

76-82 ATLANTIC STREET

Full cut # 92037 - Hat cut # 92038 - Tr. cut # 12037 - 5791 cut # 92051





CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

November 20, 1981

Ray Michaud  
22 Monument Square  
Portland, Maine 04101

cc: Beatrice, Charles & Mark Chorney  
92 Jeanne Street  
Portland, Maine 04102

Re: 22 Monument Square

Dear Mr. Michaud:

Please be notified that Section 602.16.C, of the Portland Zoning Ordinance restricts the use of any portable signs on public sidewalks.

It will be necessary to remove all such signs at the above named location within 10 days of the receipt of this letter. If at that time no corrective action has been taken, our Corporation Counsel will be consulted for further legal action.

If you have any questions regarding this matter, don't hesitate to contact this office.

Very truly yours,

Marge Schmuckal  
Code Enforcement Officer

MS/jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

November 20, 1981

Maine Surplus Sales Corporation  
28 Monument Square  
Portland, Maine 04101

Re: 28 Monument Square

Dear Sir:

Please be notified that Section 602.16.C of the Portland Zoning Ordinance restricts the use of any portable signs on public sidewalks.

It will be necessary to remove all such signs, at the above named location, within 10 days of the receipt of this letter. If at that time no corrective action has been taken, our Corporation Counsel will be consulted for further legal action.

If you have any questions regarding this matter, don't hesitate to contact this office.

Very truly yours,

Marge Schmuckal  
Code Enforcement Officer

MS/jmr



**APPLICATION FOR PERMIT**  
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES  
 ELECTRICAL INSTALLATIONS

Date 10-12, 19 78  
 Receipt and Permit number A13035

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of  
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 22 Monument Sq.  
 OWNER'S NAME: Chorney Assoc. ADDRESS: same

OUTLETS: 1-30						
Receptacles _____	Switches _____	Plugmold _____	ft. TOTAL <u>1-30</u>			FEEES
FIXTURES: (number of)						
Incandescent _____	Flourescent <u>4</u>	(not strip) TOTAL _____				<u>3.00</u>
Strip Flourescent _____	ft. _____					<u>3.00</u>
SERVICES:						
Overhead _____	Underground _____	Temporary _____	TOTAL amperes _____			
METERS: (number of) _____						
MOTORS: (number of)						
Fractional _____						
1 HP or over _____						
RESIDENTIAL HEATING:						
Oil or Gas (number of units) _____						
Electric (number of rooms) _____						
COMMERCIAL OR INDUSTRIAL HEATING:						
Oil or Gas (by a main boiler) _____						
Oil or Gas (by separate units) _____						
Electric Under 20 kws _____	Over 20 kws _____					
APPLIANCES: (number of)						
Ranges _____	Water Heaters _____					
Cook Tops _____	Disposals _____					
Wall Ovens _____	Dishwashers _____					
Dryers _____	Compactors _____					
Fans _____	Others (denote) _____					
TOTAL _____						
MISCELLANEOUS: (number of)						
Branch Panels _____						
Transformers _____						
Air Conditioners Central Unit _____						
Separate Units (windows) _____						
Signs 20 sq. ft. and under _____						
Over 20 sq. ft. _____						
Swimming Pools Above Ground _____						
In Ground _____						
Fire/Burglar Alarms Residential _____						
Commercial _____						
Heavy Duty Outlets, 220 volt (such as welders) 30 amps and under _____						
over 30 amps _____						
Circus, Fairs, etc. _____						
Alterations to wires _____						
Repairs after fire _____						
Emergency Lights, battery _____						
Emergency Generators _____						
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____	INSTALLATION FEE DUE: _____					
FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____	DOUBLE FEE DUE: _____					
	TOTAL AMOUNT DUE: _____					<u>6.00</u>

INSPECTION: Will be ready on 10-12, 19 78 or Will Call \_\_\_\_\_  
 CONTRACTOR'S NAME: Royal River Elec.  
 ADDRESS: New Gloucester, Me.  
 TEL.: 926-4547  
 MASTER LICENSE NO.: 902  
 LIMITED LICENSE NO.: \_\_\_\_\_

SIGNATURE OF CONTRACTOR:  
*James Thomson*

INSPECTOR'S COPY — WHITE  
 OFFICE COPY — CANARY  
 CONTRACTOR'S COPY — GREEN

20 Monument Square

February 19, 1976

Sheldon's  
20 Monument Square  
Portland, ME 04111

As discussed with the store manager on February 2, 1976, signs are not allowed on public sidewalks. On February 19, 1976 your sign was again on the sidewalk. This use must be discontinued immediately.

Also, as mentioned to you at the same time, signs on your own property are permitted (if they are approved by our own zoning specialist) if and when a permit is taken out for it. Come in and take out a permit for the sign, and bring with you a simple plan showing the dimensions and location.

Very truly yours,

Marge Schmuckal  
Building Inspector

MS/mj



# APPLICATION FOR PERMIT

Class of Building or Type of Structure dwelling

Portland, Maine, August 31, 1973

PERMIT ISSUED

0097 AUG 31 1973

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 78 Atlantic Ave Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Irma Shannon, same Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Mainecraft Inc, 480 Congress St, Portland Telephone 772-5342  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material frame No. stories 2 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ \_\_\_\_\_ Fee \$ 5.00

### General Description of New Work

install aluminum siding.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO**

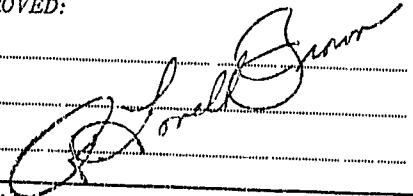
### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ c of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber--Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner

by:

Lyndon McMackin  
 MAINECRAFT INC  
 Lyndon McMackin

#6261

CITY OF PORTLAND, MAINE  
Application for Permit to Install Wires

*VOID*

Permit No. ....  
Issued .....  
Portland, Maine SEPT 25 ..... 1973

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address IRMA SHANNON 78 ATLANTIC ST. Tel. 773-4656...

Contractor's Name and Address JOHN T. MANNING Tel. 799-1061.....

Location 78 Atlantic St Use of Building .....

Number of Families 3 Apartments Stores Number of Stories .....

Description of Wiring: New Work Additions Alterations PIPING SERVICE (ALUM. SIKING)

Pipe . . . Cable Metal Molding BX Cable Plug Molding (No. of feet)

No. Light Outlets Plugs Light Circuits Plug Circuits

FIXTURES: No. Fluor. or Strip Lighting (No. feet)

SERVICE: Pipe X Cable Underground No. of Wires 3 Size #3

METERS: Relocated Added Total No. Meters 3

MOTORS: Number Phase H. P. Amps Volts Starter

HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.

Commercial (Oil) No. Motors Phase H.P.

Electric Heat (No. of Rooms)

APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)

Elec. Heaters Watts

Miscellaneous Watts Extra Cabinets or Panels

Transformers .. Air Conditioners (No. Units) Signs (No. Units) Will Call

Will commence ..... 19 Ready to cover in 19 Inspection 19

Amount of Fee \$ .....

Signed John T. Manning

DO NOT WRITE BELOW THIS LINE

SERVICE	METER			GROUND		
VISITS: 1	2	3	4	5	6	
..... 7	8	9	10	11	12	

REMARKS:

INSPECTED BY .....  
(OVER)

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

December 19, 1962

Portland Renewal Authority

Gentlemen:

Sec  
78 ALANTIOS

With relation to permit applied for to demolish a building or portion of building at 22-24 Monument Street it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

*Albert J. Sears*

Albert J. Sears  
Inspector of Buildings

AJS/H

Eradication of this building has been completed.

*J. P. Lewis*  
12-18-62





# APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, December 19, 1962

RECEIVED  
11650  
DEC 19 1962  
CITY OF PORTLAND  
DEPT. OF BUILDINGS

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 22-24 Monument St. (See 78 (Theatre St)) Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Portland Renewal Authority, City Hall Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Saa Serota, 43 Walton St. Telephone 3-5105  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use apt. house No. families 6  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 5.00

### General Description of New Work

To demolish existing 2 1/2 story apartment house

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland?

Sent to Health Dept. 12/19/62

Rec'd. from Health Dept. 12/17/62

*Eradicator sent 12/19/62*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owners**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form not. \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*OK - 12/19/62 - agj*

### Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Portland Renewal Authority

CS 301

INSPECTION COPY

Signature of owner Saa Serota



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, May 21, 1958

PERMIT

MAY 21 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 78 Atlantic St. Use of Building: Dwelling No. Stories: 2 New Building Existing: Existing Name and address of owner of appliance: Lgo. Boucher, 25 Myrtle St. Installer's name and address: Lamport Oil Co., 206 Congress St. Telephone: 3-2451

General Description of Work

To install Oil burning equipment in existing gravity hot water boiler. (conversion)

IF HEATER, OR POWER BOILER

Location of appliance: Any burnable material in floor surface or beneath? If so, how protected? Kind of fuel? Minimum distance to burnable material, from top of appliance or casing top of furnace From top of smoke pipe From front of appliance From sides or back of appliance Size of chimney flue Other connections to same flue If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner: Iron Fireman-gun type Labelled by underwriters' laboratories? yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner: concrete Size of vent pipe: 1 1/4" Location of oil storage: Basement Number and capacity of tanks: 1-275 gal. Low water shut off: Make: No. Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none Total capacity of any existing storage tanks for furnace burners: 1-275 existing

IF COOKING APPLIANCE

Location of appliance: Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smoke pipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

[Blank lines for miscellaneous information]

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature] 5-21-58 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Lamport Oil Co.

CITY MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer by: [Signature]

F.M.



FILL IN AND SIGN WITH INK

### APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 283-50

PERMIT ISSUED  
01859  
OCT 4 1950  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 78 Atlantic St Use of Building dwelling No. Stories 2 1/2 Existing Existing

Name and address of owner of appliance Proprietor, Pine St. Laundry, Inc.

Installer's name and address John J. Ridge, Inc. Telephone 2-4707

General Description of Work  
To install New Oil Boiled Burner Unit steam  
(replacement)

#### IF HEATER, OR POWER BOILER

Location of appliance or source of heat basement Type of floor beneath appliance concrete

If wood, how protected? Kind of fuel oil

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 3.6"

From top of smoke pipe 24" From front of appliance over 4' From sides or back of appliance over 3'

Size of chimney flue 8" x 12" Other connections to same flue Kitchen range

If gas fired, how vented? Rated maximum demand per hour 1.25

#### IF OIL BURNER

Name and type of burner Silent Glow Labeled by underwriter's laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom

Type of floor beneath burner concrete

Location of oil storage basement Number and capacity of tanks 1-275-gal

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners none

#### IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smoke pipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

#### MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:  
W/10-360. JRM

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer John J. Ridge



**(A) APARTMENT HOUSE ZONE**  
**APPLICATION FOR PERMIT**

Class of Building or Type of Structure Third Class  
 Portland, Maine, May 21, 1947

PERMIT ASSIGNED  
**01074**  
 MAY 28 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair ~~and relocate~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 78 Atlantic Street Within Fire Limits? yes Dist. No. 3  
 Owner's name and address Patrick Bowen, 78 Atlantic St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Lester Whithee, 17 May St. Telephone 3-3907  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No of sheets \_\_\_\_\_  
 Proposed use of building Dwelling No. families 2  
 Last use \_\_\_\_\_ No. families 2  
 Material frame \_\_\_\_\_ No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 100 Fee \$ 50

**General Description of New Work**

To relocate existing window in kitchen, second floor.

CERTIFICATE OF OCCUPANCY  
 REQUIREMENT IS WAIVED

*It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.*

**Details of New Work**

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber--Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and partying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Miscellaneous**

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Patrick Bowen

Signature of owner: Patrick Bowen

INSPECTION COPY

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 78 Atlantic St		Owner: Shannon, Irma	Phone:	Permit No: <b>940765</b>
Owner Address:	Lease/Buyer's Name:	Phone:	Business Name:	Mary Gresik
Contractor Name: John Mimmovich	Address:	Phone: 775-3180	Permit Issued:  JUL 28 1994	
Past Use: 2-fam	Proposed Use: 2-fam w/handicapp ramp	COST OF WORK: \$ 375.	PERMIT FEE: \$ 25.00	Zone: <u>A-6</u> CBL: <u>016-E-001</u>
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
Proposed Project Description: Construct Handicapp Ramp as per plans		Signature:	Signature:	Zoning Approval: <u>WR</u>
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

★ Diana Mimmovich  
78 Atlantic St (1st fl)  
Portland, ME 04101

PERMIT ISSUED  
WITH LETTER

WITH LETTER

**CERTIFICATION**  
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT John Mimmovich ADDRESS: DATE: 21 July 1994 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

Zoning: A-6 CBL: 016-E-001

Zoning Approval: WR

Special Zone or Reviews:  
 Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan  minor  mm

Zoning Appeal:  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: 7/25/94

CEO DISTRICT 1

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**City of Portland, Maine - Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 78 Atlantic St		Owner: Shannon, Irene	Phone:	Permit No: 240765
Owner Address:	Lease/Buyer's Name:	Phone:	Business Name:	Mary Gresik
Contractor Name: John Missovich	Address:	Phone: 775-3180	Permit Issued: <b>PERMIT ISSUED</b> JUL 28 1994	
Past Use: 2-1am	Proposed Use: 2-1am w/handicapp ramp	COST OF WORK: \$ 375.	PERMIT FEE: \$ 25.00	Zone: CB1B W-21 CITY OF PORTLAND
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
Proposed Project Description:  Construct Handicapp Ramp as per plans		Signature:	Signature:	Zone: CB1B W-21 CITY OF PORTLAND
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.)		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
		Signature:	Date:	Historic Preservation: <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Diana Missovich  
78 Atlantic St (1st Fl)  
Portland, ME 04101

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT John Missovich ADDRESS: \_\_\_\_\_ DATE: 21 July 1994 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT 1

Inspection Services  
Samuel P. Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

July 28, 1994

RE: 78 Atlantic St.

John Mimmovich  
78 Atlantic St.  
Portland, ME 04101

Dear Mr. Mimmovich,

Your application to construct a handicap ramp has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

1. Please note that the top of the rail should be no more than 34" instead of the 36" shown on your plan.
2. Enclosed are ANSI A 117 guidelines for ramps. All applicable items must be met.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

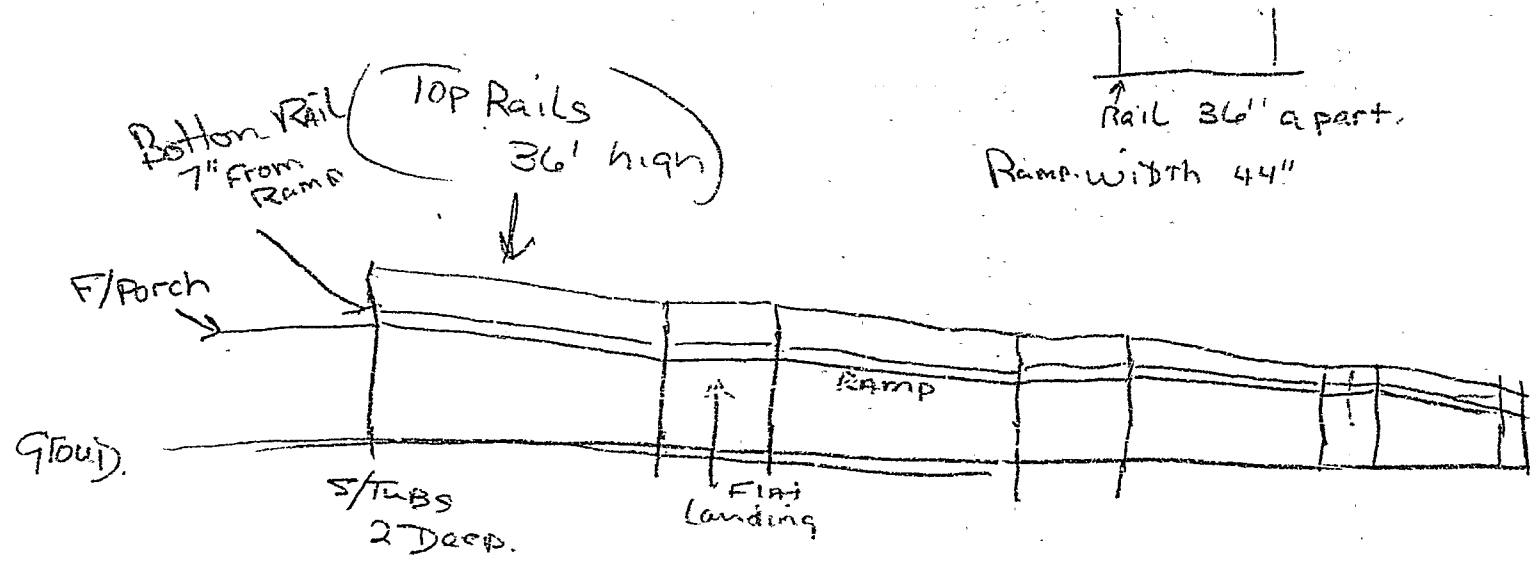
Asst. Chief of Inspection Services

/el

Enclosure

Pressure Treated Lumber

29' Long



Ramp width 44"

R/W 44"

R/L 33' FT.



Be sure to rise curb  
Zoning Set-backs

**4.7.7 Warning Textures.** A curb ramp shall have a detectable warning texture complying with 4.27 and extending the full width and depth of the curb ramp, including any flares (see Fig. 14).

**4.7.8 Obstructions.** Curb ramps shall be located or protected to prevent their obstruction by parked vehicles.

**4.7.9 Location at Marked Crossings.** Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides (see Fig. 15).

**4.7.10 Diagonal Curb Ramps.** If diagonal (or corner-type) curb ramps have returned curbs or other well-defined edges, such edges shall be parallel to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have 48-in (1220-mm) minimum clear space as shown in Fig. 15(c) and (d). If diagonal curb ramps are provided at marked crossings, the 48-in (1220-mm) clear space shall be within the markings (see Fig. 15(c) and (d)). If diagonal curb ramps have flared sides, they shall also have a segment of straight curb at least 24 in (610 mm) long located on each side of the curb ramp and within the marked crossing (see Fig. 15(c)).

**4.7.11 Islands.** Any raised islands in crossings shall be cut through level with the street or have curb ramps at both sides and a level area at least 48 in (1220 mm) long in the part of the island intersected by the crossings (see Fig. 15(a) and (b)).

\*See Appendix for additional information.

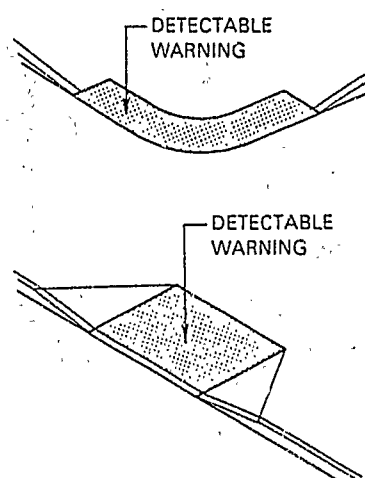


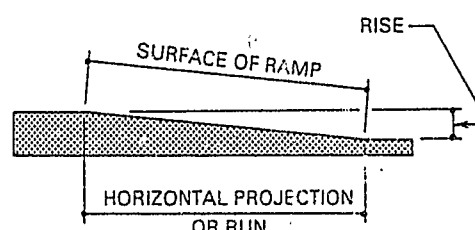
Fig. 14  
Warning Signals at Curb Ramps

**4.7.12 Uncurbed Intersections.** If there is no curb at the intersection of a walk and an adjoining street, parking lot, or busy driveway, then the walk shall have a detectable warning texture complying with 4.27.5 at the edge of the vehicular way.

#### 4.8 Ramps

**4.8.1\* General.** Any part of an accessible route with a slope greater than 1:20 shall be considered a ramp and shall comply with 4.8.

**4.8.2\* Slope and Rise.** The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any ramp run shall be 30 in (760 mm) (see Fig. 16). Curb ramps and ramps to be constructed on existing sites or in existing buildings or facilities may have slopes and rises as shown in Table 3 if space limitations prohibit the use of a 1:12 slope or less.



Slope	Maximum Rise		Maximum Horizontal Projection	
	in	mm	ft	m
1:12 to 1:15	30	760	30	9
1:16 to 1:19	30	760	40	12
1:20	30	760	50	15

Fig. 16  
Components of a Single Ramp Run and  
Sample Ramp Dimensions

Table 3  
Allowable Ramp Dimensions for Construction in  
Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise		Maximum Run	
	in	mm	ft	m
Steeper than 1:10 but no steeper than 1:5	3	75	2	0.6
Steeper than 1:12 but no steeper than 1:10	6	150	5	1.5

\*A slope steeper than 1:8 not allowed.

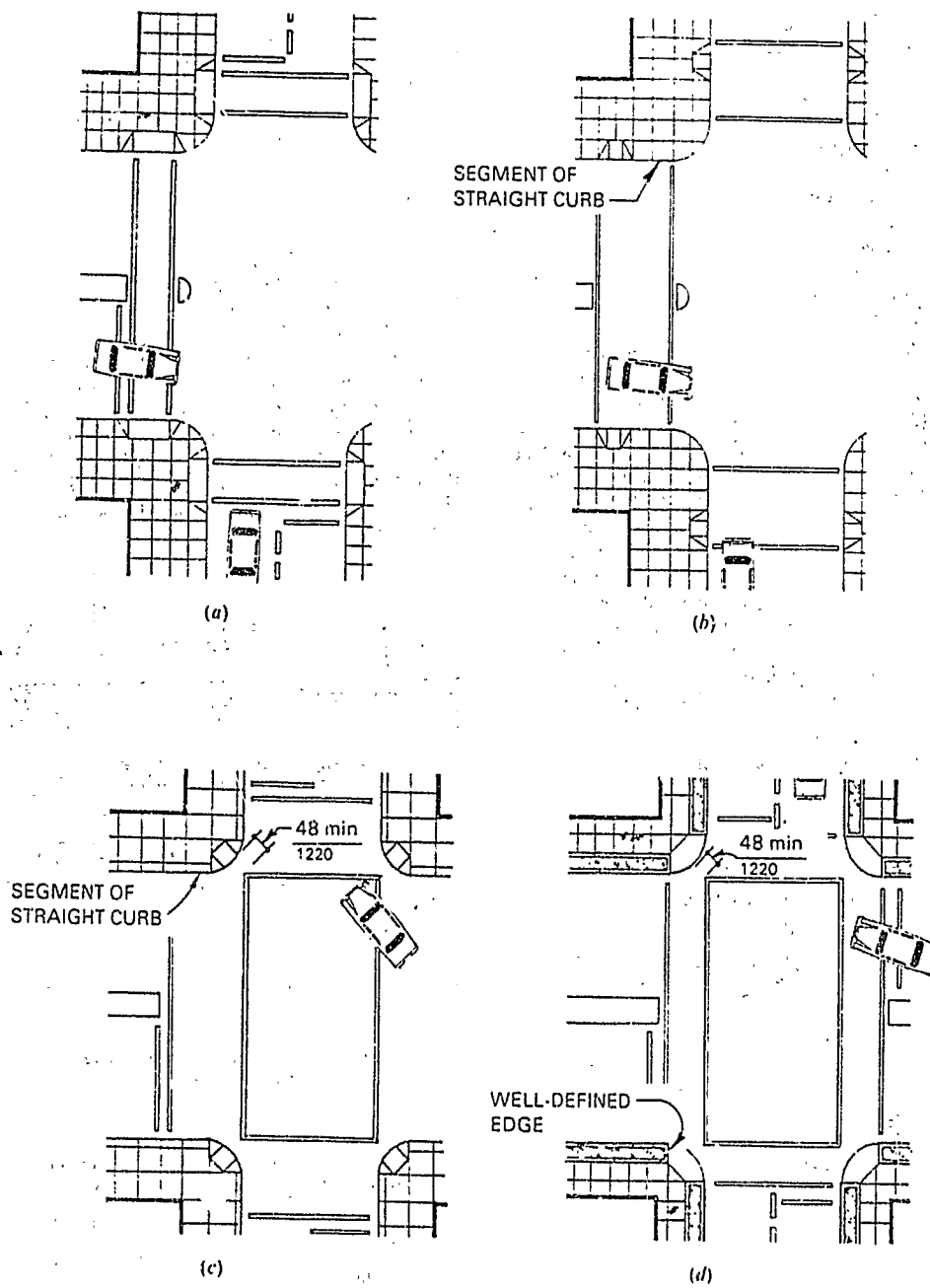
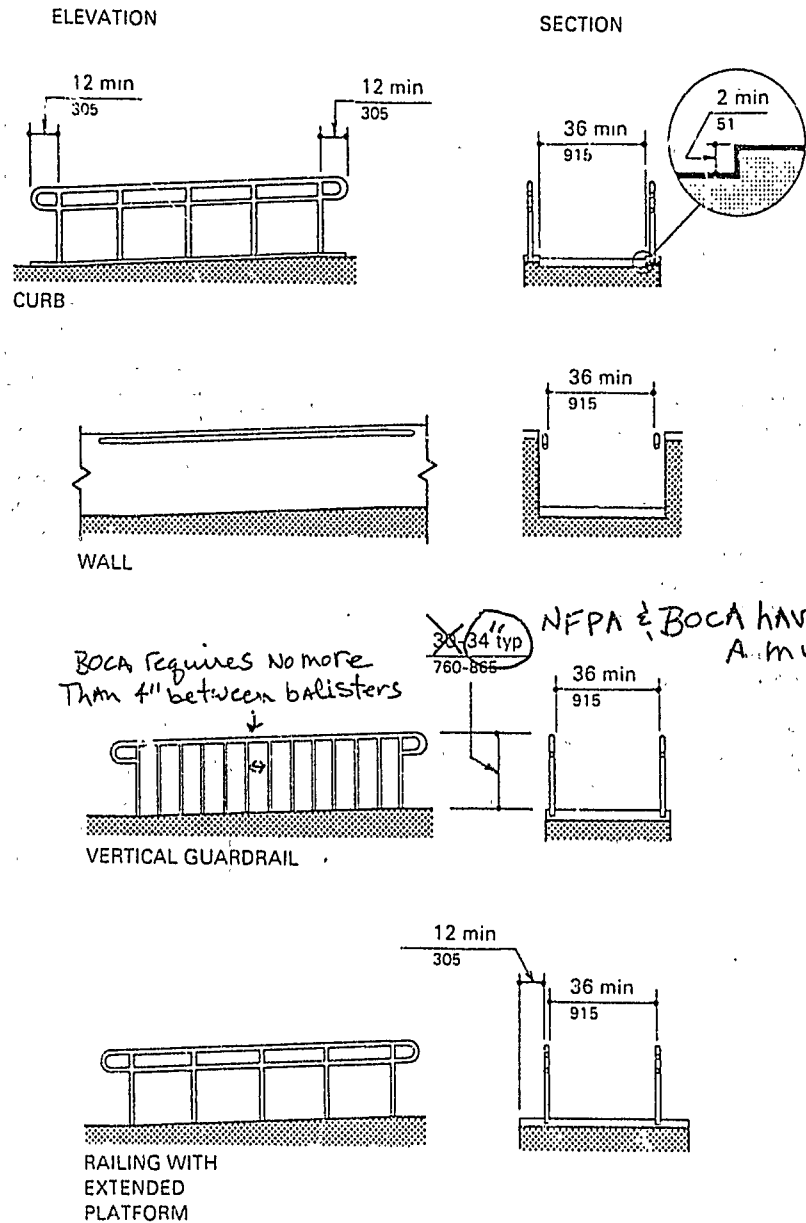


Fig. 15  
Curb Ramps at Marked Crossings

4.8.3 Clear Width. The minimum clear width of a ramp shall be 36 in (915 mm) (see Fig. 17)



BOCA requires no more than 4" between balisters

34 typ  
760-865

NFPA & BOCA HAVE AS A MIN.

Fig. 17

Examples of Edge Protection and Handrail Extensions

4.8.4 Landings. Ramps shall have level landings at the bottom and top of each run. Landings shall have the following features:

- (1) The landing shall be at least as wide as the widest ramp run leading to it.
- (2) The landing length shall be a minimum of 60 in (1525 mm) clear.
- (3) If ramps change direction at landings, the minimum landing size shall be 60 in by 60 in (1525 mm by 1525 mm).
- (4) If a doorway is located at a landing, then the area in front of the doorway shall comply with 4.13.6.

4.8.5\* Handrails. If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides. Handrails are not required on curb ramps. Handrails shall have the following features:

- (1) Handrails shall be provided along both sides of ramp segments. The inside handrail on switch-back or dogleg ramps shall always be continuous.

(2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top and bottom of the ramp segment and shall be parallel with the floor or ground surface.

(3) The clear space between the handrail and the wall shall be 1½ in (38 mm). Handrails may be located in a recess if the recess is a maximum of 3 in (75 mm) deep and extends at least 18 in (455 mm) above the top of the rail (see Fig. 39(d)).

(4) Gripping surfaces shall be continuous, without interruption by newel posts, other construction elements, or obstructions.

(5) The diameter or width of the gripping surfaces of a handrail shall be 1½ in to 1½ in (32 mm to 38 mm), or the shape shall provide an equivalent

gripping surface (see Fig. 39(a), (b), and (c)). Standard pipe sizes designated by the industry as 1½ in to 1½ in (32 mm to 38 mm) are acceptable industry tolerances as noted under 3.2.

(6) The top of handrail gripping surfaces shall be mounted between 30 in and 34 in (760 mm and 865 mm) above ramp surfaces.

(7) A handrail and any wall or other surface adjacent to it shall be free of any sharp or abrasive elements. Edges shall have a minimum radius of ¼ in (3.2 mm).

4.8.6 Cross Slope and Surfaces. The cross slope of ramp surfaces shall be no greater than 1:50. Ramp surfaces shall comply with 4.5.

4.8.7 Edge Protection. Ramps and landings with drop-offs shall have curbs, walls, railings, or projecting surfaces that prevent people from slipping off the ramp. Curbs shall be a minimum of 2 in (51 mm) high (see Fig. 17).

4.8.8 Outdoor Conditions. Outdoor ramps and their approaches shall be designed so that water will not accumulate on walking surfaces.

## 4.9 Stairs

4.9.1 General. Stairs that are required as a means of egress and stairs between floor levels not connected by an elevator shall comply with 4.9.

4.9.2 Treads and Risers. On any given flight of stairs, all steps shall have uniform riser heights and uniform tread depth. Risers shall be a maximum of 7 in (180 mm) in height, and stair treads shall be no less than 11 in (280 mm) in depth, measured from riser to riser (see Fig. 18(a)). Open risers are not permitted on accessible routes.

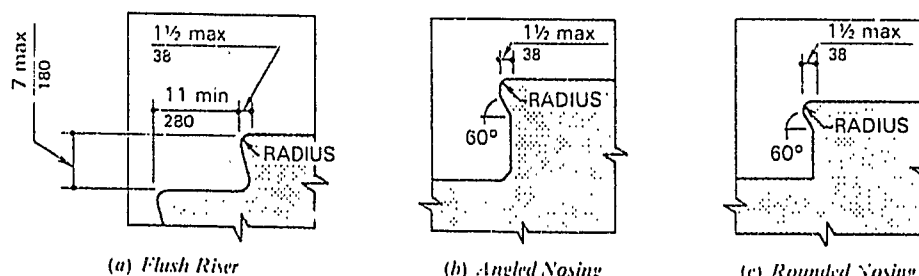
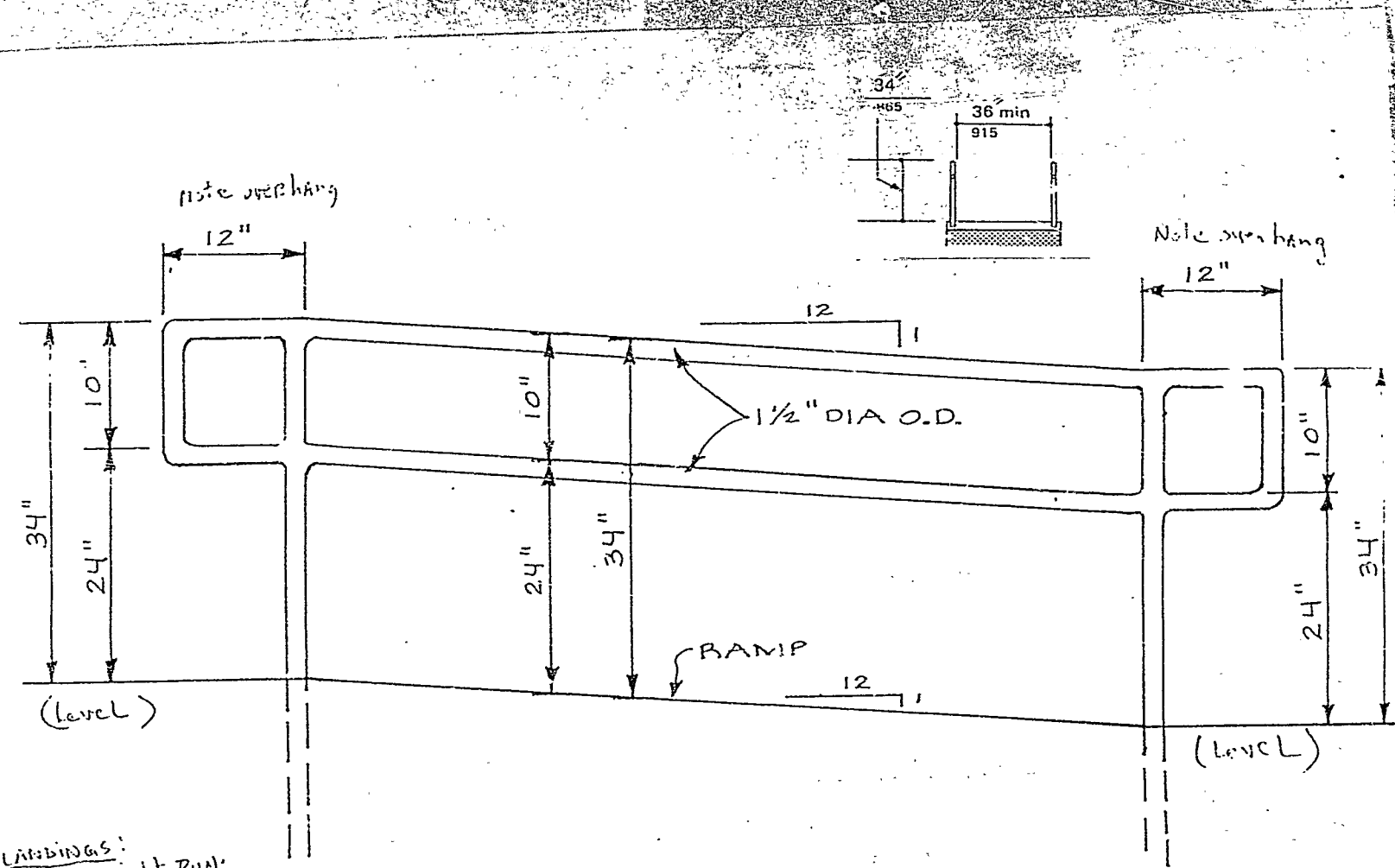


Fig. 18

Usable Tread Width and Examples of Acceptable Nosings



LANDINGS:  
 ON A STRAIGHT RUN;  
 min. length 60" (5')  
 ON A DIRECTIONAL CHANGE;  
 min 60" x 60" (5' x 5')  
MAXIMUM RUN Length:  
 The MAX. rise for any RAMP  
 RUN shall be 30" (THEN LANDING)

TYPICAL RAMP HANDRAIL  
WITH EXTENSIONS  
 NO SCALE - BE SURE TO CHECK ACTUAL CODES

SK-4

4.24 Grab Bars, and Tub and Shower Seats

4.24.1\* General. All grab bars and tub and shower seats in accessible toilet or bathing facilities shall comply with 4.24.

\*See Appendix for additional information.

4.24.2 Size and Spacing of Grab Bars. The diameter or width of the gripping surfaces of a grab bar shall be 1/4 in to 1/2 in (32 mm to 38 mm), or the shape shall provide an equivalent gripping surface. If grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1/2 in (38 mm) (see Fig. 39(e)).

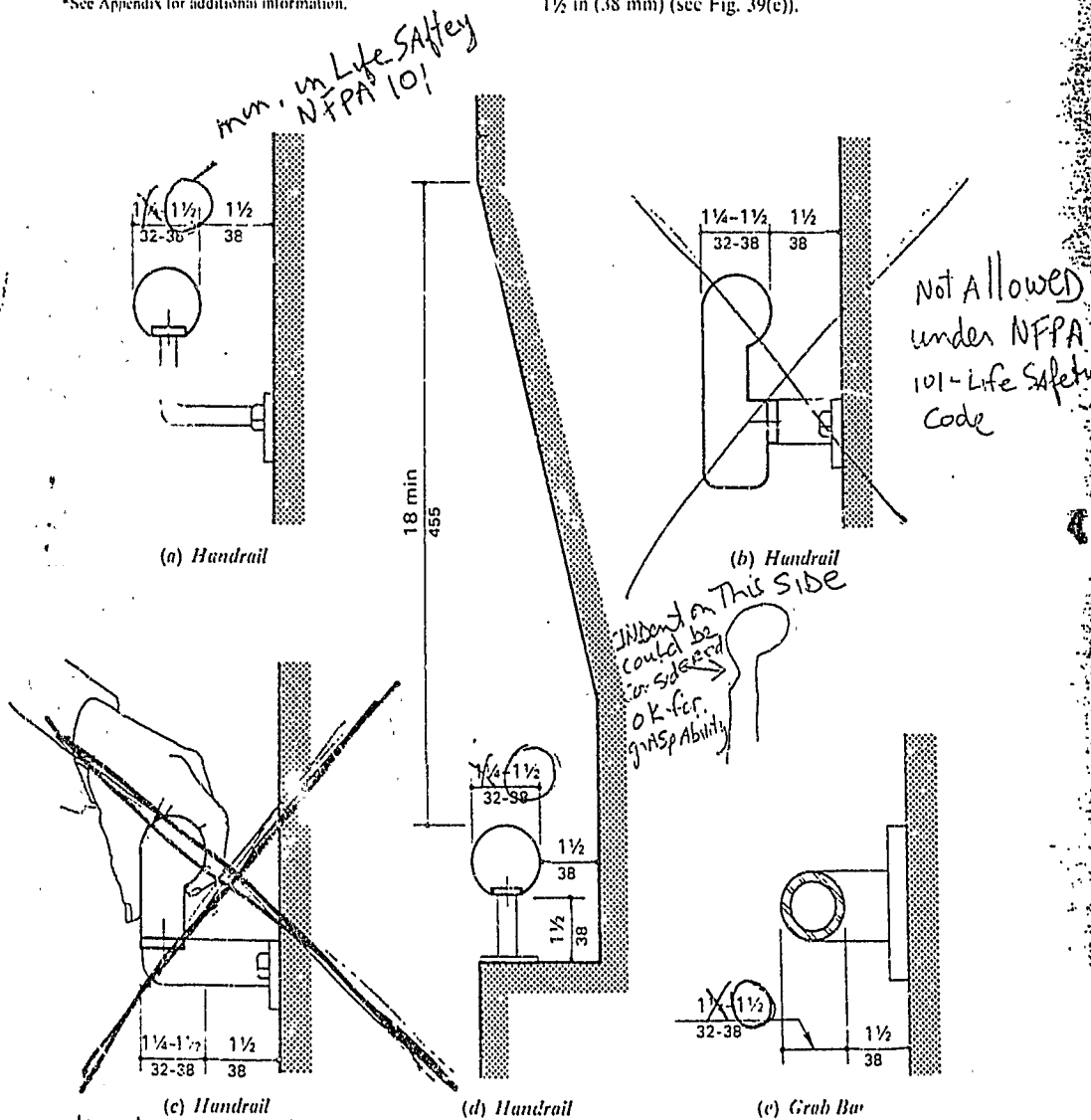


Fig. 39  
Size and Spacing of Handrails and Grab Bars

Not Allowed under  
NFPA 101 - Life  
Safety Code