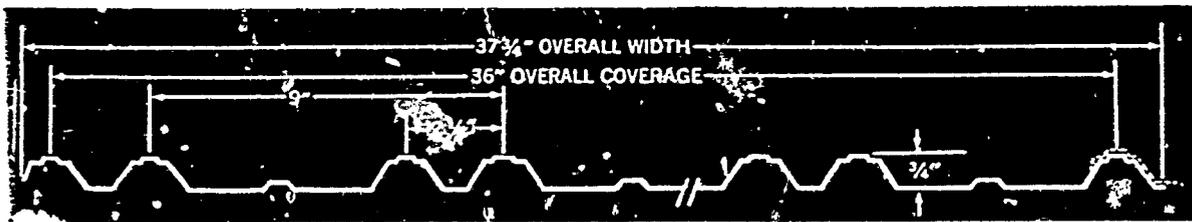


RECEIVED
AUG - 1 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

FABRAL

Strongrib™

HIGH STRENGTH
PAINTED AND PLAIN ALUMINUM ROOFING AND SIDING



Can be overlapped to 18" saving longitudinal cutting

Strongrib combines a strong alloy of Aluminum with an engineered profile to give you a long-lasting, maintenance-free roofing and siding product. Featuring ribs 3/4 inch deep with a reinforced crown fastening area, Strongrib panels cover a full three foot wide area for fast economical installation. Panels are custom cut to job specifications lengths thereby saving material costs, and erection time. The snug fitting anti-siphon design of the Strongrib overlap makes it virtually waterproof even in the most ardent wind-driven rain storm.

COMPLETE LINE OF ACCESSORIES

Matching flashing and trim pieces designed to give your building a finished look are available. Fabral Galvanized Nails, aluminum nails and screws, copper closures and reinforced fiberglass skylight panels are stocked for shipment with Strongrib panels.

COLOR SELECTION

Strongrib is available in natural aluminum with a almond embossed pattern or in painted aluminum with a rough sawn cedar embossed pattern. The painted aluminum has a baked-on epoxy primer with a polyester finish coat for lasting beauty & durability.

101 RED 102 WHITE 204 GREEN 228 BROWN

Refer to Fabral's Agricultural Color Selection Chart for actual samples of the colors.

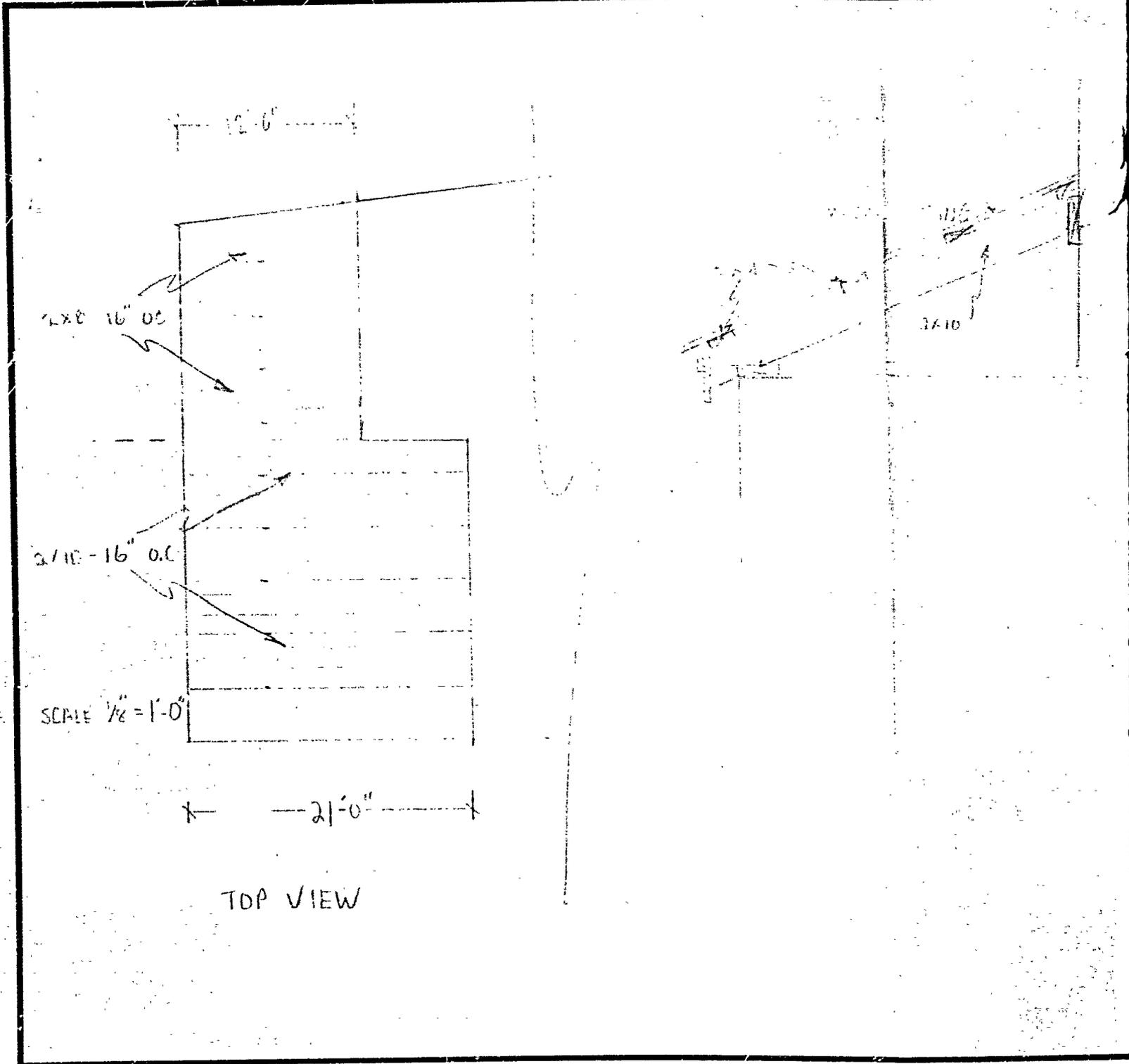
Aluminum Roofing Load Chart-Pounds per Square Foot

Profile	Gage	No. of Spans	Span in Inches*				
			24"	30"	36"	42"	48"
Strongrib	.0155	3 Spans	126	81	56	41	32
	.018	3 Spans	146	93	65	48	37

Spans over 30" are not recommended for roofing.

ALUMINUM STRONGRIB PANELS WARRANTY

Fabral Aluminum Strongrib panels are produced from high strength aluminum alloys that provide greater strength and durability for your investment. Fabral warrants Strongrib Aluminum roofing and siding panels for up to 30 years.



TOP VIEW

RECEIVED
AUG-1 1968
CLYD. OF BLDG. INSP.
CITY OF PORTLAND

FOR DEPOSIT ONLY
TO THE CREDIT OF
CITY OF PORTLAND, ME.
CASCO BANK 00-000-748
BUILDING INSPECTION

144			SCIENT MARINERS INC		
SCALE: 1/8" = 1'-0"	APPROVED BY:		DRAWN BY:		
DATE:			REVISED:		
CONTRACTOR J. SCALA BUILDER			772-1273		
48 NORTH ST PORTLAND, ME 04101			DRAWING NUMBER		

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 00791

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, Aug. 1, 1983.

PLAT 15, 16, 17

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- 1. Owner's name and address ... Ancient Mariners, Inc. ... same ... Fire District 71 [] 12 []
2. Lessee's name and address ... The Last Try ... same ... Telephone ...
3. Contractor's name and address ... J. Scala Bldg. ... 48 North St., Portland ... Telephone ... 772-3273

Proposed use of building ... bar ... No. of sheets ... 1
Last use ... same ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$ 7,500.00 ..

FIELD INSPECTOR—Mr. ... @ 775-5451
Appeal Fees \$
Base Fee
Late Fee
TOTAL \$ 20.00

To change pitch of roof from flat roof to 5/12 pitch, as per plan.

Stamp of Special Conditions

ISSUE PERMIT TO 48 NORTH ST.

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanical.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

DATE

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ... no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... yes

Signature of Applicant Joseph L. Scala
Type Name of above Joseph L. Scala Bldg. 1 [] 2 [] 3 [] 4 []
Other and Address

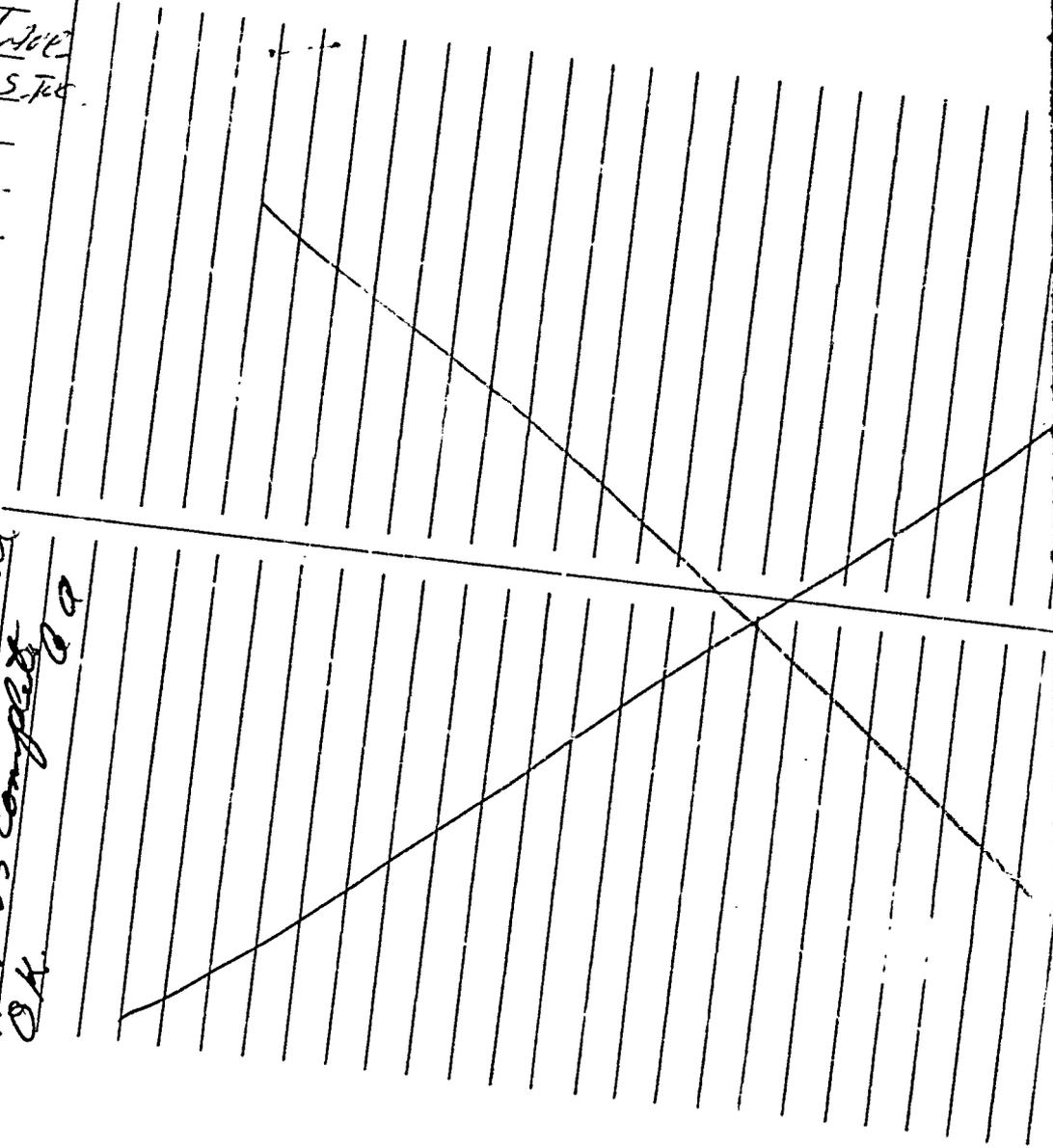
FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[7] MR. ADDATO

Permit no. 00791
 Location 144 Cumberland Ave
 Owner A MCINT MARINE S. INC
 Date of permit 1 Aug 83
 Approved _____
 Dwelling _____
 Garage _____
 Alteration Roof Pitch

NOTES

~~8-1-83~~ 8-1-83 - Check all OK
 8-9-83 - N.P. Project OK
 9-13-83 - Work not started yet.
 9-23-83 - Work started OK
 9-24-83 - Removal of ground
 concrete up to finish & will
 will allow cycling of
 10-13-83 - Progress OK OK
 in
 11-7-83 Complete OK
 OK



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00791
ZONING LOCATION PORTLAND, MAINE
To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

CITY of PORTLAND

1. Owner's name and address Ancient Mariners, Inc. - same
2. Lessee's name and address The Last Try - same
3. Contractor's name and address J. Scala Bldg. - 48 North St., Portland
Proposed use of building bar
Last use same
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 1,500.00
FIELD INSPECTOR - Mr. @ 775-5451
Appeal Fees \$
Base Fee
Late Fee
TOTAL \$ 20.00

To change pitch of roof from flat roof to 5/12 pitch, as per plan.

Stamp of Special Conditions

ISSUE PERMIT TO 48 NORTH ST.

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work?
Is any electrical work involved in this work?
Is connection to be made to public sewer?
If not, what is proposed for sewage?
Has septic tank notice been sent?
Form notice sent?
Height average grade to top of plate
Height average grade to highest point of roof
Solid or filled land? earth or rock?
Size, front depth
No. stories
Roof covering
Material of foundation
Rise per foot
Material of chimneys
Kind of roof
No. of chimneys
Material of lining
Kind of heat
Framing Lumber - Kind
Dressed or full size?
Corner posts
Size Girder
Columns under girders
Size
Max. of eave
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters:
On centers: 1st floor 2nd 3rd
Maximum span: 1st floor 2nd 3rd
If one story building with masonry walls, thickness of walls?
height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated
number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?
APPROVALS BY:
DATE
INSPECTING INSPECTION - PLAN EXAMINER
MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Signature of Applicant Joseph L. Scala
Type Name of above Joseph L. Scala Bldr.
Other 1 2 3 4
and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

B

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 712
ZONING LOCATION PORTLAND, MAINE July 10, 1985

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 144 Cumberland Avenue
1. Owner's name and address Acient, Harriner Inc. - same
2. Lessee's name and address Peter Coyne - 30 Chenlay Ave.
3. Contractor's name and address Mark George Nelson - 37 Horse St.

Proposed use of building 2 Family
Last use 1 family
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 19,600

FIELD INSPECTOR--Mr. @ 775-5451

Appeal Fees \$
Base Fee 70.00
Ch of use 25.00
Late Fee
TOTAL \$ 95.00

Change of use from 1 to 2 families with new apt on 2nd floor of dwelling, alterations, no structural changes

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes
Is any electrical work involved in this work? yes
Is connection to be made to public sewer? existing
Has septic tank notice been sent?
Height average grade to top of plate
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom circular
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION--PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Peter Coyne Phone # same
Type Name of above 1 2 3 4
Other and Address

FIELD INSPECTOR'S COPY

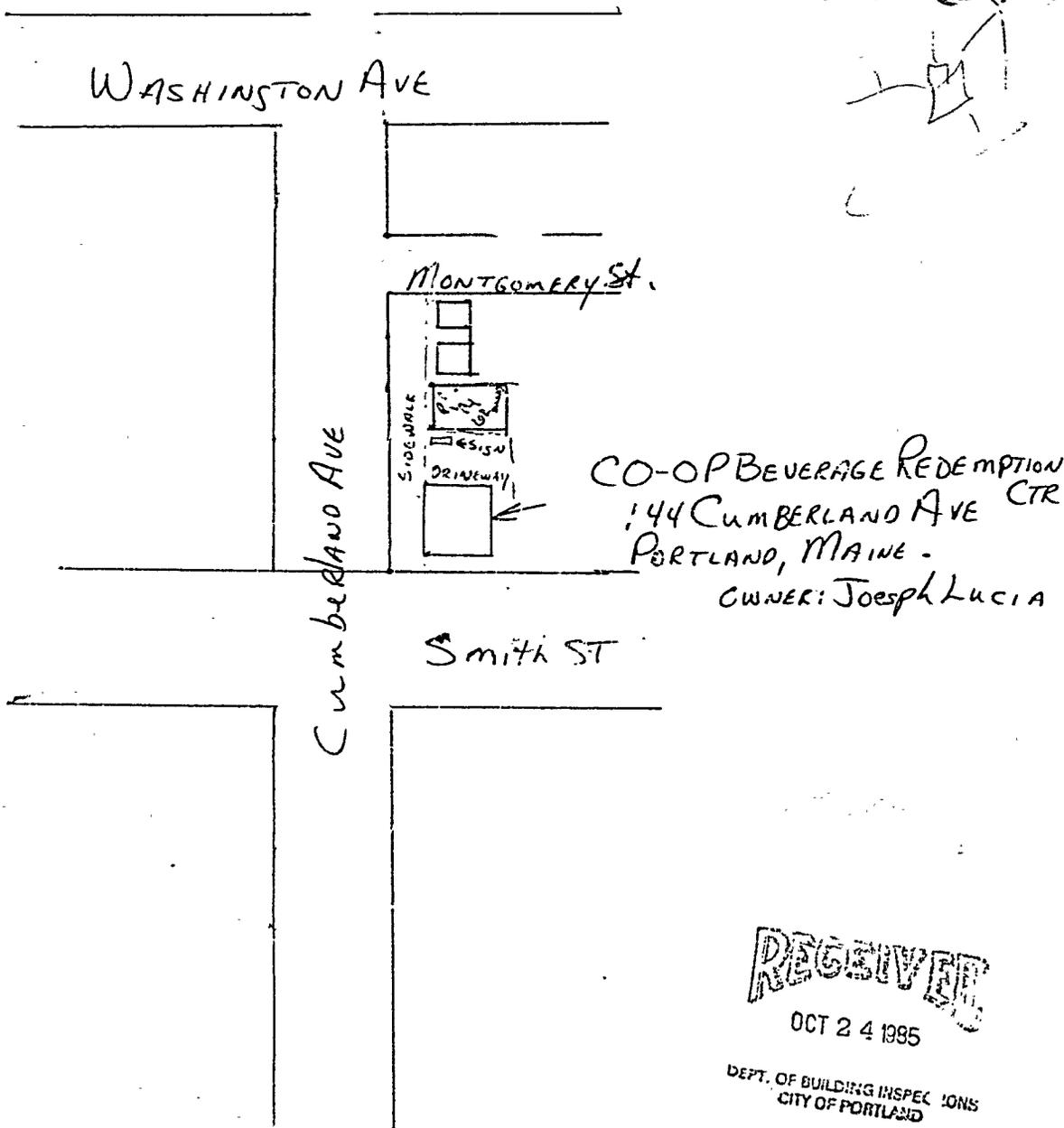
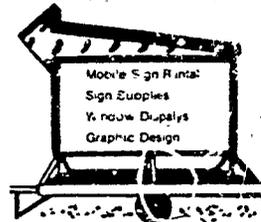
APPLICANT'S COPY

OFFICE FILE COPY

Peter Wentworth

Maine Mobile Message

17 Elm Street
Gorham, Maine 04038
Tel. (207) 839-3569



RECEIVED

OCT 24 1985

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP C-1237

B.O.C.A. TYPE OF CONSTRUCTION

OCT 28 1985

ZONING LOCATION R-4 PORTLAND MAINE Oct. 24, 1985

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 144 Cumberland Avenue - Co. Op. Bottle Redem Fire District #1 #2

1. Owner's name and address Joseph Lucia - same Telephone 773-3621

2. Lessee's name and address Telephone

3. Contractor's name and address Maine Mobile Message - 17 Elm St Telephone 839-3569

Gorham No. of sheets

Proposed use of building redemption center No. families

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other building, on same lot

Estimated contractual cost \$.....

FIELD INSPECTOR--Mr. Appeal Fees \$.....

@ 775-5451

Base Fee 10.00

Late Fee

TOTAL \$.....

To set 4' x 8' temporary ~~portable~~ portable sign to be used from Oct. 23 to Nov. 23, 1985 1st time for sign this year.

Stamp of Special Conditions

send permit to # 1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-- Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION--PLAN EXAMINER
ZONING: D.K. WATZ 10/28/85
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Phone # same
Type Name of above Ralph Randall for 1 2 3 4
Maine Mobile Message Other
and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[7] MR. ODD 1976

3

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 1237

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE .. Oct. 24, 1975

PERMIT ISSUED

OCT 28 1975

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 144 Cumberland Avenue - Co-Op Bottle Redem Fire District #1 , #2

1. Owner's name and address Joseph Lucia - same Telephone 773-3621

2. Lessee's name and address Telephone

3. Contractor's name and address Maine Mobile Message - 17 Elm St Telephone 839-3569 Gorham

Proposed use of building redemption center No. of sheets

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$

Base Fee 10.00

Late Fee

TOTAL \$

To set 4' x 8' temporary ~~portable~~ portable sign to be used from Oct. 23 to Nov. 23, 1985 1st time for sign this year.

Stamp of Special Conditions

send permit to # 1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Ralph Randall for
Type Name of above Maine Mobile Message
Other and Address

1239

APPLICATION FOR PERMIT

PERMIT ISSUED

OCT 28 1965

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE Oct. 24, 1965

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 144 Cumberland Avenue Co-Op Bottle Redemption Philip Levinsky - 278 Congress St. Fire District #1 [] #2 []

1. Owner's name and address Telephone
2. Lessee's name and address Joseph F Luicha - 684A Congress St. Telephone 871-3636
3. Contractor's name and address Telephone

Proposed use of building bottle redemption with sign No. of sheet
Last use vacant No. families
Material No. stories Heat Style of roof Roofing

Other buildings on same lot
Estimated contractual cost \$
Appeal Fees \$
Base Fee ch of use 25.00

Late Fee 28.00
TOTAL \$ 53.00

FIELD INSPECTOR - Mr. @ 775-5451
Change of use from vacant to bottle redemption center, also to erect 3' x 5' sign on front of building as per plans. 2 sheets of plans. no alterations or structural changes
Stamp of Special Conditions
send permit to # 1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewer?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Roof per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
Columns: 1st floor 2nd 3rd roof
Span: 1st floor 2nd 3rd roof
Building with masonry walls, thickness of walls? height?

IF A GARAGE

How many cars to be accommodated on same lot? How many commercial cars to be accommodated?
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Joseph F Luicha Phone # same
Type Name of applicant 1 [] 2 [xx] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

OK
11-12-85
aa

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 144 Cumberland Ave. IN PORTLAND, MAINE

Philip H. Levesque being the owner of the premises
at 144 Cumberland Ave. in Portland, Maine hereby
gives consent to the erection of a certain sign owned by
Joseph F. Lucha projecting over the public
sidewalk from said premises as described in application to the
Inspector of Buildings of Portland, Maine for a permit to cover
erection of said sign;

And in consideration of the issuance of said permit
Philip H. Levesque, owner of said premises,
in event said sign shall cease to serve the purpose for which
it was erected or shall become dangerous and in event the owner
of said sign shall fail to remove said sign or make it permanently
safe in case the sign still serves the purpose for which it was
erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove
said sign within ten days of notice from said Inspector of
Buildings that said sign is in such condition and of order from
him to remove it.

In Witness whereof, the owner of said premises has signed this
consent and agreement this 29 day of
Oct 1985.

Philip H. Levesque Owner

5'

CO-OP BEVERAGE
Redemption
Center

3'

9-11

OPEN

9-11

3' X 5'

RECEIVED

OCT 24 1985

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 144 Cumberland Avenue

Issued to C/O Op Bottle Redemption Date of Issue Nov. 8, 1985
Joseph F. Luicha

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 85-1230 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions: Entire Bottle Redemption Center

This certificate supersedes certificate issued

Approved:

11-12-85
(Date)

Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **C/O Op Bottle Redemption** LOCATION **144 Cumberland Avenue**
Joseph P. Luicha Date of Issue **Nov. 8, 1985**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **85-1238** has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions: **Entire** **Bottle Redemption Center**

This certificate supersedes certificate issued

Approved: 11-12-85 William A. 256 [Signature]
(Date) Inspector Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 144 Cumberland Ave IN PORTLAND, MAINE

I Philip Levinsky being the owner of the premises
at 144 Cumberland Ave in Portland, Maine hereby
gives consent to the erection of a certain sign owned by
Joseph F. Luicks ^{DBA} Coop Bottle Red Reiter projecting over the public
sidewalk from said premises as described in application to the
Inspector of Buildings of Portland, Maine for a permit to cover
erection of said sign;

And in consideration of the issuance of said permit
Philip Levinsky, owner of said premises,
in event said sign shall cease to serve the purpose for which
it was erected or shall become dangerous and in event the owner
of said sign shall fail to remove said sign or make it permanently
safe in case the sign still serves the purpose for which it was
erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove
said sign within ten days of notice from said Inspector of
Buildings that said sign is in such condition and of order from
him to remove it.

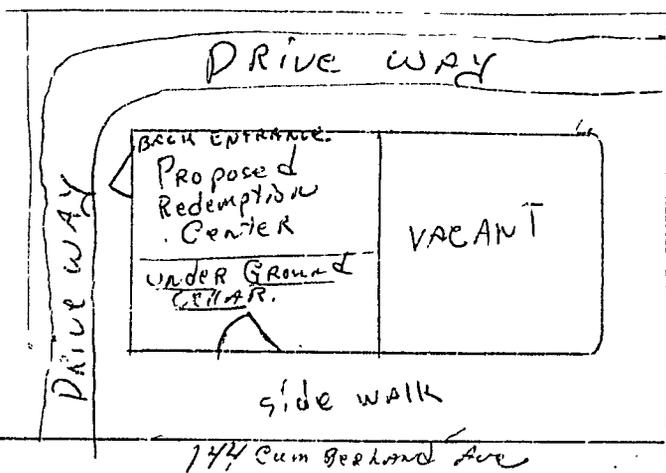
In Witness whereof, the owner of said premises has signed this
consent and agreement this October 28 day of
19 85.

Philip Levinsky 10/28/85

Applicant: Joseph F. Luicha Date: Oct. 24 1985
Address: Owner Philip Levinsky
Assessors No.: 144 Cumberland Ave Corner Smith St.

CHECK LIST AGAINST ZONING ORDINANCE

Date - Nonconforming Use
Zone Location - R-6 (Former Bar closed in May 1985)
Interior or corner lot -
Use - Proposed Redemption Store moving
Sewage Disposal - from Hampshire St behind American
Rear Yards - Bank
Side Yards -
Front Yards -
Projections - 3' x 5' maximum sized for R6
Height - This sign to be affixed to
Lot Area - wall of Building at
Building Area - 144 Cumberland Ave.
Area per Family - Consent form signed
Width of Lot - by Philip Levinsky
Lot Frontage - on Oct 28, 1985 M.J.T.
Off-street Parking -
Loading Bays -
Site Plan -
Shoreland Zoning -
Flood Plains -



S.M.F.H

RECEIVED

OCT 24 1985

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

CUMBERLAND Ave

5'

CO-OP BEVERAGE
Redemption
Center

3'

9-11

Open

9-11

3' X 5'

RECEIVED

OCT 24 1985

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

5'

CO-OP BEVERAGE
Redemption
Center

3'

9-11

OPEN

9-11

3' X 5'

RECEIVED

OCT 24 1985

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

APPLICATION FOR PERMIT

PERMIT ISSUED

OCT 28 1985

City Of Portland

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 041232

ZONING LOCATION R-6 PORTLAND, MAINE Oct. 24, 1985

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 144 Cumberland Avenue ... Co-Op Bottle Redemption Fire District #1 #2

1. Owner's name and address Philip Levinsky - 278 Congress St. Telephone

2. Lessee's name and address Joseph F. Luicha - 684A Congress St. Telephone 871-8636

3. Contractor's name and address Telephone

Proposed use of building bottle redemption with sign No. of sheets

Last use vacant No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR - Mr. Appeal Fees \$

@ 775-5451

Base Fee of use 25.00

Late Fee 28.00

TOTAL \$ 53.00

Change of use from vacant to bottle redemption center, also to erect 3' x 5' ~~structure~~ on front of building as per plans. 2 sheets of plans.

Stamp of Special Conditions

no alterations or structural changes

send permit to # 1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... cellar ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. on centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars usually stored in the proposed building? ...

APPROVALS BY: DATE BUILDING INSPECTION—PLAN EXAMINER ...
ZONING: ... DATE ...
BUILDING CODE: ...
Fire Dept.: ...
Health Dept.: ...
Others: ...

MISCELLANEOUS Will work require disturbing of any tree on a public street? ...
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ...

Signature of Applicant Joseph F. Luicha Phone # ... same ...
Type Name of above Joseph F. Luicha 1 2 3 4
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY
[Signature] Mr. Adato

NOTES

10-29-85 - Checked OK. CA
11-4-85 James Co CA

~~Large rectangular area with horizontal lines, crossed out with a large X.~~

Permit No. 85/1739

Location 1411 Grand Ave.

Owner Village Laundry

Date of permit 10-24-85

Approved 10-28-85

Dwelling Change of use

Garage

Alteration

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS



144 Cumberland Avenue

MERRILL S. SELTZER
Chairman

JOHN C. KNOX
Secretary

PETER F. MORELLI
THOMAS F. JEWELL
DAVID L. SILVERNAIL
MICHAEL E. WESTORT
CHRISTOPHER DINAN

December 5, 1988

Mr. Philip H. Levinsky
Levinsky's, I. C.
278 Congress Street
Portland, Maine 04101

Dear Mr. Levinsky:

This is in further reference to your interest in adding a landscape architects office to your building at 144 Cumberland Avenue. The building which is located in the R-6 Residence Zone is a pre-existing nonconforming use in that it has Canco Construction Company and the Immaculate Pagoda II Take-out Restaurant on the first floor of this building located near the corner of Cumberland Avenue and Smith Street (South-Easterly Corner).

Since these two business uses are nonconforming in the R-6 Residence Zone, it appears that a zone change would offer the most reasonable solution to this possible expansion of a business use at that location. It would be necessary to prove undue hardship in order to obtain approval of use variance to permit the addition of professional office uses on the second floor of the building at 144 Cumberland Avenue. Addition of an office for landscape architects would be considered as an expansion of a nonconforming use in the R-6 Residence Zone and would be prohibited by the City Zoning Ordinance.

For the above reasons, I would strongly recommend that you contact the City Planning Staff concerning a possible change of zone, inasmuch as there are already more than one business use located there. The Zone change should be from R-6 Residence to either B-1 or B-2 Business. Such changes are all handled through the City Planning Department, c/o Mr. Alexander Jaegerman, Chief Planner, Room 211, City Hall, Portland, Maine.

Sincerely,

Warren J. Turner
Zoning Enforcement Inspector

cc: Joseph E. Gray, Jr., Director, Planning & Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief, Inspection Services
Arthur Adlato, Code Enforcement Officer
Charles A. Lane, Associate Corporation Counsel



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date August 31, 1988
 Receipt and Permit number 29511

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 144 Cumberland Avenue
 OWNER'S NAME: Seavey, Timothy ADDRESS: 25 Smith St
 ADDRESS: Same

OUTLETS:	Receptacles _____	Switches _____	Plugmold _____	ft TOTAL <u>6</u>	FEEES
FLXTURES: (number of)	Incandescent _____	Flourescent _____	(not strip) TOTAL _____		<u>3.00</u>
	Strip Flourescent _____	ft _____			
SERVICES:	Overhead _____	Underground _____	Temporary _____	TOTAL amperes _____	
METERS: (number of)	_____				
MOTORS: (number of)	_____				
	Fractional _____				
	1 HP or over _____				
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____				
	Electric (number of rooms) _____				
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____				
	Oil or Gas (by separate units) _____				
	Electric Under 20 kws _____	Over 20 kws _____			
APPLIANCES: (number of)	_____				
	Ranges _____	Water Heaters _____			
	Cook Tops _____	Disposals _____			
	Wall Ovens _____	Dishwashers _____			
	Dryers _____	Compactors _____			
	Fans _____	Others (denote) _____			
	Exhaust _____				
	TOTAL <u>1</u>				<u>1.50</u>
MISCELLANEOUS: (number of)	_____				
	Branch Panels _____				
	Transformers _____				
	Air Conditioners Central Unit _____				
	Separate Units (windows) _____				
	Signs 20 sq. ft. and under _____				
	Over 20 sq. ft. _____				
	Swimming Pools Above Ground _____				
	In Ground _____				
	Fire/Burglar Alarms Residential _____				
	Commercial _____				
	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____				
	over 30 amps _____				
	Circus, Fairs, etc. _____				
	Alterations to wires _____				
	Repairs after fire _____				
	Emergency Lights, battery _____				
	Emergency Generators _____				
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE:				
FOR REMOVAL OF A "STOP ORDER" (204-16.b)	DOUBLE FEE DUE:				<u>4.50</u>
	TOTAL AMOUNT DUE: MIN				<u>5.00</u>

INSPECTION: Will be ready on Now, 1988; or Will Call _____
 CONTRACTOR'S NAME: Frank Herbert
 ADDRESS: 798 Main St. So. Portland, Maine 04106
 TEL: 774-0391
 MASTER LICENSE NO.: 2576
 LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

923408

Permit # 923408 City of Portland BUILDING PERMIT APPLICATION Fee \$35. Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Little ChinaTown Phone # 775-2377
 Address: 144 Cumberland Ave; Pct 11, NE 94101
 LOCATION OF CONSTRUCTION 144 Cumberland Ave. 25 Smith St
 Contractor: MESA Co Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: \$ 3,000 Proposed Use: restaurant w awning
 Past Use: restaurant
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion erect awning

PERMIT ISSUED
 For Official Use Only
 Date 1/31/92 Subdivision _____
 Inside Fire Limits _____ Name FEB - 1992
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership _____
 Estimated Cost 3000 Public _____
 CITY OF PORTLAND

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other WPA (Explain) 2-3-92

Foundation: Timothy Seavey
26 Hillis St; Pct 11, NE 01103
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Size _____ Spacing _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling: HISTORIC PRESERVATION
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys:
 Type _____ Number of Fire Places _____
 Heating: Type of Heat: _____
 Electrical: Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
 Plumbing:
 1. Apprnval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase
 Signature of Applicant Timothy Seavey Date 1-31-92
 CEG's District 1
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO Mr. Leary

White - Tax Assessor

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ 35

Subdivision Fee \$ _____

Site Plan Review Fee \$ _____

Other Fees \$ _____

(Explain) _____

Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS 3-3-97 Curbing has been installed

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

[Signature] 775-2370

SIGNATURE OF APPLICANT ADDRESS PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE NO.



**AWNING
DESIGNS**

Dan Leaden
207-839-3569

COMMERCIAL • RESIDENTIAL
Entrance Canopies • Terraces
Back Lit Awnings • Fabric Signage

A Division of
N.E.S.A. 1-800-462-6303
17 Elm Street, Gorham, Maine 04038

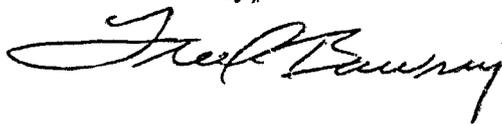
EVINSKY'S, INC.
278 Congress Street
Portland, Maine 04101

January 30, 1992

To Whom It May Concern:

Tim Seavey (D.B.A. Little China Town) has permission to erect awnings at his business located in the building at 144 Cumberland Avenue. Any inquiries or problems should be directed to Fred Bowring at Levinsky's, 278 Congress Street, Portland, Maine 04101. Telephone : 774-0972.

Sincerely,



RECEIVED

JAN 31 1992

DEPT. OF BUILDING PERMITS
CITY OF PORTLAND

Certificate of Flame Resistance

Sales #99336
Date: 1/31/91



REGISTERED APPLICATION CONCERN No.

F31.02

ISSUED BY
Unitex East
311 Roosevelt Avenue
P.O. Box 346
Pawtucket, RI 02860

Date work performed

This is to certify that the materials described on the reverse side hereof have been flame-retardant treated (or are inherently nonflammable).

FOR Avning Designs

CITY Portland

AT 36 Warren Avenue

STATE ME 04103

Certification is hereby made that: (Check "a" or "b")

(a) The articles described on the reverse side of this Certificate have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of chemical used _____

Method of application _____

Chem. Reg. No. _____

(b) The articles described on the reverse side hereof are made from a flame-resistant fabric registered and approved by the State Fire Marshal for such use.

Trade name of flame-resistant fabric used 61" 16oz Avmlit

#3036 - Ivory

Reg. No. F31.02

The Flame Retardant Process Used

Will Not

(will or will not)

Be Removed By Washing

Name of Applicant _____

By _____

[Signature]
Title *[Signature]*

Product Code: UAIV

We hereby certify this to be a true copy of the original "CERTIFICATE OF FLAME RESISTANCE" issued to us, "original copy" of which has been filed with the California State Fire Marshal.

Signed _____

By _____

Document #189852
Date: 8/30/90

Certificate of Flame Resistance



REGISTERED
APPLICATION
CONCERN No.
F31.02

ISSUED BY
Unitex East
311 Roosevelt Avenue
P.O. Box 346
Pawtucket, RI 02860

Date work performed

This is to certify that the materials described on the reverse side hereof have been flame-retardant treated (or are inherently nonflammable).

FOR New England Specialty Advertising AT 85 Weeks Road
CITY Corham STATE ME 04038

Certification is hereby made that (Check "a" or "b")

(a) The articles described on the reverse side of this Certificate have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.
Name of chemical used _____ Chem. Reg. No. _____
Method of application _____

(b) The articles described on the reverse side hereof are made from a flame-resistant fabric registered and approved by the State Fire Marshal for such use.
Trade name of flame-resistant fabric used 51" 16oz Awlitt Reg. No. F31.02
#3330 - Red

The Flame Retardant Process Used Will Not Be Removed By Washing
(will or will not)

By [Signature]
Title Division Manager

Product Code: 0A9ED

We hereby certify this to be a true copy of the original "CERTIFICATE OF FLAME RESISTANCE" issued to us, "original copy" of which has been filed with the California State Fire Marshal.

Signed _____

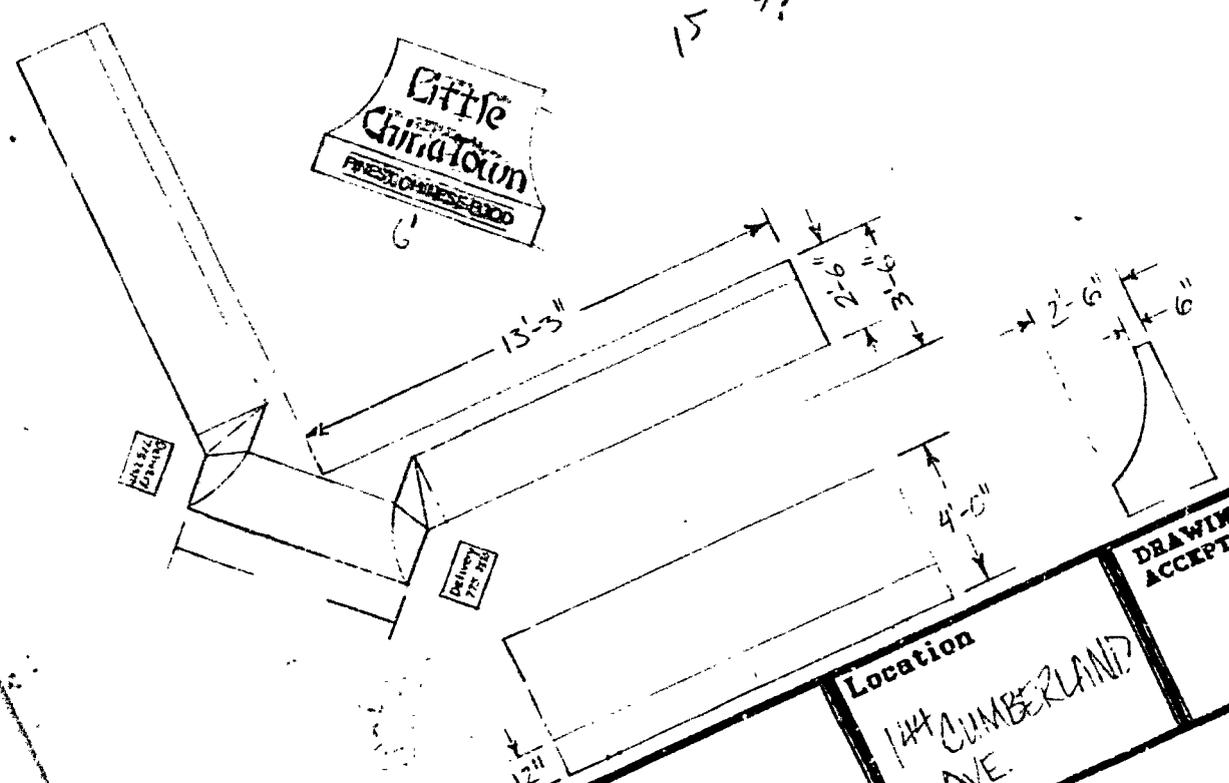
By _____

N.E.S.A.
 National Specialty Advertising & Operating
 Agency
 1500 Broadway
 New York 17, N.Y.

PREVIEWED
 JAN 31 1952
 DEPT. OF PUBLIC AFFAIRS
 CITY OF PORTLAND

15 94 AT

Little
 China Town
 FINEST CHINESE FOOD



Designed for:
 LITTLE CHINA TOWN

Location
 144 CUMBERLAND
 AVE.

DRAWING ACCEPTED BY
 SPECIFICATIONS

This design is
 All production
 reserved by
 for your per
 displayed on
 exhibited

924321

City of Portland BUILDING PERMIT APPLICATION, Fee \$25. Zone Map # Lot #

Permit # 924321

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Little China Town Inc Phone # 755-2370
Address: 144 Cumberland Ave - Ptd. NE 04103
LOCATION OF CONSTRUCTION: 144 Cumberland Ave.
Contractor: Lessee Sub: Phone #

Est. Construction Cost: 200 Proposed Use: RESTAURANT WITH
Part Use: RESTAURANT
of Existing Res. Units # of New Res. Units
Building Dimensions L W Total Sq. Ft.
Stories: # Bedrooms Lot Size:

In Proposed Use: Seasonal Condominium Conversion
Explain Conversion: Interior renovations - partition

Foundations:
1. Type of Soil: Rear Slides
2. Set Backs - Front
3. Footings Size: Spacing 16" O.C.
4. Foundation Size: Size:
5. Other: Sills must be anchored.

Floor:
1. Sills Size: Sills must be anchored.
2. Girder Size: Size:
3. Lally Column Spacing: Spacing 16" O.C.
4. Joist Size: Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material: Size:

Exterior Walls:
1. Studding Size: Spacing
2. No. Windows: No. Spacing
3. No. Doors: No. Spacing
4. Header Size: Yes No Spacing
5. Bracing: Yes No Spacing
6. Corner Posts Size: Size
7. Insulation Type: Size
8. Sheathing Type: Size
9. Siding Type: Weather Exposure
10. Masonry Materials: Size
11. Metal Materials: Size

Interior Walls:
1. Studding Size: Spacing
2. Header Size: Spacing
3. Wall Covering Ty: Spacing
4. Fire Wall If required: Spacing
5. Other Materials: Spacing

White - Tax Assessor

PERMIT ISSUED
NOV 12 1992
CITY OF PORTLAND
Date: 11/4/92
Inside Fire Limit: Subdivision
Blkg Code: Ownership
Time Limit: 200
Estimated Cost: 200

Street Frontage Provided: Back Side Side
Review Required: Zoning Board Approval: Yes No Date: Planning Board Approval: Yes No Date: Conditional Use: Variance Floodplain Yes No Special Exemption Other (explain):

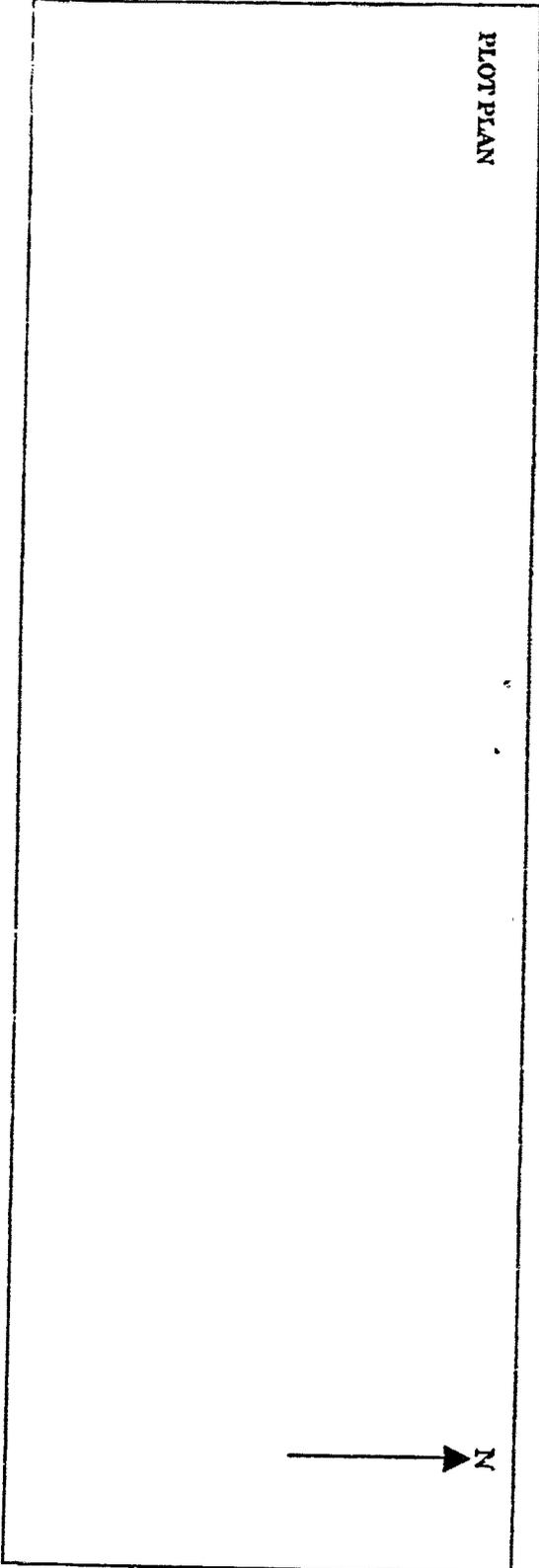
Colling:
1. Ceiling Joist Size: Spacing
2. Ceiling Strapping Size: Spacing
3. Type Colling: Size
4. Insulation Type: Spacing
5. Ceiling Height: Spacing

Roof:
1. Truss or Rafter Size: Spacing
2. Sheathing Type: Spacing
3. Roof Covering Type: Spacing
Chimneys:
Type: Number of Fire Places
Heating:
Type of Heat: Smoke Detector Required Yes No
Electrical:
Service Entrance Size: Smoke Detector Required Yes No
Plumbing:
1. Approval of soil test if required
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures
Swimming Pools:
1. Type: Square Footage
2. Pool Size: X
3. Must conform to National Electrical Code and State Law.

Permit Received By: Louis G. E. Chase
Signature of Applicant: Timothy Seakey Date: 11-4-92
CEO's District: Ivory Tr - CEO

CONTINUED TO REVERSE SIDE

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 35
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type	Inspection Record	Date

COMMENTS *"He think is all complete!"*

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT *[Handwritten Signature]*

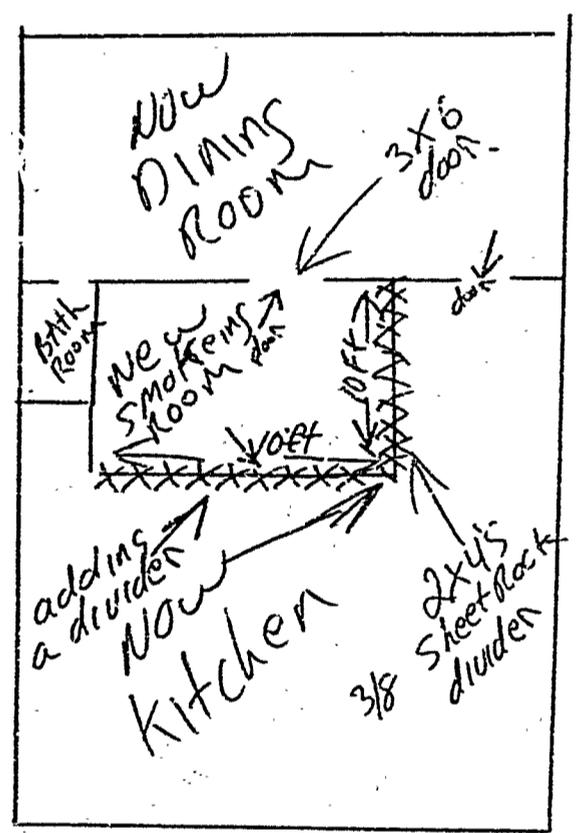
ADDRESS

PHONE NO. 775-2370

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE

PHONE NO.

We are using a 10 ft by 10 ft of the kitch. for a smoking room with three tables. this was a room at one time, and adding a room divider, no plumbing or electric work need. the x's are the divider



RECEIVED

NOV 04 1992

DEPT. OF BUILDINGS
CITY OF PORTLAND

11-3-92

Little China town Inc.
144 Cumberland Ave
Portland, ME. 04102
c/o Timothy SEAVEY
775-2370