

CITY OF PORTLAND

December 12, 1989

Robert F. Macdonald
Ox. d Development Associates
100 Middle Street
P.O. Box 406 DTS
Portland, Maine 04112

Re: Chestnut Parking Garage

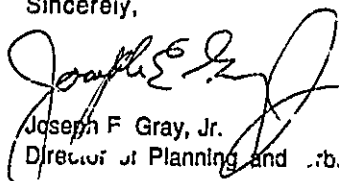
Dear Mr. Macdonald:

Thank you for your recent letter of November 30, 1989, requesting an extension to your site plan approval for the Chestnut Street Parking Garage at Chestnut Street. I understand your request is based on the fact that market conditions are soft.

In my capacity as Director of Planning and Urban Development for the City of Portland, I am granting your request to extend your site plan approval to June 13, 1989.

If you have any questions please do not hesitate to call.

Sincerely,



Joseph F. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Maureen O'Meara, Senior Planner
✓ P. Samuel Hoffses, Chief Planner
William Giroux, Zoning Enforcement Officer
Paul Niehoff, Materials Engineer
Natalie Burns, Associate Corporation Counsel
Approval Letter File

PERMIT 002300 CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Arrow Realty 772-6032

Address: 168 Lancaster St. Portland, Maine 04101

LOCATION OF CONSTRUCTION Corner Chestnut & Lancaster St.

CONTRACTOR: Arrow Realty SUBCONTRACTORS: _____
198 Lancaster St. (Mail permit)

ADDRESS: _____
 Est. Construction Cost: \$15,00 Type of Use: Parking Lot

Past Use: Residential

Building Dimensions: L. _____ W. _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
Conversion - Explain to install parking lot as per plan

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sill Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only

Date July 17, 1989 Subdivision: Yes / No _____
 Inside Fire Limits _____ Name _____
 Bldg Code _____ Lot _____
 Type Limit _____ Block _____
 Estimated Cost \$15,000 Permit Expiration: _____
 Value/Structure _____ Ownership: _____
 Fee \$95.00 _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 4. Other _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required 00 Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type: _____
 2. Pool Size _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District F-2 Street Frontage Required _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt _____ Special Exception _____
 Other (Explain) _____
 Date Approved WDA 7-17-89

Permit Received By Latini Date July 17, 1989

PERMIT ISSUED WITH LETTER

PLOT PLAN



FEES (Breakdown From Front)	Type	Inspection Record	Date
Base Fee \$ 95.00			/ /
Subdivision Fee \$			/ /
Site Plan Review Fee \$			/ /
Other Fees \$			/ /
(Explain)			/ /
Late Fee \$			/ /

COMMENTS For parking lot as per plan *done to lot*
8/14/89 *work started; Curbs work etc.*
6/18/90 *Completed as per plan*

Signature of Applicant *Shawn Palab* Date July 17, 1989

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

July 18, 1989

Arrow Realty
168 Lancaster Street
Portland, Maine 04101

Re: Corner of Chestnut and Lancaster Street

Dear Sir:

Your application to install parking lot has been reviewed and a permit is herewith issued subject to the following requirements:

Site Plan Review Requirements

Inspection Division	Approved	W. Giroux
Planning Division	Approved	Ms. M. O'Meara
Public Works	Approved	S. Harris

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in dark ink, appearing to read "P. Samuel Hoffses".

P. Samuel Hoffses
Chief, Inspection Services

cc: W. Giroux, Zoning Enforcement Officer
M. O'Meara, Planning
S. Harris, Public Works

6-19-89

\$400

Jim Collins -

will try + find
his copy + send
copy to me.

Steve Harris - looking
into it.

~~XXXXXXXXXXXXXXXXXXXX~~

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant Arrow Realty Date October 20, 1987

Mailing Address 198 Lancaster Street Address of Proposed Site Corner of Lancaster & Chestnut

Proposed Use of Site parking lot Site Identifier(s) from Assessors Maps XXXX 26-A

Acreage of 1 / Ground Floor Coverage _____ Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation _____

Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

COMPLIES

COMPLIES CONDITIONALLY

DOES NOT COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: OK W.P.D. - 7-18-89

 SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT— ORIGINAL



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

November 10, 1987

Mr. Thomas Cardente
Arrow Realty
198 Lancaster Street
Portland, Maine 04101
RE: Lancaster Street/Chestnut Street Parking Lot

Dear Mr. Cardente:

In our preliminary review of your site plan, the following information has not yet been submitted and is needed for a minor site plan review.

- Telephone number of applicant;
- Vicinity map;
- Boundary survey showing metes and bounds description;
- Total land area;
- Existing and proposed topographic contours;
- Location of abutting buildings and structures;
- Location and description of any easements;
- Location of curbs and sidewalks;
- Landscape plan, including fences, plant list and sizes and screening;
- Lighting plan;
- Stormwater management plan; and
- Location and sizes of existing utilities

In addition, the City Traffic Engineer is requesting as part of his preliminary review that granite curbing and sidewalk be installed along the abutting streets.

I will be happy to provide any additional comments on your project once the above information is submitted on a standard size site plan (6 copies). If you have any questions, please contact me at 775-5451, ext. 491. For your information, I have also included a copy of the Site Plan Ordinance.

Sincerely,

Maureen O'Meara

Maureen O'Meara
Staff Planner

MO/eg
Enc.

cc: Alexander Jaegerman, Chief Planner
Robert Roy, Planning Engineer
William Bray, City Traffic Engineer



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

November 10, 1987

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Arrow Realty
198 Lancaster Street
Portland, Maine 04101
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Sincerely,

Maureen O'Meara

Maureen O'Meara
Staff Planner

MO/eg
Enc.

cc: Alexander Jaegerm, Chief Planner
Robert Roy, Planning Engineer
William Bray, City Traffic Engineer

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant Arrow Realty Date October 20, 1987

Mailing Address 118 Lancaster Street Address of Proposed Site Corner of Lancaster & Chestnut

Proposed Use of Site parking lot BLN26-A
 Site Identifier(s) from Assessors Maps

Acres of Site / Ground Floor Coverage 1 / Zoning of Proposed Site F-2

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERNS	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Maurice O'Meara 10/28/87
 SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

Processing Form

Applicant: Arrow Realty Date: October 20, 1987

Mailing Address: 198 Lancaster Street Address of Proposed Site: Corner of Lancaster & Chestnut

Proposed Use of Site: Parking lot Site Identifier(s) from Assessors Maps: Block 26-A

Acres of Site / Ground Floor Coverage: _____ Zoning of Proposed Site: I-2

Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors: _____

Board of Appeals Action Required: () Yes () No Total Floor Area: _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

- Major Development — Requires Planning Board Approval: Review Initiated
- Major Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Maura C. Meana 6/8/87
SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
 Processing Form

Applicant: _____ Date: October 20, 1987
 196 Commercial St. _____ Corner of Commercial and _____
 Mailing Address _____ Address of Proposed Site _____
 Proposed Use of Site _____ Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Floor Coverage _____ Zoning of Proposed Site _____
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors _____
 Board of Appeals Action Required: () Yes () No Total Floor Area _____
 Planning Board Action Required: () Yes () No
 Other Comments: _____
 Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) _____


APPROVED
 APPROVED
 CONDITIONALLY
 DISAPPROVED

TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)


 SIGNATURE OF REVIEWING STAFF/DATE 10/21/87

PUBLIC WORKS DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

ALTON #0107

October 20, 1987

Applicant
100 Lancaster St.

Date
Christina C. Lancaster and Christ-out

Mailing Address
parking lot

Address of Proposed Site

Proposed Use of Site

Site Identifier(s) from Assessors Maps

Acres of Site / Ground Floor Coverage

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors

Board of Appeals Action Required: () Yes () No

Total Floor Area

Planning Board Action Required: () Yes () No

Other Comments:

Date Dept. Review Due:

FIRE DEPARTMENT REVIEW

(Date Received)

APPROVED

APPROVED
CONDITIONALLY

DISAPPROVED

ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMMSE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER
✓	✓			✓		✓	

CONDITIONS
SPECIFIED
BELOW

REASONS
SPECIFIED
BELOW

REASONS:

Attach Separate Sheet (if Necessary)

Michael Johnson
SIGNATURE OF REVIEWING STAFF / DATE
FIRE DEPARTMENT COPY

PERMIT # _____ CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Arrow Realty
 Address: 198 Lancaster Street
 LOCATION OF CONSTRUCTION: Corner of Lancaster & Chestnut
 CONTRACTOR: Owner SUBCONTRACTORS: _____

ADDRESS: _____
 Est. Construction Cost: _____ Type of Use: parking lot
 Permitted Use: _____
 Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____
 Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
 Conversion - Explain _____

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lolly Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size _____
 6. Floor Sheathing Type: _____ Size _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Post Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only	
Date: <u>10/20/87</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name _____
Bldg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost _____	Permit Expiration: _____
Value/Structure _____	Ownership: _____ Public _____ Private _____
Fee _____	

Ceiling:
 1. Railing Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 4. Other _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: _____ Street Frontage Req: _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt. _____ Special Exception _____
 Other (Explain) _____
 Date Approved: OK WA 7-18-89

Permit Received By: Kandi Cole

Signature of Applicant: [Signature] Date: 10/20/87

Signature of CEO: _____ Date: _____

Inspection Dates: _____

PERMIT # _____ CITY OF Portland - BUILDING PERMIT APPLICATION

MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Arrow Realty

Address: 128 Lancaster Street

LOCATION OF CONSTRUCTION Corner of Lancaster & Chestnut

CONTRACTOR: OWNER SUBCONTRACTORS: _____

ADDRESS: _____

Est. Construction Cost: _____ Type of Use: parking lot

Permit Use: _____

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain _____

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floors:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only	
Date: <u>10/20/87</u>	Subdivision: Yes / No _____
Inside Fire Limits _____	Name _____
Edg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost _____	Permit Expiration: _____
Value/Structure _____	Ownership: _____
Fee _____	Public _____ Private _____

- Ceiling:**
1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

- Roof:**
1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 4. Other _____

Chimneys: Type: _____ Number of Fire Places _____

Heating: Type of Heat: _____

Electrical: Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing: Approval of soil test if required Yes _____ No _____

2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District: _____ Street Frontage Req: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt _____ Special Exception _____

Other (Explain) _____

Date Approved: OK 7-18-87

Permit Received By Kandi Cote

Signature of Applicant _____ Date _____

Signature of CEO _____ Date _____

Inspection Dates _____

PLOT PLAN

N



FEES (Breakdown From Front)		Type	Inspection Record	Date
Base Fee \$	_____	_____	_____	____/____/____
Subdivision Fee \$	_____	_____	_____	____/____/____
Site Plan Review Fee \$	_____	_____	_____	____/____/____
Other Fees \$	_____	_____	_____	____/____/____
(Explain)	_____	_____	_____	____/____/____
Late Fee \$	_____	_____	_____	____/____/____

COMMENTS

Completed as per plan (A. Power area at that time)

Signature of Applicant

APPROVED BY [Signature]

Date

10/24/87

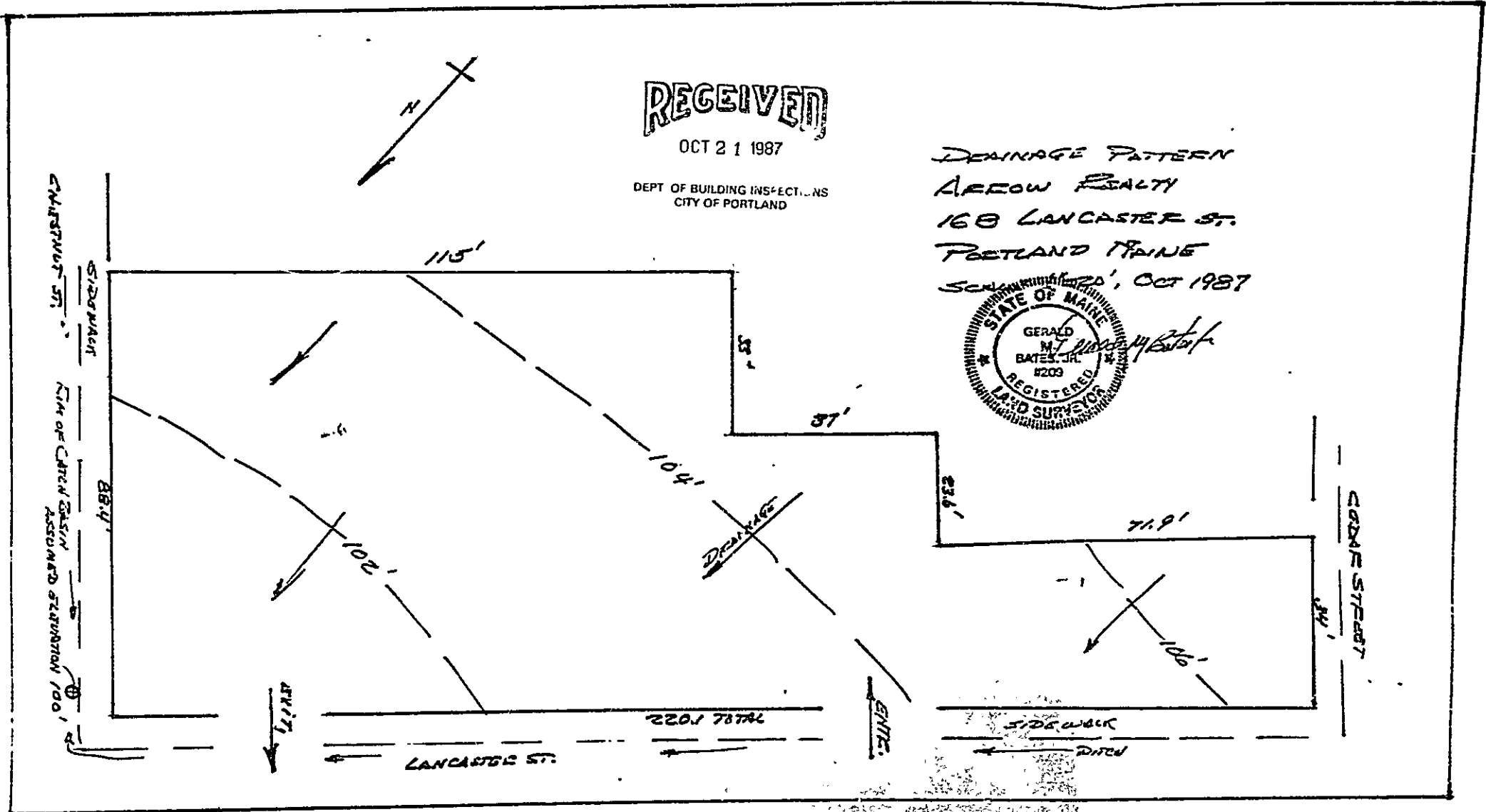
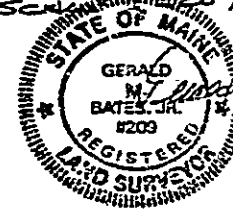
RECEIVED

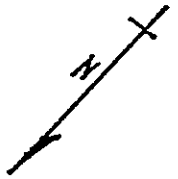
OCT 21 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

DRAINAGE PATTERN
ARROW REALTY
168 LANCASTER ST.
PORTLAND MAINE

SCALE: 1" = 20', OCT 1987



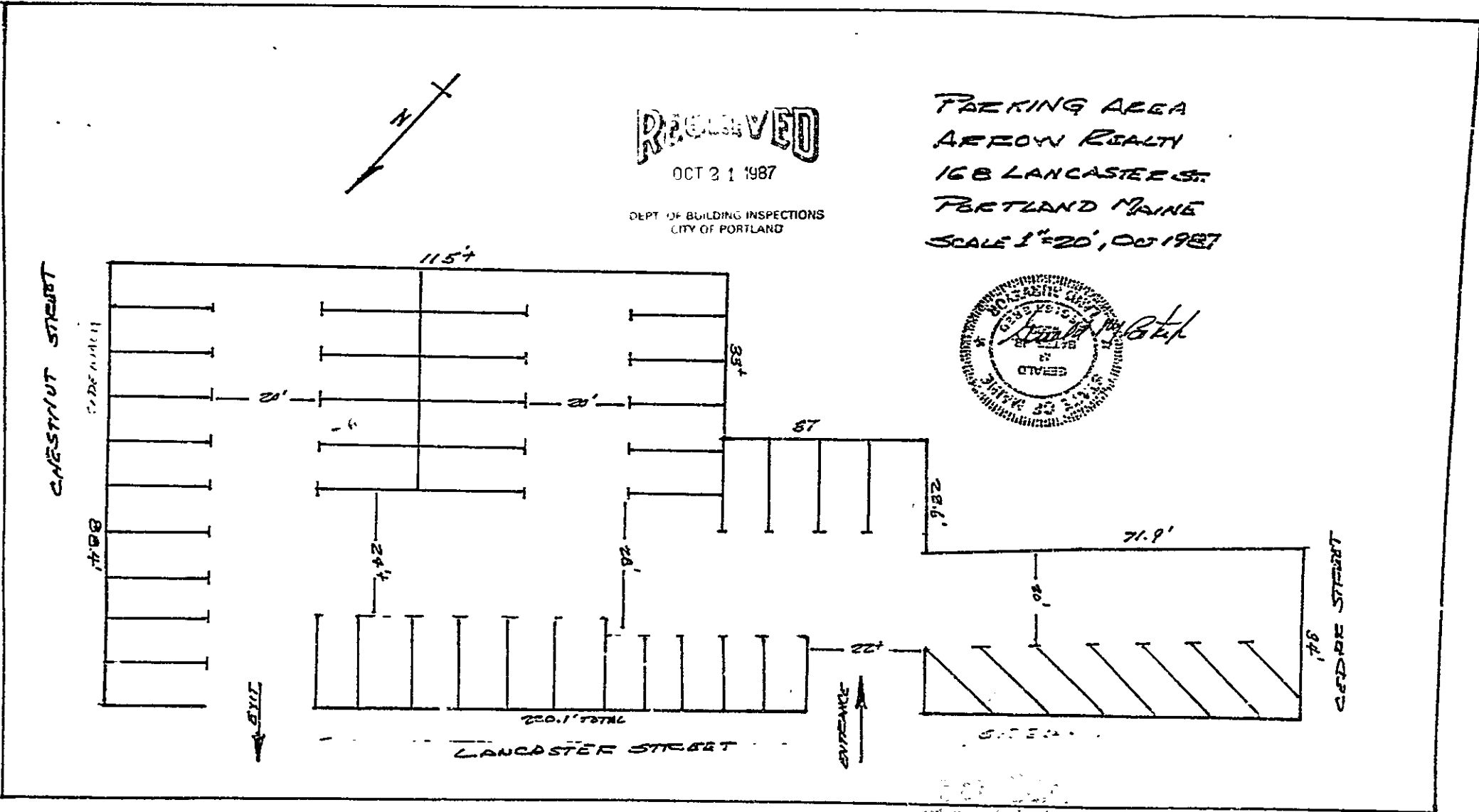
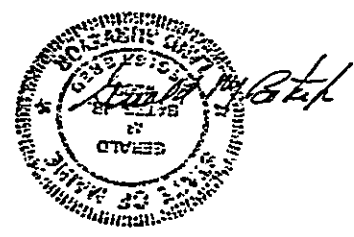


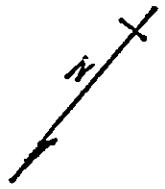
RECEIVED

OCT 21 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

PARKING AREA
ARROW REALTY
168 LANCASTER ST.
PORTLAND MAINE
SCALE 1"=20', OCT 1987



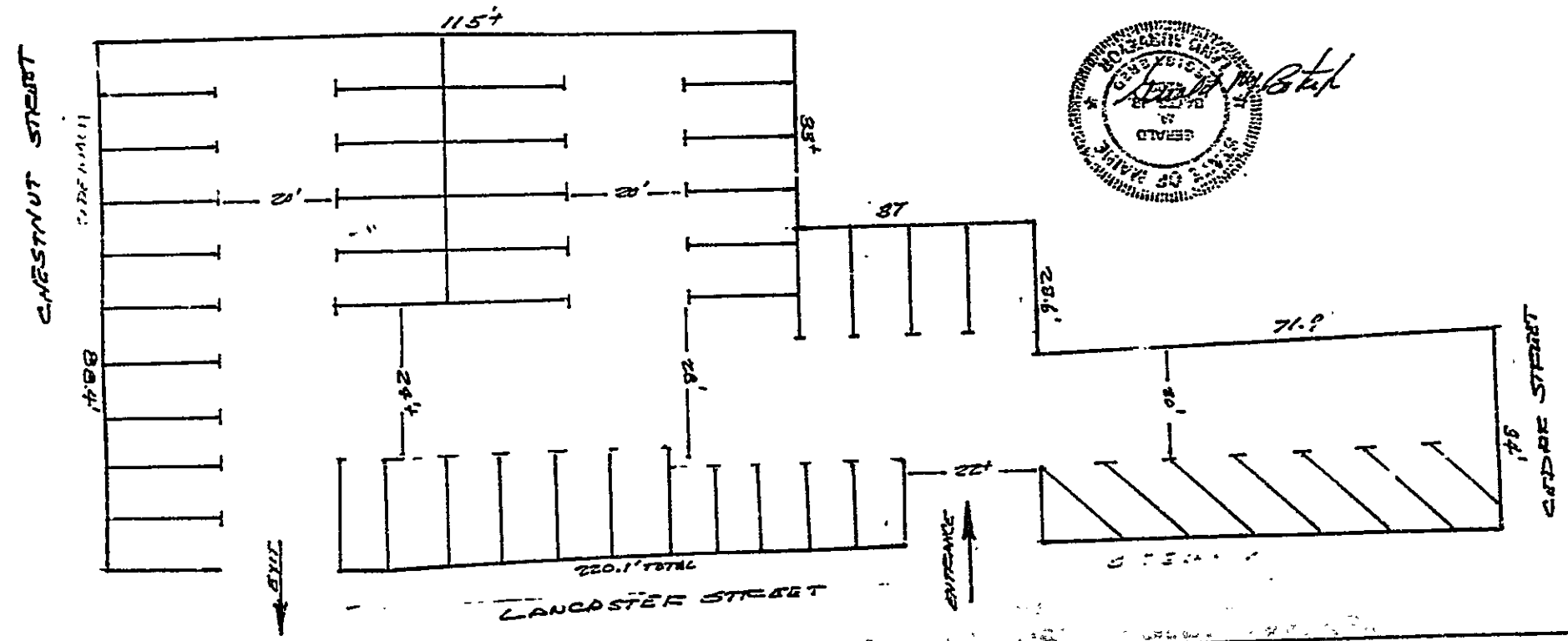
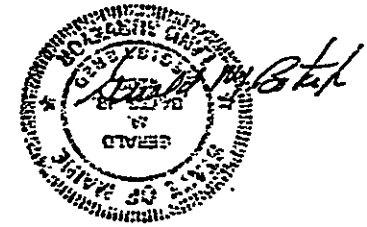


PROCESSED

OCT 21 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

PARKING AREA
ARROW REALTY
168 LANCASTER ST.
PORTLAND MAINE
SCALE: 1"=20', 00/1987





RECEIVED

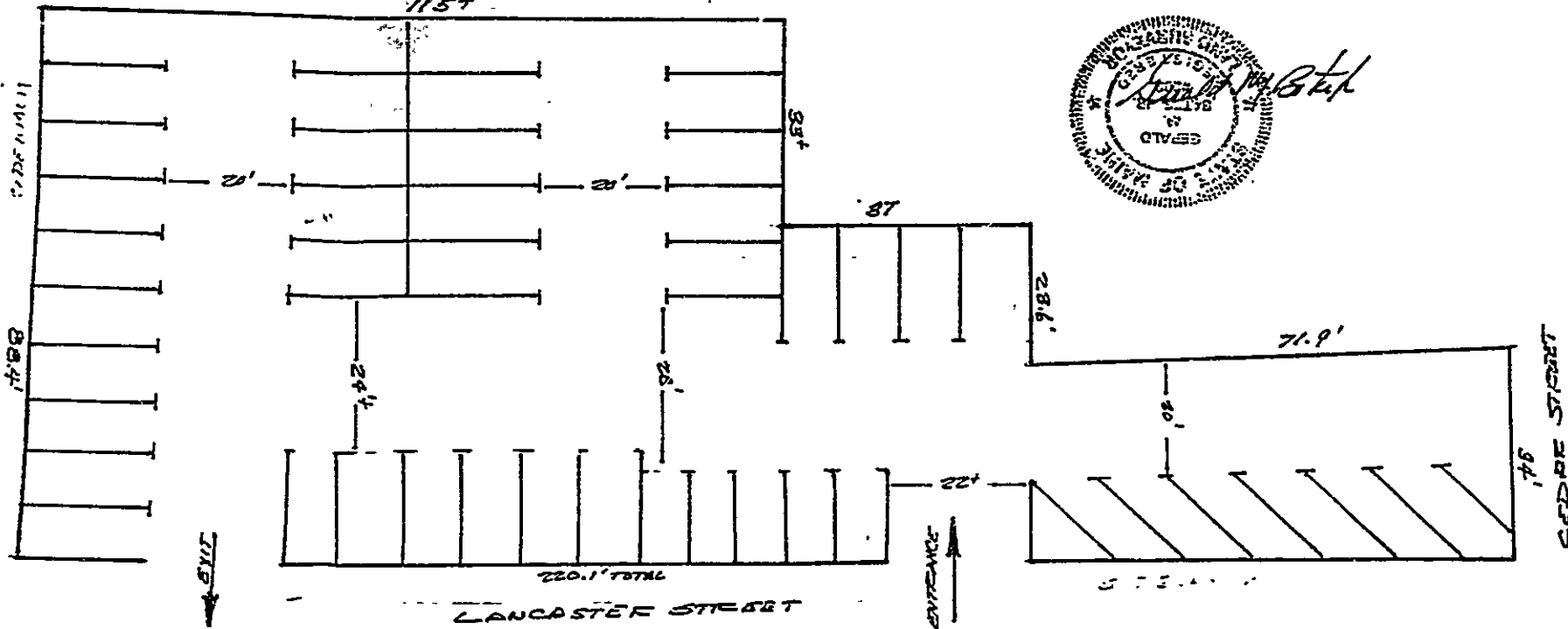
OCT 21 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

PARKING AREA
ARROW REALTY
168 LANCASTER ST.
PORTLAND MAINE
SCALE 1"=20', OCT 1987



1157
CHESTNUT STREET



LANCASTER STREET

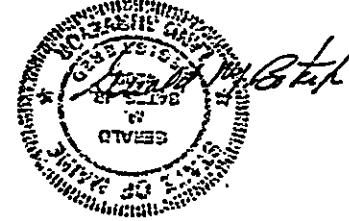
CEDAR STREET

RECEIVED

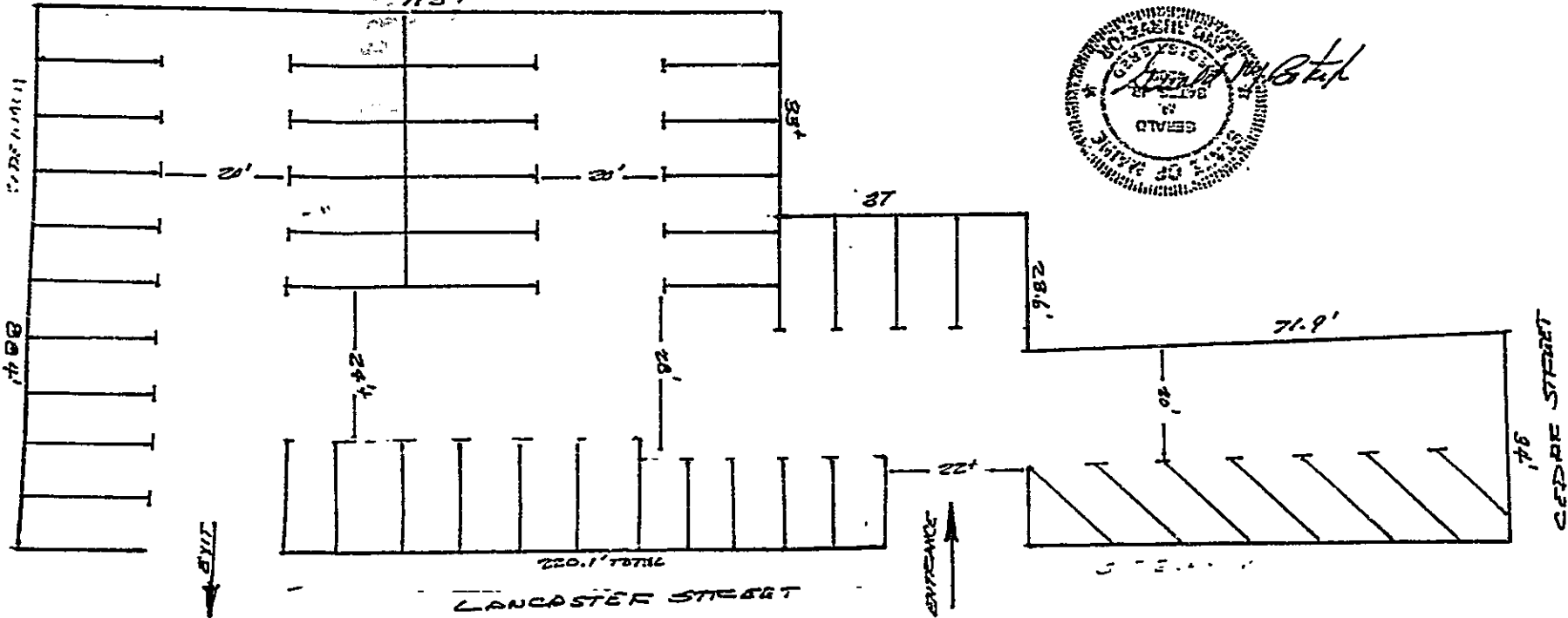
OCT 31 1987

CITY OF BUILDING INSPECTIONS
CITY OF PORTLAND

PARKING AREA
ARROW REALTY
168 LANCASTER ST
PORTLAND MAINE
SCALE 1"=20', 00 1987



CHESTNUT STREET



115'

178'

87'

91.82'

71.9'

220.1' TOTAL

LANCASTER STREET

CEDAR STREET

DRIVE

ENTRANCE

RECEIVED

OCT 21 1987

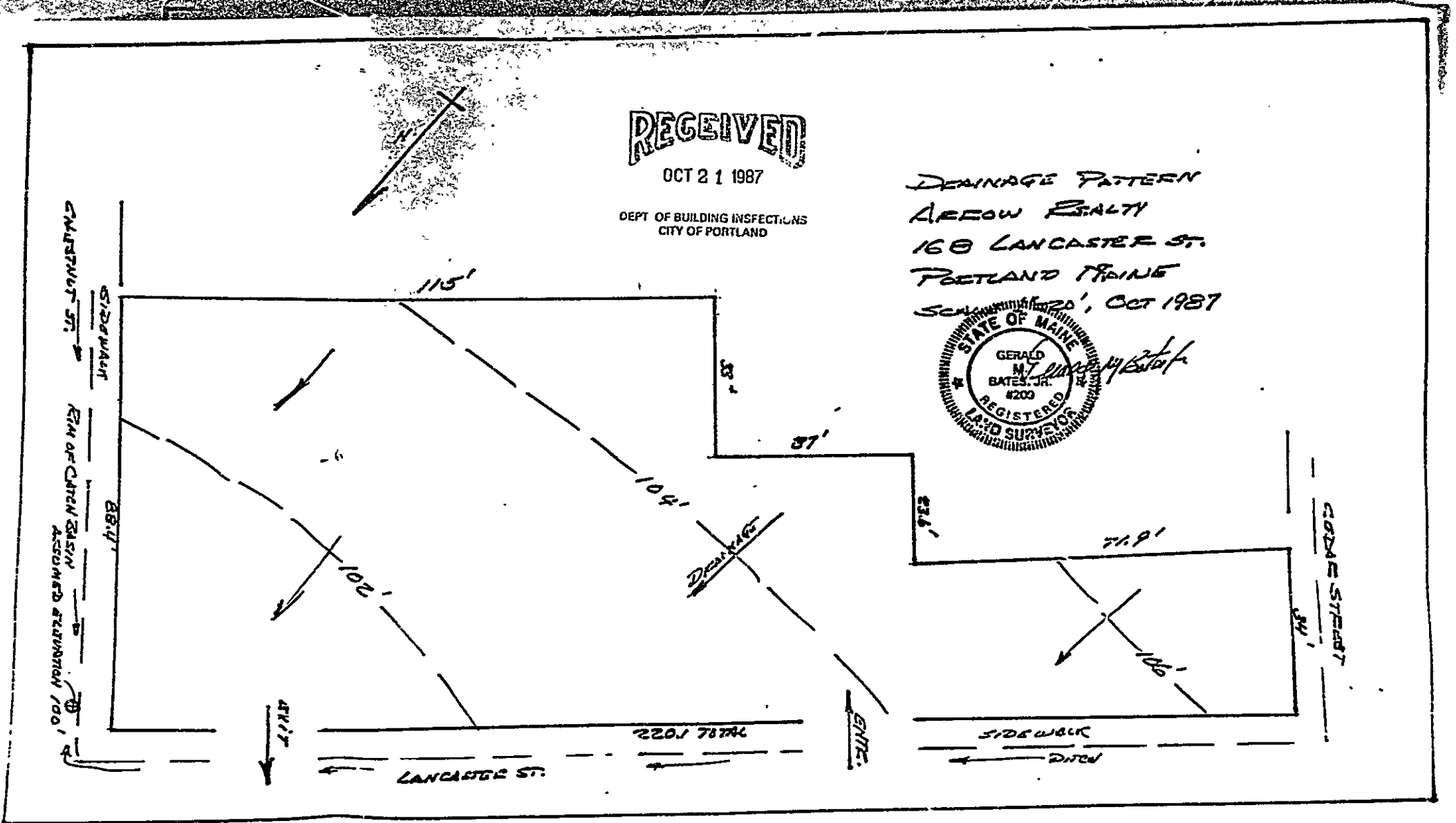
DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

DRAINAGE PATTERN
ARROW REALTY
160 LANCASTER ST.
PORTLAND MAINE

SCALE 1" = 20', OCT 1987



Gerald M. Bates, Jr.

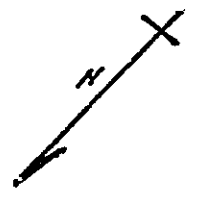
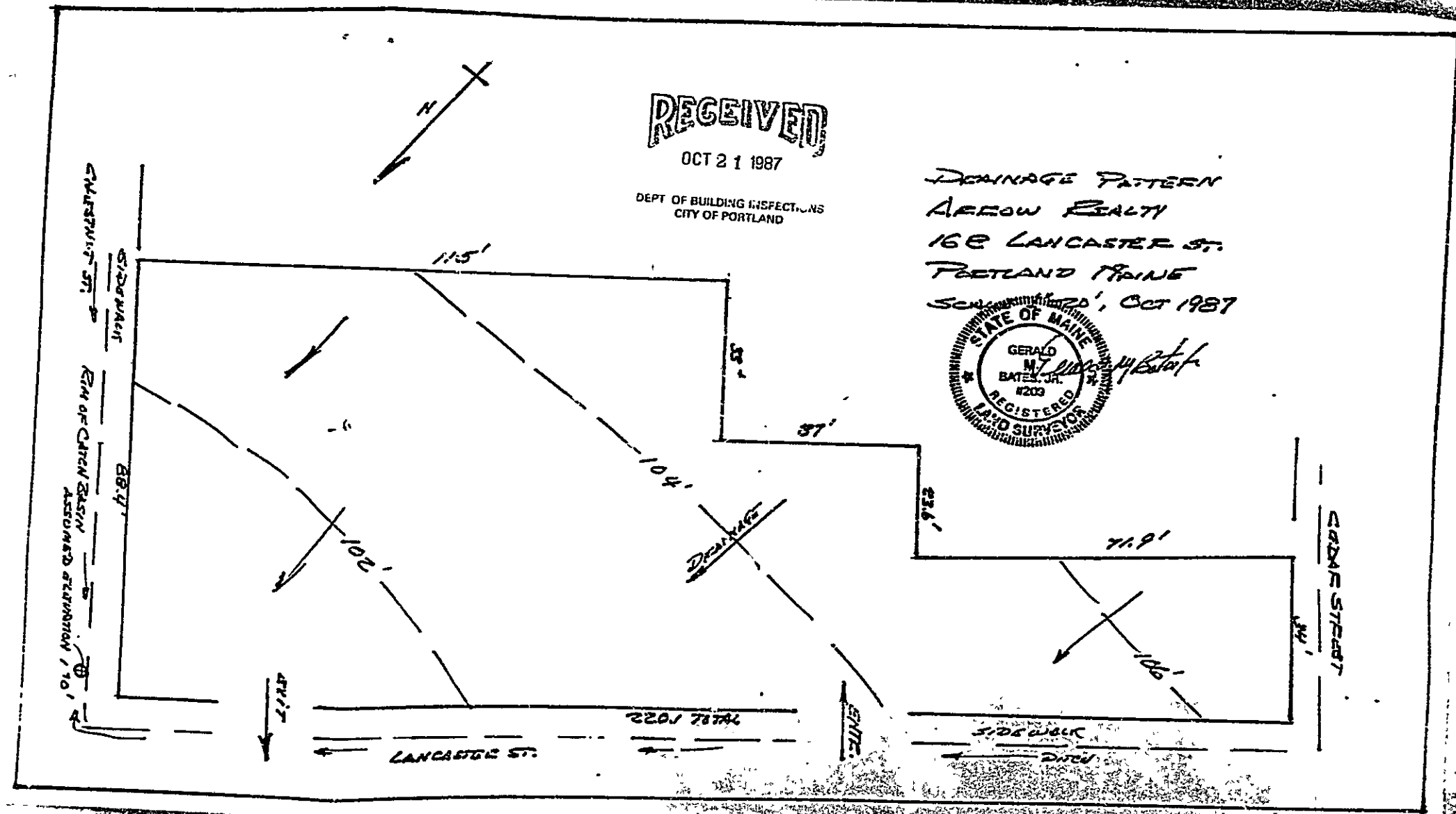


RECEIVED

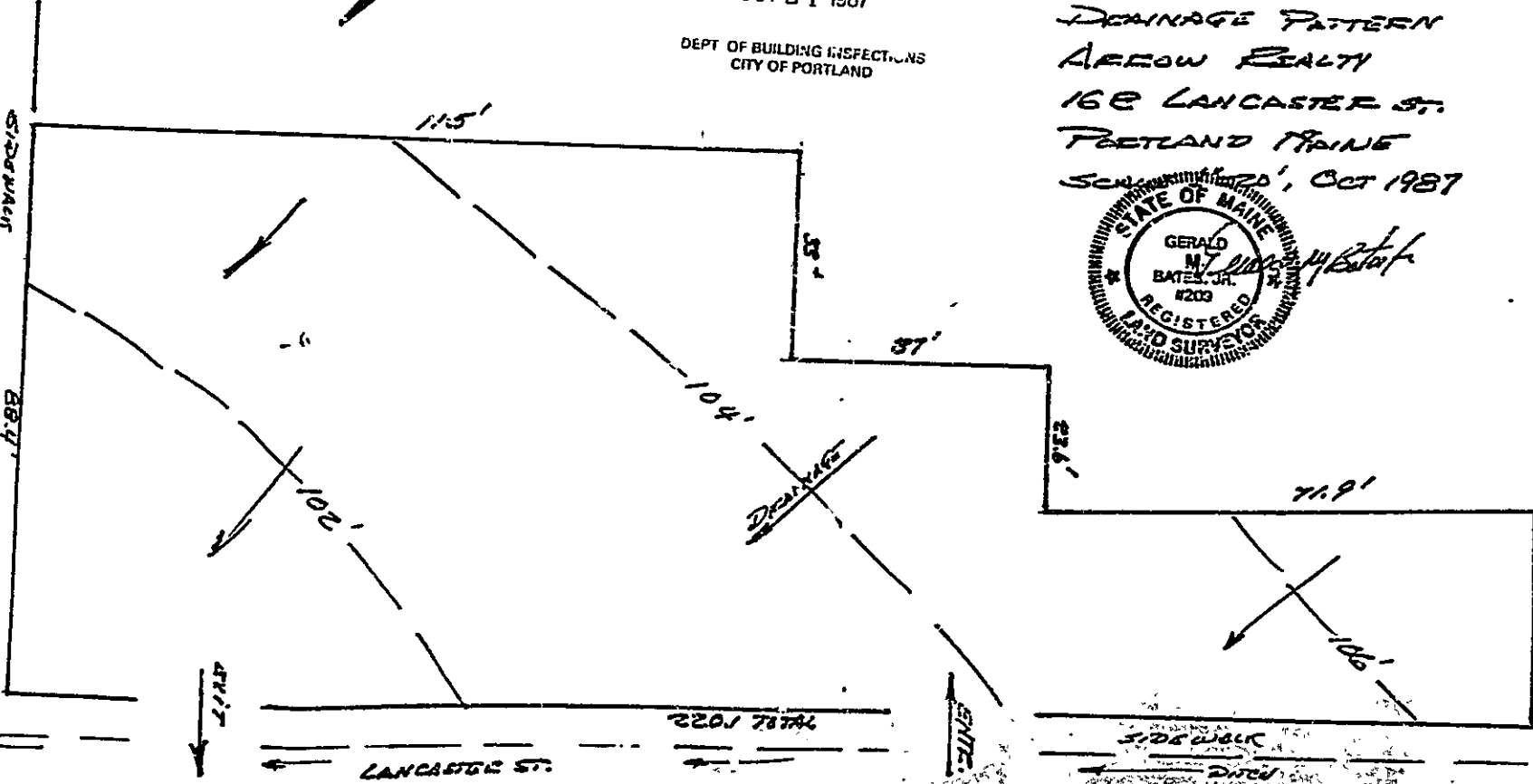
OCT 21 1987

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

DRAINAGE PATTERN
ARROW REALTY
168 LANCASTER ST.
PORTLAND MAINE
SEEN AND APPROVED, OCT 1987



CHURCH ST
SIDEWALK
EIN OF GREEN BASIN
ASSUMED DIVISION 10'



GREEN STREET

LANCASTER ST.

ENTR.

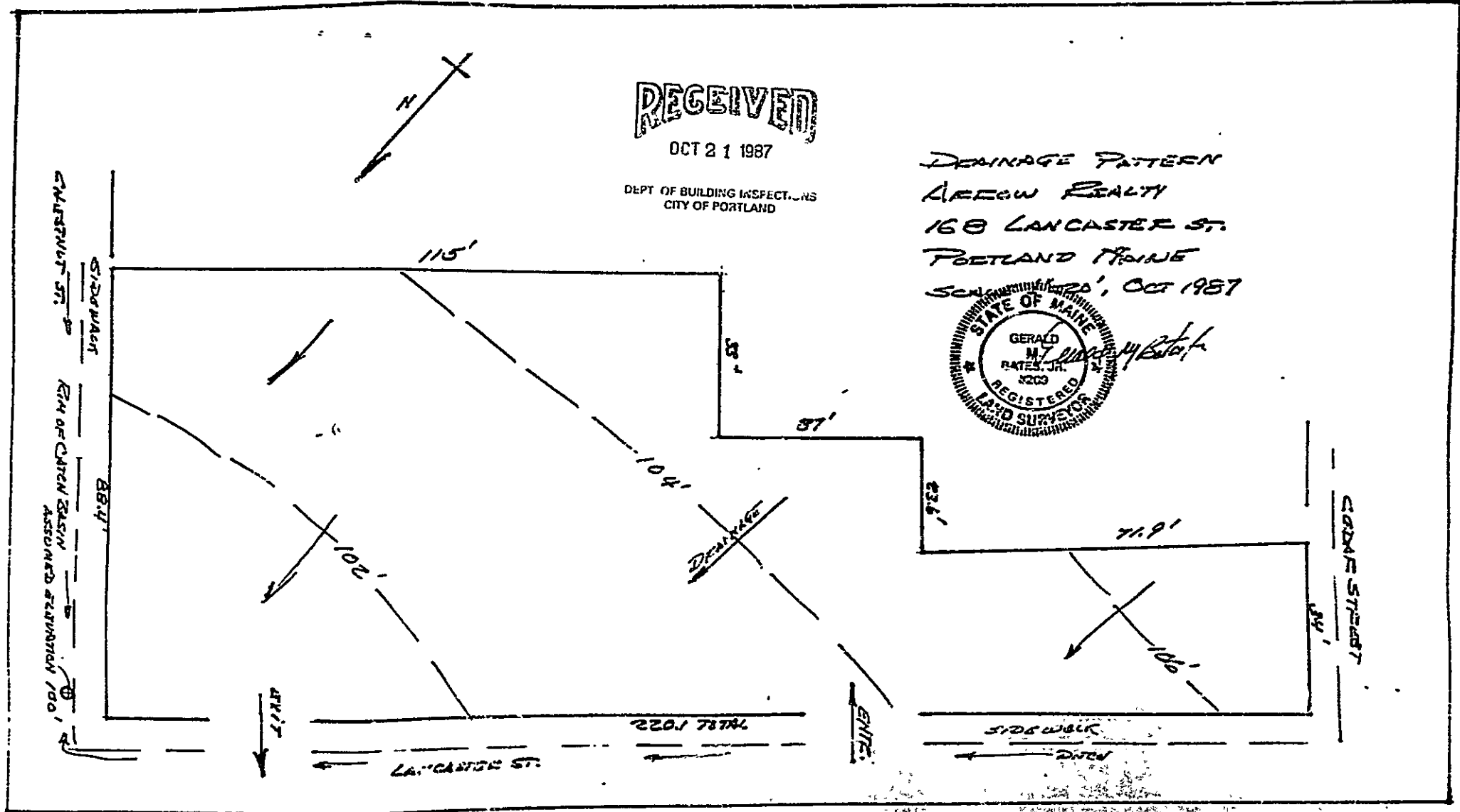
SIDEWALK

RECEIVED

OCT 21 1987

DEPT OF BUILDING INSPECTORS
CITY OF PORTLAND

DRAINAGE PATTERN
AREGOW REALTY
168 LANCASTER ST.
PORTLAND MAINE
SCALE 1/2" = 10', OCT 1987



PERMIT # 002039

CITY OF Portland BUILDING PERMIT APPLICATION

MAP # LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Arrow Realty 772-6032
Address: 168 Lancaster St. Portland, Maine 04101

LOCATION OF CONSTRUCTION: Corner Chestnut & Lancaster St.

CONTRACTOR: Arrow Realty SUBCONTRACTORS:
ADDRESS: 198 Lancaster St. (Mail permit)

Est. Construction Cost: \$15,000 Type of Use: Parking Lot

Past Use: Residential vacant lot

Building Dimensions: L x W x H Sq. Ft. # Stories: Lot Size:

Is Proposed Use: Seasonal? Condominium? Apartment?
Conversion - Explain to install parking lot as per plan

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
Residential Buildings Only
Of Dwelling Units # Of Dwelling Units

Foundation:
1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:
1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size: Spacing 16" C.C.
4. Joists Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:
1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes
5. Bracing: Yes No Span(s)
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:
1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

For Official Use Only
Date: July 17, 1989
Subdivision: Yes / No
Inside Fire Limits:
Bldg Code:
Time Limit:
Estimated Cost: \$15,000
Value/Structure:
Fee: \$95.00

Ceiling:
1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing:
3. Type Ceiling:
4. Insulation Type Size:
5. Ceiling Height:

Roof:
1. Truss or Rafter Size Span:
2. Sheathing Type:
3. Roof Covering Type:
4. Other:

Chimneys:
Type: Number of Fire Places

Heating:
Type of Heat:

Electrical:
Service Entrance Size: Smoke Detector Required? Yes No

Plumbing:
1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:
1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Zoning:
District: Street Frontage Req. Provided
Required Setbacks: Front Back Side Side

Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Varia Site Plan Subdivision
Shore and Floodplain Mgmt. Special
Other (Explain)

OK Date Approved: 7-17-89
Permit Received By: Latini

Signature of Applicant: Date: July 17, 1989

Signature of CEO: Date:

Inspection Dates:

10 Mr. IAN 12 9

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS



MERRILL S. SELTZER
Chairman

JOHN C. SNOX
Secretary

PETER F. MORELLI
THOMAS F. JEWELL
DAVID L. SILVERNAI
MICHAEL E. WESTORT
CHRISTOPHER DINAN

Chestnut Street Parking
Garage

September 14, 1987

Mr. Evan Richert
Oxford Development Associates
130 Middle Street
Portland, Maine 04101

Dear Mr. Richert

In reviewing the definition of basement in Section 14-47 of the City Zoning Ordinance, it is stated that "a basement shall be counted as a story for the purpose of height measurement where more than half of its height is above the average level of the adjoining ground.

We therefore wish to advise that we accept Mr. Richard P. Curtis's statement that "the lowest floor of the existing structure should be properly classified as a basement. More than 50% of the perimeter of this level is below grade, which conforms with the definitions (in the Portland Land Use Code and the BOCA Code." We also accept your earlier average building height which would be 43.6 feet and less than 45 feet overall.

We shall therefore not require your offered request for a variance and we are returning your check and the accompanying package to you. Please retain them for site plan review when you apply for the proposed addition to the existing parking structure. You will also need to provide an engineering study showing that the existing structure is capable of supporting the additional weight load involved in the contemplated addition.

Sincerely,

Warren J. Turner
Warren J. Turner
Zoning Enforcement Inspector

Enclosure: Check

cc: Richard P. Curtis, Architects Four, 99 Middle Street, Manchester, N.H., 03107
Joseph E. Gray, Jr., Director, Planning & Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief, Inspection Services
Arthur Powe, Code Enforcement Officer

Architects
FOUR

Professional Association
99 Middle Street
Manchester, NH 03101
(603) 627-3844

P. Samuel Hoffses
Chief Building Inspector
City Hall
Portland, ME.

Re: Chestnut St. Parking Garage

Dear Sam:

In reviewing the above building in conjunction with the definitions in both the Portland Land Use Ordinance and the BOCA Code, it is our opinion that the lowest floor of the existing structure should be properly classified as a basement. More than 50% of the perimeter of this level is below grade which conforms with the definitions. In fact, 43% of the entire building is below grade, as the roof parking deck is accessible at grade from Oxford St.

Therefore, we feel, that the proposed addition would result in a four story building with a basement and roof parking, and would be in compliance with the Land Use Ordinance.

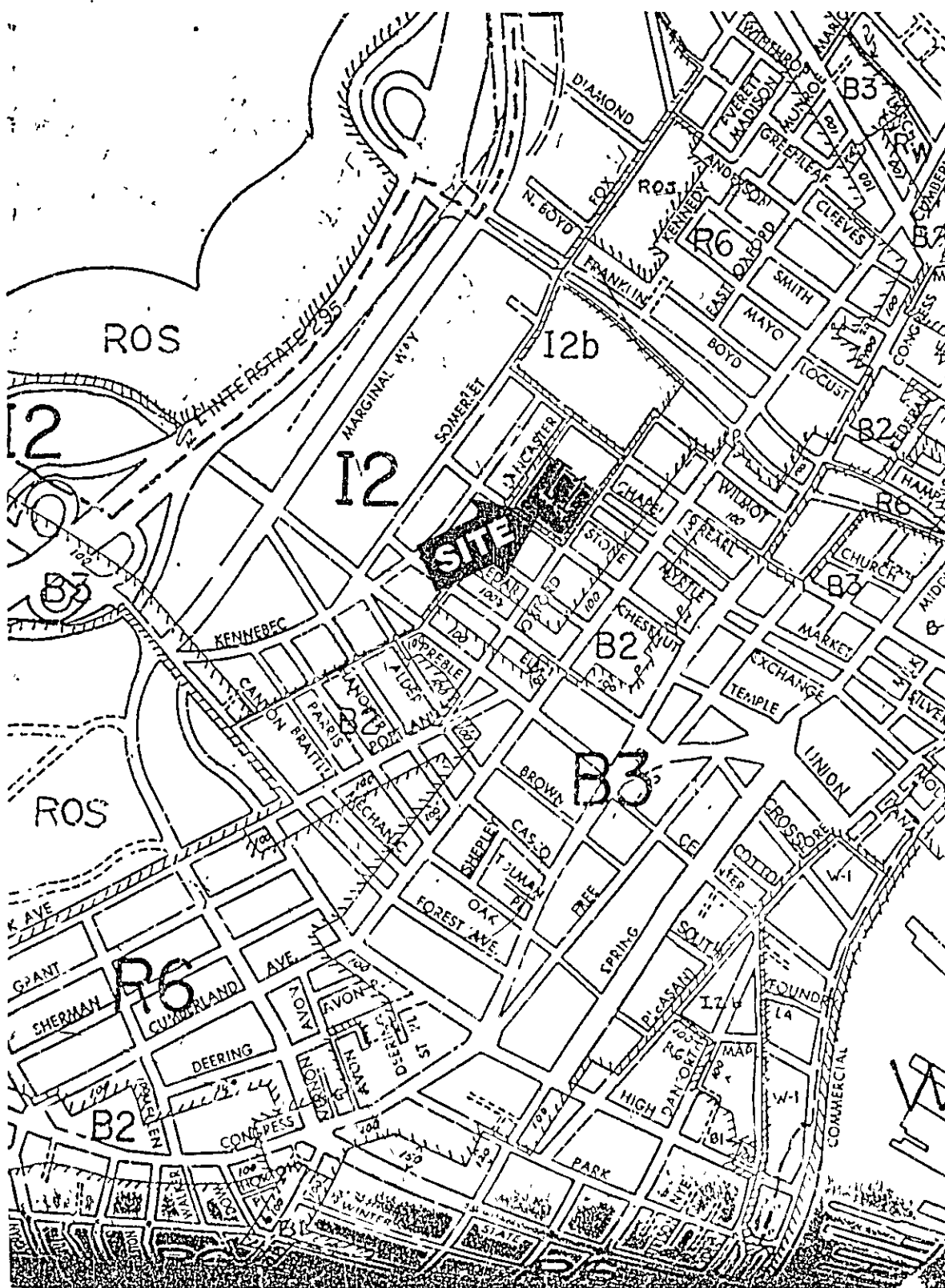
The overall height, as measured from the median grade on Chestnut St. would also be in compliance. In fact, the building on Oxford St. would be only 3 stories high, or approximately 36' to the parapet.

Enclosed you will find drawings illustrating our information. If you have any questions or comments, please feel free to contact us.

Very truly yours,

Architects Four
Richard P. Curtis

cc: Evan Richart
Jack Weir
Paul Laliberte



from the residential uses across Chestnut Street, and with a professional landscaping program. New sidewalks and granite curbing have been provided, greatly upgrading the appearance of the area. From the most visible approaches to the structure--Oxford Street and Chestnut Street--the structure presently has the appearance of just an at-grade deck (Oxford Street) or a one- or one-and-a-half story building (Chestnut Street).

With the proposed addition, the Oxford Street side still would appear to be only a 3-story building, with a 33 foot height, and the overall average height would be less than 45 feet. Thus, regardless of whether the structure is considered to have 4 or 5 stories, the actual height is within the limits envisioned for the area.

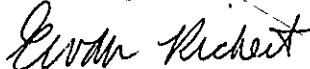
The recently completed structure and surrounding grounds are indisputably a great improvement over the vacant, rubble-strewn lot upon which it was built, and an enhancement of the area. The expansion, which will be architecturally designed, will equally be an addition to this area.

As important, the proposal will contribute to solving the serious downtown parking problem, entirely with private dollars, on a site that is well suited for this purpose.

- (d) The hardship is not the result of action taken by the application or a prior owner. No action of this owner or a prior owner created this hardship.

It is worthwhile to note that at the time of the original planning and construction of the 3-deck garage (July 1986), the I-1 zone contained no height limit. As noted earlier, and as was noted to the Planning Department at the time of the original site plan application, the owners' plans from the inception of the project were to add to the 3-deck structure in some fashion. Unfortunately, apparently as a "housekeeping" amendment in June 1987, a height limitation was adopted for the I-1 zone. The owners were unaware of this legislation, nor were they directly notified that a limit was being proposed. In any case, the limitation came after the development plans, both short- and long-term, were well in motion.

Sincerely,



Evan Richert
on behalf of Oxford Development Associates

was contemplated, but given a junk yard next door and the glut of office space available in better downtown locations, this proved unfeasible. Therefore, Oxford Development Associates proposed a 3-deck parking garage for long-term parking as an interim use. They did so with the knowledge that a privately-financed 3-deck garage would not provide a return on investment. (Most other freestanding parking garages in Portland are either city-owned or subsidized with federal funds.) But they expected, and were willing to risk, that either the office market would improve to the point that an office building could be built on top of the garage or, if the parking need downtown continued to grow and the first three decks were successful, additional decks could be built. At the time of the site plan--July 1986--there was no height limitation in the I-1 zone, and there was no reason to believe additional levels (either for office space or more parking, whichever proved feasible) could not be undertaken.

The first three decks have in fact demonstrated that this location is a viable location for a parking garage. The addition of three more decks and approximately 350 parking spaces will allow the garage the necessary economy of scale to achieve a return on investment.

- (b) The need for a variance is due to the unique circumstances of the property and not to the general conditions of the neighborhood. The need for the variance is due to the unique slope of the site, in which the grade drops 21 feet from high point to low point. As a result, the structure must be built into the side of the slope. As proposed, the structure can be built within the 45-foot limit of the I-1 zone, but (if the underground first floor is counted as a story) not within the 4-story limit.

Further, it should be noted that this site is part of a small I-1 parcel that is unique in the area. Its position between downtown to the southeast and the Marginal Way-Franklin Arterial industrial area to the northwest makes it a transitional site. Functionally, it is much more strongly related to downtown. Its most useful role is to support downtown with off-street parking that is very difficult to achieve in downtown itself. Located just outside of downtown but accessible to it, it is uniquely positioned to help meet the parking needs. As a matter of public policy, it would be unwise to artificially limit its ability to do so.

- (c) The granting of a variance will not alter the essential character of the locality. North and west of the site are a mixture of industrial and commercial uses. South of the site (across Chestnut Street) are several multifamily structures. East of the site (across Oxford Street) are parking lots and transitional uses enroute to downtown. The site was designed specifically with a deep setback

the mean grade, or a little less than the maximum 45 feet allowed in the I-1 zoning district [Sec. 14-233(4)].

However, Sec. 14-233(4) also prescribes a 4-story limit. In our opinion, the expanded structure will indeed be a 4-story building, and not a 5-story building as presumed by the Zoning Enforcement Inspector. This is because less than 50% of the first floor is above ground and therefore is not considered by the zoning ordinance (or, for that matter, by BOCA) to be a "story." According to Sec. 14-47 of the zoning ordinance, a "story" is defined as follows:

"That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above...A basement shall be counted as a story for the purpose of height measurement where more than half of its height is above the average level of the adjoining ground." (underline added)

As the elevation drawing submitted as part of this application shows, as well as the attached letter from Richard P. Curtis of Architects Four, more than 50% of the perimeter of the first (basement) level is in fact below the mean grade, and therefore is exempt from being considered a story. Therefore, the proposed structure will be 4-story, as follows:

from the 1st deck to the 2nd: basement, not a story;
from the 2nd deck to the 3rd: story #1
from the 3rd deck to the 4th: story #2
from the 4th deck to the 5th: story #3
from the 5th deck to the 6th: story #4

The upper deck will again be open air, surrounded only by a parapet.

We believe that the Zoning Enforcement Inspector was unaware of the fact that most of the first level is underground and therefore incorrectly assumed that the structure would be 5-story.

Basis of Variance Appeal

We strongly believe that no variance is required. However, should our understanding of the zoning ordinance and the definition of "story" not be upheld, we seek a variance from the 4-story limit in the I-1 zone in order to be permitted to construct the parking garage addition as proposed. We do so on the following grounds:

- (a) The land in question cannot yield a reasonable return unless a variance is granted. At the time the parking garage was built, the site was a long-vacant urban renewal site overgrown with weeds and rubble. For some time both the City and the owner of the property unsuccessfully sought a reasonable use of the site. An office building



**MARKET
DECISIONS**

Research & Planning

8 September 1987

Board of Appeals
Room 315
City Hall
Portland, ME 04101

Dear Members of the Board of Appeals:

Oxford Development Associates, developers of the Chestnut Street Garage at the corner of Oxford and Chestnut Streets, applies to the Board of Appeals on two grounds: an administrative appeal of an interpretation of the Portland zoning ordinance (Chapter 14 of the Land Use Code), and, if that appeal is unsuccessful, a variance from the height limitation (in terms of number of stories, not in feet of height) of Section 14-233(4) of the zoning ordinance.

The following background will explain the purpose of the appeal.

In 1986, the Portland Planning Board approved a site plan for construction of a 450-car parking garage at Oxford and Chestnut Streets. This property is in an I-1 zoning district. The site slopes from a grade elevation of 33.00 feet on Oxford Street (the high point) to a grade elevation of 12.00 feet on Lancaster Street (the low point). The Zoning Office measures height of a structure starting from the mean (or average) grade, which in this case is 22.50 feet.

The parking garage which was approved and built contains three decks. Each deck is accessible from the street that immediately abuts it: the first (lowest) deck from Lancaster Street, the second from Chestnut Street, and the third (highest) from Oxford Street. The first deck is built into the side of the slope and is largely below ground, and the third deck has a height of 11.5 feet (as measured from the mean grade, and not including the parapet). This third deck is open to the air, with no roof or roof structure above it.

Basis of Administrative Appeal

Oxford Development Associates now wishes to expand the parking garage by adding three more decks (with a net gain of approximately 350 parking spaces). The height of the expanded garage upon completion would be 44.5 feet, as measured from



CITY OF PORTLAND

REQUEST FOR
VARIANCE APPEAL
AND/OR ADMINISTRATIVE APPEAL

Applicant's name and address: Oxford Development Associates
130 Middle Street, Portland, ME 04101

Applicant's interest in property (e.g., owner, purchaser, etc.):
Owner

Owner's name and address (if different): Same

Address of property (or Assessor's chart, block and lot number):
Oxford and Chestnut Streets, Portland, ME

Zone: I-1 Present use: Parking garage
Charge of use
(if applicable) N/A

Variance from: Section 14- 233 (4)

Relief requested from Board:

Administrative Appeal: To properly apply the definition of "story", as defined in Sec. 14-47 of the Land Use code, to the proposed project. If properly applied, the proposed structure will be considered to contain 4 stories, as permitted in the I-1 zoning district.

Variance: If the definition of story is not so interpreted, to permit the construction of a 5-story parking garage not to exceed 45 feet in height rather than the allowed 4-story building not to exceed 45 feet in height.

NOTE: If site plan approval is required, attach preliminary or final site plan.

The undersigned hereby requests a variance as above-described, and certifies that all information herein supplied by him is true and correct to the best of his knowledge and belief.

Dated: Sept. 8, 1987, 1)

William W. [Signature]
Signature of Applicant

(See other side for variance standards.)

PERMIT # _____ **PORTLAND BUILDING PERMIT APPLICATION** DATE 09/08/87

I. GENERAL INFORMATION
 Location/address of construction Chestnut and Oxford Streets
 1. Owner's name Oxford Development Associates Tel. 775-6000
 Address 130 Middle street Portland, ME 04101
 2. Lessee's name _____ Tel. _____
 Address _____
 3. Contractor's name _____ Tel. _____
 Address _____
 4. Is this a legally recorded lot? yes _____ no _____

II. DESCRIPTION OF WORK:
Variance and administrative appeal.
Parking garage.

III. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ #stories _____

IV. ZONE _____ Street frontage _____ Zoning board approval no yes date _____
 Setbacks: front _____ back _____ side _____ side _____ Planning board approval no yes date _____

V. REVIEW REQUIRED: variance _____ other _____
 site plan _____ subdivision _____ shore _____ floodplain mgmt _____
 Number of off-street parking spaces: enclosed _____ outdoors _____

VI. FEES:
 base fee _____ other fees 50.00
 subdivision fee _____ late fee _____
 site plan review fee _____ TOTAL 50.00

VII. DETAILS OF WORK

1 WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7 ELECTRICAL service entrance size _____ # smoke detectors _____	8 CHIMNEY # flues _____ material _____ # fireplaces _____
2 SEWER <input type="checkbox"/> public <input type="checkbox"/> private, type _____	9 FRAMING: floor joists _____ size _____ max. on center _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	
3 HEAT <input type="checkbox"/> oil <input type="checkbox"/> fuel _____	10 If 1-story building w/masonry walls, wall thickness _____ height _____	11 BEDROOM WINDOWS height _____ width _____ egress window? yes <input type="checkbox"/> no <input type="checkbox"/>
4 FOUNDATION type _____ thickness _____ footing _____		
5 ROOF type _____ pitch _____ covering _____ load _____		
6 PLUMBING SPRINKLER SYSTEM? yes <input type="checkbox"/> no <input type="checkbox"/>		

VIII. OFFICE USE:
 TAX MAP # _____
 LOT # _____
 VALUE/STRUCTURE _____
 PERMIT EXPIRATION _____

IX. NEW OR PHASED SUBDIVISION REFERENCE:
 Name _____
 Lot _____
 Block _____

X. PROPOSED USE: _____ Seasonal _____ Condominium _____ Apartment _____
XI. PAST USE: _____
XII. OWNERSHIP: PUBLIC _____ PRIVATE _____

XIII. EST. CONSTRUCTION COST: _____ **XIV. GR/SQ. FT. OF LOT:** _____
BUILDING: _____

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE

XV. RESIDENTIAL BUILDINGS ONLY: # NEW DWELLING UNITS WITH: # EXISTING DWELLING UNITS WITH:	BEDROOMS 1 BDRM _____ 2 BDRMS _____ 3 BDRMS _____	XVI. # RESIDENTIAL UNITS: # NEW DWELLINGS _____ # EXISTING DWELLINGS _____ TOTAL RESIDENTIAL UNITS _____
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APPROVALS BY DATE
 BUILDING INSPECTION - PLAN EXAMINER: _____
 ZONING C.E.O. _____
 FIRE DEPT _____

MISCELLANEOUS
 Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

NOTE TO APPLICANT Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals

District No _____
XVII. SIGNATURE OF APPLICANT: [Signature] PHONE # _____
 TYPE NAME OF ABOVE: Evangelina