

ELECTRICAL INSTALLATIONS—

Permit Number 226431
DDN

Location 88 Lu revised ME

Owner ✓ Mark W. 12/24

Date of Permit 4-10-86

Final Inspection See Remarks

By Inspector L. B. C.

Permit Application Register-Page No. 139

INSPECTIONS: Service ✓ by Lubby
Service called in 4-11-86
Closing-in 4-11-86 by Tutley

Service called in 7-11-86

Closing-in 9-11-86 by Tuttle

PROGRESS INSPECTIONS: _____ / _____ / _____

DATE:

REMARKS:

4-11-86 Some outlets all covered by sheet rock
with no inspection possible.

ELECTRICAL INSTALLATIONS—

Permit Number 04476

Location 88 C. Matrelland

Owner: Thamela, McCowan

Date of Permit 7/18/12

Final Inspection *[Signature]*

By Inspector: W. J. [Signature]

Permit Application Register Page No. 2

INSPECTIONS: Service 200 Units by W. Reed
Service called in 4/22/57
Closing-in _____ by W. Reed

PROGRESS INSPECTIONS: _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____

[illegible]

DATE 4/22/87

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS	
Town Or Plantation	PORTLAND
Street	500 1st Street
Subdivision Lot #	
PROPERTY OWNERS NAME	
Last	First
Applicant Name	Edwin J. Yelton
Mailing Address of Owner/Applicant (if different)	P.O. Box 8961 Port

PORTLAND	PERMIT # 2,270	TOWN COPY
Date	4/22/87	\$
Permit Fee		FEE
Local Plumbing Inspector Signature	L.P.I. #	Double Fee Charged

Owner/Applicant Statement
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is a violation of the Local Plumbing Inspector to deny a Permit.
Edwin J. Yelton
Signature of Owner/Applicant

Caution: Inspection Required
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.
[Signature]
Local Plumbing Inspector Signature

SEP 21 1987
Date Approved

PERMIT INFORMATION

This Application is for	Type Of Structure To Be Served:	Plumbing To Be Installed By:
1. ☒ NEW PLUMBING	1. ☐ SINGLE FAMILY DWELLING	1. ☐ MASTER PLUMBER
2. ☒ RELOCATED PLUMBING	2. ☐ MODULAR OR MOBILE HOME	2. ☐ OIL BURNERMAN
APR 23 1987	3. ☒ MULTIPLE FAMILY DWELLING	3. ☐ MFG'D HOUSING DEALER MECHANIC
	4. ☐ OTHER - SPECIFY	4. ☐ PUBLIC UTILITY EMPLOYEE
		5. ☐ PROPERTY OWNER
		LICENSE # 0002034

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
	HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hose/ubb Silcock		Bathtub (and Shower)
			Flour Drain		Shower (Separate)
			Urinal	2	Sink
	HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc		Clothes Washer
	PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease Oil Separator		Dish Washer
			Dental Cusplator		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other		Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2	5	Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				5	Fixtures (Subtotal) Column 2
				5	Total Fixtures
				\$ 15.	Permit Fee
				\$ 15.	Permit Fee (Total)

PERMIT # 002272

CITY OF Portland BUILDING PERMIT APPLICATION

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Bruce B. Pote - 617-381-4953

Address: 88 Cumberland Avenue, Portland

LOCATION OF CONSTRUCTION 88 Cumberland Avenue

CONTRACTOR: Floyd Construction SUBCONTRACTORS: 651-4169

ADDRESS: PO Box 233, Raymond, Me 04071

Est. Construction Cost: \$ 1255 Type of Use: 3 unit apts.

Past Use: MAIL TO: Design Technologies, 316A Cumberland Avenue, Portland

Building Dimensions L W Sq. Ft. # Stories: 1 1/2 Portland

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain Construct laundry room. 2 plans submitted.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units # Of New Dwelling Units

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size: Spacing 16" O.C.
4. Joists Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes
5. Bracing: Yes No Span(s)
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

MAP: LOT:

For Official Use Only

Date June 15, 1989 Subdivision: Yes / No
Inside Fire Limits Name
Bldg Code Lot
Time Limit Block
Estimated Cost \$1255 Permit Expiration:
Value/Structure Ownership: Public
Fee \$25 Private

PERMIT ISSUED

Ceiling:

1. Ceiling Joists Size: JUN 27 1989
2. Ceiling Strapping Size Spacing
3. Type Ceiling: City Of Portland
4. Insulation Type
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type
4. Other

Chimneys:

Type: Number of Fire Places

Heating:

Type of Heat:

Electrical:

Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Zoning:

District: Street Frontage Req.: Provided
Required Setbacks: Front Back Side Side

Review Required:

Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shore and Floodplain Mgmt: Special Exception
Other (Explain)
Date Approved

Permit Received By Nancy Grossman

Signature of Applicant James E. Shaw Date 6/15/89

Signature of CEO AG 215 381 4953 Date

Inspection Dates 7/2/89

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

88 Cumberland Avenue

June 19, 1989

Floyd Construction
P. O. Box 233
Raymond, Maine 04071

Dear Mr. Floyd:

This is in reference to your application for a building permit for a new laundry room in the building at 88 Cumberland Avenue in Portland.

Please come to Room 315, City Hall, Portland, and furnish additional information concerning the proposed laundry room and the floor plan submitted for the building permit.

Sincerely,

William D. Giroux
William D. Giroux
Zoning Enforcement Officer

cc: P. Samuel Hoffses, Chief, Inspections Services
Arthur Addato, Code Enforcement Officer
Warren J. Turner, Administrative Assistant

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3826

PROPERTY ADDRESS

Town Or Plantation: Portland

Street: 158 Roosevelt Blvd

Subdivision Lot #: 11

PROPERTY OWNERS NAME

Last: Reese First: James

Applicant Name: James Reese

Mailing Address of Owner/Applicant (if Different): 158 Roosevelt Blvd, Portland, ME 04102

PORTLAND PERMIT # 3,589 TOWN COPY

Date Permit Issued: 8/21/87 Fee Charged: \$1,121.00

L.P.L. # 11213

Local Plumbing Inspector Signature: _____

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge, and understand that any falsification is a reason for the Local Plumbing Inspector to deny a Permit.

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Signature of Owner/Applicant: _____ Date: 8/21/87 Local Plumbing Inspector: _____ Date Approved: 8/22/87

PERMIT INFORMATION

This Application Is for

1. ☒ NEW PLUMBING

2. ☐ RELOCATED PLUMBING

Type Of Structure To Be Served:

1. ☐ SINGLE FAMILY DWELLING

2. ☐ MODULAR OR MOBILE HOME

3. ☒ MULTIPLE FAMILY DWELLING

4. ☐ OTHER - SPECIFY: _____

Plumbing To Be Installed By:

1. ☒ MASTER PLUMBER

2. ☐ OIL BURNERMAN

3. ☐ MFG'D. HOUSING DEALER/MECHANIC

4. ☐ PUBLIC UTILITY EMPLOYEE

5. ☐ PROPERTY OWNER

LICENSE # 12,240.3

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Hosebibb / Silcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
Number of Hook-Ups & Relocations		Other: _____	1	Water Heater
Hook-Up & Relocation Fee		Fixtures (Subtotal) Column 2	2	Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			2	Fixtures (Subtotal) Column 2
			2	Total Fixtures
			\$ 12.	Fixture Fee
			\$	Hook-Up & Relocation Fee
			\$ 12.	Permit Fee (Total)

PERMIT # 002272

CITY OF Portland BUILDING PERMIT APPLICATION

MAP # LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Bruce M. Pote - (17-381-4953)

Address: 68 Cumberland Avenue, Portland

LOCATION OF CONSTRUCTION 38 Cumberland Avenue

CONTRACTOR: Floyd Construction SUBCONTRACTORS: 655-4189

ADDRESS: PO Box 233, Raymond, Me 04071

Est. Construction Cost: \$ 1.55 Type of Use: 3 unit ex apt.

Past Use: AL TO: Design Technologies, 316A Cumberland Avenue,

Building Dimensions L W Sq. Ft. # Stories: Lot Size: Portland

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain Construct laundry room. 1 2 plans submitted.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only: # Of Dwelling Units # Of New Dwelling Units

Foundation:

1. Type of Soil:

2. Set Backs - Front Rear Side(s)

3. Footings Size:

4. Foundation Size:

5. Other

Floors:

1. Sills Size: Sills must be anchored.

2. Girder Size:

3. Lally Column Spacing: Size: Spacing 16" O.C.

4. Joists Size:

5. Bridging Type: Size:

6. Floor Sheathing Type: Size:

7. Other Material:

Exterior Walls:

1. Studding Size: Spacing

2. No. windows

3. No. Doors

4. Header Sizes Span(s)

5. Bracing: Yes No

6. Corner Posts Size Size

7. Insulation Type Size

8. Sheathing Type Size

9. Siding Type Weather Exposure

10. Masonry Materials

11. Metal Materials

Interior Walls:

1. Studding Size: Spacing

2. Header Sizes Span(s)

3. Wall Covering Type

4. Fire Wall if required

5. Other Materials

For Official Use Only	
Date <u>June 15, 1989</u>	Subdivision: Yes / No <u> </u>
Inside Fire Limits <u> </u>	Name <u> </u>
Bldg Code <u> </u>	Lot <u> </u>
Use Limit <u> </u>	Block <u> </u>
Estimated Cost <u>255</u>	Permit Expiration: <u> </u>
Value/Structure <u> </u>	Ownership: <u> </u>
Fee <u>255</u>	Public <u> </u>
	Private <u> </u>

Ceiling:

1. Ceiling Joist Size:
2. Ceiling Strapping Size: Spacing
3. Type Ceiling:
4. Insulation Type: Size JUN 27 1989
5. Ceiling Height:

Roof:

1. Truss or Rafter Size:
2. Sheathing Type: Size City Of Portland
3. Roof Covering Type:
4. Other

Chimneys:

Type: Number of Fire Places

Heating:

Type of Heat:

Electrical:

Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes 20 No

2. No. of Tubs or Showers

3. No. of Flushes

4. No. of Lavatories

5. No. of Other Fixtures

Swimming Pools:

1. Type:

2. Pool Size: x Square Footage

3. Must conform to National Electrical Code and State Law.

Zoning:

District R-6 Street Frontage Req: Provided

Required Setbacks: Front Back Side Side

Review Required:

Zoning Board Approval: Yes No Date:

Planning Board Approval: Yes No Date:

Conditional Use: Variance Site Plan Subdivision

Shore and Floodplain Mgmt. Special Exception

Other (Explain)

OK Date Approved 6/17/89 6-26-89

Permit Received By Nancy Grossman

Signature of Applicant Dave Elwood Date 6/15/89

Signature of CEO Date 6/15/89

Inspection Dates

White Tax Assessor Yellow GPCOG

White Tag CEO

© Copyright GPCOG 1987

PLOT PLAN



FEES (breakdown From Front)
 Base Fee \$ 25.00
 Subdivision Fee \$
 Site Plan Review Fee \$
 Other Fees \$
 (Explain)
 Late Fee \$

Type	Inspection Record		Date

COMMENTS 10-18-89 - all work complete OK, as per plans and permits. Instructed owner to install vent on dryer and to install hand rail on stairs. He will comply and will call when these items taken care of.

Signature of Applicant James E. Shupl (ABOVE FEEL COVERED) Date 6/15/89



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207)874-8300

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

88 Cumberland Avenue

June 19, 1989

Floyd Construction
P. O. Box 233
Raymond, Maine 04071

Dear Mr. Floyd:

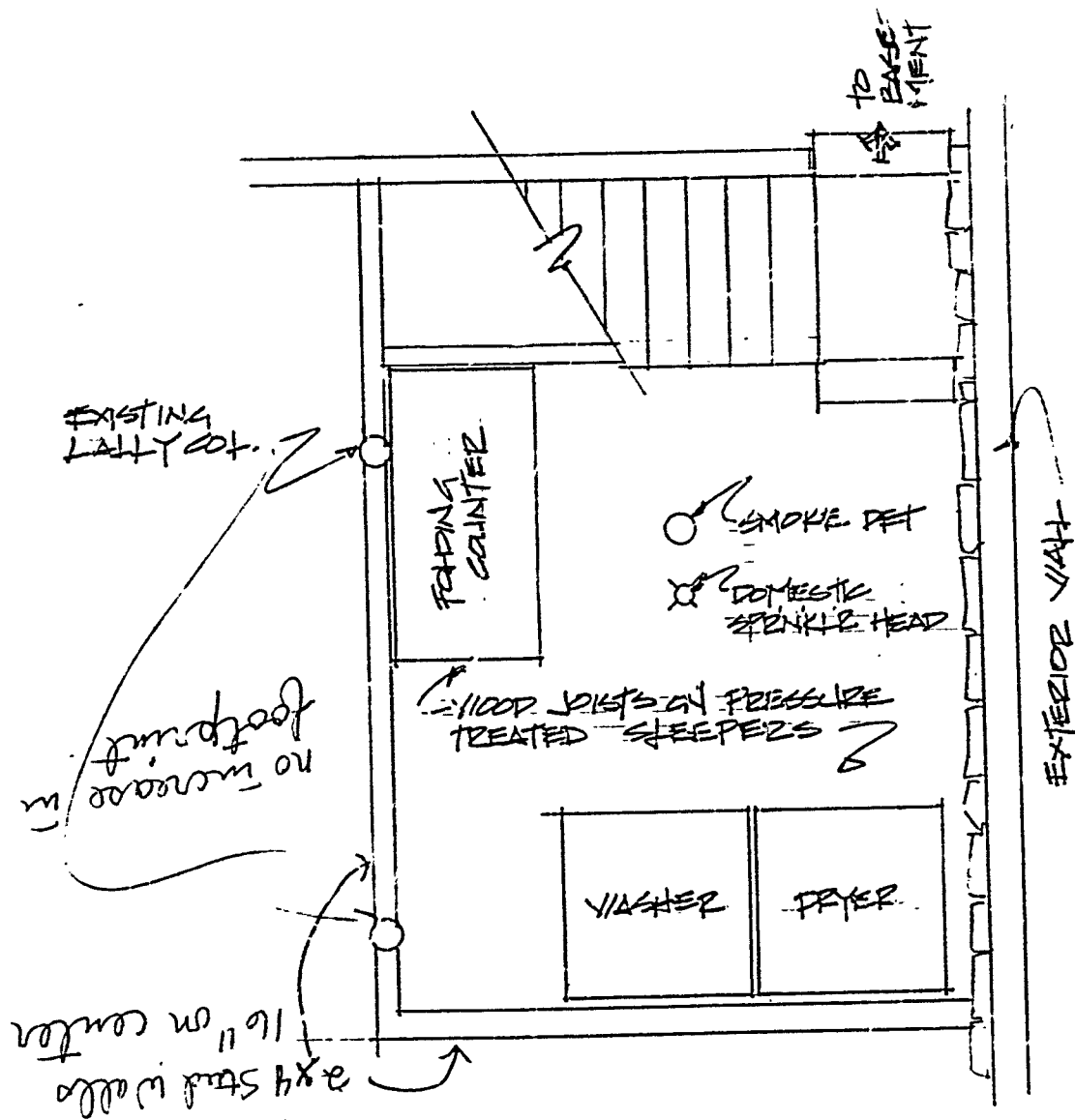
This is in reference to your application for a building permit for a new laundry room in the building at 88 Cumberland Avenue in Portland.

Please come to Room 315, City Hall, Portland, and furnish additional information concerning the proposed laundry room and the floor plan submitted for the building permit.

Sincerely

William D. Giroux
William D. Giroux
Zoning Enforcement Officer

cc: P. Samuel Hoffses, Chief, Inspections Services
Arthur Addato, Code Enforcement Officer
Warren J. Turner, Administrative Assistant



NOTES:

1. STAIRS TO BE REBUILT TO EXISTING DIMENSIONS.
 2. HOT H₂O FROM EXISTING HEATER.
 3. PROVIDE 1/2" FIRE BARRIER, WALLS & CEILING
 4. PROVIDE SPRINKLER SYSTEM - 1 HEAD
- INCLUDE SEPARATE SMOKE DETECTOR

RECEIVED

JUN 15 1939

DEPT OF BUILDINGS - 1102
CITY OF PORTLAND

UTILITY RM: 88 CLIMBERLAND
OWNER BRUCE FOTE



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Sept 26, 1989, 19
Receipt and Permit number 66732

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 88 Cumberland Ave

OWNER'S NAME Bruce Poce ADDRESS: 5 Gladstone Lakefield Mass

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL 1 to 30	3.00
FIXTURES: (number of)	
Incandescent _____ Fluorescent _____ (not strip) TOTAL	
Strip Fluorescent <u>8</u> ft. <u>(4)</u> 2 ft.	3.00
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes	
METERS: (number of)	
MOTORS: (number of)	
Fractional	
1 HP or over	
RESIDENTIAL HEATING:	
Oil or Gas (number of units)	
Electric (number of rooms)	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler)	
Oil or Gas (by separate units)	
Electric Under 20 kws _____ Over 20 kws	
APPLIANCES: (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL	
MISCELLANEOUS: (number of)	
Branch Panels	
Transformers	
Air Conditioners Central Unit	
Separate Units (windows)	
Signs 20 sq. ft. and under	
Over 20 sq. ft.	
Swimming Pools Above Ground	
In Ground	
Fire/Burglar Alarms Residential	
Commercial	2.00
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under	
over 30 amps	
Circus, Fairs, etc.	
Alterations to wires	
Repairs after fire	
Emergency Lights, battery	
Emergency Generators	
INSTALLATION FEE DUE:	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE:	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	8.00
TOTAL AMOUNT DUE:	

INSPECTION: _____ or 72 hrs
Will be ready on Sept 27, 1989, or Will Call _____
CONTRACTOR'S NAME: Webster Elec
ADDRESS: 129 Westbrook St So Portland
TEL: _____
MASTER LICENSE NO.: 04893 SIGNATURE OF CONTRACTOR: [Signature]
LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

Call 775-5725
Gerald Canningham
He will let you
in the Bldg

Permit Number 10134
Location 8 S. 1st St. with 1st Ave
Owner Shirley G. Galt
Date of Permit 9/22/84
Final Inspection 10/2/84
By Inspector [Signature]
Permit Application Register No. 74

INSPECTIONS. Service _____ by _____
 Service called in _____
 Closing in 10/2/82 by [Signature]
 PROGRESS INSPECTIONS.

PROGRESS INSPECTIONS:

[illegible]

CODE
COMPLIANCE
COMPLETED
DATE 10/2/89

912599

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee 55 Zone _____ Map # _____ Lot # _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Irma 2020 Phone # 293-4778
Address: St 22, 24x44, 42
LOCATION OF CONSTRUCTION 33 Cumberland Ave.
Contractor: Gerald Cunningham Sub: 703-5545
Address: Box 12111, Cornish, ME Phone # 71020
Est. Construction Cost: 5300 Proposed Use: 4-Fam W 12111
Past Use: 4-Fam W 12111
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
In Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Expl. In Conversion: repairs to gar 12 - sill

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____ Spacing 16" O.C.
4. Joists Size: _____
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Siding Type _____ Yes _____ No _____
6. Siding Size _____ Size _____
7. Siding Type _____ Size _____
8. Siding Type _____ Weather Exposure _____
9. Masonry Material _____
10. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only

Date 5/13/91 Subdivision _____ Name _____
Inside Fire Limits _____
Edg Code _____ Ownership _____
Time Limit _____
Estimated Cost 5300

Zoning: R-C
Street Frontage Provided: _____
Provided Setbacks: Front _____ Back _____ Side _____
Review Required: _____
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
Special Exception _____
Other (Explain) _____

Ceiling:

1. Ceiling Joists Size: _____ Spacing _____
2. Ceiling Strapping Size _____
3. Type Ceilings: _____ Size _____
4. Insulation Type _____
5. Ceiling Height: _____

Roof:

1. Trusses or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

1. Type: _____
2. Number of Fire Places _____

Heating:

1. Type of Heat: _____

Electrical:

1. Service Entrance Size: _____
2. Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____

Swimming Pools:

1. No. of Tubs or Showers _____
2. No. of Flushes _____
3. No. of Lavatories _____
4. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law

Permit Received By:

Louise E. Chase

Signature of Applicant:

Gerald Cunningham Date 5/13/91

Signature of CEO:

Gerald Cunningham Date _____

Inspection Dates:

White-Tax Assessor Yellow-GPCOG

White Tag-CE

Copyright © 1984

PLOT PLAN

N
↑

FEES (Breakdown From Front)

Base Fee \$ 25-
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type

Inspection Record

Date

_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

COMMENTS 5-22-91 Checked site. all
6-3-91 - Incomplete info. all

Signature of Applicant

[Signature]

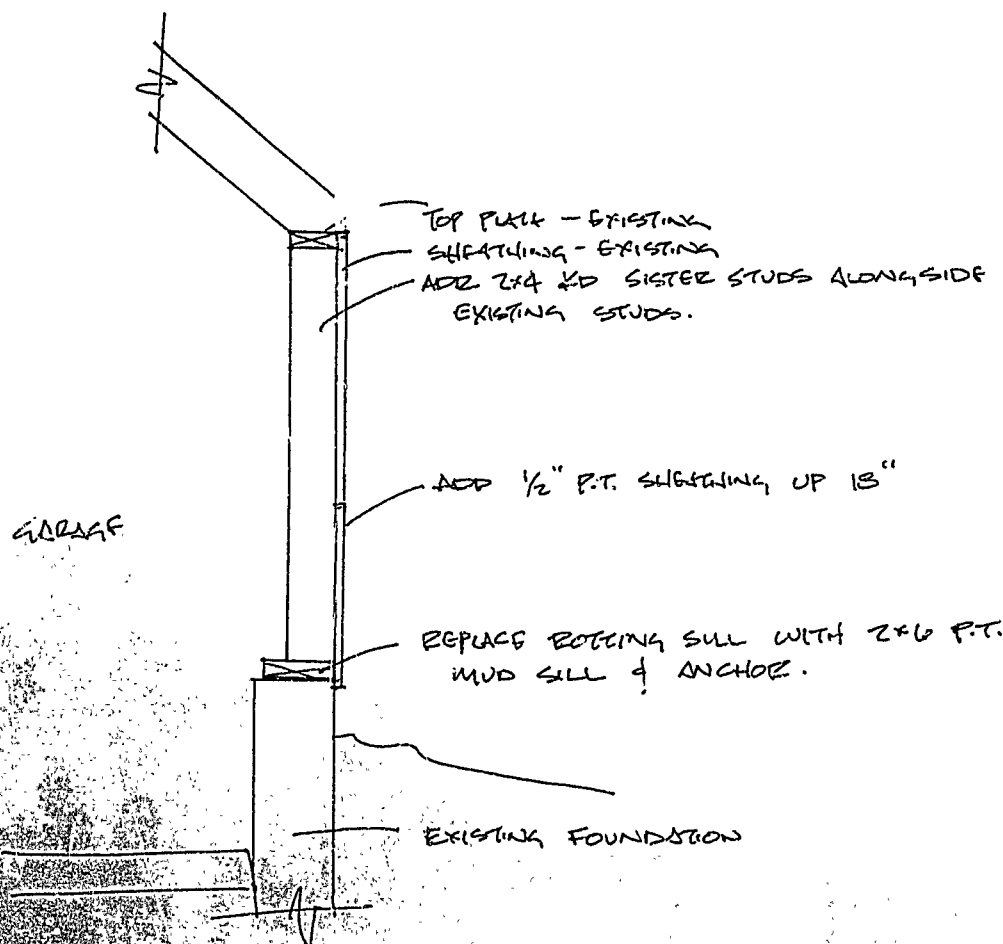
Date

5/13/91

RECEIVED

MAY 13 1991

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND



OWNER: BENCE FOTE
83 CUMBERLAND AVE
GARAGE. RENOVATION

88 Cumberland Ave

912599
Permit # 912599 City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone _____ Map # _____ Lot # _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Bruce Pote Phone # 722XXXXXX
Address: Rt 22; Buxton, ME
LOCATION OF CONSTRUCTION 88 Cumberland Ave.
Contractor: Gerald Cunningham Sub: 793-6645
Address: Box 124 A; Cornish, ME Phone # 04020
Est. Construction Cost: \$300. Proposed Use: 4-fam w garage
Past Use: 4-fam w garage
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion repairs to garage - sill

For Official Use Only		PERMIT ISSUED
Date	<u>5/13/91</u>	Subdivision
Inside Fire Limits		Name
Blkg Code		Lot
Time Limit		Ownership
Estimated Cost	<u>\$300.</u>	Public
Zoning	<u>R-C</u>	Private
Street Frontage Provided		
Provided Setbacks: Front		Back
Side		Side
Review Required:		
Zoning Board Approval: Yes	No	Date:
Planning Board Approval: Yes	No	Date:
Conditional Use: _____	Variance _____	Site Plan _____
Shoreland Zoning: Yes	No	Floodplain: Yes
Special Exception		No
Other (Explain)		

Foundations:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s): _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size: _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

1. Type: _____ Number of Fire Places _____

Heating:

1. Type of Heat: _____

Electrical:

1. Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant [Signature] Date 5/13/91

Signature of CEO Gerald Cunningham Date _____

Inspection Dates _____

White-Tax Assessor

Yellow-GPCOG

White Tag-CEO

© Copyright GPCOG 1988

[Signature] Mr. Addario

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 88, Cumberland Ave		Owner: Bruce & Judith Pote		Phone: 929-3823	Permit No: 950960
Owner Address: RR 3, Box 241 Gorham ME		Lease/Buyer's Name: 04038		Phone:	Business Name:
Contractor Name:		Address:		Phone:	
Past Use: 3-fam	Proposed Use: 5-fam	COST OF WORK: \$	PERMIT FEE: \$ 25.00		
Proposed Project Description: Change Use from 3-fam to 5-fam		FIRE DEPT. ☒ Approved ☐ Denied	INSPECTION: Use Group <i>22 Type 5</i>		
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: ☐ Approved ☐ Approved with Conditions ☐ Denied			
Permit Taken By: Mary Gresik		Date Applied For: 08 September 1995			
1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..					
CERTIFICATION I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit					
SIGNATURE OF APPLICANT <i>[Signature]</i> Bruce Pote		ADDRESS:		DATE: 08 Sept 1995	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE				PHONE:	
White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector					

PERMIT ISSUED
 SEP 12 1995
CITY OF PORTLAND

**PERMIT ISSUED
WITH REQUIREMENTS**

Zoning Appeal

☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation

☐ Not in District or Landmark
☒ Does Not Require Review
☐ Requires Review

Action:

☐ Approved
☐ Approved with Conditions
☐ Denied

Date: *9/11/95*

CEO DISTRICT: 1 *m. Leary*

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 88 Cumberland Ave Owner: Pote, Bruce Phone: 929-3823 Permit No: 950959

Owner Address: Lease/Buyer's Name: Phone: Business Name:

Contractor Name: Saco Bay Restoration, Inc. Address: P.O. Box 1258 Scarborough, ME 04070-1258 883-5053 Phone: 883-5053

Proposed Use: COST OF WORK: \$ 1,073.00 PERMIT FEE: \$ 25.00

FIRE DEPT. ☒ Approved ☐ Denied INSPECTION: Use Group 12 Type 53

Signature: Date: PEDESTRIAN ACTIVITIES D: Action: Approved ☐ Approved with Conditions ☐ Denied ☐

Proposed Project Description: Fire-int Reno Unit 4 Second Floor

Permit Taken By: Mary Gresik Date Applied For: 06 Sept 1995

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.

2. Building permits do not include plumbing, septic or electrical work.

3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Bob Kidd ADDRESS: DATE: 06 Sept 1995 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED

SEP 12 1995

CITY OF PORTLAND

Zone: CBI 1-M-008

Zoning Approval: ☒ Variance ☐ Miscellaneous ☐ Conditional Use ☐ Interpretation ☐ Approved ☐ Denied

Special Zone: ☐ Shoreland ☐ Wetland ☐ Flood Zone ☐ Subdivision ☐ Site Plan ☐ major ☐ minor ☐ minor

Historic Preservation ☐ Not in District or Landmark ☒ Does Not Require Review ☐ Requires Review

Action: ☐ Approved ☐ Approved with Conditions ☐ Denied

Date: 9/6/95

CEO DISTRICT 1

m. leary

Date 08 September 1995

Permit # 15598 LTD

LOCATION: 88 Cumberland Ave

OWNER: Pote, Bruce

ADDRESS

OUTLETS						TOTAL EACH FEE		
FIXTURES	Receptacles (number of)	Switches			10	.20	2.00	
	incandescent	fluorescent			8	.20	1.60	
	fluorescent strip					.20		
SERVICES	Overhead			TTL AMPS TO	800	15.00		
	Underground				800	15.00		
TEMPORARY SERV.	Overhead			AMPS OVER	800	25.00		
	Underground				800	25.00		
METERS	(number of)					1.00		
MOTORS	(number of)					2.00		
RESID/COM	Electric units					1.00		
HEATING	oil/gas units					5.00		
APPLIANCES	Ranges	Cook Tops		Wall Ovens		2.00		
	Water heaters	Fans		Dryers		2.00		
Disposals	Dishwasher	Compactors		Others (denote)		2.00		
MISC. (number of)	Air Cond/win					3.00		
	Air Cond/cent					10.00		
	Signs					5.00		
	Pools					10.00		
	Alarms/res					5.00		
	Alarms/com					15.00		
	Heavy Duty					2.00		
	Outlets							
	Circus/Carnv					25.00		
	Alterations					5.00	5.00	
	Fire Repairs					15.00		
	E Lights					1.00		
	E Generators					20.00		
	Panels					4.00		
TRANSFER	0-25 Kva					5.00		
	25-200 Kva					8.00		
	Over 200 Kva					10.00		
					TOTAL AMOUNT DUE			
					MINIMUM FEE	25.00	25.00	

INSPECTION: Will be ready 9/8 PM or will call

CONTRACTORS NAME Ray Chaloult Elec

ADDRESS 4 Rockwood Dr Biddeford

TELEPHONE 283-2800

MASTER LICENSE No.

LIMITED LICENSE No. 15598

SIGNATURE OF CONTRACTOR

Page 750-0416

INSPECTIONS: Service _____ by _____

Service called in _____

Closing-in 9-11-95 by 813

PROGRESS INSPECTIONS: _____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

ELECTRICAL INSTALLATIONS -

Permit Number 55981TD

Location 83 Cumberland

Owner Prize Pate

Date of Permit 9-8-95

Final Inspection 9-11-95

By Inspector See 813

DATE REMARKS:

9-11-95 Set L.H. Hoes (see File)

Permit # 15598 LTD

OWNER: Pote, Bruce

ADDRESS

							TOTAL EACH FEE		
OUTLETS									
		Receptacles		Switches			10	.20	2.00
FIXTURES		(number of)							
		incandescent		fluorescent			8	.20	1.60
		fluorescent strip						.20	
SERVICES									
		Overhead			TTL AMPS TO	800		15.00	
		Underground				800		15.00	
TEMPORARY SERV.									
		Overhead			AMPS OVER	800		25.00	
		Underground				800		25.00	
METERS		(number of)						1.00	
MOTORS		(number of)						2.00	
RESID/COM		Electric units						1.00	
HEATING		oil/gas units						5.00	
APPLIANCES		Ranges		Cook Tops	Wall Ovens			2.00	
		Water heaters		Fans	Dryers			2.00	
Disposals		Dishwasher		Compactors	Others (denote)			2.00	
MISC. (number of)		Air Cond/win						3.00	
		Air Cond/cent						10.00	
		Signs						5.00	
		Pools						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty						2.00	
		Outlets							
		Circus/Carnv						25.00	
		Alterations					1	5.00	5.00
		Fire Repairs						15.00	
		E Lights						1.00	
		E Generators						20.00	
		Panels						4.00	
TRANSFER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
					TOTAL AMOUNT DUE				
					MINIMUM FEE		25.00		25.00

INSPECTION: Will be ready 9/8 PM or will call _____

CONTRACTORS NAME	Ray Chaloult Elec
ADDRESS	4 Rockwood Dr Biddeford
TELEPHONE	283-2800
MASTER LICENSE No.	
LIMITED LICENSE No.	15598

~~SIGNATURE OF CONTRACTOR~~

Ray
page
750-0414

[illegible]



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION: 88 Cumberland Avenue

Issued to: Bruce Pote

Date of Issue: January 11, 1996

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950960 — has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Change of Use: from 3 to 5
family dwelling

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

This certificate is valid only for the use of building as premises, and shall not be transferred from one use to another without proper changes and a copy will be returned to owner of record of the use.

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101 Tel: (207) 874-8703 FAX: 874-8716

Location of Construction:

88 Cumberland Ave

Owner: Bruce & Judith Rote

Phone: 949-3823

Owner Address: Rt 3, Box 241 Gorham ME

Lease/Buyer's Name: 04038

Phone:

Business Name:

Contractor Name:

Address:

Phone:

Past Use:

3-fam

Proposed Use:

5-fam

COST OF WORK:

PERMIT FEE:

FIRE DEPT. ☒ Approved ☐ Denied

INSPECTION: Use Group ☒ Approved ☐ Denied

Signature: [Signature]

Signature: [Signature]

Proposed Project Description:

Change Use from 3-fam to 5-fam

Signature: [Signature]

Date:

Permit Taken By:

Malv Greshk

Date Applied For:

08 September 1995

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules
2. Building permits do not include plumbing, septic or electrical work
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: Bruce Rote

ADDRESS:

DATE:

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE

White-Permit Desk: Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED

SEP 12 1995

CITY OF PORTLAND

Zone: CBL 013-1E-008

Special Approval: 9/14/95

Special Zone or Reviews:

☐ Shoreland ☐ Wetland ☐ Flood Zone ☐ Subdivision ☐ Site Plan (major) minor ☐

Zoning Appeal:

☐ Variance ☐ Miscellaneous ☐ Conditional Use ☐ Interpretation ☐ Approved ☐ Denied

Historic Preservation:

☐ Not in District or Landmark ☐ Does Not Require Review ☐ Requires Review

Action:

☐ Approved ☐ Approved with Conditions ☐ Denied

Date: 9/16/95

Signature: [Signature]

CEO DISTRICT: 1

Signature: [Signature]

COMMENTS

8-26-55 (Heavy work, windstorm, & putting in some details with
 Smith's truck up. Still in progress.
 1-11-56 send a copy of

Inspection Record	
Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 88 Cumberland Ave		Owner: Pota, Bruce		Phone: 429-3823		Permit No: 950959
Owner Address:		Lease/Buyer's Name:		Phone:		PERMIT ISSUED Permit Issued: SEP 12 1995 CITY OF PORTLAND
Contractor Name: Saco Bay Association, Inc.		Address: P.O. Box 1258 Scarborough, ME 04070-1258		Business Name:		
Proposed Use: Hotel 57		Proposed Use: Same		COST OF WORK: \$ 1,075.00		PERMIT FEE: \$ 25.00
Proposed Project Description: First & Second Floor		Signature: [Signature]		INSPECTION: Use Group [Signature]		Zoning Approval: [Signature] Special Zone or Review: ☐ Shoreland ☐ Wetland ☐ Flood Zone ☐ Subdivision ☐ Site Plan map minor Zoning Appeal
Permit Taken By: Mary Greenle		Date Applied For: 06 Sept 1995		Signature: [Signature]		

1 This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
 2 Building permits do not include plumbing, septic or electrical work.
 3 Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION
 I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

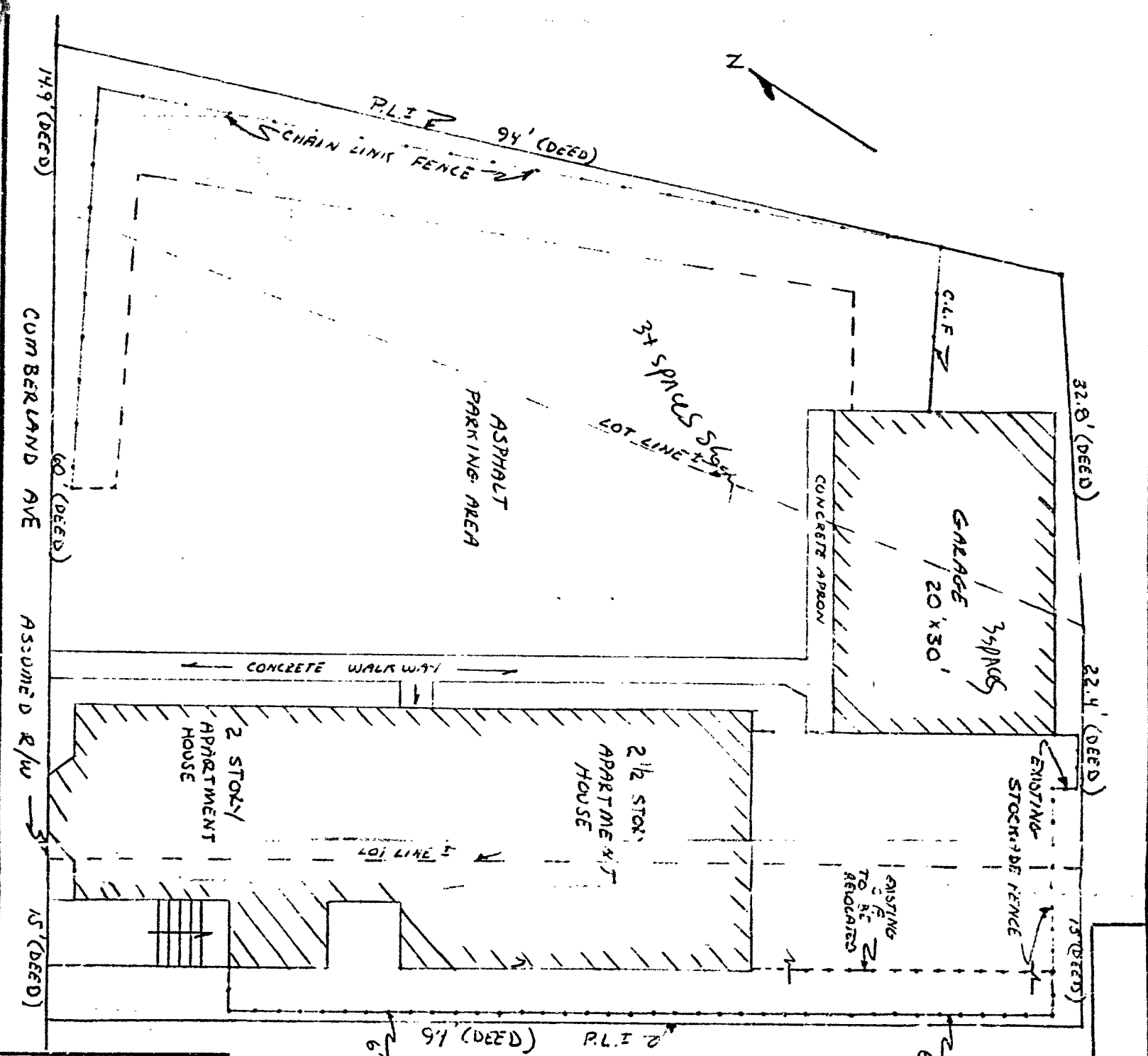
SIGNATURE OF APPLICANT: [Signature] ADDRESS: DATE: 06 Sept 1995 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT: [Signature] M. Laffey

Action: ☐ Approved ☐ Approved with Conditions ☐ Denied

Historic Preservation: ☐ Not in District or Landmark ☐ Does Not Require Review ☐ Requires Review



90-92 CUMBERLAND
VACANT LOT
PROPERTY OF
KERROR ANTRANIGIAN

PROPERTY OF: BRUCE M. POZE
JUDITH E. POZE
LOCATED AT: 84-88 CUMBERLAND AVE
CUMBERLAND COUNTY
PORTLAND, ME
BOOK 7761 PAGE 208
LOT SIZE: 7426 sq ft ±

REVISIONS			
LTR	DESCRIPTION	DATE	APPROV

DO NOT SCALE FOR REFERENCE ONLY		ORIGINATOR BRUCE POZE		DATE 12/12/93
GENERAL PLOT PLAN PROPOSED STOCKADE FENCE		SIZE B	PAGE NO. 11982	SK 88 CUMB-001
SCALE 1"=10'		SHEET 1 OF 1		

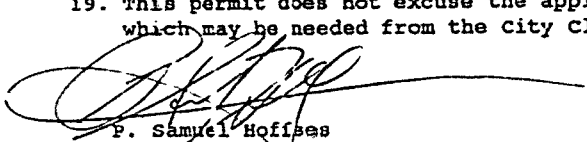
BUILDING PERMIT REPORT

DATE: September 12, 1995 ADDRESS: 88 Cumberland Avenue
REASON FOR PERMIT: Change of Use from a 3 to 5 family dwelling
BUILDING OWNER: Bruce and Judith Pote
CONTRACTOR: Owner APPROVED: SEE ITEMS #4, 5, 6, 7, 9,
11, 13, 14 and 15

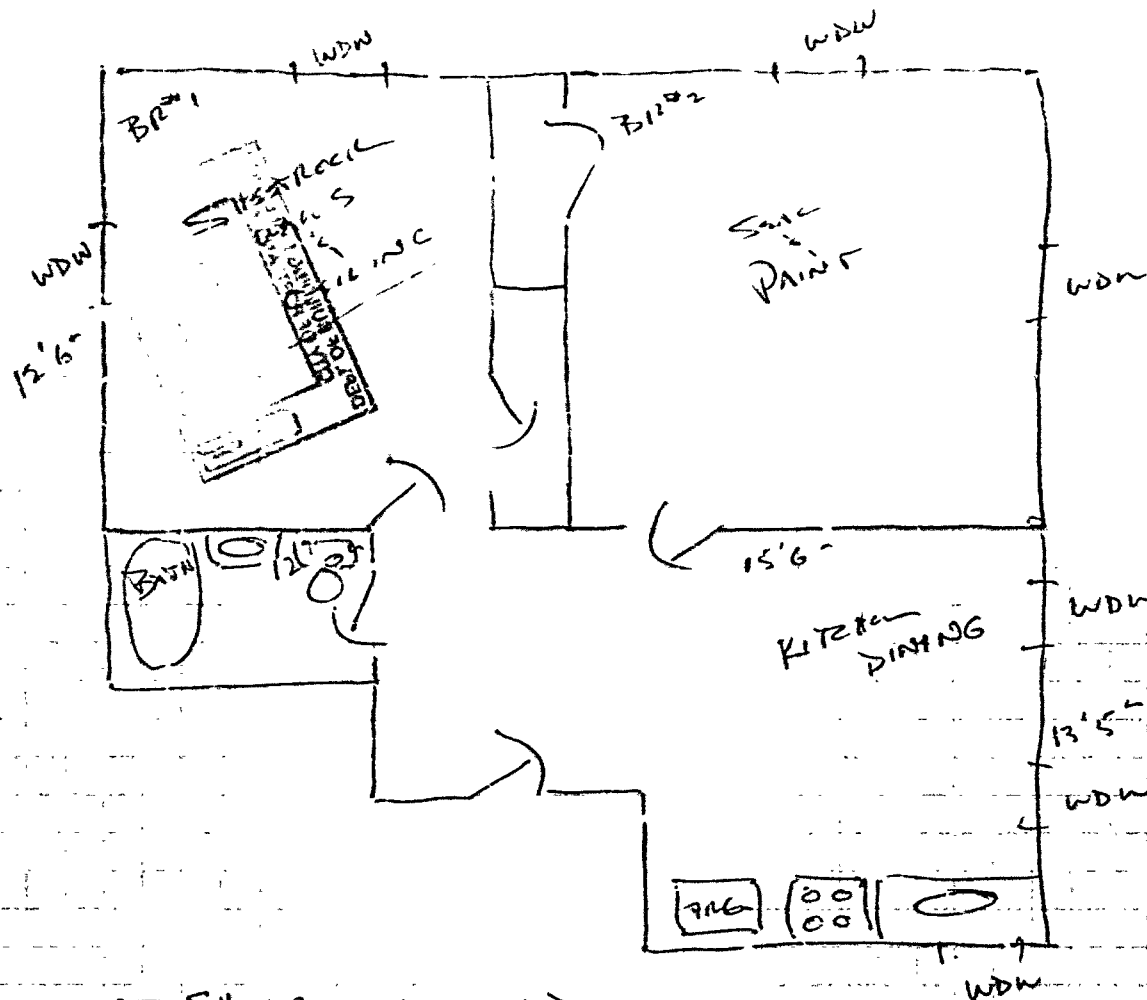
CONDITIONS OF APPROVAL

1. Before concrete for foundation is placed, approvals from Inspection Services must be obtained. (A 24 hour notice is required prior to inspection.)
2. Precautions must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- **4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with selfclosers.
- **5. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- **6. The boiler shall be protected by enclosing with one (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- **7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 square feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- **9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code, Chapter 9, Section 19, 919.3.2 (BOCA National Building Code/1993) and NFPA 101, Chapters 18 and 19. (Smoke detectors shall be installed and maintained at the following locations):
 - a. In the immediate vicinity of bedrooms
 - b. In all bedrooms
 - c. In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1 hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 10, Section 407.0 of the BOCA/1993)
- **11. Guardrail and Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the level below. Minimum height all Use Groups, 42 inches, except Use Group R which is 36 inches. In occupancies in Use Group A, B, E 4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, Section and Subsections 1023. and 1024. of the City's Building Code. (The BOCA National Building Code/1993)
- **13. Stair construction in Use Group R-3 and R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum is 11" tread, and 7" maximum rise.
- **14. Headroom in habitable space is a minimum of 7'6".
- **15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued for demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.


P. Samuel Hoffes
Chief, Inspection Services

POTZ
88 CUMBERLAND AVE



- STAIR ROCK WORK + DOORS
to Bedroom #1
- PAINT PAINTING
- DREAM FLEWING.

SACO BAY RESTORATION
PO BOX 1258
SCARBOROUGH ME 04071
(207) 883-6053 FAX (207) 885-5581
Estimator: BOB KIDD

Date : 08-31-1995
Est.#: 0831
Adj. : N/A
D.O.L: N/A
Co. : N/A

Insured : BRUCE POTE
Address : RR3 BOX 241
City,St.: GORHAM ME
RE: 88 CUMBERLAND AVE PORTLAND ME

Memo: FIRE RESTORATION
SHEETROCK/STRUCTURAL WORK TO BE COMPLETED @
ABOVE PREMISES...

Task name: BEDROOM #1
Length: 12.5 Width: 12.0 Height: 8.0 Windows: 2 Doors: 2
Ttl Wall: 392Sf Net Wall: 334Sf Floor/cg: 150Sf Perim: 49

Description of Item	Quan.	Matl	Lbr	Matl.Amt	Lab.Amt	Item Total
1 <REMOVE> CEILING SHEETROCK	150 SF	0.00	0.38	0.00	56.40	\$56.40 DM
2 CEILING SHEETROCK (1/2" TAPE & SAND)	150 SF	0.25	0.59	37.20	98.80	\$126.00 DM
3 <REMOVE> WALL SHEETROCK	334 SF	0.00	0.30	0.00	101.54	\$101.54 DM
4 WALL SHEETROCK (1/2" TAPE & SAND)	334 SF	0.25	0.59	82.83	195.06	\$277.89 DM
5 <REMOVE> FIBERGLASS WALL INSULATION	334 SF	0.00	0.12	0.00	40.08	\$40.08 DM
6 FIBERGLASS WALL INSULATION (5" BATT, 24" O/C)	334 SF	0.28	0.13	53.52	42.75	\$136.27 IM
7 HOLLOW CORE DOOR (2-6X6-8, LAMIN, P/H, SPLIT JAMB)	2 EA	94.40	21.79	188.80	43.58	\$232.38 DM

	MATERIAL	LABOR	TOTAL	
Total	\$402.35	\$568.21	\$970.56	\$970.56
Total man hours required for this task			25.83 Hours	

State tax is 6% of Material Total: \$24.14
Debris removal is 5% of Job Total: \$48.53
Building permit rate \$ 25 first \$ 1000 + \$ 5 for Ea \$1000 over \$30.00

Total: \$1,073.23

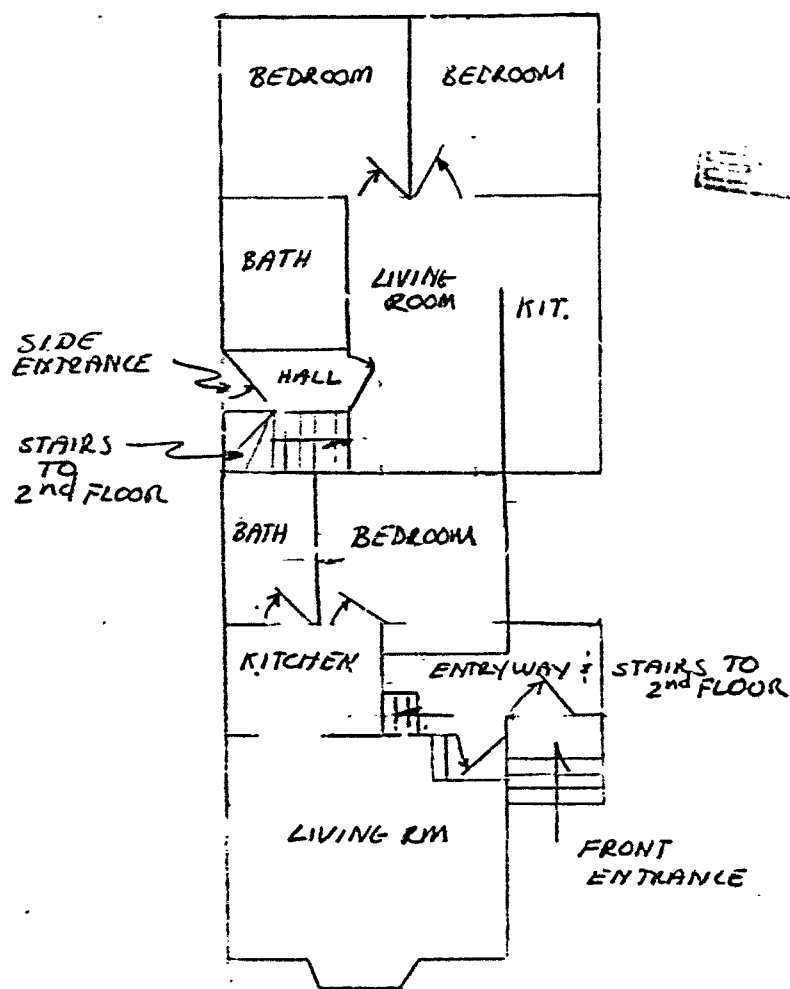
Time to completion using 3 men is 2 (day)s or 1 (week)s.
***** END of ESTIMATE *****

Applicant: Bruce Pote
Address: 88 Cumberland Ave
Assessors No.: 013-M-008

Date: 9/11/95

CHECK LIST AGAINST ZONING ORDINANCE

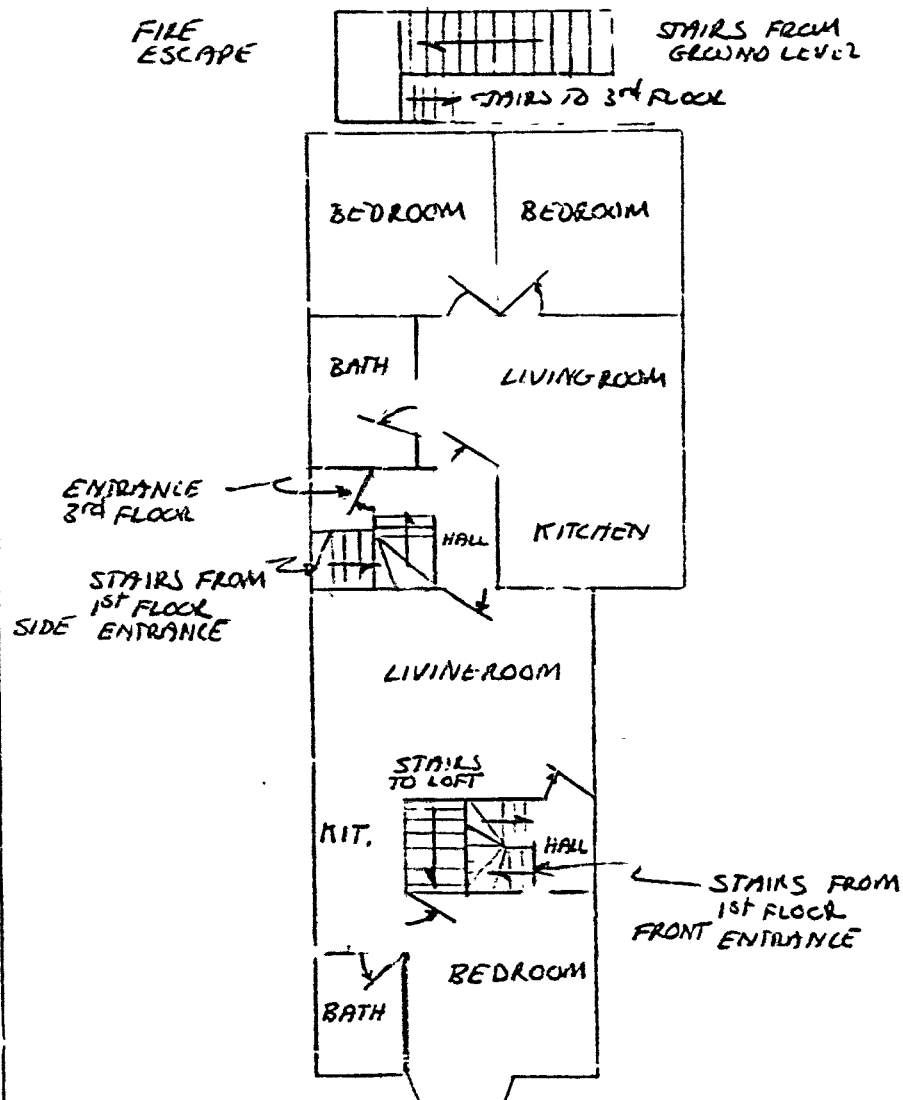
Date -
Zone Location - R-6
Interior or corner lot -
Use - 3 → 5 units in existing Bldg - No addition -
Sewage Disposal - City to legalize existing
Rear Yards -
Side Yards -
Front Yards -
Projections -
Height -
Lot Area - 7,426 sq ft per assessors
Building Area -
Area per Family - 1,000 sq ft/unit or 5,000 sq ft → ok
Width of Lot - showing more than 600 sq ft/unit - no new exterior
Lot Frontage - exits
Off-street Parking - 3 spaces for existing; 1 1/2 for each new unit - total 6 spaces needed
Loading Bays - N/A 6 spaces shown ok
Site Plan - N/A
Shoreland Zoning - N/A
Flood Plains - N/A



88 CUMBERLAND AVE.
1ST FLOOR
FLOOR PLAN
APARTMENT 1 and 2

NOTE: WINDOW EGRESS
LESS THAN 10 FT.
FROM GROUND LEVEL

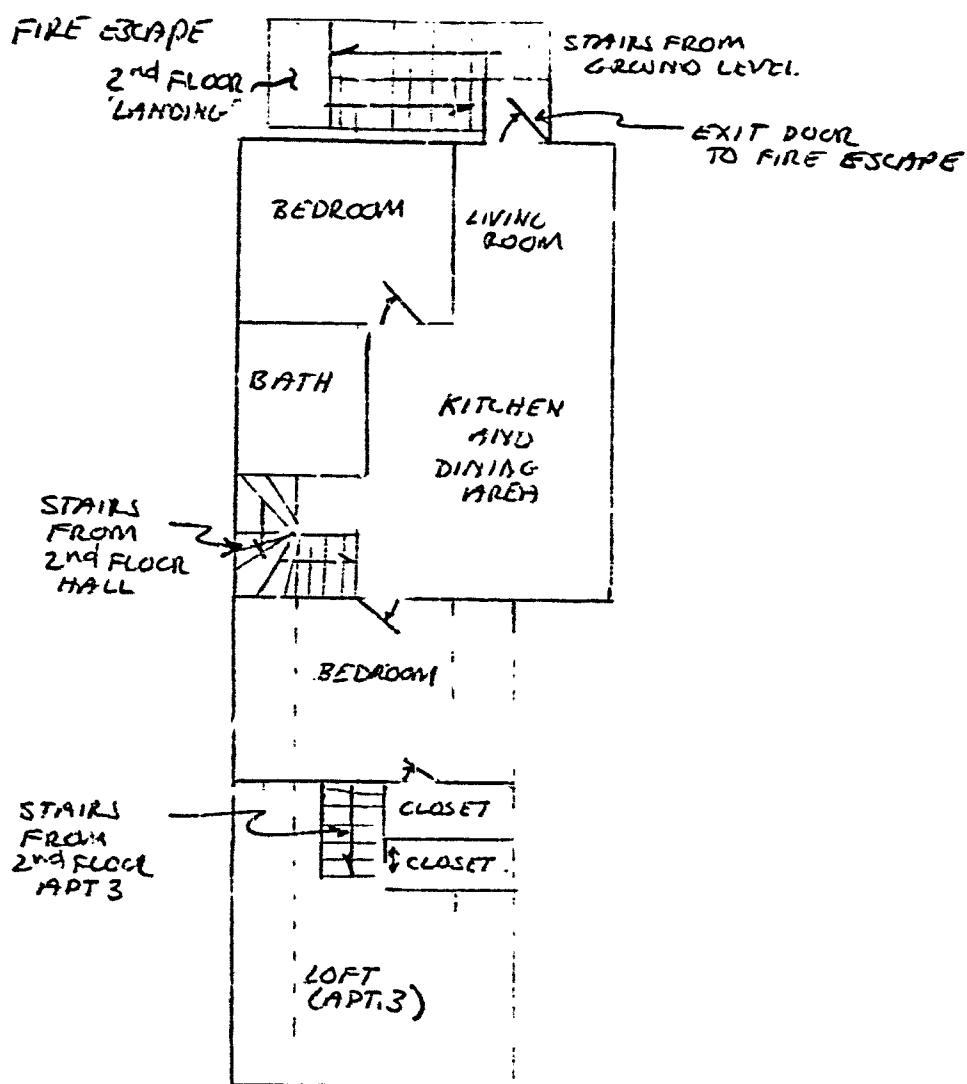
APT 1 (APPROX. SQ. FOOTAGE 640 SQ. FT.)
APT 2 (APPROX. SQ. FOOTAGE 720 SQ. FT.)



88 CUMBERLAND AVE
2nd FLOOR
FLOOR PLAN
APARTMENT 3 and 4

APT 3 (APPROX. SQ FOOTAGE 746 SQ. FT.)
APT 4 (APPROX SQ. FOOTAGE 720 SQ FT)

1. 10' 0" x 10' 0" (100 sq ft)
 2. 10' 0" x 10' 0" (100 sq ft)
 3. 10' 0" x 10' 0" (100 sq ft)
 4. 10' 0" x 10' 0" (100 sq ft)
 5. 10' 0" x 10' 0" (100 sq ft)
 6. 10' 0" x 10' 0" (100 sq ft)
 7. 10' 0" x 10' 0" (100 sq ft)
 8. 10' 0" x 10' 0" (100 sq ft)
 9. 10' 0" x 10' 0" (100 sq ft)
 10. 10' 0" x 10' 0" (100 sq ft)



88 CUMBERLAND AVE
 3rd FLOOR
 FLOOR PLAN
 APARTMENT 5 (APPROX SQ FOOTAGE 840 sq ft)

