



QTH

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
02483
DEC 6 1951
CITY OF PORTLAND

Portland, Maine, December 3, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Bakery No. Stories 1 ☒ New Building
Name and address of owner of appliance Arthur Freedman, 255 Congress Street Existing ☐
Installer's name and address Shapiro Oil & Appliance, Biddeford Telephone

General Description of Work

To install oil burning equipment in connection with existing steam boiler
oil burner in connection with steamer and oil burner in connection with bake oven
and to include installation of steamer

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Permit Issued with Letter

Name and type of burner 1. Petro. and 2. Gould Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top & bottom
Type of floor beneath burner tile
Location of oil storage basement Number and capacity of tanks 2-275 gal.
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Gould oil burners are manufactured by Gould Oil Burner Co., listed by the Underwriters
Laboratories, Inc. The Gould oil burner ~~is~~ in connection with bake oven does
not bear Underwriters label

Permit Issued with Letter

Permit Issued with Letter

Amount of fee enclosed? 3.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Shapiro Oil & Appliance

Signature of Installer by: B. Shapiro

INSPECTION COPY

- 1 Fuel Pipe
- 2 Vent Pipe
- 3 Kind of Heat
- 4 Burner Rigidity & Supports
- 5 Name & Label
- 6 Stack Cover
- 7 High Limb & Control
- 8 Bonnet & Control
- 9 Piping Section & Installation
- 10 Valves (In & Out) & Control
- 11 Capacity of Tanks
- 12 Tank Rigidity & Supports
- 13 Tank Placement
- 14 Oil Gauge
- 15 Instruction Card

Permit No. 51-2483
Location 235 Congress St.
Owner Arthur Friedman
Date of permit 12/5/51
Approved 1-14-58. M.

AP 255 Congress Street-I
(7 oil burners and steamer)

December 5, 1951

Mr. S. S. Shapiro
Shapiro Oil & Appliance
Hiddeford, Maine
Mr. Arthur Freedman
576 Blue Hill Avenue
Forchester, Massachusetts

Copies to: Mr. Arthur Freedman
255 Congress Street
Mr. Jacob Levinsky
118 Larnmouth Street
Mr. Harry Harrison
15 Washington Avenue
Old Orchard Beach, Maine

Gentlemen:

Building permit to cover installation of oil burning equipment in connection with existing steam boiler in the cellar at 255 Congress Street, and oil burner to serve a bake oven to be installed in first story, and a "steamer" with oil burner in first story, is issued to Mr. Shapiro, herewith, subject to the following. If this letter is not understood or if you are unable or unwilling to comply with the conditions, it is important that you refrain from starting the installations and contact this office immediately for adjustment.

1. We have application for another permit to make certain new partitions in the first story and other minor alterations to be done by Harry Harrison, contractor, and I understand that Mr. Harrison is also to be responsible for putting the hollow tile insulation on the first floor beneath the bake oven and beneath the steamer. Mr. Shapiro did not include the installation of the steamer itself in his application for the permit for the oil burning equipment, but Mr. Freedman says that he is going to install it and connect it to the chimney as well as setting up the oil burner to go with it, so we are including that work in this permit now issued. It appears that the thickness of tile insulation beneath the steamer will have to be twice as much as that beneath the bake oven, so that Mr. Shapiro will have to take this into account in working out the connections between steamer and the bake oven.

2. It is noted that the oil burner to be connected with the bake oven does not bear upon it the Underwriter's label. Since that is true, irrespective of the automatic features and safety devices on the burner, we must consider it as an industrial burner. One of the conditions of installation of an industrial burner, however, is that there will be a competent attendant in the same room at all times when the burner is in operation. Fortunately Mr. Freedman has given us the assurance that will be the case, so we can issue the permit on the basis that there will always be a competent attendant in the room where the unlabelled burner is at all times when the burner is in operation.

3. All three burners require the usual shut-off valves in the fuel oil supply line and each requires a remote control switch in some easily accessible place and properly marked as to which burner they control, so located that a person may operate the switch without being exposed to the danger of any burner which may be in difficulties.

4. The application is understood to mean that the Petro burner is to be connected with the existing steam boiler in the cellar and undoubtedly does bear upon it the label of the Underwriter's Laboratories, Inc. If that burner does not carry the label, it is important that you refrain from starting its installation.

5. The application states that the oil supply lines will feed from both top and bottom of the tanks. Presumably the oil burner in the cellar is to be fed by

Mr. E. D. Shapiro
Mr. Arthur Freedman

December 5, 1951

gravity, while the two in the first story would have the oil pumped up to them. It is not clear how all of this will work out, but it does seem that the installer must be careful to get his vent lines of sufficient size that the two pumps working at the same time would have plenty of air supplied through the vent pipe.

6. It is understood that the steamer, included under this permit, is to be connected to the same chimney flue as the bake oven and as the boiler in the cellar. Whether or not a hot water heater also is to be vented to this flue, is not known, but the question arises as to whether or not all of these connections will not overload the flue. Tenant or owner will have to take the responsibility for this, and should difficulties arise, it will be necessary to make some adjustment even if it means constructing another chimney.

7. Mr. Shapiro should make sure that there is sufficient fresh air admitted to the basement and sufficient fresh air admitted to the oven room to insure good combustion with all three burners if all three were working simultaneously.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMC:O



IN LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, December 3, 1951

PERMIT ISSUED
02492

DEC 5 1951

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or all the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. _____
Owner's name and address ~~Richard Friedman~~ of L. Levinsky, 278 Congress St. Telephone _____
Lessee's name and address Arthur Freedman, 255 Congress Street Telephone _____
Contractor's name and address Harry Harrison, 15 Washington Avenue, Old Orchard Beach Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Bakery No. families _____
Last use Restaurant No. families _____
Material brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$1,500. Fee \$ 5.00

General Description of New Work

To construct non-bearing partition 16' 6" long to separate kitchen from front of store.
2x4 studs, 16" on centers, covered with plywood or wallboard on both sides.

To close in display window with sliding glass doors.

To provide 2 layers of 4" tile under new bake oven 8' x 10', 5' 8" x 10' on one wall 3 1/2' from other side wall and 3' from back wall. Bake oven and base will height approximately 7 ft. There are 4 cedar posts existing under this area. Existing floor joists, 2x10, 16" on centers, 7' span.

See letter with oven permit for insulation on floor under 12/5/51

Also to include removal of concrete floor surface and all interior partitions of 1st story except partitions around toilet room and vestibule farther Permit Issued with Letter from top of cellar stairs.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO ~~Arthur Friedman~~ Contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertain thereto are observed? yes

L. Levinsky

INSPECTION COPY

Signature of owner by: Arthur Friedman

NOTES

1-27
 Permit No. 51-3492
 Location 256 Congress St.
 Owner Arthur Sweetman
 Date of permit 12/5/51
 Notice closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 1-21-52. M.C.
 Cert. of Occupancy issued

12-19-51. Carpenter out here, although some work done. Left note to let amendment for strengthening floor and for floor plan. Plan it will be done. M.C.

12-20-51. Went over floor with Mr. Harner as in detail in green on attached plan. M.C.

1-2-52. Went over over installation (flooring) after insulation & be provided, and notification given before closing in. M.C.

1-8-52. Repair after fire not started. M.C.

1-17-52. Same. Saw Mr. Seinsky. Has had death in family, work will be done shortly. M.C.

1-21-52. Repair after fire completed. M.C.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2 2

Portland, Maine, January 3, 1951

PERMIT ISSUED

JAN 4 1952

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 51/2492 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 255 Congress Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address J. Levinsky, 278 Congress Street Telephone _____
Lessee's name and address Arthur Freedman, 255 Congress Street Telephone _____
Contractor's name and address Harry Harrison, 15 Washington Avenue, Old Orchard Beach Telephone _____
Architect _____ Plans filed no No. of sheets _____
Proposed use of building Bakery No. families _____
Last use Restaurant No. families _____
Increased cost of work 50 Additional fee 25

Description of Proposed Work

To repair after fire to former condition without alterations and without change of use, but if conditions in the areas of repair are found to be dangerously substandard of Building Code requirements, both Building Department and owner will be notified immediately.

No floor joists to be replaced, but flooring will be of asbestosboard.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: _____

J. Levinsky

Signature of Owner by: Archie P. Harrison

Approved: 1/4/52 - [Signature]

Inspector of Buildings

INSPECTION COPY



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 30, 1951

PERMIT ISSUED
02493
DEC 5 1951
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Bakery No. Stories ~~New Building~~ Existing

Name and address of owner of appliance Arthur Freedman, 255 Congress Street

Installer's name and address Roderick MacLellan, Mudnock Road, Salisbury, Maine Telephone

General Description of Work

To install oil-fired bake oven

Health Notices to

Health Officer and that

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

If wood, how protected? Kind of fuel

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner by others Labelled by underwriters' laboratories?

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?

Type of floor beneath burner

Location of oil storage Number and capacity of tanks

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance first floor Kind of fuel oil Type of floor beneath appliance wood

If wood, how protected? 4" of hollow tile

Minimum distance to wood or combustible material from top of appliance over 3'

From front of appliance over 4' From sides and back 4' 12" From top of smokepipe 6'

Size of chimney flue 18x18 Other connections to same flue coal-fired furnace

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Permit Issued with Letter

see letter

Inspector: see framing plan of former
strengthening of floor in R.R.
B.P. 46/417 and take it into
with you to check with framing of

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer

Roderick MacLellan

INSPECTION COPY

NOTES

12/18/51 - General Bakery, 5124 93rd St.
 Called by inspection 1st floor & below.
 12-18-51. Installation started, from tile and
 over frame erected. Side wall clearance
 about 6" however there is about 18" from
 hot air flue to outside casing. Asbestos
 lumber should be provided 1" away
 from sheet rock wall. etc.

1-2-52. Had a flow fire in to test of over
 penetrating insulation. Whereas no definite
 reason except that floor
 insulation even though as
 required by law was not
 sufficient, was determined
 it was thought possible that
 a crack that appeared in
 the floor of the firing
 chamber permitted the
 intense heat to penetrate
 to the walls of the hollow
 tile and follow through to
 the work floor, collecting
 the floor and causing the
 fire. Although on the
 course of hollow tile was
 recommended there was
 not done. No fire door
 and insulation man
 provided extra protection
 under fire box and the
 nozzle of the burner was
 changed. etc.

Approved

Date of permit

Owner

Station

Report No.

1-16-52 OK

2/5/51

Arthur W. Friedman

255 Carnegie St.

5124 93rd St.

255 Congress Street-1
(Bake oven)

December 12, 1951

General Bakery Sales & Service

Attn: Mr. Dukofski

6 Bunker Place (rear of 2063 Washington St.)

Roslindale 19, Massachusetts

Mr. Arthur Friedman

576 Bluehill Avenue

Dorchester, Massachusetts

Mr. Harry Harrison

15 Washington Avenue

Old Orchard Beach, Maine

Copies to: Mr. Arthur Friedman

255 Congress Street

Mr. Jacob Levinson

118 Carleton Street

Gentlemen:

Approved amendment to building permit for installation of bake oven at 255 Congress Street is issued, herewith, the amendment merely covering change of installer to General Bakery Sales & Service. If Mr. Dukofski of the installing company does not have a copy of my letter of October 5 and with original building permit to Mr. MacLellan (original applicant), he should procure a copy and study it before commencing the work.

This is particularly important because our reasoning with regard to support of the oven was based wholly on Mr. MacLellan's verbal description as to how the oven is framed and how the weight of it is deposited on the floor.

Also of particular importance is the second of the three paragraphs on second page—no. 4; and that Mr. Dukofski be responsible for notice when the frame of the oven has been erected and no other part of the oven so that the question of distribution of the weight and strengthening of the floor may be cleared up after our inspector has been at the job.

Very truly yours,

Harold McDonald
Inspector of Buildings

1326/3

GARRISON 7-7873
7-8479

" 3-11337
NIGHT SERVICE
CHELSEA 9-5558-W
CHELSEA 3-3397-M
HOWLAND 2-8663

GENERAL BAKERY SALES & SERVICE
BAKERY CHEMICAL AND
CONFECTIONERY MACHINERY

STANLEY DEKOFSKI
REAR OF 2062 WASHINGTON ST.
6 HUNNEMAN PL.
ROXBURY 19, MASS.

AMENDMENT TO PERMIT

December 11, 1951

PERMIT ISSUED

DEC 12 1951

CITY OF PORTLAND

MAINE

Permit No. 51/2493 pertaining to the building or structure comprised
of the State of Maine, the Building Code and Zoning Ordinance of the
City of Portland, if any, submitted herewith, and the following specifications:

255 Congress Street Within Fire Limits? yes Dist. No. _____
Owner's name and address _____ Telephone _____
Lessee's name and address Arthur Freedman, 255 Congress Street Telephone _____
Contractor's name and address General Bakery Sales & Service, 6 Hunneman Place Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building Bakery No. families _____
Last use " No. families _____
Increased cost of work _____ Additional fee 25

Description of Proposed Work

To change installer of bake oven to above.

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved:

Permit Issued with Letter

Signature of Owner

Permit Issued with Letter

Approved:

Inspector of Buildings

INSPECTION COPY

At 255 Congress Street
(Installation of bake oven
and physical alterations as
two parties cons)

December 5, 1951

Mr. Arthur Freedman
576 Bluehill Avenue
Dorchester, Massachusetts

Mr. Frederick MacLellan
Madrock Road
Dorchester, Massachusetts

Mr. Harry Harrison
15 Washington Avenue
Old Orchard Beach, Maine

Copies to: Mr. Arthur Freedman
255 Congress Street
Mr. Jacob Leriasky
118 North Main Street

Dear Sirs:

Building permit for installation of bake oven at 255 Congress Street is issued to Mr. MacLellan (this includes the hollow tile insulation under the oven and under the steamer which I understand is to be built in by Mr. Harrison), and permit for changes in partitions is issued to Mr. Harrison—whereby, but subject to the following conditions. If these are not understood or you find yourself unable to comply with them, it is important that you refrain from starting the work and report this office again immediately.

1. Mr. Freedman is most interested in the clearance of the outside of the oven to the existing toilet room partition. The best we can do under the regulations is to set the outside of the oven 6" from the wooden studs in the partition. If the partition is covered with gypsum wallboard or other non-burnable material, if the partition is covered on the oven side with any type of burnable material, the 6" should be measured from the partition covering instead of the studs. Inexpensive of the regulations, it seems to me that such is needed to keep the place clear. This clearance is based on Mr. MacLellan's statement that there is about 3" of insulation between the interior of the oven and the outside.

2. Based on Mr. MacLellan's information that the fire chamber of the oven is so insulated and located that the heat of the flame or the hot gases will not come in contact with the base of the oven near the floor, one thickness of 8" hollow load-bearing tile will be sufficient under the entire outline of the oven. These tiles are to be laid with the flues or openings running all in one direction and continuous without obstruction so that any hot air striking downwards may circulate freely through these flues and out into the room. It seems obvious that these flues would have to run parallel to the toilet room partition, thus leaving open ends toward Congress Street and toward the cellar stairs. According to the description of the frame and supporting members of the heavy oven, about three tons over a length of about 6' will be deposited down onto this tile through a structural angle or channel under each 16-foot side. Some type of insulation is to be extended out under the outline of the oil burner assembly. This amounts to about 750 pounds per foot of length of the lowest bearing member of the oven and is a pretty heavy load to be put on tile directly. Between you, you will have to work it out so as not to overload the bearing capacity of the tile.

3. Mr. Freedman says that the flame and hot gases of the oil burner serving the steamer will be in contact with the base of the appliance. This means that two courses of similar hollow tile will be required beneath the entire outline of the steamer and the oil burner assembly serving it. The flues or openings in the upper layer must be similarly clear and open from end to end of the layer and should run

Mr. Arthur Freedman
Mr. Frederick MacLellan
Mr. Harry Harrison

2

December 5, 1951

at right angles to the flues in the lower layer. Obviously there should be enough space between the insulation under the steamer and the tile under the oven so that the openings in the layer of tile running across the roof will have open ends so as to discharge any hot air striking downwards, out into the space between the steamer and the oven.

4. Based entirely upon the description of Mr. MacLellan as to the frame of the oven and how and at what points its six tons of weight will be deposited upon the present floor the 6x6 girder as shown on our framing plan of the floor on spans of 5' 6" is not strong enough. You then have the option of putting additional posts beneath the center of the two spans of 6x6's over which the oven will bear, or setting up a new girder with suitable posts under each side of the oven. All of this is based, not only on the fact that the framing plan which we have here is correct (this seems to be borne out by Mr. Harrison's statement that the present floor joists are 2x10's, 18" from center to center and that there are cedar posts under the center girder) and upon Mr. MacLellan's description of how the oven is framed, assuming that the entire weight of the oven is carried down through the frame of steel just inside of the 11" thick insulation of each 10-foot long side of the oven.

Mr. Freedman's first urgency is to get the tile insulation laid so that it can set. This will not overload the floor, and I suggest that the tile beneath the oven be laid and that Mr. MacLellan erect the framework of the oven and nothing else and notify this office for inspection, and our inspector will go down there and check not only the method of the loads going down through but also our framing plan. It will then be quickly evident as to whether or not our assumptions are right, and Mr. Harrison can suggest methods which he proposes to strengthen the floor. If our assumptions are wrong, then the whole thing will have to be investigated again.

If it finally turns out that strengthening the floor is needed, Mr. Harrison should file application for amendment to the permit for alteration of partitions and with it a sketch showing what he proposes to do to strengthen the floor supports.

5. Apparently considerable dismantling or demolition has been done, perhaps by the owner, without any permit. The omission of the permit is not important now, but we are including in the permit for the partition work which Mr. Harrison is to do, the demolition of the former interior partitions except the toilet room and vestibule partitions farther from the head of the cellar stairs.

Very truly yours,

Warren McDonald
Inspector of Buildings

MacL/U

Enclosure to Mr. MacLellan: Permit for oven and copy of application

Enclosure to Mr. Harrison: Permit for partition and other work and copy of application

File

INQUIRY BLANK

ZONE B.

FIRE DIST. 113

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
By Telephone

Date _____

LOCATION 255 Congress OWNER Jaeger Bernick

MADE BY W. P. Stapleton TEL. _____

ADDRESS _____

PRESENT USE OF BUILDING _____

CLASS OF CONSTRUCTION _____ NO. OF STORIES _____

REMARKS: _____

INQUIRY: How does zoning law apply to
establishing retail bakery
place of restaurant?

ANSWER: OK as long as at least half
of product sold at retail on
the premises

DATE OF REPLY 7/7/51 REPLY BY WMS



APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation

Portland, Maine, November 5, 1947

03023
NOV 7 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and repair~~ and install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's name and address Russell Mayberry, 255 Congress Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address General Ice Cream Corp., 329 Commercial St. Telephone 2-1372
Architect _____ Specifications _____ Plans yes Fire Chief _____
Proposed use of building Store No. of sheets 1
Last use _____ No. families _____
Material brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To install refrigeration equipment (soda fountain).
(compressor installed in basement)

NOTIFICATION BEFORE LATITUDE
OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO General Ice Cream Corp.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED

CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Russell Mayberry
General Ice Cream Corp.

Signature of owner

By:

INSPECTION COPY

Permit No. 47/3029

Location 255 Congress St.

Owner Russell Mayberry

Date of permit 11 7 147

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 19, 1946

PERMIT ISSUED

01344
JUL 24 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Store No. Stories 1 ~~New~~ Building
Name and address of owner of appliance Carl Andren, 255 Congress Street Existing "
Installer's name and address M. Cohn, 186 Dartmouth Street Telephone 5-6991

General Description of Work

To install gas-fired hot water heater, vented to chimney
sets on concrete floor, insulated heater
Health Notices to
Health Officer and thus ☒ IF HEATER, OR POWER BOILER
Location of appliance or source of heat cellar Type of floor beneath appliance Concrete
If wood, how protected? Kind of fuel gas
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 24"
From top of smoke pipe 15" From front of appliance Brick wall From sides or back of appliance Brick wall
Size of chimney flue 8x10" Other connections to same flue Steam boiler
If gas fired, how vented? Chimney Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Water heater equipped with automatic shutoff
Gas-fired appliance to be equipped with device which will automatically shut off
all gas supply in case pilot flame is extinguished.

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Installer

M. Cohn

INSPECTION COPY

Permit No. 441344

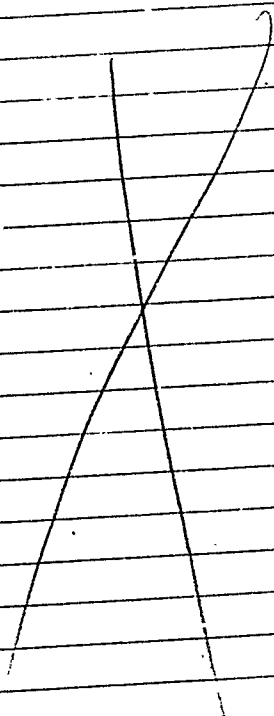
Location 255 Congress St.

Owner Carl Andrew

Date of permit 7/24/46

Approved 9-8-46 R.M.L.

NOTES





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
Permit No. 00184

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, February 7, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress Street Use of Building Bakery No. Stories 1 New Building Existing "

Name and address of owner of appliance W Park's Bakery, 251 Congress St.

Installer's name and address Community Oil Co., 512 Cumberland Ave. Telephone 2-7181

General Description of Work

To install oilburner in connection with existing bake oven

OK. 2-8-46
REQUIREMENT IS WAIVED
Fm

IF HEATER, POWER BOILER OR COOKING DEVICE

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

Is appliance or source of heat to be in cellar? If not, which story 1st Kind of Fuel oil

Material of supports of appliance (concrete floor or what kind) wood - 1" tile beneath oven

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace,

from top of smoke pipe from front of appliance from sides or back of appliance

Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Silent Glow Labeled and approved by Underwriters' Laboratories? yes

Will operator be always in attendance? Type of oil feed (gravity or pressure) bottom

Location oil storage basement No. and capacity of tanks 1-275 gal.

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer Edw. R. Edwards By:

ORIGINAL Albert J. Jones, M.D.

Permit No. 46/181

Location 251 Congress St

Owner Parks Bakery

Date of Permit 2/9/46

Post Card sent

Notif. for insp.

Approval Tag issued 3-28-46 Rms

Oil Burner Check List (date)

1. Kind of heat For Bake Oven

2. Label 2

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit ventl

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

2-27-46 Inspect about
3-15-46



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1843

DEC 28 1945

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Dec. 26, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress Street Use of Building Bakery No. Stories 1 New Building
Existing "

Name and address of owner of appliance James S. Parks, 251 Congress Street

Installer's name and address Community Oil Company, 512 Cumberland Avenue Telephone 2-7481

General Description of Work

To install oil burning equipment in connection with bake oven

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? No If not, which story 1st Kind of Fuel Oil

Material of supports of appliance (concrete floor or what kind) Wood - 1" hollow tile

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, from top of smoke pipe

from front of appliance from sides or back of appliance

Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Silent Glow Labeled and approved by Underwriters' Laboratories? Yes

Will operator be always in attendance? No Type of oil feed (gravity or pressure) Bottom

Location oil storage Basement No. and capacity of tanks 1-275 Gallon

Will all tanks be more than seven feet from any flame? Yes How many tanks fireproofed?

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of Installer By: John W. Thomas

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Seal to City Health Dept. 12/27/45
Seal to City Health Dept. 12/27/45

NOTIFICATION BEFORE LADYING
OR CLOSING IN IS REQUIRED

TRAVIS P. BURROUGHS, M.D.
CITY HEALTH OFFICER

2000-6927-1113
Bill T. Burroughs

Permit No. 45/1843

Location 251 Congress St

Owner James S. Parker

Date of Permit 12/29/45

Post Card sent

Notif. for insp.

Approval Tag issued 1-22-46 Rmg

Oil Burner List (date)

1. Kind of heat For Boilers
2. Label L
3. Anti-siphon
4. Oil storage L
5. Tank Distance L
6. Vent Pipe L
7. Fill Pipe L
8. Gauge L
9. Rigidity L
10. Feed safety L
11. Pipe sizes and material L
12. Control valve L
13. Ash pit vent L
14. Temp. or pressure safety L
15. Instruction card L
- 16.

NOTES



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

78

Permit No. FEB 6 1945

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Feb. 7, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 249 Congress St. Use of Building Store No. Stories Existing
Name and address of owner of appliance Jack LeWinsky Dartmouth St.
Installer's name and address Abraham Lourie 74 Atlantic St. Telephone 3-6914

General Description of Work

To install install heating system, steam

NOTIFICATION BEFORE LATENT OR CLOSING IN IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Is appliance or source of heat to be in cellar? cellar If not, which story _____ Kind of Fuel coal
Material of supports of appliance (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 24"
from top of smoke pipe 24" from front of appliance 6" from sides or back of appliance 7"
Size of chimney flue 8x10 Other connections to same flue none

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer Abraham Lourie

ORIGINAL

Abraham Lourie

5739D

Permit No. 45/78
Location 249 Congress Street
Owner Jack Levinsky
Date of Permit 2/8/45
Post Card sent

Notif. for insp.

Approval ~~For~~ issued

Oil Burner Check List (date)

1. Kind of heat Steam

2. Label

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. T. mp. or pressure safety

15. Instruction card

16.

NOTES

2-13-45 From the supplier
pipe to a floor first
is about 12 1/2". The installer

is practically finished
but I still intend
to have him get a better
kind of vent the smoke
pipe. He says that
in Levinsky, New about
this age I intend to have
this condition checked.
V. M. W.



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

PERMIT ISSUED
Permit No. 31

Portland, Maine, January 13, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 249 Congress Street

Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Jacob Levinsky, 249 Congress Street

Telephone

Contractor's name and address C. Galli & Sons, 45 Portland St.

Telephone 2-3168

Architect

Plans filed no No. of sheets

Proposed use of building Stores

No. families

Other buildings on same lot

Estimated cost \$ 160.

Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 1 Heat steam

Style of roof

Roofing

Last use Stores

No. families

General Description of New Work

To construct inside brick chimney

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the hands of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?

Is any electrical work involved in this work?

Height average grade to top of plate

Size, front depth No. stories

Height average grade to highest point of roof

To be erected on solid or filled and?

earth or rock?

Material of foundation

Thickness, top bottom cellar

Material of underpinning

Height

Thickness

Kind of roof

Rise per foot

Roof covering

No. of chimneys 1

Material of chimneys brick

of lining tile

Kind of heat

Type of fuel

Is gas fitting involved?

Framing lumber—Kind

Dressed or full size?

Corner posts

Sills

Girt or ledge/ board?

Size

Material columns under girders

Size

Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x6 or larger, Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters:

1st floor

2nd

3rd

roof

On centers:

1st floor

2nd

3rd

roof

Maximum span:

1st floor

2nd

3rd

roof

If one story building with masonry walls, thickness of walls?

height?

If a Garage

No. cars now accommodated on same lot

to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

Signature of owner

Jacob Levinsky
C. Galli & Sons

Permit No. 45/31

Location 249 Congress Street

Owner Jacob Kerssley

Date of permit 1/13/45

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4-7-45 Rm. 5

Cert. of Occupancy issued

NOTES

1-15-45 No work started
J. Rm. 5



FILL IN COMPLETELY AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Permit No. _____

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Portland, Maine, July 19, 1944

Location 255 Congress Street

Name and address of owner of appliance Salomon Brown, 255 Congress Street

Installer's name and address _____

Owner

No. Stories 1

Existing NEW BAKING

General Description of Work

To install mechanical ventilation as per plan

Telephone No. _____

INSPECTION NOT COMPLETED

Is appliance or source of heat to be in cellar? _____ If HEATER, POWER BOILER OR COOKING DEVICE not, which story _____

Material of supports of appliance (concrete floor or what kind) _____ Kind of Fuel _____

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, _____

from top of smoke pipe _____ from front of appliance _____ from sides or back of appliance _____

Size of chimney flue _____ Other connections to same flue _____

Name and type of burner _____ IF OIL BURNER

Will operator be always in attendance? _____ Labeled and approved by Underwriters' Laboratories? _____

Location oil storage _____ Type of oil feed (gravity or pressure) _____

Will all tanks be more than seven feet from any flame? _____ No. and capacity of tanks _____

How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same

one phone time)

ACTION COPY

Signature of Installer Salomon Brown

49101

Permit No. 44

Address 55 Congress St

Owner Solomon Brown

Date of Permit 7/14

Post Card sent

Notif. for inspa.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat

2. Label

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

INSPECTION NOT COMPLETE



FILL IN COMPLETELY AND SIGN WITH INK

(C) GENERAL BUSINESS ZONE

Permit No. _____

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 16, 1911

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Restaurant No. Stories 1 New Building
Existing "

Name and address of owner of appliance Solomon Brown, 255 Congress St.

Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install gas fired range

INSPECTION NOT COMPLETED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel gas

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 6"

from top of smoke pipe _____ from front of appliance over 4' from sides or back of appliance 6"

Size of chimney flue _____ Other connections to same flue _____

Hood to be provided over range vented to outside air

Enclosed burners produce - 2 ovens 35,000 each

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer Portland Gas Light Co.

INSPECTION COPY

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

47582

Permit No. 44

Location 255 Angren St

Owner Sullivan Burns

Date of Permit 6/1/44

Post Card sent

Notif. for inspa.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat
2. Label
3. Anti-siphon
4. Oil storage
5. Tank Distance
6. Vent Pipe
7. Fill Pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
- 16.

NOTES

INSPECTION NOT COMPLETED



FILL IN COMPLETELY AND SIGN WITH INK

(6) GENERAL BUSINESS PERMIT No. _____

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 19, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Use of Building Restaurant No. Stories 1 New Building
Existing

Name and address of owner of appliance Solomon Brown, 255 Congress Street

Installer's name and address _____ Telephone no

General Description of Work

To install trileator and water heater (6/26/44)
Burner has device for automatically shutting off gas supply in case automatic gas control demands heat and the supply of gas fails to ignite
IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story yes Kind of Fuel gas
water heater in basement

Material of supports of appliance (concrete floor or what kind) concrete heater

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 9' 6"

from top of smoke pipe heater from front of appliance over 4' from sides or back of appliance 9'

Size of chimney flue 12x12 Other connections to same flue steam boiler

Hood to be provided over - vented thru OIL BURNER
roof

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building of same type.)

INSPECTION COPY

Signature of Installer Solomon Brown

Permit No. 144

Location 255 B. 1st St

Owner Solomon Brown

Date of Permit 6/1/44

Post Card sent

Notif. for insp.

Approval Tag issued

Oil Burner Check List (date)

1. Kind of heat

2. Label

3. Anti-siphon

4. Oil storage

5. Tank Distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

INSPECTION NOT COMPLETED

Sept. 43752-1

May 16, 1906.

Mr. Tolson Brown,
45 Congress Street,
Portland, Maine

Subject: Building permit to cover alterations
in the one story building at 255 Congress St.
corner Smith, to make there a new restaurant.

Dear Sir:

The above building permit is herewith, issued subject to the following:

1. Mr. Hunting, Restaurant Inspector, tells us that Dr. Burrough's approval is based upon the permit subject to the scheme proposed of providing light and ventilation in both kitchen and dining room being really effective and satisfactory at the completion. Mr. Hunting says that while it is not possible to provide outside windows in the exterior wall of the building to serve the kitchen, it is not apparent why you cannot put several windows in the exterior wall along the Smith Street sidewalk and thus give more light and chance for natural ventilation in the dining room. There is some question if the proposition of leaving the partitions around the kitchen down from the ceiling will be satisfactory, Mr. Hunting says. There is a note on the plan which says: "All new partitions to be seven feet six inches high." I presume this note does not refer to the new partitions required around a part of the vestibule in front of one of the toilet rooms, as these partitions will either have to go way to the ceiling or a ceiling will have to be built over them to separate the vestibule from the dining room. A section on the plan shows the ceiling in the kitchen to be 12 feet six inches above the floor, so that I suppose this means that the top of the partitions around the kitchen would be five feet down from the ceiling. I suggest that you go over this entire matter with Mr. Hunting before you start work on these partitions.

2. The method of venting the hood over the cooking appliances has been changed showing a duct of incombustible material running to the existing chimney flue. As far as the plan goes, however, there is only one flue shown in this chimney and evidently the present heater in the cellar and the new hot water heater to be installed there are intended to be connected to this chimney. It is not allowable to connect this open hood vent to a flue to which any other appliance is connected. If it is the intention to connect this duct to a live chimney flue, please revise the plan showing some other method and file it with the application for permit for installing the hood and the ventilation therefrom, which permit must be applied for and is issuable only to the actual installer.

3. I note that specifications on the plan indicate that the expanded metal to be used for reinforcing the concrete floor surfacing is to be fastened to the existing floor before the concrete is poured; also that there is no mention of suitable felt to be placed between the existing wooden floor and the new concrete surfacing. These details are not stipulated by the Building Code; but the latest recommendation that we have been able to get from the Construction Engineer of the Portland Cement Association is that, although no definite specifications are available for putting a concrete surface on a wooden floor, the best practice is considered to be that of sufficiently reinforcing the concrete slab without attachment to the existing construction and to place suitable paper or felt, water-resistant, on the wooden floor before the concrete is poured. You are not compelled to follow these details by the Building Code, but for better reason is given you for what it is worth.

May 16, 1944

Mr. William Brown

4. Separate permits from this department are required to cover installation of such piece of cooking appliances, the installation of hot water heater, mechanical ventilation system in connection with it, the new hot water heater, cold for the boiler and any mechanical refrigeration except the portable "plug-in", self-contained unit. With such application must be filed full information so that we can tell whether or not the proposition will comply with the Building Code. Such installation permits are to be applied for and are issued only to the actual installer.

5. If you have not already done so I recommend that you have the ventilation of both kitchen and dining room designed by someone who is thoroughly acquainted with all of the details of ventilation system. This department is not primarily interested in the ventilation, except from the standpoint of fire hazard; but the Health Department is interested in it from all standpoints, and from what I understand any system that you introduce will have to prove itself. If after the ventilation system at the hood has been installed and if the partitions of the kitchen are left down from the ceiling, and if it should be later decided to put a fan in the dining room to properly ventilate it, either summer or winter, it is quite likely that you would be recreating undue fire hazard, especially if the fan ventilating the dining room were more powerful than the fan used to ventilate the hood. There is a note on the plan "skylight over including vent" - this skylight being for the most part over the kitchen. Presumably this means what it says and there is to be some kind of ventilating device in the skylight. That situation too may complicate the ventilation and makes it all the more necessary to have someone work out the entire proposition who knows what he is about.

Very truly yours,

Inspector of Buildings

WCB/H

CC: William B. Millard,
57 Lane Avenue

Jacob Levinsky,
118 Dartmouth St.

Dr. T. B. Burroughs,
Health Officer

P.S. With regard to strengthening the floor I note there is still place on the plans where the architect has marked "5-inch standard weight pipe column." If ordinary pipe is used it must be new pipe and at least 4-inch outside diameter whether filled with concrete or not. Only specially manufactured columns filled at the plant with concrete can be used of less than that diameter. Also two spans of girders are still marked 6x6. Presumably this is an error, although on a shorter span than the others 6x6 will not work out.

Repl. 43750-I

May 4, 1944

Mr. Salomon Brown,
55 Congress Street
Portland, Maine

Subject: Application for building permit to
cover alterations in the one-story building
at 133 Congress Street, corner Smith to make
there a new restaurant

Dear Sir:

Approval of the Health Officer is required on the building permit before it can be issued. A notation from his office with the return of the unapproved permit says: "No lights shown on plan for one toilet ante room. Floor drains in toilets not shown on plan. Fryolator to be so placed as to permit cleaning around same, - at least eight inches from grille."

From the standpoint of Building Code requirements, please note the following:

1. Type of locksets not shown on either entrance door or rear exit door. Even with less than 50 persons accommodated "vestibule locksets" are required, - all fastenings which would keep the door from opening from the inside capable of being instantly released, without special knowledge or ability, merely by turning the cylindrical knob or by pressure on the usual thumb latch. No white light shown in rear hallway. Such a light should be provided and be on same switch as standard (see Section 215-2-4) exit light over closed opening near rear exit door.

2. Precise detailed arrangement of hood and hood vent as to location and point of discharge into the open air not fully shown. Note provisions of Section 215-2-4 as to objection of hoods beyond appliances, material of ducts, prohibition of ducts in concealed spaces and as to point of discharge in the open air. Presumably the duct is to go up through an existing skylight. All of these details ought to be shown including fact that the hood will be at least nine inches below any ceiling.

3. I assume that the partitions around the new kitchen will not go clear to the ceiling, will be built of no less than 2x8 studs no more than 16 inches from center to center with wall covering of a sanitary nature to satisfy the Health Department. All of these matters should also be shown. The original application says that kitchen partition will not go to the ceiling; that there will be 13 booths, 6 seats to each and 4 employees. If the partitions are to go up to the ceiling, the statement on the application ought to be crossed out and the latest plans show six booths for two persons each and seven for four persons each, the portable tables and chairs having been eliminated and thus shown a total of 40 patrons which with the four employees would make a total of 44 persons.

4. Although not required by law it is the precaution when putting concrete upon a wooden floor to cover the wood with water resistant paper.

5. Apparently the existing floor joists are 2x10, 16 inches from center to center on a span of 17 feet which carries no allowance for each joist of about 1100 pounds. From the plan I understand that the 6x8 girder is not to be extended the entire length of the floor; but it seems necessary to extend a suitable sized girder the entire length of the store. Now that the store space is to be used by an activity licensed by the Municipal Officers, the strength of the floor will have to be brought up to the rated live load of 75 pounds per square foot plus at least 10 pounds dead load, which all adds up to about 190 pounds on each joist. If

Mr. Solomon Brown—

May 4, 1946

Unable to check the strength of the new proposed G&B's on the six foot spans, they being equal to about 4000 pounds live and the theoretical load plus the dead load of the new concrete floor being about 5000 pounds on each span of G&B. The pipe column will either have to be specially manufactured and designed pipe columns with concrete filling as specified by the Building Code or if merely new pipe they must be at least four inches in outside diameter and must have provision for anchoring them securely at top and bottom. Secondhand pipe columns are not permitted here. A better detail should be provided if the proposed method of cantilevering the girders to make room for a steam pipe.

6. I am well aware of the need for haste on your part in getting this work done and the restaurant open. The only way that may be speeded is to have all of this information put on the original plan and new prints filed here so that we can secure the Health Department approval, check the new plan against the above items and then issue the permit.

7. Please note also that both doors to toilet room vestibules and both doors from toilet room vestibules to toilet rooms are required to be self-closing, equipped with some approved device so that the doors will be normally closed and kept closed.

Very truly yours,

RMd/H

Inspector of Buildings

CC: John Oakes, 67 Cumberland Ave.

William S. Millard, 57 Lane Ave.

Jacob Lovinsky, 118 Dartmouth St.

Dr. T. B. Burroughs, Health Officer

Sept. 4762-1

April 6, 1944

Mr. Solomon Brown,
55 Congress Street,
Portland, Maine

Dear Sir:

Subject: application for building permit to
cover alteration of corner store at 255 Congress
St., corner Smith St. to a restaurant where it
is not the intention to sell malt beverages for
consumption on the premises or to apply for a
license for such sale

Such a building permit involving a restaurant requires the approval of the Health Officer before issuance. You will find enclosed a letter to be from Messrs. Bunting and Smith, Health Department inspectors relating to certain changes which the Health Officer will require before approving the permit. I suggest that you give this letter to your architect who is receiving a copy of my letter to you so that he may know what the Health Department requires and may revise the plans to that extent.

As regards specific Building Code requirements, it will be necessary for you to furnish a plan of the cellar, showing all equipment and arrangements proposed therein in connection with the restaurant use, including heaters for hot water and any other appliances involved; also refrigeration equipment. On the plan should appear the statement as to how the cellar is to be used, and your architect should consult the Building Code to see what, if any, additional improvements are required by the Building Code on account of that use, noting the letter from the Health inspectors relating to possibility of keeping garbage in the cellar.

If either of two windows in the rear wall are to be new and are closer than five feet to the rear property line, they are required to be standard fire windows. Council, or persons on the application is given as 44, including four employees; but the plan shows capacity of at least 56 plus employees. On the latter basis both front and rear doors are required to swing outwards in such a way that they will not project over any public sidewalk. Also both front and rear doors are required to be equipped with vestibule locksets which are the type whereby any person on the inside can quickly open the door without requiring a key or any special knowledge merely by turning the usual knob or pressing the usual thumb latch. Rear exit door to Smith Street requires over it a standard exit light as specified in Section 212-0-1 of the Code, the exit light to be angled so that it can be seen from all parts of the dining room. The doors to Smith Street are shown as double doors and unless each door is at least 34 inches wide, the doors will have to be equipped with anti-panic hardware. If each door is at least 34 inches wide, the "working" door may be equipped with a vestibule lockset and the standing door with top and bottom bolts. In the case of a door to be installed later, note that at least 36 inches is required between the chairs and tables and the backs at either side, bearing in mind that eighteen inches must be allowed from the edge of the table for chair space when a person is sitting down.

Door size, material, location and arrangement of protective hood over cooking appliances and ducts and fans, if any, required to ventilate the hood. Health inspectors have asked me to call your attention to the problem of running the ventilating ducts up through the roof of this low building in such a location that odors, smoke, etc., will not be offensive to the occupants of nearby buildings which are higher than this one. I recommend strongly that you employ a competent ventilating engineer to design the ventilation system, to determine if any fan is needed and if so what type and what size. Ventilation of both kitchen and dining room

Mr. Solomon Brown

April 6, 1944

must be to the approval of the Health Officer; separate permits are required for the installation of all cooking and heating appliances and separate permits for the ventilation system if mechanical rather than gravity, these permits to be applied for and be issued only to the actual installer. From the fact that you do not intent to build the kitchen partitions clear to the ceiling it appears that you intend to ventilate the dining room through the ventilation system over the cooking appliances. If there are to be any fixed ventilating fans outside of the kitchen, the partitions of the kitchen will have to go clear to the ceiling to prevent fire hazard in case of a quick fire on the cooking appliances.

Note that the Health inspectors call for the floor of the kitchen to be impervious as well as that of the toilet rooms. Have shown on the plan just what material is going to be used and cross sections and other details showing clearly the thickness and weight of the material intended together with the detail at the points where the floor intersects the vertical walls and partitions to show a sanitary base. It is my belief that if concrete is used for those surfaces two inches will be the minimum thickness allowable and that, of course, would be at the floor drains with a greater thickness elsewhere to give slope to the floor drains. Also show the details of the first floor framing and supports beneath kitchen and toilet rooms, have your architect check up to see whether or not the framing is sufficiently strong according to Building Code standards to support the added dead load of the new impervious surface and the live loads. If it is not strong enough then proposed methods of strengthening should be shown in detail.

All of the above information must be shown clearly on the plan and revised prints filed here with all of the information on them printed from the original.

Also show material and thickness of wall between proposed restaurant and the next store in the same building and what type of store that is; also whether or not there are any openings in the dividing wall or partition either in the first story or the cellar. If this is an ordinary retail store next door then the restaurant, both first story and cellar, is required to be separated from it by what is called a fire resistive separation of at least one-hour fire resistance, fire resistance ratings of material being found in Section 502-a of the Code.

Very truly yours,

Inspector of Buildings

WCD/E

CC: Jacob Levinaky, 118 Dartmouth St.

Charles Willard, St. Agis Hotel, 138 Middle St.

Dr. Burroughs, Health Officer

3/27/44

Memo
To Mr. M.C.D.

Re. #555 Congress St. Rest

Electric lights in auto rooms - Possi-
bility of complaints from odors in
3-foot hdg in rear - Possibility of
use of present chimney - Grease
accumulation on roof and
fire hazard - Seating capacity
in plan greater than stated in
application. How about hood
being 15" deep - half round with
a 10" vent?

W.B.B.

original sent to
March 27, 1944
applicants
see this with original copies

Mr. Warren McDonauld
Building Inspector

Dear Sir:

We are returning application of Solomon Brown for new restaurant at 255 Congress Street unsigned for the following reasons.

The door on Ladies toilet to be removed thus permitting lavatory to be in a ventilated room, the present door an ante room now to remain as is which is not shown on plan. The 3' passage way to be covered over thus making this the ante room.

Lavatory to be removed from Men's ante room and placed outside therefore no need to ventilate this room. Cellar should have air inlet and outlet if garbage is to be kept here. Kitchen and toilet rooms to have impervious floors with required drains.

Application to be made to the Plumbing Inspector for permits. Question of hood ventilation to be considered.

Very truly yours

(Signed) Wm. D. Bunting

Restaurant Inspector

(Signed) C. J. Smith

Plumbing Inspector

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, November 1, 1947

PERMIT

NOV 3 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 47/2389 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address Jacob Levinsky Telephone _____
 Lessee's name and address Mayberry's Handy Store, 255 Congress St. Telephone _____
 Contractor's name and address Metro Neon, 96 Exchange St. Telephone 3-3052
 Architect John Howard Stevens 4-3157 Plans filed yes No. of sheets 1
 Proposed use of building Store No. families _____
 Increased cost of work _____ Additional fee .25

Description of Proposed Work

To erect electric sign as per plan filed today.

PERMIT TO BE ISSUED TO Metro Neon

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Or centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved:

By A. T. N.

Metro Neon

Signature of Owner

By:

Approved:

11/5/47

Inspector of Buildings

ON COPY

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES

AT 255 Congress IN PORTLAND, MAINE

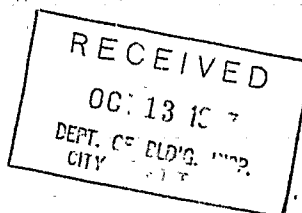
Jacob Levinsky, being the owner of the
premises at 255 Congress in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Grayberry's
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit

Jacob Levinsky, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanent safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 7 day of Octy, 1947

W. T. Milange Witness Jacob Levinsky Owner





(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 02833
OCT 25 1947

Portland, Maine, October 13 19 47

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 255 Congress Street Within Fire Limits? YES Dist. No. 1

Owner of building to which sign is to be attached Jacob Levinsky

Name and address of owner of sign Mayberry's Hardware Store, 255 Congress St.

Contractor's name and address Metro Neon, 27 96 Exchange St. Telephone 3-3052

When does contractor's bond expire? January 1948

Information Concerning Building

No. stories 1 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? yes Vertical dimension after erection 2' 3' Horizontal 6' 5'

Weight 140 lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2 material metal

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 1 Size 3/4" Location, top or bottom top

No. guys 5 material cable angle iron Size 5/8" 1/2 x 1/2 x 3/16

Minimum clear height above sidewalk or street 12' 6" 11'-0"

Maximum projection into street 6' 5'

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
10/24/47 O.K. JLG

Metro Neon

Fee \$ 1.00

Signature of contractor By: John C. Cadden

2nd
G.M.A.L.

Permit No. 47/2889

Location 255 Congress St

Owner Mayberry Handy Store

Date of permit 10/25/47

Sign Contractor

Final Inspn 11/17/47

NOTES

1/16/48 Shop inf. O.K.
all



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
0417

Class of Building or Type of Structure Second Class

Portland, Maine, May 20, 1944

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Jacob Levinsky Telephone no
1000 - Solomon Brown, 55 Congress St. Telephone
Contractor's name and address John Oakes, 97 Cumberland Ave. Telephone
Architect Charles Willand, St. Regis Hotel Plans filed yes No. of sheets 2
Proposed use of building Restaurant and stores No. families
Other buildings on same lot
Estimated cost \$ 250. Fee \$ 1.00

Description of Present Building to be Altered

Material brick No. stories 1 Heat steam Style of roof _____ Roofing _____
Last use Stores No. families _____

General Description of New Work

To use former store space for new restaurant - new kitchen partition will not go to ceiling
To provide new concrete floor in both toilet rooms and kitchen
Ten booths, 4 seats each, 4 employees
No beer to be sold on premises

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? no Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ R of covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
are observed? yes

Signature of owner Solomon Brown

ATTENTION COPY

44/417
Location 255 Cuyler St.
Owner S. S. Brown
Date of permit 3/16/42
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued

NOTES

2/19/44. 10th Street school.
C.H.
2/20/44. Work for quarry
could not get in to
work. C.H.
2/22/44. Some work done
in cellar but not as
much as I wanted to. Went
to the quarry. Will need
revised plan for quarry
as is. C.H.

INSPECTION NOT COMPLETED

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Room 21, City Hall

Gentlemen:

In connection with the installation of oil burning equipment as indicated in statement below, please sign this statement and return to this office as promptly as possible so that the permit may be issued if everything else is found in order, retaining the copy for your file.

Very truly yours,

(Signed) Warren McDonald
Inspector of Buildings.

* * * * *

1. This statement is to become as much a part of the application for a permit to cover installation of oil burning equipment for *burner at 251 Congress St*, as though written on the application form.
2. A switch or other manual control capable of completely stopping flow of oil to the burner will be provided, such device to be so located as to be conveniently reached and operated without being exposed to danger that may exist at or near the burner. If feasible this switch or similar device will be located at or near the top of the cellar stairs. In case the burner is of a type without electrical controls, a quick-closing valve will be provided in the oil supply line so located and arranged that the valve may be manually closed from the top of the cellar stairs, or outside of the room where the burner is located or from outside the building.
3. A quick action, self-closing valve designed to close at 160 to 165 degrees Fahrenheit will be provided in oil supply line.
4. Readily accessible shut-off valves, one of which may be the self-closing valve indicated in No. 3 if capable of manual operation, will be installed in oil supply line near each burner and close to supply tank. Shut-off valves will be installed on each side of oil strainers which are not a part of the oil burner unit or which are connected to oil burner unit without intervening piping or tubing. Shut-off valves will be provided both on the discharge side and the suction side of oil pumps, if any, which pump directly to the burner but which are not a part of the burner unit.
5. If there is to be a shut-off valve in the discharge line of an oil pump, a suitable pressure relief valve will be connected into the discharge line between pump and shut-off valve and arranged to return surplus oil to the storage tank or to by-pass it around the pump.

Dan L. McAlister
Installer

(Date) *Aug 20 1944*

By *W. L. McDonald*



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 1197

AUG 22 1941

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Aug 20, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress St Use of Building Bakery No. Stories New Building
Name and address of owner of appliance Kathryn Parks 251 Congress St
Installer's name and address Randall McAllister 84 Bonum Telephone 3 2941

General Description of Work

To install 1 Pressure type model G.C. Junker Oil Burner

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1 Kind of Fuel oil
Material of supports of appliance (concrete floor or what kind) Brick Pier
Minimum distance to wood or combustible material, from top of appliance or rising top of furnace, 1
from top of smoke pipe 1 from front of appliance 1 from sides or back of appliance 1
Size of chimney flue 1 Other connections to same flue no

IF OIL BURNER

Name and type of burner Junker G.C. Labeled and approved by Underwriters' Laboratories? yes
Will operator be always in attendance? no Type of oil feed (gravity or pressure) Pressure
Location oil storage Basement No. and capacity of tanks 1 - 275 Gal
Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed? no

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of Installer Randall McAllister
W. H. McAllister

Permit No.

41/1197

Location

251 Congress St

Owner

Kathryn Parks

Date of Permit

8/22/41

Post sent

Notif. for insp.

None

Approval Tag issued

10/14/41. See note

Oil Burner Check List (date)

1. Kind of heat

2. Label

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES

7/14/41. Initial National note started.
C.R.

10/14/41. Burner has been

removed. C.R.



(G) GENERAL BUSINESS ZONE **PERMIT ISSUED**
APPLICATION FOR PERMIT Permit No. 73

Class of Building or Type of Structure Second Class AUG 20 1940
Portland, Maine, August 19, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipments in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Jacob Levinsky, 278 Congress St. Telephone _____
Contractor's name and address L. E. Butland, 76 Kimjoy Street Telephone 4-1101
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Store (5410) No. families _____
Other buildings on same lot _____ Fee \$ 50
Estimated cost \$ 50

Description of Present Building to be Altered.
Memorandum from Department of Building Inspection, Portland, Maine

255 Congress St.—Owner, Jacob Levinsky—Contractor, L. E. Butland—8/20/40

To Builder and Owner:

If this new window is closer than 5 feet to rear property line, the window is required to be metal sash and wire glass.

CC Mr. Jacob Levinsky,
278 Congress St.

(Signed) Warren McDonald
Inspector of Buildings

the hearing contractor

Details of New Work

CERTIFICATE OF COMPLIANCE
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 3x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Signature of owner Jacob Levinsky

INSTRUCTION COPY

Permit No. 40/1173
Location 255 Congress St.
Owner Jacob Reznisky
Date of permit 8/21/40.
Notif. closing-in
Inspn. closing-in
FINANCE SECTION NOT COMPLETED
Final Inspn.
Cert. of Occupancy issued
See 40/71

NOTES

8/27/40. Work started. Window cut, check distance to new line. Climbing next in line not all in line.

9/3/40. Sided, no one working. Mr. Reznisky said he has more than 5' from rear wall to his line. OK.

9/5/40. Work complete except opening for toilet door. OK.

9/12/40. Same. OK.



FILL IN COMPLETELY AND SIGN WITH INK

CITY OF PORTLAND BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

APR 30 1940

Portland, Maine, April 30, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 251 Congress Street Use of Building Bakery No. Stories 1 ~~Not Existing~~ Existing "Existing"
Name and address of owner of appliance Mrs. Katherine S. Parks, 251 Congress St.
Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install gas-fired water heater

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel gas
Material of supports of appliance (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 2'
from top of smoke pipe 12" from front of appliance over 5' from sides or back of appliance over 5'
Size of chimney flue 10x10 Other connections to same flue furnace

IF OIL BURNER

Name and type of burner Gasco Labeled and approved by Underwriters' Laboratories? _____
Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Portland Gas Light Co.

INSPECTION COPY

Signature of Installer

By

[Signature]

[Signature]

67850

Permit No. 40/444
 Location 251 Currier St
 Owner Mrs Katherine Parks
 Date of Permit 4/30/40
 Post Card sent _____
 Notif. for insp. None
 Approval Tag issued 5/2/40. C. S.
 Oil Burner Check List (Date)

1. Kind of heat gas H.V. Heater
2. Label _____
3. Anti-siphon _____
4. Oil storage _____
5. Tank distance _____
6. Vent Pipe _____
7. Fill Pipe _____
8. Gauge _____
9. Rigidity _____
10. Feed safety _____
11. Pipe sizes and material _____
12. Control valve _____
13. Ash pit vent _____
14. Temp. or pressure safety _____
15. Instruction card _____
16. _____

NOTES

SEE REPAIR TO LOWER COVERING PIPES

5-12-40

EQUIPMENT



PERMIT ISSUED

Original Permit No. _____

Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, February 23, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 49/71 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 255 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Jacob Levinsky, 278 Congress St.
Contractor's name and address E. Butland, 76 Munjoy St. 4-1101
Plans filed as part of this amendment yes No. of Sheets 1
Is any plumbing work involved in this work? yes Is any electrical work involved in this work? _____
Increased cost of work _____ Additional fee .25
Framing Lumber: Kind? _____ Dressed or Full Size? _____

Description of Proposed Work

To locate toilet as shown on plan submitted with this amendment - cutting in new window in outside wall for ventilation of same at least three square feet in area

Approved:

Wm. B. [Signature]
Chief of Department
Restaurant Inspector

Commissioner of Public Works

INSPECTION COPY

Jacob Levinsky

Signature of Owner

E. Butland

Approved:

2/23/40 Wm. B. [Signature]

Inspector of Buildings

50C



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 6594

Class of Building or Type of Structure Second Class

JAN 19 1940

Portland, Maine, January 19, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~travell~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 255 Congress Street
Corner South St.
Within Fire Limits? **yes** Dist. No. 1
Owner's or lessor's name and address Jacob Levinsky, 278 Congress St. Telephone
Contractor's name and address L. E. Butland, 76 Munjoy St. Telephone 1101
Architect Plans filed **yes** No. of sheets 1
Proposed use of building Grocery store, stores No. families
Other buildings on same lot
Estimated cost \$ 25 Fee \$.25

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine

January 19, 1940--Re. Permit for toilet rooms at 255 Congress

To Owner and Contractor:

This ventilating shaft is required to be of metal or other non-burnable material. The doors to both toilet room and vestibule are required to be made self-closing by means of springs or spring hinges so that there will be little likelihood of both doors being open at the same time.

OO to Jacob Levinsky, 278 Congress St.

(Signed) Warren McDonald
Inspector of Buildings

the heating contractor.

Details of New Work

Is any plumbing work involved in this work? **yes**
Is any electrical work involved in this work? Height average grade to top of plate
Size, front depth No. stories Height average grade to highest point of roof
To be erected on solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of Roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Kind of heat Type of fuel Is gas fitting involved?
Framing Lumber--Kind Dressed or Full Size?
Corner posts Sills Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? **no**
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**

Signature of owner

By

INSTRUCTION COPY

Wm. B. Butland

Jacob Levinsky
L. E. Butland

V-3210



(G) GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

C. of Building or Type of Structure

Second Class

JAN 19 1940

Submittal to Bureau of Building

Material brick No.

Last use

Stores

St.

No. families

General Description of New Work

To provide new toilet with vestibule 4' x 6'6" as shown on plan, partitions to be 2x3 studs 16" OC covered on both sides with sheet rock, to be ventilated by shaft thru roof at least fifty-six square inches in cross section

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
EQUIPMENT IS WAIVED

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? _____

Height average grade to top of plate _____

Size, front _____ depth _____

No. stories _____

Height average grade to highest point of roof _____

To be erected on solid or filled land? _____

earth or rock? _____

Material of foundation _____

Thickness, top _____

bottom _____

cellar _____

Material of underpinning _____

Height _____

Thickness _____

Kind of Roof _____

Rise per foot _____

Roof covering _____

No. of chimneys _____

Material of chimneys _____

of lining _____

Kind of heat _____

Type of fuel _____

Is gas fitting involved? _____

Framing Lumber—Kind _____

Dressed or Full Size? _____

Corner posts _____

Sills _____

Girt or ledger board? _____

Size _____

Material columns under girders _____

Size _____

Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters:

1st floor _____

2nd _____

3rd _____

roof _____

On centers:

1st floor _____

2nd _____

3rd _____

roof _____

Maximum span:

1st floor _____

2nd _____

3rd _____

roof _____

If one story building with masonry walls, thickness of walls? _____

height? _____

If a Garage

No. cars now accommodated on same lot _____

, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? _____

no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner _____

By _____

INSTRUCTION COPY

Wm B. Bullard

Jacob Levinsky

6521C

P.39/460-1

5-25-39-R

May 18, 1939

Mr. Jacob Levinsky,
278 Congress Street,
Portland, Maine

Dear Sir:

With relation to the toilet room which you have provided in the rear hall of the building at 251 Congress Street, we find that the window, which you evidently intended for ventilation of the toilet room and which is required by law, is in such a position that the bottom of it is lower than the floor of the toilet room, thus making a pocket where dirt, etc. may accumulate and where a discarded cigarette might easily start a fire.

It will be necessary for you to raise this window so that the bottom of it will be at least level with the toilet room floor. Such an arrangement, however, cannot possibly give good ventilation to the room. While you are changing the location of the window I suggest that you raise it to normal height above the floor of the toilet room.

Since this window is in a wall which is practically on your property line, it will be necessary to brick up the old window opening with masonry at least eight inches thick.

Please have this matter fully taken care of at least by May 24, 1939.

Very truly yours,

Inspector of Buildings

WACD/11

CC: L. E. Eubank
76 Munjoy Street



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
0488

Iss of Building or Type of Structure Restroom

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, April 24, 1939 APR 27 1939

The undersigned hereby applies for a permit to erect alter ~~the~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 251 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Jacob Levinsky, 278 Congress St. Telephone _____
Contractor's name and address L. F. Rutland, 76 Munjoy St. Telephone 4-1101
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Bakery, stores No. families _____
Other buildings on same lot _____
Estimated cost \$ 25. Fee \$ 1.25

Description of Present Building to be Altered

Material brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
Last use Stores No. families _____

General Description of New Work

To provide new toilet room 4'6"x3'6" in rear hall as shown on plan - partition ~~work~~ sheathing, door to be made self-closing, ~~labeled~~ at least 24" wide - existing window at least three square feet in area for ventilation

If this window in toilet room is to be a new window or in a new location, it is required to be metal sash, wired glass because it apparently is on the property line.

2x3 studs will be used in partitions ~~work~~ 16" O.C. ~~work~~ with sheathing and 4' x 8' joists. CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

yes _____ yes _____
Size, front _____ depth _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ No. stories _____ Height average grade to highest point of roof _____
Material of foundation _____ earth or rock? _____
Material of underpinning _____ Thickness, top _____ bottom _____ cellar _____
Kind of Roof _____ Rise per foot _____ Height _____ Thickness _____
No. of chimneys _____ Material of chimneys _____ Roof covering _____
Kind of heat _____ Type of fuel _____ of lining _____
Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Jacob Levinsky

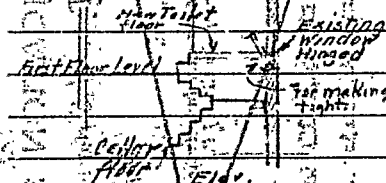
Wm. Rutland

441572

Permit No. 39/466
 Location 251 Congress St
 Name Jacob Dinsky
 Date of permit 4/27/39
 Not to closing-in
 Ins'n. g-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

NOTES

4/28/39 Work not started



5/2/39 Work done as shown
 above. Question for permit
 window as to ventilation
 also pocket for door
 shown create hangar

5/12/39 Mr. Bartholomew
 working out of town

left word for him
 to call. OK

5/7/39 - Rott

5/9/39 - Mr. Berninsky

in and out
 willing to

change window
 and make fast

screen door
 opening

for door - done

September 5, 1934

H. A. Johnson Company
221-227 State Street
Boston, Mass.

ATTENTION: Mr. J. W. Ross

Gentlemen:

Upon receipt of your diagram showing the installation of your Junior coal fired oven, I have approved the installation at Parks' Bakery at 251-255 Congress Street, this City, with the only extra stipulation that sheet metal is to be fastened on the floor at the ash box door extending two feet in front of the oven, a short distance back of the face of the oven, and about twice the width of the ash box door.

Your cooperation is appreciated.

Very truly yours,

Inspector of Buildings.

WM/HG