deep 20' long.
Plan of tank construction attached.
8" brick wall around tank to 12" above tank with 6" space between tank and on wall, bonded to floor and one wall and sand filled to 12" above tank.
Floor above tank fireproffed and sufficiently heavy. No slab required over tank.
8" fill line.
2" vent line.
Tank will be tested by applying air pressure to interior to 3 pounds per square inch and inspected for leaks by application of a soap and water solution to all welded joints.

Gould-Farmer Co. of Maine., Inc

Fidelity Building

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
01737
SEP 13 1946

Class of Building or Type of Structure First

Portland, Maine, August 30, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ~~469 Congress Street~~ 7 Preble Street Within Fire Limits? yes Dist. No. 1

Owner's name and address State Loan Co, 467 Congress Street Telephone

Lessee's name and address Telephone

Contractor's name and address Gould-Farmer Co. of Maine, ~~[illegible]~~ 79 Free Street Telephone

Sub-Contractor C. H. Gailey & Son, 643½ Forest Ave Specifications Plans No. of sheets

Architect No. families

Proposed use of building Bank, Offices No. families

" "

Last use

Memorandum from Department of Building Inspection, Portland, Maine

7 Preble Street—To construct 3-inch brick wall around three sides of 500 gallong tank—for State Loan Company by C. H. Gailey & Son—9/13/46

To Owner & Builder

Permit issued subject to following conditions:

Slab to be at least five inches thick instead of 4½ inches as shown on plan.
Gasket resistant to oil fumes to be used for manhole cover.

WJ/D

CC: State Loan Co., 467 Congress Street

C. H. Gailey & Son, 643½ Forest Avenue (*Signed*) Warren McDonald
Inspector of Buildings

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size? Size

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

State Loan Co
Gould-Farmer Co. of Maine

Signature of owner by: E. E. Bartlett

INSPECTION COPY

(3)

(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
01737
SEP 13 1946

Other buildings on same lot

Estimated cost $ 550

Fee $ 2.00

General Description of New Work

To construct 8" brick wall around three sides of 5000 gal oil storage tank in coal bunker, ~~Wall to extend 12" above tank, bonded to floor and wall and sand filled to 12" above tank.~~ Plan of tank construction and location of tank attached.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?____ Is any electrical work involved in this work?____

Height average grade to top of plate ____ Height average grade to highest point of roof____

Size, front____ depth____ No. stories____ solid or filled land?____ earth or rock?____

Material of foundation____ Thickness, top____ bottom____ cellar____

Material of underpinning____ Height____ Thickness____

Kind of roof____ Rise per foot____ Roof covering____

No. of chimneys____ Material of chimneys____ of lining____ Kind of heat____ fuel____

Framing lumber—Kind____ Dressed or full size?____

Corner posts____ Sills____ Girt or ledger board?____ Size____

Girders____ Size____ Columns under girders____ Size____ Max. on centers____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor____, 2nd____, 3rd____, roof____

On centers: 1st floor____, 2nd____, 3rd____, roof____

Maximum span: 1st floor____, 2nd____, 3rd____, roof____

If one story building with masonry walls, thickness of walls?____ height?____

If a Garage

No. cars now accommodated on same lot____, to be accommodated____ number commercial cars to be accommodated____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

State Loan Co.
Gould-Farmer Co. of Maine

Signature of owner by: [signature]

INSPECTION COPY

Permit No. 46/1737

Location 7 Preble St

Owner State Loan Co

Date of permit 9/13/46

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 1-18-47 Rpnt

Cert. of Occupancy issued

P-46-1738 NC

9-19-46 Enclosure heat
Frame and covered wire
sand. Chicken Yard.
Said elev to fire Department.
That might be affected
by the fire escape
not blocking the heat
flues, which is located
between Gray-Marsden
Shaws. Rpnt

9-21-46 Heat has been
changed so fire escape
front door, it would
be on when leaved
Rpnt

10-18-46 Concrete
floor joist for
main fire room.

and not an
rubber gasket
had been provided.
by remote control.
Electricians exchange
wiring after that
switch will be
provided. Rpnt

PERMIT ISSUED
01775
SEP 17 1946

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 28, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the laws of State, the Building Code of the City of Portland, and the following specifications:

Location Fidelity Building 467 Congress St. Use of Building Business No. Stories Existing "

Name and address of owner of appliance State Loan Co, 467 Congress St. Telephone 3-8187

Installer's name and address Tault-Farmer Co, 707 Free St.

General Description of Work

To install 2 Oil burners 125 H.P. H.R.T. boilers (steam)

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Basement Type of floor beneath appliance Concrete

Kind of fuel

If wood, how protected?

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

Rated maximum demand per hour

If gas fired, how vented?

IF OIL BURNER

Name and type of burner Petro W-7-A H Labelled by underwriters' laboratories? yes

Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Top

Type of floor beneath burner Concrete Number and capacity of tanks one 500 gal.

Location of oil storage Coal bunker

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed? one

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

Rated maximum demand per hour

If gas fired, how vented?

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.50 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Tault-Farmer Co
by E. T. Allen

Signature of Installer

Insp. FILE COPY

Permit No 46/17715

Location 7 Preble St

Owner State Fuel Co

Date of permit 9/17/46

Approved 1-18-47

P-46/1737 NOTES

1 Fill Pipe ✓

2 [illegible]

3 [illegible]

4 Burner [illegible] & Supp[illegible] ✓

5 Name & [illegible] ✓

6 [illegible] ✓

7 [illegible]

8 [illegible]

9 Piping [illegible] & Connection ✓

10 [illegible] ✓

11 Capac[illegible] ✓

12 Tank [illegible] ✓

13 Tank Pl[illegible] ✓

14 [illegible] ✓

15 [illegible]

16 [illegible]

A 467 Congress St.-I

December 1., 1945

Brown Construction Company
562 Congress Street
State Loan Company
467 Congress Street
Killer & Beal Inc.
465 Congress Street

Subject: Building permit for alterations in existing air shaft at 467 Congress Street to construct storage vaults at certain floor levels

Gentlemen:

Above permit is issued herewith to the contractors.

The attention of the owners of the building is called to the fact that with the completion of this work, consideration of the designer's figures as to the strength of the double web plate girders at second floor level indicates that the girders will be supporting all of the loads that they ought to be called upon to support, the stress in the steel in the plate girders being up to the maximum allowable of 16,000 pounds per square inch or perhaps slightly over that figure.

It appears from our record here that at the present time there are storage vaults at second and third floor levels and the current permit calls for them at the fourth, fifth and sixth floor levels. Thus it appears that if at some later date the owners should want to construct storage vaults at other floor levels or to construct floors at any levels over the balance of the upper shaftway, something would have to be done to strengthen the plate girders.

This building is one of First Class Construction and all of the structural steel would normally require fireproofing. I do not know whether or not the present steel in the building is fireproofed, but certainly the new steel should be to satisfy the Building Code. You plan a ceiling plastered on metal lath below the new floor, and according to the last item in Schedule C of Section 3028 of the Building Code, this ceiling may serve the purpose of fireproofing of the new steel floor beams if the plaster is made 2½ inches thick, or according to Section 3028.5 of the Building Code if the incombustible furring of the ceiling were made such that there would be at least one inch free air space between the upper side of the ceiling and the bottom flange of the beams, the thickness of plaster could be ¾ inch less, thus making the thickness of the ceiling one inch.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings

WMcD/C

P.S. Before each of the new floors are placed into use for storage, there should be posted in each room a permanent sign stating clearly the maximum allowable live load per square foot of the floor which I believe is 100 pounds per square foot.

Killer & Beal, Inc.

Gentlemen: Because the owner is in a hurry we are issuing the permit without the required statement of design. Please have Mr. Hutchins or you, yourself, furnish the usual stamp

(G) GENERAL BUSINESS (O)

APPLICATION FOR PERMIT

1777
DEC 12

Class of Building or Type of Structure Second Class

Portland, Maine, December 1, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair demolish~~ the following building structure equipment in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 467 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner's name and address State Loan Company, 467 Congress Street Telephone

Lessee's name and address Telephone

Contractor's name and address Brown Construction Co., 562 Congress St. Telephone 2-3893

Architect Miller & Beal, Inc. Specifications none Plans Yes No. of sheets 2

Proposed use of building Offices No. families

Last use " No. families

Material Masonry No. stories 10 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 1500. Fee $ 3.75

General Description of New Work

To partition off room 12'x14' on 4th, 5th and 6th floors, in existing air shaft for new storage room as per plan.

There are already similar storage rooms in second and third stories

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

State Loan Company
Brown Construction Co.

Signature of owner By: Martin G. Brown

SECTION COPY

Permit No 45/1777

Location 467 Congress St

Owner State Loan Co

Date of permit 12/12/45

Notif. closing-in

Inspn. closing-in

Final Notif

Final Inspn 1/7/47

Cert. of Occupancy issued None

NOTES

12/21/45 [illegible]

[illegible]

1/18/45 - Work well

[illegible] way - [illegible]

FILED

(C) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 2

Class of Building or Type of Structure First Class 150

Portland, Maine, March 1, 1915

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 167 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner's or ~~Lessee's~~ name and address National Bank of Commerce Telephone

Contractor's name and address Brown Construction Co., 562 Congress St. Telephone 2-3893

Architect Plans filed yes No. of sheets 1

Proposed use of building Bank and offices No. families

Other buildings on same lot Fee $ 2.00

Estimated cost $ 550.

Description of Present Building to be Altered

Material granite No. stories 10 Heat Style of roof Roofing

Last use Bank and offices No. families

General Description of New Work

To partition off room 12'x14' on third floor, center, for new storage room as per plan. (To be framed in existing air shaft)

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kir Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner National Bank of Commerce
Brown Construction Co

Inc.

~~ORIGINAL~~

By: D. C. Evans

Permit No. 45/150

Location 462 Congress St

Owner National Bank of Com.

Date of permit 3/16/45

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4/20/45

Cert. of Occupancy issued None

NOTES

3/30/45 - No work started - OK

4/6/45 - Work under way - OK

AP 467 Congress St.

ATH
RRF
RUT
AJS
TS

January 15, 1945

National Bank of Commerce
467 Congress Street
Portland 3, Maine

Subject: Floor load sign
in new second story store

Gentlemen:

Section 505-a-10 of the Building Code provides that [illegible] this new storage room is put to use, a permanent sign [illegible] in the room, clearly legible from all parts of the room [illegible] thereon the maximum safe live load per square foot [illegible] is capable of supporting,--110 pounds as determined by [illegible].

The sign should bear a statement to the effect [illegible] using the room can understand it, not [illegible]

Very truly yours,

Inspector of Buildings

FdcD/S

CC: Brown Construction Co.
567 Congress Street

Miller & Buck, Inc.
465 Congress Street

Brown Construction Co.

You applied for two separate permits for this same job, the issuance of the permit being held over after application of December 12 for more information and a change of design and materials. A fee of one dollar was paid with the first application and a fee of two dollars with the second one. If you will return the receipt for the fee with the original application not later than January 29, 1945, we can refund that fee of one dollar by voucher.

Warren McDonald

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. B8E ISSUED

Class of Building or Type of Structure First Class

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, January 11, 1945

The undersigned hereby applies for permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code o, the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 467 Congress Street — Within Fire Limits? yes — Dist. No. 1

Owner's or ~~Lessee's~~ name and address National Bank of Commerce — Telephone

Contractor's name and address Brown Construction Co., 562 Congress St. — Telephone 2-3893

Architect — Plans filed yes No. of sheets 1

Proposed use of building Bank and offices — No. families

Other buildings on same lot

Estimated cost $ 550. — Fee $ 2.00

Description of Present Building to be Altered

Material granite — No. stories 10 — Heat — Style of roof — Roofing

Last use Bank and offices — No. families

General Description of New Work

To partition off room 12'x14" on second floor, center, for new storage room as per plan

(This room to be framed in existing air shaft)

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work.

Is any electrical work involved in this work? — Height average grade to top of plate

Size, front — depth — No. stories — Height average grade to highest point of roof

To be erected on solid or filled land? — earth or rock?

Material of foundation — Thickness, top — bottom — cellar

Material of underpinning — Height — Thickness

Kind of roof — Rise per foot — Roof covering

No. of chimneys — Material of chimneys — of lining

Kind of heat — Type of fuel — Is gas fitting involved?

Framing lumber—Kind — Dressed or full size?

Corner posts — Sills — Girt or ledger board? — Size

Material columns under girders — Size — Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x6 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? — height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Work require removal or disturbing of any shade tree on a public street? no

In charge of the above work a person competent to see that the State and City requirements pertaining thereto are complied

Signature of owner By: National Bank of Commerce

PH
ATH
HRF
RMT
TMN
AJS
BS

465 Congress Street

December 18, 1944

Brown Construction Co.
562 Congress Street,
Portland, Maine

Subject: Application for building permit to cover alterations at 465 Congress Street

Gentlemen:

This building is of such a height as to require that it be of First Class Construction. The allowances of parts that may be of combustible construction in such a class, as contained in Section 30[illegible]-a of the Building Code do not include such a part as this ceiling which you propose over the new room. Evidently this ceiling would have to be of incombustible material, including the framing of it. On that basis please have the plan revised and furnish a blueprint of the revision so that we may be assured that all concerned have a copy of the information filed here.

At the same time it is necessary that whoever has investigated this existing construction to establish the fact by the usual design methods that the existing framing and terra cotta floor slabs are adequate to take the new loads of the hollow block partition and the new loads of storage upon the floor, attach his personally signed statement of design to the print indicating that fact as per Section 104-b-3 of the Building Code.

There is a temptation in a building like this to say that the framing such as this is like the other floor framing and therefore adequate, since the other floor framing has withstood the test all these years. It is to be borne in mind, however, that if this new room is to be used for storage it may at some future time be used for quantities of paper or records, closely packed even though it is not to be so used just now. Few commodities can deliver heavier live loads on a floor than paper closely packed.

Very truly yours,

Inspector of Buildings

MMOD/H
CC: National Bank of Commerce
465 Congress Street

APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure First Class

Portland, Maine, December 12, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 465 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's or lessee's name and address National Bank of Commerce 465 Congress St. Telephone _____

Contractor's name and address Brown Construction Co., 562 Congress St. Telephone 2-3893

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Offices No. families _____

Other buildings on same lot _____

Estimated cost $ 200. Fee $ 1.00

Description of Present Building to be Altered

Material granite No. stories 12 Heat _____ Style of roof _____ Roofing _____

Last use Offices No. families _____

General Description of New Work

To partition off storage room 12' x 12' at second floor level in existing light shaft
6" cinder block partition - as per plan
. change window to door to lead into same

Amended

Noted that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the contractor.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of New Work

Plumbing work involved in this work? _____

Electrical work involved in this work? _____ Height average grade to top of plate _____

Front _____ Depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner National Bank of Commerce
By Brown Construction Co.
By H. C. Brown

Permit No. 4 8/ 3.

Location 465 Congress St

Owner Nat'l Bank of Commerce

Date of permit 12/15/44

Notif/closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/23/45

Cert. of Occupancy issued None

NOTES

12/14/44 - This room is to be partitioned [illegible] at bottom of [illegible] which is [illegible] portion of the [illegible] [illegible] [illegible] ~~[illegible] so built [illegible] [illegible] [illegible] wall [illegible] [illegible] [illegible] additional dead load [illegible] (40x1'x3') 360# per running [illegible] [illegible] [illegible] [illegible]~~ [illegible] [illegible] [illegible] [illegible] the same size [illegible] --

[illegible] new [illegible] this wall for [illegible] 2 or 3 stories) probably [illegible] the new partition will not overload the beam beneath it.

Sect. 2?? F-1 of Bldg Code requires that [illegible] similar as for walls [illegible] fire resistance, while [illegible] requirements of First Class Construction [illegible] wood frame partitions are not permissible so [illegible] [illegible] evidently meet both of these requirements. I can find in Sect. 201-a of Bldg Code (requirements for First Class Construction) no allowance that would permit the construction of the ceiling proposed of 2x8's (shown [illegible] indicated) covered top and bottom with metal

[illegible] ceiling [illegible] of shaft as such is required to be of 2 hour fire resist and. At least it should be of one hour resist and with no combustible material used. [illegible]

1/31/45 - New partition built together with new doorways and ceiling is framed + covered with metal lath ready for plastering [illegible]

2/23/45 - Work done - AJL

CW 2
465 Cong

CITY OF PORTLAND, MAINE

DEPARTMENT OF BUILDING INSPECTION

Record of Inquiry

Verbal in person
~~By telephone~~

Date 1/7/42

Location National Bank of Commerce, 465 Congress Street

Made by Harry Meers of John Meers & Son

Inquiry 1 Can a temporary oil cloth "V" shaped sign advertising War Savings Bonds be placed on marquee over main entrance to bank?

2 Can sign of inflammable material be built on marquee if it does not follow the lines of marquee

3

Answer 1 No. Oilcloth sign required to be flat against building in Fire District #1. No signs of inflammable material allowed on marquee.

2 Would have NFPA rule on question

3 See No 2

Told him would have to get fireproof material or else chemical

Reply by M. A. J.

PERMIT ISSUED

Permit No. 11195
APR 18 1941

APPLICATION FOR PERMIT

Class of Building or Type of Structure First Class

Portland, Maine, April 18, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 465 Congress Street Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address National Bank of Commerce, 465 Congress St. Telephone

Contractor's name and address Purnell McLellan, 491½ Congress St. Telephone 2-5951

Architect Plans filed no No. of sheets

Proposed use of building Bank, Offices No. families

Other buildings on same lot

Estimated cost $ 25. Fee $ .25

Description of Present Building to be Altered

Material brick terra cotta Heat Style of roof Roofing

Last use Bank and Offices No. families

General Description of New Work

To remove 9' section of terra cotta partition between Rooms 902-903, 9th floor.

NOTIFICATION OF CONSTRUCTION

CERTIFICATE OF OCCUPANCY

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner National Bank of Commerce

By Philip M. Dunham

INSPECTION COPY