

140-142 CUMBERLAND AVENUE

SHAW-WALKER

Full cut # 920R - Half cut # 9202R - Trim cut # 3203R - Fitch cut # 9205R



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, December 16, 1960

RECEIVED
DEC 19 1960
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 140-142 Cumberland Ave. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Portland Redevelopment Authority, 369 Congress St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Bay State Wrecking Co., 25 Lancaster St. Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building _____ No. families _____
Last use Apartment House No. families _____
Material frame No. stories 3 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 1.00
Estimated cost \$ _____

General Description of New Work

To demolish existing 3-story frame apartment house.

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

Exclusion letter sub-12-16-60
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____ no _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

O.N. 12/19/60 - ags

Portland Redevelopment Authority
Bay State Wrecking Company

CS 301

INSPECTION COPY

Signature of owner by: W. J. ...

F.M.

Permit No. 601 1986
Location 144112 (L. ...)
Owner ...
Date of permit ...
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy Issued
Staking Out Notice
Form Check Notice

NOTES

8/24/86 See inside
7/2/86

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Portland Redevelopment Authority
309 Congress St.
Portland Maine

December 16, 1960

Gentlemen:

With relation to permit applied for to demolish a building or portion of building at 140-142 Cumberland Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department."

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

Albert J. Sears
Inspector of Buildings

AJS/jg

Eradication of this building has been completed.

J. L. King Jr.
12-16-60



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 10, 1960

RECEIVED
JUN 14 1960
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 110-112 Cumberland Ave. rear Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Portland Redevelopment Authority, 389 Congress St Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Bay State Wrecking Inc. 25 Lancaster St. Telephone _____
 Architect _____ Specifications _____ Plans NO No. of sheets _____
 Proposed use of building Apartment House No. families 8
 Last use Apartment House No. families 8
 Material frame No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To demolish existing 4-story apartment house rear portion

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building to be demolished, under the supervision and to the approval of the Department of Public Works of the City of Portland?
Yes.

El
Proclamation letter sent 6-14-60

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

6/14/60 - [Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Redevelopment Authority
Bay State Wrecking Co.

CS 301

INSPECTION COPY

Signature of owner

by:

Francis McQuinn

F.M.

Permit No 6cl 710 P

Location 1450-1452 Sutherland Ave

Owner Fortune Park Development Co

Date of permit 6/14/60

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy Issued

Staking Out Notice

Form Check Notice

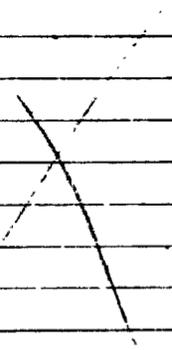
NOTES

Work started

12/16

Work completed

12/16



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Portland Redevelopment Authority
380 Congress St.
Portland Maine

June 11, 1960

Gentlemen:

With relation to permit applied for to demolish a building or portion of building at 110-112 Custerland Ave. is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

Albert J. Sears
Inspector of Buildings

AJS/jg

Eradication of this building has been completed.

[Signature]

Norman M. Welch

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Name of Construction: 140-147 Cumberland Ave		Owner: Long Island Sea Ventures, Inc.		Phone:		Permit No: 970615	
Address: 140-147 Cumberland Ave		Lessee/Buyer's Name: Balki's Carribbean Foods		Phone:		Business Name:	
Contractor Name:		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: JUN 19 1997 CITY OF PORTLAND </div>	
Use: Restaurant		Proposed Use: SAME		COST OF WORK: \$		PERMIT FEE: \$ 25.00	
Detailed Project Description: Interior Renovations - Cosmetic Only				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
Signature: <i>[Signature]</i>				Signature:		Zone: CBL: 0-1-1-001 Zoning Approval:	
Date Applied For: 7 June 1997				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> Other	
Taken By: Mary Greak		Date Applied For: 7 June 1997		Signature:		Date:	
<p>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>							
Daniel Wong P.O. Box 10118 Portland, ME 04104				<div style="border: 2px solid black; padding: 5px; transform: rotate(-15deg);"> PERMIT ISSUED WITH REQUIREMENTS </div>			
CERTIFICATION							
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all premises covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.							
Signature: <i>[Signature]</i>		ADDRESS: 21 Smith Street Portland, Me		DATE: 12 June 1997		PHONE:	
Responsible Person in Charge of Work, Title:				PHONE:		CEO DISTRICT: 1	
Legend: White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector							

COMMENTS

7/4/97 Checked interior bathrooms
renovated OK checked walls painted interior
Everything near completion. M. J.

	Inspection Record	Date
10/1/97	Checked exterior, bathrooms etc.	
Conc.		
Foundation:		
Framing:		
Roofing:		
Plumbing:		
Electrical:		
Other:	OK M. J.	