

25-29 MONUMENT STREET



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date July 6, 19 81
 Receipt and Permit number A 72932

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
 Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 25 Monument St.
 OWNER'S NAME: Robert S. Morrow ADDRESS: lives there

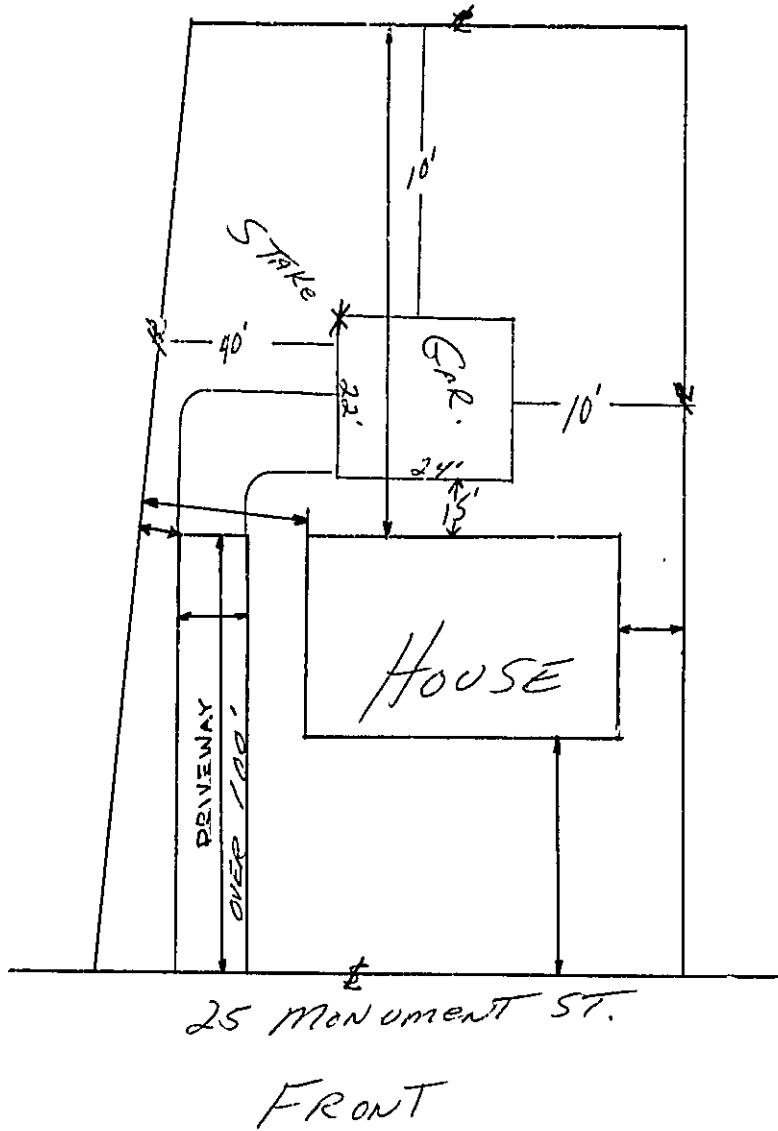
	FEES
OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____	
FIXTURES: (number of) Incandescent _____ Fluorescent _____ (not strip) TOTAL _____ Strip Fluorescent _____ ft. _____	
SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of) Fractional _____ 1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____ Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____ Oil or Gas (by separate units) _____ Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____ Water Heaters _____ Cook Tops _____ Disposals _____ Wall Ovens _____ Dishwashers _____ Dryers _____ <u>x</u> Compactors _____ Fans _____ Others (denote) _____	
TOTAL _____	<u>1.50</u>
MISCELLANEOUS: (number of) Branch Panels _____ Transformers _____ Air Conditioners Central Unit _____ Separate Units (windows) _____ Signs 20 sq. ft. and under _____ Over 20 sq. ft. _____ Swimming Pools Above Ground _____ In Ground _____ Fire/Burglar Alarms Residential _____ Commercial _____ Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____ over 30 amps _____ Circus, Fairs, etc. _____ Alterations to wires _____ Repairs after fire _____ Emergency Lights, battery _____ Emergency Generators _____	

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
 TOTAL AMOUNT DUE: _____ min 3.00

INSPECTION:
 Will be ready on this P. M., 19 81; or Will Call _____
 CONTRACTOR'S NAME: Encore Electric
 ADDRESS: P. O. Box 124 Gray, Me.
 TEL.: 657-4236
 MASTER LICENSE NO.: 2420
 LIMITED LICENSE NO.: _____
 SIGNATURE OF CONTRACTOR: Wendell DeLaney

INSPECTOR'S COPY — WHITE
 OFFICE COPY — CANARY
 CONTRACTOR'S COPY — GREEN

TYPICAL PLOT PLAN



NOTE:

STREET NAME ²⁵ MONUMENT

SIZE OF BLDG 22 X 24

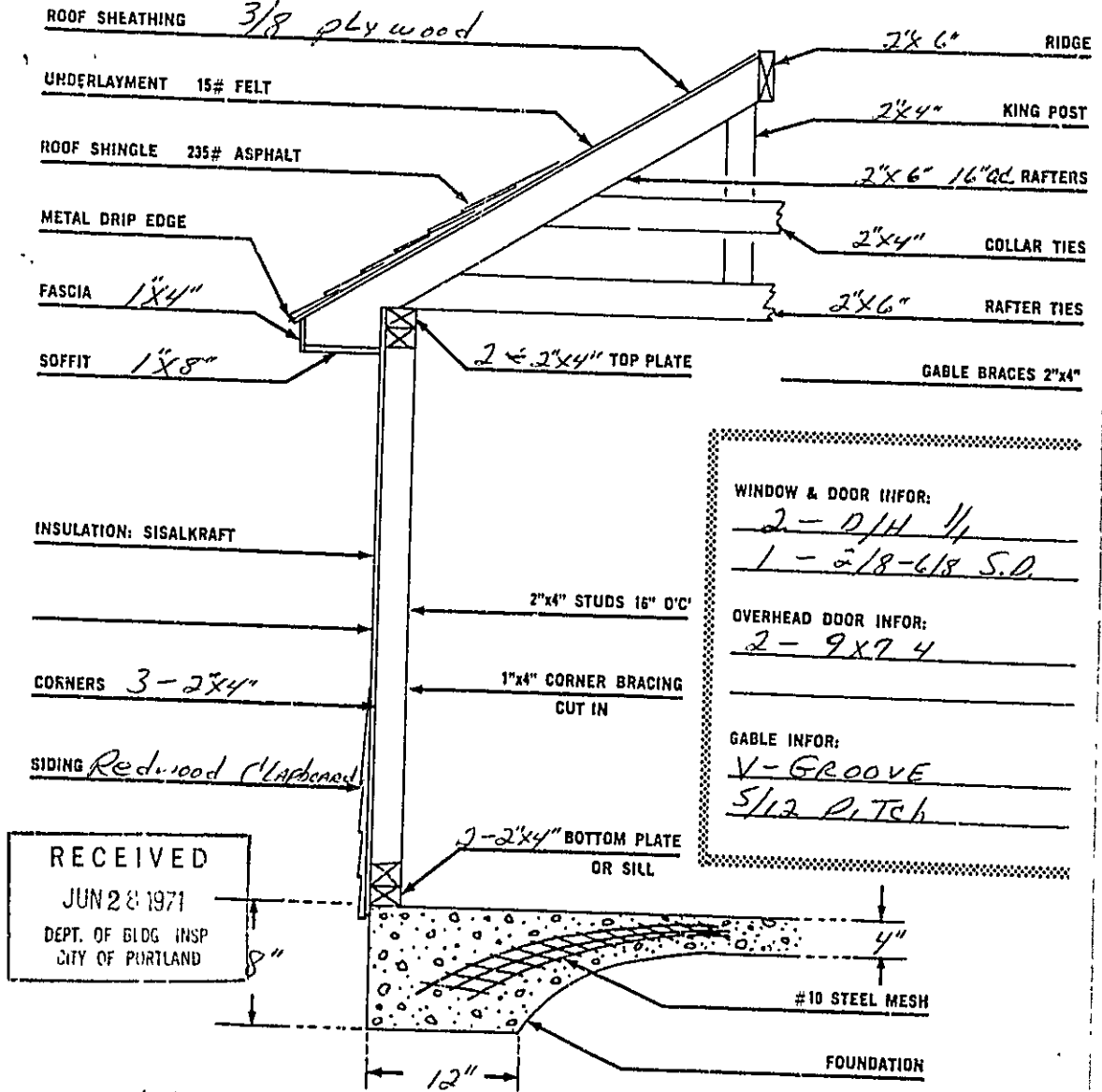
OWNER Robert S. Morrow

CONTRACTOR L & F CONST. Co. of N.H. Inc.
Box 1059 Manchester, N.H.

INDICATE PROJECTIONS (ELLS)

RECEIVED
JUN 28 1971
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

CROSS SECTION



WINDOW & DOOR INFOR:
 2 - D/H 1/1
 1 - 2/18-6/18 S.D.

OVERHEAD DOOR INFOR:
 2 - 9x7 4

GABLE INFOR:
 V-GROOVE
 5/12 PITCH

RECEIVED
 JUN 28 1971
 DEPT. OF BLDG INSP
 CITY OF PORTLAND

1/2" BOLTS IN SLAB (CORNERS + 6' O.C.)
 DBL 2"x8" HEADERS OVER O.H.P.
 DBL 2"x4" " " WINDOWS + S.E.

WOODMASTER STRUCTURES — By L & F CONSTRUCTION CO. Approved by: _____



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, June 28 1971

PERMIT ISSUED
JUN 30 1971 775
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 25 Monument St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Robert Morrow, 25 Monument St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address I. & F. Construction Co. Box 1059 Manchester New Hampshire Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 2
Proposed use of building 2-car garage No. families _____
Last use _____ No. families _____
Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot dwelling
Estimated cost \$ 2,600.00 Fee \$ 9.00

General Description of New Work

To construct 2-car frame garage 22' x 21'.

Header-(2)-2x8
Door opening-(2)-9' x 7'
Cable Enc.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO _____ contractors

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
Height average grade to top of plate 8' Height average grade to highest point of roof 12'
Site, front 24' depth 22' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete slab Thickness, top _____ bottom _____ cellar _____
Material of underpinning see plan Height _____ thickness _____
Kind of roof pitch Rise per foot 5" Roof covering Asphalt Shingles C Und Label.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 2x8 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-24" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 12'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 2 number commercial cars to be accommodated 0
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

6/29/71 ZONING OR MISC
6/28/71 - O.K. E. B. B.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Robert Morrow
I. & F. Construction Co.

Signature of owner

by: Robert Morrow

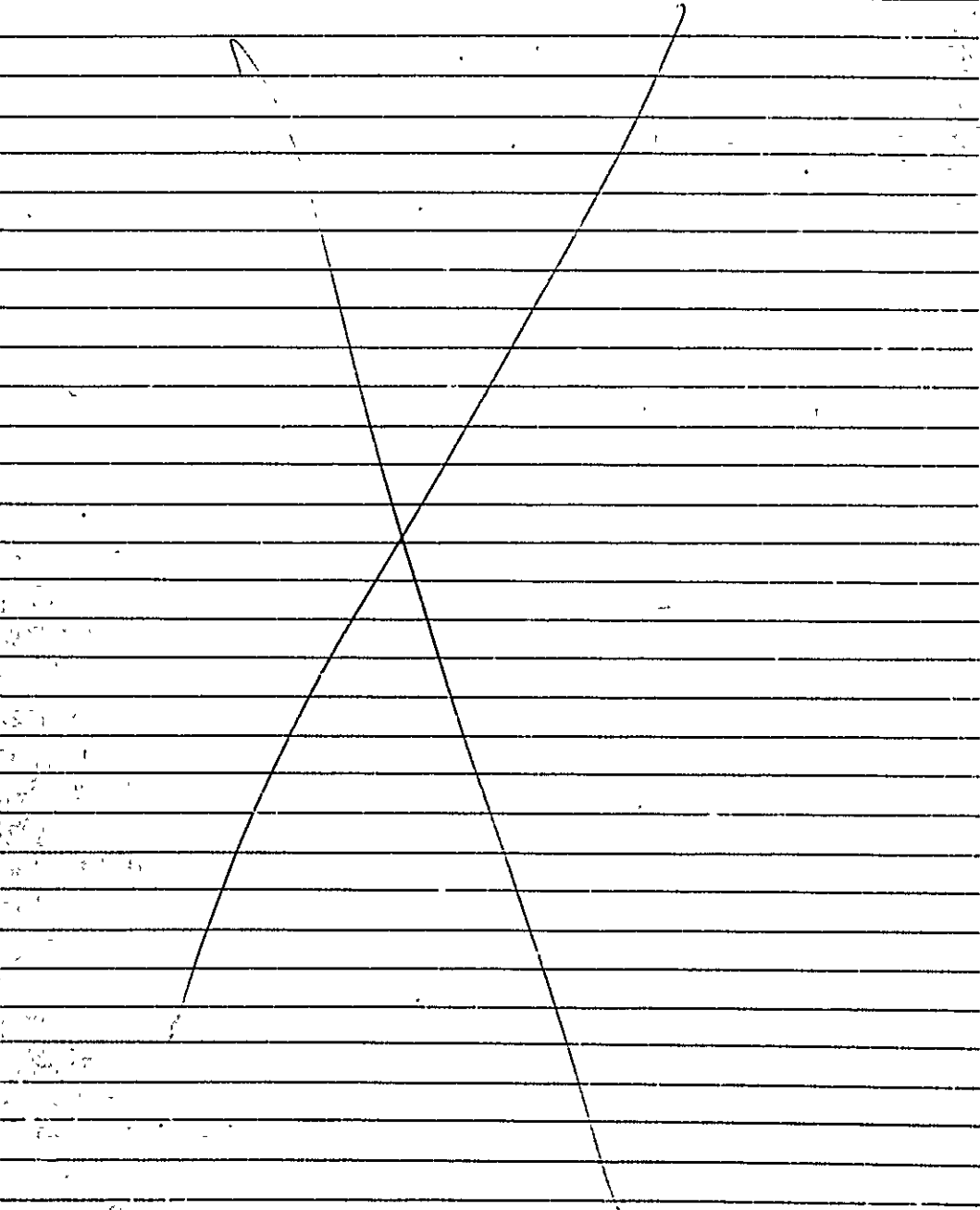
INSPECTION COPY

7m

NOTES

2/1/71 Materials on location not started building yet. 76

7/14/71 Completed 76



Permit No. 411775
 Location 35 Hammond St.
 Owner Robert Pearson
 Date of permit 6/30/71
 Notif. closing-in
 Inspect. closing-in IRRV
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 25 Monument Street

Issued to Robert S Morrow
25 Monument St.

Date of Issue April 15, 1964

This is to certify that the building, premises, or part thereof, at the above location, ~~built~~ altered—changed as to use under Building Permit No. 63/1542, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Two family dwelling
house (duplex)

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Earle Smith

Albert J. Sears

Inspector of Buildings

Notae: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. Third Class
Portland, Maine, November 27, 1963

PERMIT ISSUED

DEC 3 1963

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 63/154 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 25 Monument Street Within Fire Limits? Dist. No.

Owner's name and address Robert S. Morrow, 125 Monument St. Telephone

Lessee's name and address Telephone

Contractor's name and address William Kelley, 619 Brook St., Westbrook Telephone 797-5477

Architect Plans filed no. No. of sheets

Proposed use of building Dwelling No. families 2

Last use No. families 2

Increased cost of work 125. Additional fee 1.00

Description of Proposed Work

To construct one platform $3\frac{1}{2}' \times 4\frac{1}{2}'$ and one platform $3\frac{1}{2}' \times 10\frac{1}{2}'$ on left hand side of dwelling

Details of New Work William Kelley

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? solid earth or rock? earth

Material of foundation sonotubes at least 4' below grade Thickness, top 9" bottom 9" cellar

Material of underpinning Height Thickness

Kind of roof none Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Framing lumber--Kind hemlock Dressed or full size? dressed

Corner posts Sills 4x6 Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x6 2nd 3rd roof none

On centers: 1st floor 16" 12" 12" 2nd 3rd roof

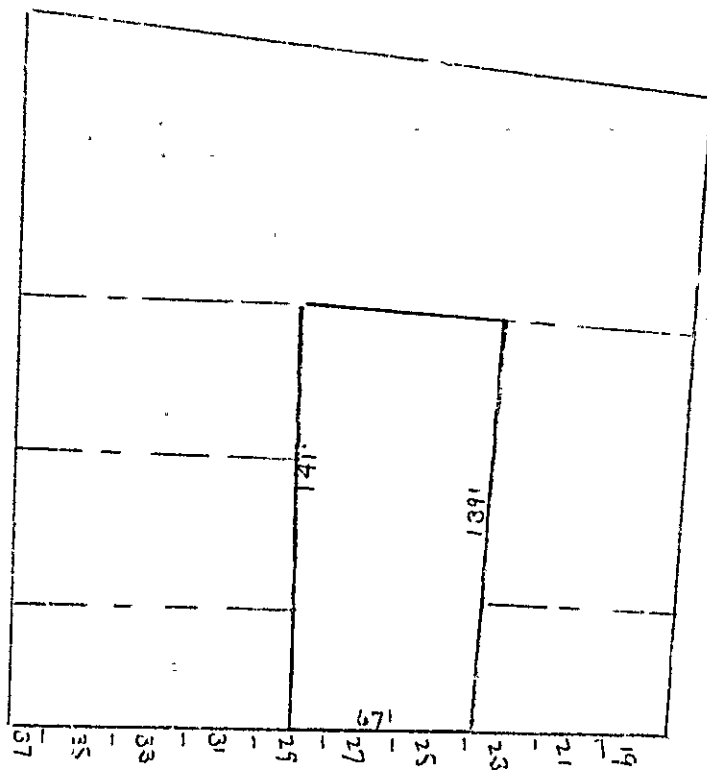
Maximum span: 1st floor 4' 5" 10' 16" 2nd 3rd roof

Approved: R. E. Mc.

Signature of Owner Robert Morrow
W. T. Kelley

Approved: Albert J. Lewis
Inspector of Buildings

16-D-9
25-15

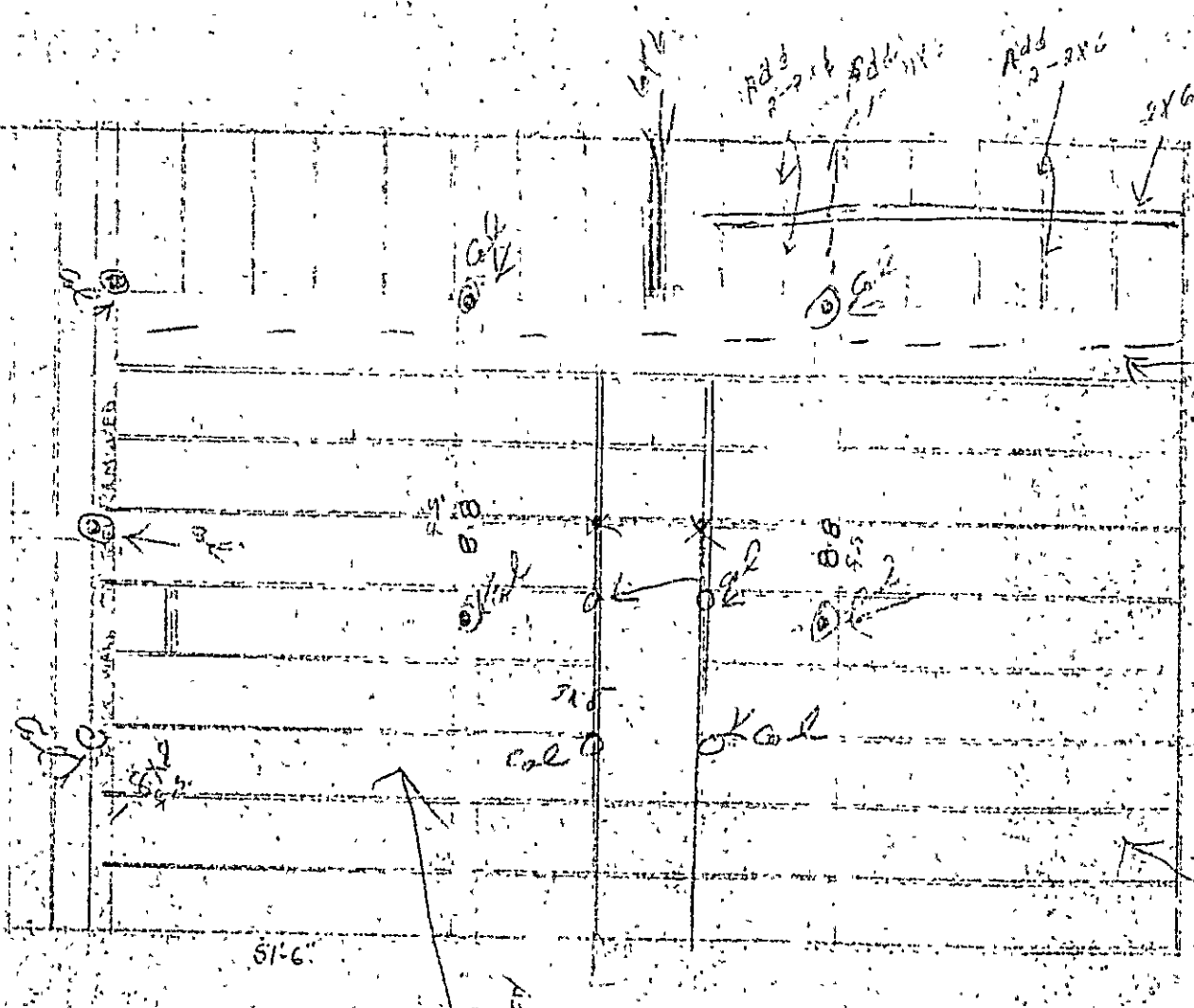


MONUMENT STREET



FIRST FLOOR FRAMING PLAN
 SCALE 1/4" = 1'-0"

AD 4
 #1-215



Drawn by HZ

$5 \times 2 \text{ full size} =$
 $5729 \times 1.21 = 6932\#$
 $10.5 \times 9 \times 37 = 3497$
 $2(10.5 \times 9 \times 27) = 5103 \#$
 $2(8 \times 11 \times 18) = 2592$

 $15192\#$

FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

FOR: ROBERT S. [unclear]



R6 RESIDENCE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
November 18, 1963
Portland, Maine

PERMIT ISSUED
NOV 20 1963
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 25 Monument St. Within Fire Limits? Yes Dist. No. 11542
Owner's name and address Robert S Morrow, R F D 1 Scarborough Maine Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address William Kelley, 619 Brook St., Westbrook Me. Telephone 797-5677
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Dwelling No. families 2
Last use _____ No. families 2
Material frame No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 4000.00 Fee \$ 8.00

General Description of New Work

For excavation and foundation only for 2 1/2-story frame dwelling house (22' x 51 1/2')
(this house is being moved from #125 Monument St. under separate permit).
To provide new inside brick chimney in basement to 2' above roof.
10" concrete wall for foundation, for dwelling -12" footing for chimney
Cleanout door to be provided. (double flus 8 1/2 x 8 1/2)

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? Yes
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation concrete at least 4' below grade Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber--Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

J. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Robert S Morrow
William Kelley

CS 301

INSPECTION COPY

Signature of owner

by

W. Kelley T Kelly

7m

NOTES

11/19/63 - ~~Permit good~~
 Condition. E.S.S.

11/20/63 - Form in progress
 E.S.S.

12/12/63 - Form in progress
 + stopped. E.S.S.

1/8/64 - Getting ready to
 move dwelling. If m
 on which ready to move
 E.S.S.

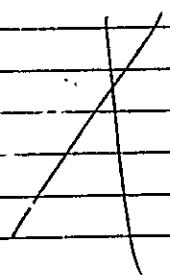
1/28/64 - House moved
 onto foundation. E.S.S.

2/17/64 - No measurement.
 E.S.S.

3/6/64 - Same E.S.S.

4/3/64 - Two forced hot
 water systems - no
 permit.

4/14/64 - Cert. to be
 issued. E.S.S.



11/29/63

Permit No. 63/1572

Location 35 Monument St.

Owner Richard M. Morris

Date of permit 11/20/63

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy Issued 4/15/64

Staking Out Notice

Form Check Notice



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, April 8, 1964

PERMIT ISSUED APR 15 1964 CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 25 Monument St. Use of Building Dwelling No. Stories 2 1/2 New Building Existing " Name and address of owner of appliance Robert Morrow, 125 Monument St. Installer's name and address Falmouth Plumbing and Heating Co. 28 Merrill Rd. Falmouth Telephone 781-2127

General Description of Work

(2) To install Oil-fired steam heating systems (replacement)

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace over 2' From top of smoke pipe 2' From front of appliance over 4' From sides or back of appliance over 3' Size of chimney flue 8x8 Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner General Electric guntype -15W water cut-off part of unit York Shipley guntype model LC9 Labeled by underwriters' laboratories? yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner concrete Size of vent pipe 1 1/2" each Location of oil storage basement Number and capacity of tanks 2-275 gal. Low water shut off yes Make Watts No. 89A Will all tanks be more than five feet from any flame? yes How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

BE LATED!

Amount of fee enclosed? 3.00 (\$2.00 for one heater, etc., 1.00 additional for each additional heater, etc., in same building at same time.)

APPROVED: O.K. E.B.S. 4/14/64

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Falmouth Plumbing and Heating Co.

Signature of Installer by: Arnold Jensen

CS 300

INSPECTION COPY

FM

Permit No. 64/376

Location 25 Monmouth St.

Owner Robert Morrow

Date of permit 4/15/64

Approved 4/15/64

NOTES

- 1 Fill Pipe -----
- 2 Vent Pipe -----
- 3 Kind of Heat -----
- 4 Burner Height & Supports -----
- 5 Name & Label -----
- 6 Backflow -----
- 7 Heat -----
- 8 Remote -----
- 9 Pressure -----
- 10 Valves -----
- 11 Capacity of Tank -----
- 12 Tank Pressure -----
- 13 Tank Dimensions -----
- 14 Oil Control -----
- 15 Instruction Card -----
- 16 Low Water Shut-off -----

PERMIT TO INSTALL PLUMBING

3691

Date Issued: 2-11-64 **PERMIT NUMBER**
 Address: 25 Monument Street
 Installation For: George Morrill
 Owner of Bldg.: George Morrill

PORTLAND PLUMBING INSPECTOR

By: J. P. Welch

Owner's Address: 25 Monument Street Date: 2-14-64
 Plumber: Arnold Jensen

	NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEES
APPROVED FIRST INSPECTION	✓	2	✓ SINKS	2	\$ 4.00
Date: <u>3-9-64</u>	✓	2	✓ LAVATORIES	2	4.00
Date: <u>2-14-64</u>	✓	1	✓ TOILETS	1	2.00
By: <u>J. P. Welch</u>	✓	1	✓ BATH TUBS	1	.60
APPROVED FINAL INSPECTION			SHOWERS		
Date: <u>JOSEPH P. WELCH</u>	1	✓	DRAINS	1	.60
CHIEF PLUMBING INSPECTOR			HOT WATER TANKS		
By:			TANKLESS WATER HEATERS	1	.60
TYPE OF BUILDING			GARBAGE GRINDERS		
<input type="checkbox"/> COMMERCIAL			SEPTIC TANKS		
<input type="checkbox"/> RESIDENTIAL			HOUSE SEWERS		
<input type="checkbox"/> SINGLE	1	✓	ROOF LEADERS (Conn to house drain)	1	.60
<input type="checkbox"/> MULTI FAMILY	1	✓	Automatic Washer	1	.60
<input type="checkbox"/> NEW CONSTRUCTION			House Drain		
<input type="checkbox"/> REMODELING					
				TOTAL	\$ 2.

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL \$ 2.

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

Date January 8, 1964

TO: Commissioner of Public Works

FROM: Inspector of Buildings

SUBJECT: Moving building from #123 Monument St. to
#25 Monument St.

We have application for permit to move Two family frame dwelling house
as above.

We are checking the proposition against Zoning Ordinance and Building Code and will delay issuance of the permit until we hear from you that the permit for moving through the streets is cleared sufficiently. When that point is reached, will you be kind enough to write "OK to issue building permit" on the bottom of this memorandum and return.

Albert J. Sears
Inspector of Buildings

January 9, 1964

Moving requirements approved by the Department of Public Works



RESIDENCE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Jan. 8, 1964

PERMIT ISSUED
JAN 28 1964
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 123 Monument St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Robert Morrow, 125 Monument St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address James G. Merry, RFD 1, Scarborough Telephone 899-3213
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building 2-family dwelling No. families _____
Last use " No. families _____
Material frame No. stories 2 1/2 Heat _____ Style of roof pitch Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To move 2-family frame dwelling from 123 Monument St. to above location

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

H. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in-charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

James G. Merry
Contractor Robert S. Morrow

Signature of owner By: James G. Merry

CS 301

INSPECTION COPY



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure

2nd class

Portland, Maine

August 20, 1958

PERMIT ISSUED
01111

AUG 21 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specification:

Location 25-29 Monument St. Within Fire Limits? yes Dist. No. _____
 Owner's name and address City of Portland Maine, 389 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Leland Murray, Shore Road Cape Eliz. Me. Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families 10
 Last use School Not families 10
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To demolish 2 1/2-story brick school house.

Land to remain vacant for the present.

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Department of Public Works of the City of Portland ? Yes.

Graduation letter sent 8/20/58
 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO contractor**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.K. - 8/21/58 - agl

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 City of Portland
 Leland Murray

INSPECTION COPY

Signature of owner

by:

Leland Murray

NOTES

8/22/58 - No insp.
made. E.S.S.
8/15/58 - all down
except for part of
near section. E.S.S.

9/22/58 - Mr. McInay
says rest of bldg. to
be taken down by
hand. E.S.S.
9/26/58 - all down but
one corner which is being
taken down brick by brick.
E.S.S.

Permit No. 58/1111

Location 25-29 Howard St.

Owner City of Portland

Date of permit 8/21/58

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

DEC 24 1985

B.O.C.A. TYPE OF CONSTRUCTION 0-01472

ZONING LOCATION PORTLAND, MAINE ... Dec. 20, 1985 City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 25 Monument Street Fire District #1 , #2
1. Owner's name and address Robert Morrow - same lat., Floor 04101 Telephone 774-4487
2. Lessee's name and address
3. Contractor's name and address JMC Contractors - Lisbon Falls, Me Telephone
Proposed use of building 3-family No. families
Last use 2-family No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$1,000,00 Appeal Fees \$
Base Fee 25.00 Change of Use
Late Fee
TOTAL \$ 25.00
\$ 50.00

FIELD INSPECTOR—Mr. @ 775-5451
Change of Use from 2-family to 3-family with renovations, as per plan.
Stamp of Special Conditions

ISSUE PERMIT TO #1

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? YES Is any electrical work involved in this work? YES
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notices been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? N/A
ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Robert Morrow Phone #
Type Name of above XX 2 3 4
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town or Plantation: PORTLAND

Street Subdivision Lot #: 25 MONUMENT ST

PROPERTY OWNERS NAME

Last: MORROW First: ROBERT

Applicant Name: CHARLES FARROW

Mailing Address of Owner/Applicant (if different): 50 MONUMENT ST

PORTLAND PERMIT # 1,594 TOWN COPY

18,700 \$ FEE Double Fee Charged

Amelia R. Rodman Local Plumbing Inspector Signature L.P.I. #

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Charles Farrow Signature of Owner/Applicant Date 3-7-86

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Amelia R. Rodman Local Plumbing Inspector Signature Date Approved: APR 28 1986

PERMIT INFORMATION

This Application is for:

- NEW PLUMBING
- RELOCATED PLUMBING

Type Of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY _____

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # L 0 19377

Number	Hook-Ups And Piping Re/location	Number	Column 2 Type Of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Silcock	1	Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal	1	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system		Drinking Fountain	1	Wash Basin
			Indirect Waste	1	Water Closet (Toilet)
			Water Treatment Soft. ner, Filter, etc.	1	Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains and piping without new fixtures.		Grease/Oil Separator		Dish Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other _____	1	Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2	6	Fixtures (Subtotal) Column 1
				6	Fixtures (Subtotal) Column 2
				6	Total Fixtures
				\$ 18.	
				\$	
				\$ 18.	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

JANUARY 22, 1997

MORROW ROBERT S
25 MONUMENT ST
PORTLAND ME 04101

Re: 25 MONUMENT ST
CBL: 016- - D-009-001-01
DU: 3

Dear Mr. Morrow:

The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above-referred property.

Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code. We did, however, note the following items that could cause future problems:

- | | |
|---|--------|
| 1. EXT - FRONT PORCH - | 108.40 |
| STAIRS NEED TO BE REPAIRED | |
| 2. INT - OVERALL - | 113.50 |
| HARD-WIRED BATTERY-BACKUP SMOKE DETECTORS ARE REQUIRED IN EACH UNIT | |

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely,

Marland Wing
Code Enforcement Officer

Tammy Munson
Code Enfc. Offc./ Field Supv.