

16-03 011 2 1111 1111

SHAW-WALKER
FBI
#9203-1R



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Jan. 30 1979
Receipt and Permit number A 23230

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
Maine the Portland Electrical Ordinance, the National Electrical Code and the following specifications:
LOCATION OF WORK 88 Cumberland Ave.

OWNER'S NAME Della Davis ADDRESS same FEES

OUTLETS
Receptacles Switches Plugmold ft. TOTAL

FIXTURES (number of)
Incandescent Fluorescent (not strip) TOTAL
Strip Fluorescent ft.

SERVICES
Overhead ☒ Underground Temporary TOTAL amperes 200 3.00
3 1.50

METERS (number of)
MOTORS (number of)

Fractional
1 HP or over

RESIDENTIAL HEATING
Oil or Gas (number of units) 6 6.00
Electric (number of rooms)

COMMERCIAL OR INDUSTRIAL HEATING:
Oil or Gas (by a main boiler)
Oil or Gas (by separate units)
Electric Under 20 kws Over 20 kws

APPLIANCES (number of)
Ranges Water Heaters
Cook Tops Disposals
Wall Ovens Dishwashers
Dryers Compactors
Fans Others (denote)

TOTAL

MISCELLANEOUS: (number of)

Branch Panels

Transformers

Air Conditioners Central Unit

Separate Units (windows)

Signs 20 sq. ft. and under

Over 20 sq. ft.

Swimming Pools Above Ground

In Ground

Fire/Burglar Alarms Residential

Commercial

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under

over 30 amps

Circus, Fairs, etc.

Alterations to wires

Repairs after fire

Emergency Lights, battery

Emergency Generators

INSTALLATION FEE DUE:

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE:

FOR REMOVAL OF A "STOP ORDER" (304-16.b)

TOTAL AMOUNT DUE: 10.50

INSPECTION:

Will be ready on Jan. 31, 1979; or Will Call xx

CONTRACTOR'S NAME Paul Rheaume Jr.

ADDRESS Hacker Rd. Ext. Breeport

TEL. 729-1725

MASTER LICENSE NO. 353 SIGNATURE OF CONTRACTOR: [Signature]

LIMITED LICENSE NO.:

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

PROGRESS INSPECTIONS:

[illegible]Permit Application Register Page No. 43

DATE:

REMARKS:

OK

AG: REF: REFERENCE NUMBER **1442**

	TOTAL	11.00
Building and Inspection Services Dept.: Plumbing Inspection		

CITY OF PORTLAND, MAINE

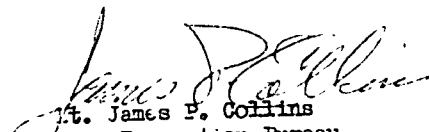
MEMORANDUM

TO: Building Inspection Dept.
FROM: Fire Prevention Bureau
SUBJECT: 88 Cumberland Ave.

DATE: 12/28/77

Approved _____ is hereby given for a building permit
from this Department subject to the following requirements/reasons

- 1) Access to the fire escape through a window must measure 30X36 inches in the clear.
- 2) Doors between the corridors and the apts. shall be self closing.
- 3) The boiler room shall be enclosed with a one hour fire rated partition and a one hour fire door with self closer.
- 4) All stairways and corridors shall be illuminated at all times.
- 5) All vertical openings shall be enclosed to prevent the spread of fire and smoke.
- 6) The fire escape shall meet all the size requirements of Chapter 5-9 of the 101 Life Safety Code.


Lt. James P. Collins
Fire Prevention Bureau

ROUTING SLIP FROM:
DEPARTMENT OF BUILDING AND INSPECTION SERVICES

ADDRESS 88 Cumberland Ave

Date 12/12/77

☒ FIRE DEPARTMENT

PLANNING BOARD

RENEWAL

MAINE WAY

PUBLIC WORKS

HEALTH

OTHERS

APPROVED

DISAPPROVED BY REASON OF:
(quote section of pertinent ordinance or other governing factors)

SPECIAL COMMENTS:

*More complete plans are needed
before I can process this permit*

S. J. P. Collins

KEEP SECOND COPY AND RETURN ORIGINAL TO BUILDING & INSPECTIONS

88 Cumberland Avenue

December 17, 1977

cc: Ms. Davis
58 Wilson St.

Leslie Hoar
Peaks Island, Maine

Fire Chief

Dear Mr. Hoar:

The Fire Dept. will not okay the plans concerning the building at 88 Cumberland Avenue because they are not clear as to intent.

A set of plans must be submitted to the Fire Dept. showing the use and layout of each floor as it exists, and another plan showing how each floor is proposed to be used, and the means of egress from all of them.

When this has been submitted to the Fire Dept., and has their approval, this department will then be in a position to issue the Building Permit.

Very truly yours,

Earle S. Smith
Plan Examiner

RSS/r

28 Cumberland Avenue

December 29, 1977

cc: Fire Chief

Leslie Hoar
Peaks Island, Me.

Ms. Davis
58 Wilson St.

Dear Mr. Hoar:

A permit for a Change of Use to a total of 4 apartments in the above building with alterations as per plans is issued herewith subject to the following Building Code and Fire Department requirements.

The access to the fire escape through a window must measure 30 x 36 inches in the clear.

Doors between the corridors and the apartments shall be made self closing.

The boiler room is required to be enclosed with a one hour fire rated partition and ceiling and equipped with a 1 hr. fire door with self closing device. Sufficient air for combustion must be introduced into the boiler room and the super heated air, if any, is required to be exhausted therefrom. Please, therefore, provide this office with computations showing that the oil burner will have sufficient air for combustion and that the super heated air will be exhausted therefrom.

All stairways and corridors are required to be illuminated at all times.

All vertical openings shall be enclosed to prevent the spread of fire and smoke.

The fire escape shall meet all the size requirements of Chapter 5-9 of the 101 Life Safety Code.

A separate permit for the fire escape should be applied for at this office by the actual installer.

Very truly yours,

Earle S. Smith
Plan Examiner

ESS/r



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION R-6 PORTLAND, MAINE, 12/9/77

PERMIT ISSUED

JAN 8 1978

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 88 Cumberland Avenue Fire District #1 ☐ #2 ☐
1. Owner's name and address Ms. Davis- 53 Wilson St., Portland, Me. Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address Leslie Hoar-Reaks Island, Me. Telephone 766-2030
4. Architect Specifications Plans No. of sheets
Proposed use of building multi dwell. No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Fee \$ 32.00
Estimated contractual cost \$ 8,000

GENERAL DESCRIPTION

FIELD INSPECTOR—Mr.
This application is for: @ 775-5451 Change of Use to a total of 4 apartments
Dwelling Ext. 234 with alterations as per plans. 1 Sheet
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☐ 2 ☐ 3 ☒ 4 ☐

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING: A.A. McGowan 12/9/77

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Leslie Hoar Phone #

Type Name of above Leslie Hoar 1 ☐ 2 ☐ 3 ☒ 4 ☐

Other
and Address

FIELD INSPECTOR'S COPY

NOTES

Permit No. 2246001
 Location 801 Highland Ave
 Owner Miss E. Lewis
 Date of permit 12-9-77
 Approval 1-3-78

12/11/77 [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]

Jan 5/78 Unable to get in, no one answered

Aug 4/78 No one answered the door
 Sept 26/78 Starting on interior work
 in basement etc. Will add
 new carrying timbers & glr joist!

Feb 5/1980
 This is under advisement.
 The 2nd glr is not completed and the
 owner wants a 2nd means of egress
 is required by code from the 2nd glr
 before it can be re-erected. (As per plan.)
 (Basement) repairs to the glr joist have been
 completed and new supporting carrying
 timbers with steel columns have been
 placed along side of the originals,
 supporting the ends of all the floor joist.
 Extra carrying timbers that is
 ripped out and tied to either be replaced
 or a new one placed along side of it was
 * over-looked by the contractor etc. It is
 located front & center of the building.
 Talked with the owner (Mrs. Davis) and she
 said for me to take this matter up with the
 Neighborhood Conservation Dept that hired &
 paid the contractor, that she was not putting one
 more cent into the repairs.
 Talked with [unclear] & with N.C. and it
 will be handled by [unclear] dept. No inspections
 were called for. Constantly unable to get in
 and get with the owner. The owner appeared
 to be most unhappy. At any time we requested
 that someone let us into the property to let
 the inspectors get in to inspect the work etc.
 May 20/80 work completed, the old beam in
 question * has been
 replaced.

88 Cumberland Ave.

Nov. 24, 1964

Mr. Walter J. Holman, Jr.
88 Cumberland Ave.

cc to: Walter J. Holman, Jr.
88 Cumberland Ave.

Dear Mr. Holman:

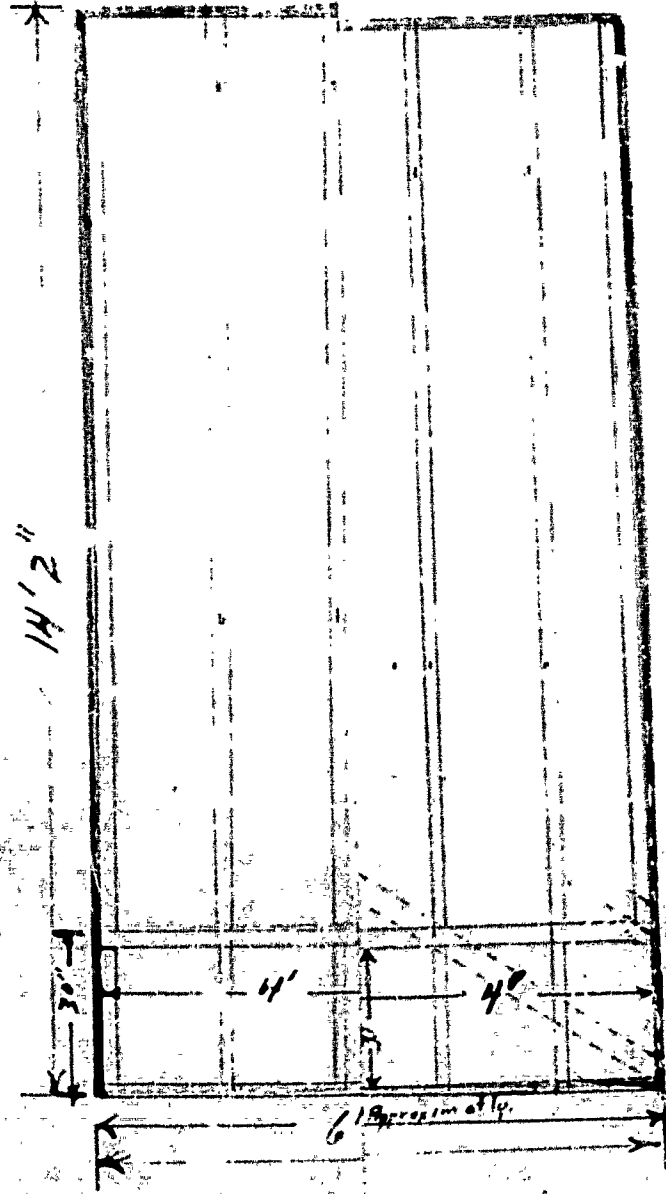
We are unable to issue amendment number 1 to construct a 15 foot dormer on the rear portion with this dormer facing Cumberland Avenue until more information is furnished in accordance with our discussion as follows:

1. As the new dormer roof will make the entire 15 foot center section of the roof quite flat, there will no longer be much rafter action this structure will need to be supported by a structural ridge or by a bearing partition. We understand that you propose to support the roof by building a bearing partition from floor to roof construction. Information on this framing will need to be provided.
2. Another amendment to this permit or a separate permit will be needed to provide an outside or inside stairway to the third floor to be used as a second means of egress without which this floor cannot be lawfully occupied as living quarters.

Very truly yours,

Gerald L. Taylerry
Deputy Building Inspection Director

G.L.M.



Note:

All Rafters and
struts 16" oc
center.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 21

Portland, Maine, August 17, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 63/740 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 88 Cumberland Avenue Within Fire Limits? Dist. No.
Owner's name and address Walter C. Bodman, Sr., 88 Cumberland Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Walter C. Bodman, Jr., 88 Cumberland Ave. Telephone
Architect Plans filed yes with original No. of sheets 1
Proposed use of building Dwelling No. families 2
Last use " No. families 2
Increased cost of work 500. Additional fee 2.00

Description of Proposed Work

To construct 16' dormer rear of building as per plan

*THIS dormer to be on rear portion of building facing
Cumberland Ave.*

12/31/64 Refunded. Work not being done.

Details of New Work owner

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof shed-pitch Rise per foot 7" Roof covering asphalt roofing Class C Unc. Lab.
No. of chimneys Material of chimneys of lining
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 2x4 Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof 2x6
On centers: 1st floor , 2nd , 3rd , roof 16"
Maximum span: 1st floor , 2nd , 3rd , roof 22'

Approved:

Signature of Owner Walter C. Bodman, Jr.

Approved:

Inspector of Buildings

INSPECTION COPY

CS-105

AP- 88 Cumberland Avenue

July 2, 1963

Mr. Walter C. Bodman, Sr.
88 Cumberland Avenue

cc to: Walter C. Bodman, Jr.
88 Cumberland Avenue

Dear Mr. Bodman:

Permit to construct a 15 foot dormer on rear of building
as per plans received with application is being issued in accordance
with our discussion of the above date as follows:

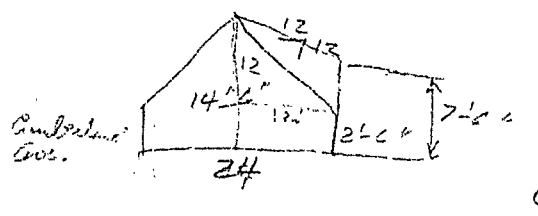
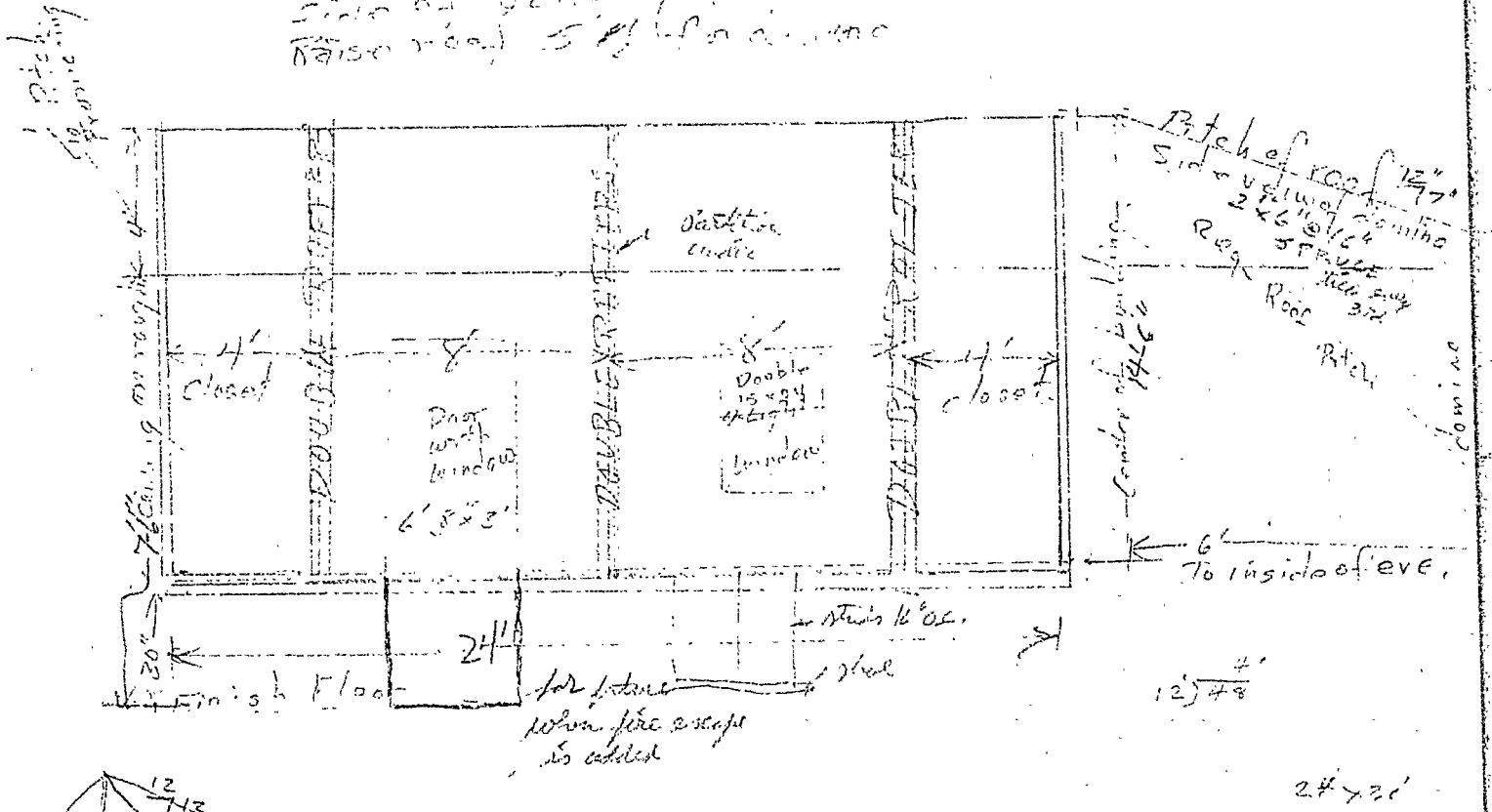
We are given to understand that this
building is in need of a new roof and
that you desire to install this dormer
for future use before the re-roofing
is done. It is further understood
that the third floor is not to be in-
habited until you provide a second
means of egress to a fire escape or
otherwise. This work will be done
under an amendment to this permit
or by a separate permit.

Very truly yours,

Gerald E. Hayberry
Deputy Building Inspection Director

GEN:m

All PARTS are now 24 in center
 All PARTS to be changed to 16" on center
 Partition to hold up center rafters of domino
 Section showing At Back roof of frame in-
 side of building. Looking toward southwest.
 Raise roof 5' 6" from ground



approx 20' to new line

1/4" in scale
 1/8" in = 1 foot



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third ClassPortland, Maine, May 17, 1963

PERMIT ISSUED

JUL 2 1963

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 88 Cumberland Ave Within Fire Limits? Dist. No.
Owner's name and address Walter C. Bodman, Sr., 88 Cumberland Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address WALTER C. Bodman, Jr., 88 Cumberland Ave. Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Dwelling No. families 2
Last use No. families 2
Material frame No. stories 2 1/2 Heat Style of roof pitch Roofing
Other buildings on same lot Fee \$ 13.00
Estimated cost \$ 500.

General Description of New Work

To construct 16' dormer rear of building as per plan

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner.**

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof shed pitch Rise per foot 7" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber Kind hemlock Dressed or full size? dressed Corner posts 2-2x4 Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof 2x6
On centers: 1st floor 2nd 3rd roof 16"
Maximum span: 1st floor 2nd 3rd roof 12'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent see that the State and City requirements pertaining thereto observed? yes

APPROVED:

W. C. Bodman W/letter

CS. 301

INSPECTION COPY

Signature of owner

Walter Bodman

NOTES

10/10/63 - Permit facing
Congress St. has been constructed
One vehicle is to face Congress
Amenity to the above work
next year. E.S.L.

10/29/64 - MD work
started on new corner.
E.S.L.

4/28/65 - MD work
started on 2nd side of road.
E.S.L.

7/16/65 - MD work started
done. Ref.

8/11/65 - Same E.S.L.
11/7/66 - Prop not
completed. E.S.L.

X

to
are

Location	81 Cumberland Ave
Owner	Walter C. Bredmann
Date of permit	7/2/63
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

10/10/63 - Permit facing
Congress St. has been constructed
One vehicle is to face Congress
Amenity to the above work
next year. E.S.L.

PERMIT TO INSTALL PLUMBING

Date Issued 2-15-63 Address 28 Cumberland Avenue PERMIT NUMBER 12506
 By J. P. Welch PORTLAND PLUMBING INSPECTOR Installation For: Walter C. Bodman
 APPROVED J. P. Welch Owner of Bldg. Walter C. Bodman
 Date 2-15-63 Owner's Address 28 Cumberland Avenue
 By J. P. Welch Plumber: Portland Gas Light Company Date: 2-15-63

PROPOSED INSTALLATIONS	NUMBER	FEE
SINKS		
LAVATOR.		
TOILETS		
BATH TUBS		
SHOWERS		
DRAINS		
HOT WATER TANKS		
TANKLESS WATER HEATERS		
GARBAGE GRINDERS	1	\$ 2.00
SEPTIC TANKS		
HOUSE SEWERS		
ROOF LEADERS (Conn. to house drain)		

DATE 2-15-63 BY J. P. Welch APPROVED FINAL INSPECTION
 JOSEPH P. WELCH
 TYPE OF BUILDING
☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL \$ 2.00
☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL \$10.60
☐ NEW CONSTRUCTION
☐ REMODELING
 SM 12-53 PORTLAND HEALTH DEPT. PLUMBING INSPECTION Total

PERMIT TO INSTALL PLUMBING

Date

Issued

1-30-63

PORTLAND HEALTH DEPT.

By: J. Welch

APPROVED FIRST INSPECTION

Date: 2-7-63

By: J. Welch

APPROVED FINAL INSPECTION

Date:

By: JOSEPH P. WELCH

TYPE OF BUILDING

☐ COMMERCIAL

☐ RESIDENTIAL

☐ SINGLE

☐ MULTI FAMILY

☐ NEW CONSTRUCTION

☐ REMODELING

Address: 88 Cumberland Avenue

Installation For: Walter Bodman

Owner of Bldg: Walter Bodman

Owner's Address: 88 Cumberland Avenue

Plumber: Reuben Kntz

Date: 1-30-63

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
1	1	SINKS		
		LAVATORIES		
	2	TOILETS	2	\$ 4.00
2		BATH TUBS	2	4.00
		SHOWERS	2	2.60
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL \$10.60

☐ NEW CONSTRUCTION

☐ REMODELING

SM 12-53

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION

Total

12457

PERMIT NUMBER

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER 5385

Date issued 7-17-57

Address: Walter Bodman

Installation For: 38 Cumberland Ave

Owner of Bldg.: "

Owner's Address: "

By: J. P. Clark

Plumber: Paul Hatz

Date: 7-17-57

APPROVED FIRST INSPECTION

Date: 7-17-57

By: N. J.

APPROVED FINAL INSPECTION

Date: 7-17-57

By: J. P. Clark

TYPE OF BUILDING

☐ COMMERCIAL

☐ RESIDENTIAL

☐ SINGLE

☐ MULTI FAMILY

☐ NEW CONSTRUCTION

☐ REMODELING

NEW	REP'L	PROPOSED INSTALLATION	NUMBER
	1	SINKS	1
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS	
		HOT WATER TANKS	
		TANKLESS WATER HEATERS	3
		GARBAGE GRINDERS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS (conn. to house drain)	
Total			4

SN 12-53 ☐ PORTLAND HEALTH DEPT. PLUMBING INSPECTION



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Oct. 24, 1960

PERMIT ISSUED
NOV 2 1960
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 88 Cumberland Ave. Within Fire Limits? Dist. No.
Owner's name and address Millie Bodman, 88 Cumberland Ave. Telephone 3-9514
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Specifications Plans No. of sheets
Proposed use of building 2- family dwelling No. families 2
Last use No. families
Material No. stories 2 1/2 Heat Style of roof Roofing
Other buildings on same lot Fee \$ 1.00-50
Estimated cost \$ 60.00

General Description of New Work

To relocate 1 existing window on first floor and to raise up outside wall (same location as window) of dwelling. No change in size of opening
2- 4 header

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

APPROVED:
W/memo J. E. M. 11/2/60

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Millie Bodman

INSPECTION COPY

Signature of owner

By: Walter Bodman

F. M. M.

12/2

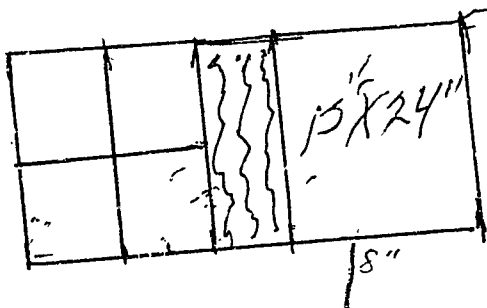
Permit No. 601 1681
Location 88 Cumberland Ave.
Owner Willie Goodman
Date of permit 11/2/60
Notif. closing-in 11/22/60
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Notice _____

NOTES

11/2/60
to 11/22/60
P.S.E.

[Handwritten notes and a large 'X' mark follow in the lined section.]

NO --



Memorandum from Department of Building Inspection, Portland, Maine

AP 88 Cumberland Avenue

Nov. 2, 1960

Mrs. Millie Bodman
88 Cumberland Avenue

Dear Mrs. Bodman:

Permit is being issued to close existing window opening
and to install new window of smaller size in the same wall.

I understand that new window will be separated by a
space of at least 8 inches between new and existing window
in kitchen.

This space will enclose at least two supporting studs.

Very truly yours,

Gerald E Mayberry
Deputy Inspector of Bldgs.

GEM:m

Memorandum from Department of Building Inspection, Portland, Maine

88 Cumberland Ave.--Demolish 10 feet of existing side piazza and to cover one-half of roof of dwelling for Millie Rodman by Zoel Therrien--August 27, 1957

Building permit to demolish 10 feet of existing side piazza and to cover one-half of roof of dwelling at 88 Cumberland Ave. is issued herewith subject to the following conditions:

1. If not existing, a sill at least 4x6 in size is to be provided across end of piazza where demolition ends.
2. Roof covering of dwelling is to be of a type bearing at least the Class "C" label of Underwriters' Laboratories, Inc.

AJS/B

cc Mr. Zoel Therrien
17 Locust St.

(Signed) Warren McDonald
Inspector of Buildings



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 27, 1957

R6 RESIDENCE ZONE

PERMIT ISSUED

01227

AUG 27 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 88 Cumberland Ave. Within Fire Limits? Dist. No.
Owner's name and address Millie Bodman, 88 Cumberland Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Zoel Therrien, 17 Locust St. Telephone 3-0561
Architect Specifications Plans no No. of sheets
Proposed use of building Dwelling No. families 2
Last use No. families 2
Material frame No. stories 2 1/2 Heat Style of roof pitch Roofing asphalt
Other building on same lot Fee \$.50
Estimated cost \$ 50

General Description of New Work

To demolish 10' of existing side piazza
To cover one-half of roof of dwelling

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Millie Bodman

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Millie Bodman

APPROVED:

with memo by agj

Signature of owner By:

Zoel G. Therrien

INSPECTION COPY

[illegible]

Blank lined page for notes.

[illegible]



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Dec. 30, 1957
Renewal of 53/2654

PERMIT ISSUED

00000
JAN 3 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 22 Hubbard Ave. Within Fire Limits? yes Dist. No. 2
Owner's name and address William Bodman, 22 Hubbard Ave. Telephone none
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building habitation house No. families 2
Last use apartment house No. families 3
Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 2.00
Estimated cost \$ 300

General Description of New Work

No change door to window on side of dwelling. To replace about 14' of outside wall in first story in kitchen, 1x4 studs, 10" on centers, clabboarded on outside. To replace 4x6 sill under this wall to be replaced.
(Third apartment will not be used until fire escape is installed)

Decided to change off - window 7/20/58
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

O.K. - 12/31/57 - CJS

Signature of owner

Walter C. Bodman

INSPECTION COPY

44-47-37-
44-48-44-7

Permit No. 5511

Location 38 Cumberland Ave

Owner Walter C. Redman

Date of permit 12/3/55

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

1/31/55 - also permit
5/26/55 - Same 288
7/13/55 - Same 288

7/2/55

WMCD 8/15/55

Jul. 24, 1955

Re: 88 Cumberland Ave.—Minor changes and improvement of outside wall

Mr. Walter Bohman
88 Cumberland Ave.

Dear Mr. Bohman:

You secured a building permit on October 14th, 1953 to make alterations and improvements of the building at the above location, but no work was started within three months of the date of issuance of the permit, and the permit became void.

On January 3rd, 1955 a similar permit was issued to you for the same work:

"To change door to window on side of dwelling. To rebuild about 14' of outside wall in first story in kitchen, 2x4 studs, 16" on centers, clapboarded on outside. To replace 4x6 sill under this wall to be replaced. (Third apartment will not be used until fire escape is erected)"

On February 2, 1955 our inspector reported that a new window had been cut in, that it looked as though a part of the sill had been replaced although there are gaps in the brick underpinning directly under the sill, that the new work had not been clapboarded, leaving merely the rough boarding exposed, that the door had not been replaced by a window. He made three inspections after that, the last on July 13th and each time he reported no further work done. Since no work apparently has been done on the job for a period exceeding five months, the permit has again lapsed, and if you desire to change the door to a window, it will be necessary to secure another building permit.

If, however, the exterior wall is left without weather-proof coverings, such as clapboards, the work you have already done is in violation of the Building Code and it is necessary that this violation be corrected by applying the usual felt and conventional weather-proof siding of some character. If the sill has not been thoroughly corrected, it should be. No additional permit will be needed to apply the weather-proof covering on the exterior wall nor to make good the defects in the sill or underpinning.

We shall expect this violation of the Building Code as to omission of weather-proof covering to be made good before August 15th, 1955.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/G



APPLICATION FOR PERMIT

Class of Building or Type of Structure First Class
Portland, Maine, Dec. 12, 1953

PERMIT ISSUED
01854
DEC 14 1953
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 240 Cumberland Ave. Within Fire Limits? yes Dist. No. 3
Owner's name and address Walter Bodman, 240 Cumberland Ave. Telephone none
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building dwelling house No. families 2
Last use apartment house No. families 3
Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 2.00
Estimated cost \$ 200.00

General Description of New Work

To change door to window on side of dwelling. To rebuild about 24' of outside wall in first story in kitchen, 2 1/2' wide, 16" on centers, clapboarded on outside. To replace 4x6 sill under side wall to be replaced.
(Third apartment will not be used until fire escape is erected.)

*See note on reverse side under 1/28/54
Sapsen - no need to send letter under 1/24/54*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Gordon E. Martin (Vice Supervisor)

Signature of owner

Walter C. Bodman

INSPECTION COPY

Location	18 Cambridge Ave
Owner	Shirley Anderson
Date of permit	10/14/53
Notif. closing-in	
In-spn. closing-in	
Final Notif.	
Fine Inspn.	
Cert. of Occupancy Issued	
Sinking Out Notice	
Form Check Notice	

11/30/83 10:00 AM

4600 / 4600
4600 / 4600

1947

10/11/2014

1745 - Grant & Company

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22. Letter from



Br 88 Cumberland Ave.

LSS 2/8/54

January 27, 1954

Mr. Walter J. Bodman
88 Cumberland Ave.,

Copy to: Director of Health Dept.

Dear Mr. Bodman:

On October 14 we issued to you a building permit:
"To change door to window on side of building (at 88 Cumberland Ave.) To rebuild about 14 feet of outside wall in first story in kitchen, 2x4 studs, 16 inches on centers, clapped on outside. To replace 4x6 sill under this wall to be replaced."

On checking several times since issuance of the permit, our inspector has found that none of the work has been started. The last date of inspection was January 21, which is more than three months from the date of issuance of the permit.

The building Code provides that after a permit has been issued, if the operations involved are not commenced within three months of the date of issuance, the permit shall become void. In such a case and the work intended is to be later attempted, a new permit has to be applied for and the new building permit fee paid.

It is my impression that you may have been directed by the Health Department to correct conditions, and under such circumstances we do not wish to lapse the permit unless absolutely necessary.

Will you be good enough to let me know, preferably in writing, you plan to do about this work--before February 8, 1954. In event we do not hear from you by that date, or, if you are unable to promise an early start of the work, we shall be compelled to consider the permit as lapsed and of no more value.

Very truly yours,

WMCJ/B

Warren McDonald
Inspector of Buildings

AP 68 Cumberland Avenue

WMcD 10/19/53

October 13, 1953

Gordon Martin, Supervisor of Housing Inspection, Health Department

Warren McDona11, Inspector of Buildings

Application for permit for alterations and repairs at 68 Cumberland Avenue.

Attached is the application for permit and permit card for the above job, as a result of our telephone conversation.

Please note that the applicant gives the last use as a 3-family apartment house and the proposed use as a 2-family dwelling house, indicating under general description that there is a third apartment which will not be used until additional means of egress have been provided.

There seems to be some question as to whether or not there may be a store in the first story of this building, perhaps illegally converted for living quarters, or perhaps intended to be so converted. If either of the latter are the case, will you be good enough to advise us as that change from store to living quarters should be included in the application for the permit, and we will need a sketch or plan of the arrangement of rooms, showing windows in each room etc., and the character of use of each room as bedroom, kitchen etc.

If you find everything satisfactory for issuance of the permit without comment, it will be helpful if you will approve the inspection copy of the application in the space provided.

WMcD/B

Inspector of Buildings

Attachment: Inspection copy of application and permit card

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



March 17, 1952

Loc. 88 Cumberland Ave.
Bldg. 1st, 2nd Fl. Apt
Bldg. x Fire Elec. x Other
Issued March 17, 1952
Expires April 18, 1952

Mrs. Caroline Smith
54 1/2 W. 1st Street
Portland, Maine

Dear Sir:

On March 7, 1952

an examination was made of the premises located at 88 Cumberland Avenue, Portland, Maine. Non-compliance with the ordinances relating to housing conditions was found as detailed below. In accordance with the provisions of the above ordinance you are hereby ordered to correct these deficiencies according to specifications within the time limits allowed. Failure to comply with this order will necessitate legal action. Some repairs or improvements required with the premises are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started. If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1131, extension 226. Kindly notify this Office as soon as all corrections have been completed.

Very truly yours,
R. and M. L. M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

== Responsibility of Owner or Agent ** Responsibility of Occupant

- | | |
|-----------------------------|--|
| Plumbing | Check and have repaired all plumbing and plumbing fixtures as follows:
a) Repair or replace trap in the kitchen sink on the first floor apartment right. |
| Electrical Equipment | a) Check and have repaired all electrical wiring and electrical fixtures throughout the structure. Attention is directed to the loose wires in the fixture located in the bedroom of the first floor apartment right.
b) Provide adequate artificial illumination in the first floor hallway left. |
| Structural Repairs | Put in good order all dilapidated and hazardous parts of the structure as follows:
a) Repair the plaster in the hole in the kitchen ceiling in the first floor apartment right.
b) Replace the missing plaster on the bedroom ceiling in the second floor apartment.
c) Replace the missing plaster in the hallway leading from the first to the second floor.
d) Repair or replace the worn, loose tread at the foot of the cellar stair way.
e) Repair or replace the leaking roof. |
| Pest and Insect Infestation | a) Take steps to rid the premises of the infestation and remain. We suggest that you procure the services of some qualified person to do the work. |

The above mentioned conditions are in violation of the following ordinances, "Minimum Standards for Dwellings (Tenancy)", "Authority to Vacate Buildings" and must be corrected on or before April 18, 1952.

To: Housing Division, Health Department
From _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

Loc. 88 Cumberland Ave.
Bldg. 1st, 2nd Fl. Apt
Bldg. x Fire Elec. x Other
Issued March 17, 1952
Expires April 18, 1952

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



March 15, 1952

100 84 Cumberland Ave.
1st, 2nd, 3rd floor
Bldg # 100 84 Cumberland Ave.
Issued March 15, 1952
Expires April 16, 1952

Re: Building Inspection
100 84 Cumberland Ave.
Portland, Maine

Dear Sir:

On March 15, 1952 an examination was made of the premises located at 100 84 Cumberland Ave., Portland, Maine.
Non-compliance with the ordinances relating to housing conditions was found as detailed below.
In accordance with the provisions of the above ordinance you are hereby ordered to correct these defects according to specifications within the time limits shown. Failure to comply with this notice will necessitate legal action.
Some repairs or improvements required are of an extensive nature which are to be obtained from the Building Inspector, Health Department or other City Departments. These must be obtained before the work is started.
If any additional information is desired, you may telephone the Housing Supervisor at this office, telephone 4-1131, extension 227. Kindly note that this notice is void as all corrections have been completed.

Very truly yours,
Edward W. Gault, M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

= Responsibility of Owner or Agent ** Responsibility of Occupant

Plumbing

- Check and have repaired all plumbing and plumbing fixtures as follows:
- Repair or replace the cold water faucet in the first floor apartment rear.
 - Repair or replace the roses, broken or clogged water supply pipes from the first floor to the second floor apartment front.
 - Repair or replace the sink drain in the second floor apartment rear.
 - Repair or replace the broken seat in the toilet room of the first floor apartment rear.
 - Repair or replace the plugged toilet in the toilet room of the second floor apartment front.
 - Ventilate the toilet rooms of the first floor apartment rear, second floor apartment front, second floor apartment rear, by either a window to the outside air, or an approved ventilation system.

Electrical Equipment

- Check and have repaired all electric wiring and electric fixtures throughout the structure. Attention is directed to the loose fixtures in the kitchen, bedroom of the second floor apartment front, the kitchen and toilet room of the second floor apartment rear.
- Provide adequate artificial illumination in the second floor hallways.

Structural Repairs

- Put in good repair all dilapidated and hazardous parts of the structure as follows:
- Replace or have repaired all dilapidated and missing window panes, doors, doors, window and door frames.
 - Replace all defective and missing lath. Attention is directed to the lath in the kitchen and bedrooms of the first floor apartment rear, the kitchen and bedroom of the second floor apartment front, the kitchen and bedroom of the second floor apartment rear.
 - Repair or replace the missing plaster on the walls and ceilings throughout the structure. Attention is directed to the walls and ceilings in the first floor apartment rear.

To: Housing Division, Health Department
From _____

Date _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

100 84 Cumberland Ave.
1st, 2nd, 3rd floor
Bldg # 100 84 Cumberland Ave.
Issued March 15, 1952
Expires April 16, 1952

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

Structural Repairs Cont:-

- Particular attention is directed to the hazardous exposed areas three (3) feet square in back of the stove and chimney in the first floor apartment rear, the walls and ceiling in the toilet room of the first floor apartment rear, the bedroom of the first floor apartment rear, the wall and ceiling in the toilet room and bedroom of the second floor apartment front and kitchen of the second floor apartment rear, and the first and second floor hallway.
- d) Repair or install doors in the bedroom of the first floor apartment rear, the kitchen of the second floor apartment floor, the toilet room of the first floor apartment rear.
 - e) Repair or replace the outside light, stairway and porch.
 - f) Repair or replace the leaking gutter on the right, rear side of the structure.

#/ Nuisances and Sanitary Conditions

- a) Remove the trash, litter and mattresses from the eaves in the vacant second floor bedroom and hallway, the vacant second floor apartment rear and from the basement.

The above mentioned conditions are in violation of the following ordinances: "Minimum Standards for Continued Occupancy", "Authority to Vacate Buildings" and must be corrected on or before April 17, 1952.



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT NO. C-50-131

COMPLAINT

INSPECTION COPY

Date Received 10/31/80

Location 88 near Cumberland Avenue

Use of Building

Owner's name and address Ray Stetson, 92 State Street

Telephone

Tenant's name and address

Telephone

Complainant's name and address WMS

Telephone

Description: Ceiling of kitchen--rear apartment 1st floor in danger of falling.
Electric wiring dangerous.

11-4-50 - City - 214 Lu - 2nd floor - 10/2

To this location 9-11-11-11-11-11

4/2/51 - John Murray asking about plus
bldg - Stetson has a lot of it
kind for \$9500.00 and no down
payment - WMS

HD - 11-11-11

Repair or replace right stairway and porch
ceiling - 11-11-11

9/8/52 - Studied bathroom exposed side
of rear side door - P.S.S.

Complaint No. C-50-151

Location R 89 Cumberland Ave.,

Date Received 10/31/50

Date Disposed of 7/11/52

NOTES

9/11/52 - 71.
Health Dept said
they would take
care of relocation
transplant made
on 9/11/52 L.S.

C-50-131

Location - 84-88 Cumberland Ave.

Owner - Mrs. Caroline Wentworth

Date of HD Order - March 17, 1952

Mrs. Caroline Wentworth,
58 Oxford Street,
Portland, Maine

Dear Mrs. Wentworth:

Included in order of Housing Division of Health Department concerning the above premises, are features of structural repair or improvement of outside porches, steps or outside walls or of supports of building in the cellar.

If these improvements involve important features of foundations or framing (not including such minor matters as railing and floor board repairs), a building permit from this department is required before the work is started. Application for such a permit is made at this office over the counter on forms furnished by us.

The application must be made by someone who knows about the details of construction in a general way, who can give the total estimated cost of that part of the work included in the building permit, and pay the modest fee.

With the application must be filed a plan by way of a blue print with all of the information on it printed from the original, this plan to be made by some person accustomed to the usual way of making such plans and capable of figuring out for himself the materials, size, spacing, etc. required by the Building Code.

Much as we desire to be of the greatest possible assistance to you in bringing your building up to good and safe standards, the pressure of work in this office prevents us consulting with you about the details or advising you as to how to go about making the plan. Frequently issuance of such permits is delayed because the applicant does not furnish information as above.

Very truly yours,

WHD:H

Inspector of Buildings

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for 3 car garage
at 84-88 Cumberland Avenue

Date 1/6/37

1. In whose name is the title of the property now recorded? Mrs Goldie Gerber
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes in front of property
3. Is the outline of the proposed work now staked out upon the ground? no If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes ready 7/7 AM.
4. What is to be maximum projection or overhang of eaves or drip? 8"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Arthur A. Griggs

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately, by and in the name of the heating contractor.

henlock

Details of New Work

Size, front 30' depth 20' No. stories 1 Height average grade to top of plate 8'4"
To be erected on solid or filled land? solid and slab earth or rock? earth
Material of foundation concrete trench wall Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof hip Rise per foot 7" Roof covering Asphalt roofing Class C Und. Lab.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat no Type of fuel _____ Is gas fitting involved? _____
Corner posts 4x8 Sills 4x8 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x8
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 2'
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot none, to be accommodated 3
Total number commercial cars to be accommodated none
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY Mr. T. J. Brown Signature of owner By Mrs. Goldie Gerber
Arthur A. Griggs
CHIEF OF FIRE DEPT.

RESTRICTED BUSINESS ZONE
GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, July 2, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 54-56 Cumberland Avenue Ward 1 Within Fire Limits? yes Dist. No. 5
Owner's or Lessee's name and address Mrs. Goldie Gerber, 35 Cumberland Ave. Telephone _____
Contractor's name and address A. A. Griggs, 23 St. Lawrence St. Telephone 2-6696
Architect's name and address _____
Proposed use of building 3 car garage No. families _____
Other buildings on same lot 2- 2 family dwelling houses
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 465. Fee \$.75

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To erect three car frame garage 20' x 30'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately and in the name of the heating contractor.

NOTIFICATION BEFORE LATEN
OR CLOSING IN IS WAIVED
CERTIFICATE OF COMPLETION
REQUIRED IS WAIVED

hamlock Details of New Work

Size, front 30' depth 30' No. stories 1 Height average grade to top of plate 8'4"
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation concrete trench walls Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof hip Rise per foot 7" Roof covering Asphalt roofing Class C Und. Lab.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat no Type of fuel _____ Is gas fitting involved? _____
Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 2'
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot none, to be accommodated 3
Total number commercial cars to be accommodated none
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Mrs. Goldie Gerber
By Arthur A. Griggs
INSPECTION COPY Wm. T. Lebowitz
CHIEF OF FIRE DEPT.

97113

Ward 1 Permit No. 371
Location 84-88 Crownland Ave
Owner Ms. Goldie Gerber
Date 7/1/37
Notif. closing-in P
Insp. n. closing-in P
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

NOTES

7/7/37 - 91' from street
line to rear wall of
garage as staked out.
Length of lot scales
91' on plan, so garage
is evidently staked
out too close to rear
line. There are signs
that a building
has been torn down
here recently. Unable
to find permit for
same. Left word
for Mr. Briggs to
call the office. A.J.S.



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Permit No. 14743

Portland, Maine _____

PERMIT ISSUED

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 84-88 Cumberland Avenue Ward 1 Within Fire Limits? yes Dist. No. 3
Owner's or Lessee's name and address Mrs. Goldie Gerber, 85 Cumberland Avenue Telephone 2-6668
Contractor's name and address A. A. Griggs, 28 St. Lawrence St. Telephone 2-6668
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building 3 car garage No. families _____
Other buildings on same lot 2 - 2 family dwelling houses
Estimated cost \$465. Fee \$.75

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof pitch Roofing wood
Last use 3 car garage No. families _____

General Description of New Work

To demolish existing 3 car garage 14' x 25', and
To build new three car frame garage 20' x 20' as shown on plan submitted

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Department of Public Works of the City of Portland? Yes

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

hemlock dressed Height average grade to top of plate 8'4"
Size, front 20' depth 20' No. stories 1 Height average grade to highest point of roof 12'
To be erected on solid or filled? solid earth or rock? earth
Material of foundation concrete trench wall solid top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof hip Rise per foot 7" Roof covering Asphalt roofing Class C Und. Lab.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat no Type of fuel _____ Is gas fitting involved? _____
Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 2'
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 5, to be accommodated 8
Total number commercial cars to be accommodated none
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

Mrs. Goldie Gerber

By

Arthur A. Griggs

INSPECTION COPY

Ward 1 Permit No. 37/1013

Location 84-88 Cumberland Ave

Owner Guldie Fisher

D. Permit 7/8/37

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 7/21/37

Cert. of Occupancy issued None

See other NOTES Copy

7/8/37 - Location OK

O.C.

7/15/37 - Framing

started 1937

PERMIT ISSUED

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE

MAR 13 1986

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 88 Cumberland Avenue Fire District #1 ☐ #2 ☐
 1. Owner's name and address Paul Yankowsky - 49 Atlantic Ave. So. Port Telephone 799-3199
 2. Lessee's name and address Telephone
 3. Contractor's name and address Telephone

Proposed use of building 3 family No. of sheets
 Last use 2 family No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot 4,000
 Estimated contractual cost \$.....

FIELD INSPECTOR—Mr.
 @ 775-5451

Appeal Fees \$
 Base Fee ch use 40.00
 Late Fee 25.00
 TOTAL \$ 65.00

Change of use from 2 to 3 families with new apt
 on 3rd floor, alterations as per plans. 3 sheets of plans

Stamp of Special Conditions

send permit to # 3 04106

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes existing Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING:
 BUILDING CODE:
 Fire Dept.:
 Health Dept.:
 Others:

MISCELLANEOUS no
 Will work require disturbing of any tree on a public street?
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Paul Yankowsky Phone # same
 Type Name of above 1 ☐ 2 ☐ 3 ☐ 4 ☐
 Other
 and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

PLUMBING APPLICATION

PROPERTY ADDRESS

Town Or Plantation _____
 Street _____
 Subdivision Lot # _____

PROPERTY OWNERS NAME

Last: _____ First: _____

Applicant Name _____

Mailing Address of Owner/Applicant (if different) _____

Department of Human Services
 Division of Health Engineering
 (207) 259-3826

PORTLAND PERMIT # 1,667 TOWN COPY

Date Permit Issued: _____

Local Plumbing Inspector Signature: _____

FEE: _____

L.P.I. # _____

Double Fee Charged: _____

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules

Signature of Owner/Applicant _____

Date _____

Local Plumbing Inspector Signature _____

MAY 4 1986

Date Applied For _____

PERMIT INFORMATION

This Application Is for

- 1 ☒ NEW PLUMBING
 2 ☐ RELOCATED PLUMBING

Type Of Structure To Be Served:

- 1 ☐ SINGLE FAMILY DWELLING
 2 ☐ MODULAR OR MOBILE HOME
 3 ☒ MULTIPLE FAMILY DWELLING
 4 ☐ OTHER - SPECIFY _____

Plumbing To Be Installed By:

- 1 ☒ MASTER PLUMBER
 2 ☐ OIL BURNERMAN
 3 ☐ MFG D HOUSING DEALER/MECHANIC
 4 ☐ PUBLIC UTILITY EMPLOYEE
 5 ☐ PROPERTY OWNER

LICENSE # _____

Number	Hook-Ups And Piping Relocation	Number	Column 2 Type of Fixture	Number	Column 1 Type Of Fixture
	HOOK-UP to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District		Hosebibb Sillcock		Bathtub (and Shower)
			Floor Drain		Shower (Separate)
			Urinal		Sink
	HOOK-UP to an existing surface wastewater disposal system		Drinking Fountain		Wash Basin
			Indirect Waste		Water Closet (Toilet)
			Water Treatment Softener, Filter, etc		Clothes Washer
	PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures		Grease Oil Separator		Washer
			Dental Cuspidor		Garbage Disposal
			Bidet		Laundry Tub
	Hook-Ups (Subtotal)		Other: _____		Water Heater
\$	Hook-Up Fee		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE					Fixtures (Subtotal) Column 2
					Total Fixtures
				\$	Fixture Fee
				\$	Hook-Up Fee
\$				\$	Permit Fee (Total)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

88 Cumberland Avenue
Date of Issue

Issued to Paul Yankowsky

July 11, 1986

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 86-251, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions: Entire

3 family dwelling

This certificate supersedes
certificate issued

Approved:

7-11-86
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 80 Cumberland Avenue

Date of Issue July 11, 1966

Issued to Paul Yankowsky

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 86-251, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

3 family dwelling

Entire

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 637

ZONING LOCATION PORTLAND, MAINE May 23, 1986

MAY 23 1986

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B O C A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 88 Cumberland Avenue
 1. Owner's name and address Paul Yankowsky - 49 Atlantic St. So. Port. Telephone 799-3199...
 2. Lessee's name and address Telephone
 3. Contractor's name and address Robert Jackman - 55 Kennebec St. Telephone 772-4102
 Proposed use of building multi family No. of sheets
 Last use same No. families 3
 Material No stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$2,000

FIELD INSPECTOR Mr
 @ 775-5451

Appeal Fees \$
 Base Fee 30.00
 Late Fee
 TOTAL \$

To construct meta fire escape to serve from 3rd floor to grade as per plans. 1 sheet of plans.

Stamp of Special Conditions

HOLD, HUGH WILLPICK UP

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers. 1st floor 2nd 3rd roof
 Maximum span 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION PLAN EXAMINER DATE

ZONING

BUILDING CODE:

Fire Dept:

Health Dept:

Others

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Applicant Hubert Irving for Robert Jackman Phone #

Type Name of above Hubert Irving for Robert Jackman 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

MA. Add to

NOTES

5-28-86 - checked, OK. *aa*
 6-6-86 - Work not
 started yet. *aa*
 7-11-86 - complete
 OK. *aa*

Permit No 86/637
 Location 88 Cumberland Ave
 Owner Paul Chankovsky
 Date of permit 5/23/86
 Approved 5/27/86
 Dwelling Onsight metro fire
 Garage escape from 3rd floor
 Alteration as per plans

[The following section of the document is crossed out with a large X and contains no legible text.]

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

000251

MAR 18 1986

ZONING LOCATION

R-6

PORTLAND, MAINE March 7, 1986

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 88 Cumberland Avenue

1. Owner's name and address Paul Yankowsky, 49 Atlantic Ave., So. Port. Fire District #1 ☐ #2 ☐

2. Lessee's name and address Telephone 799-3199

3. Contractor's name and address Owner Telephone

Proposed use of building 3 family No. of sheets

Last use 2 family No. families

Material No stories Heat Style of roof No. families

Other buildings on same lot Roofing

Estimated contractual cost \$ 4,000

FIELD INSPECTOR Mr. 5-5451

Appeal fees \$

Base Fee 40.00

Late Fee ch use 25.00

TOTAL \$ 65.00

Change of use from 2 to 3 families with new apt on 3rd floor. Construction per plans. 3 sheets of plans

Stamp of Special Conditions

send permit to # 3 0006

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ☒ yes Is any electrical work involved in this work? ☒ yes
Is connection to be made to public sewer? ☒ existing If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY

DATE

MISCELLANEOUS

BUILDING INSPECTION PLAN EXAMINER

ZONING P.K. 3/17/86

BUILDING CODE

Fire Dept.

Health Dept.

Others

Will work require disturbing of any tree on a public street? ☒ noWill there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ☒ yes

Signature of Applicant Paul Yankowsky Phone # same

Type Name of above Paul Yankowsky 1 ☐ 2 ☐ 3 ☒ 4 ☐

Other and Address

PERMIT ISSUED
FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

NOTES

3-27-86 - Checked Site. OK. *QA*
 4-1-86 - WIP
 5-8-86 - Met with owner
 to discuss progress and
 code requirements. WIP/OK *QA*
 5-22-86 - WIP/OK. finish.
 Fire escape not started
 yet. *QA*
 6-6-86 - WIP/OK
 6-9-86 - Met with
 contractor, owner to
 discuss addit.
 unit. OK. *QA*
 7-11-86 Completed
 OK. *QA*

Permit No. 86-1-251
 Location 86 Appleland Court
 Owner 71 and Vine Street
 Date of permit 3-2-86
 Approved 3-13-86
 Dwelling 1 1/2 stories
 City

After 90'

Arthur 9.

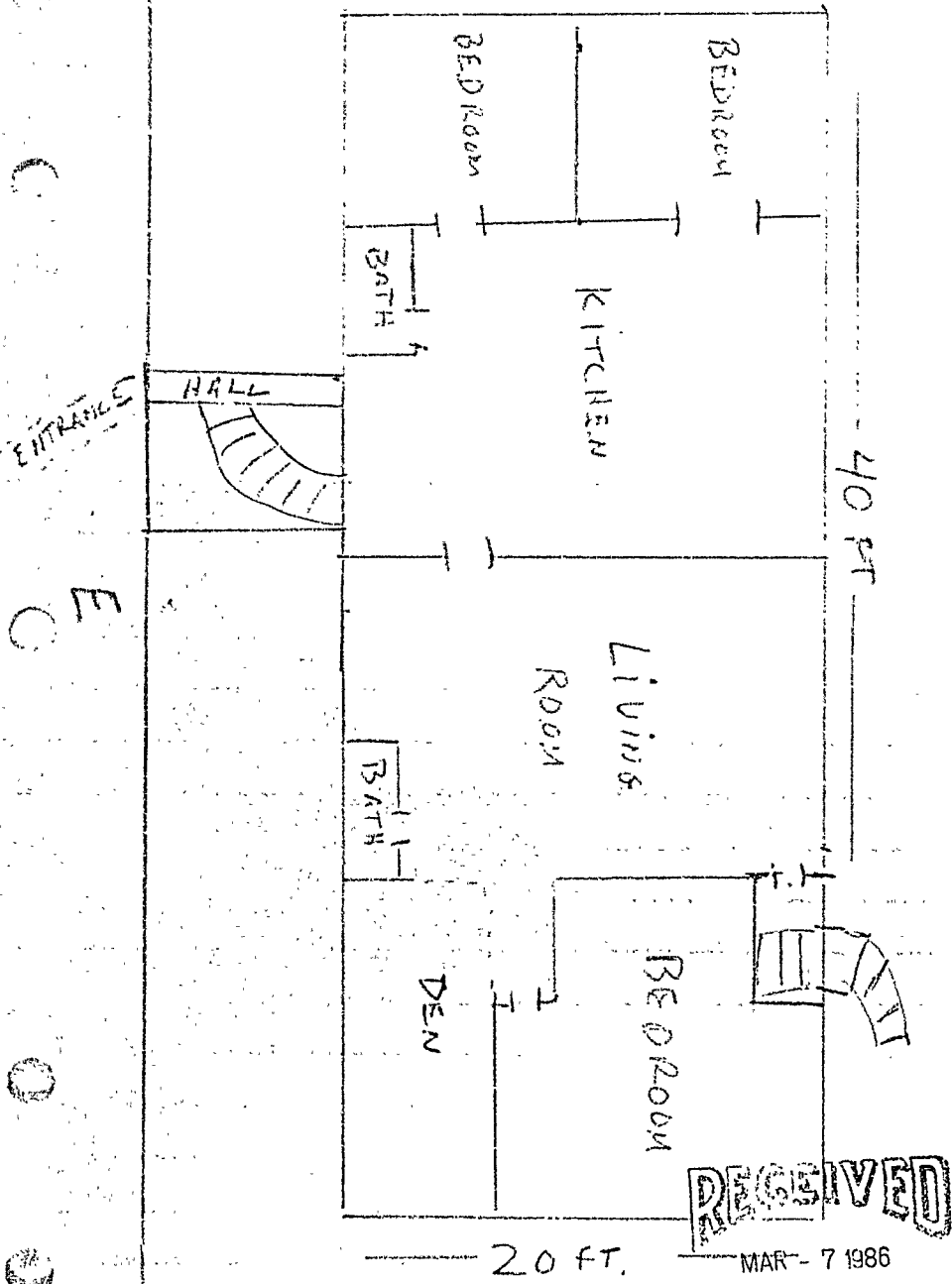
6/6/86
10:10

Call

871-7009

Paul Yankowsky

Joyce



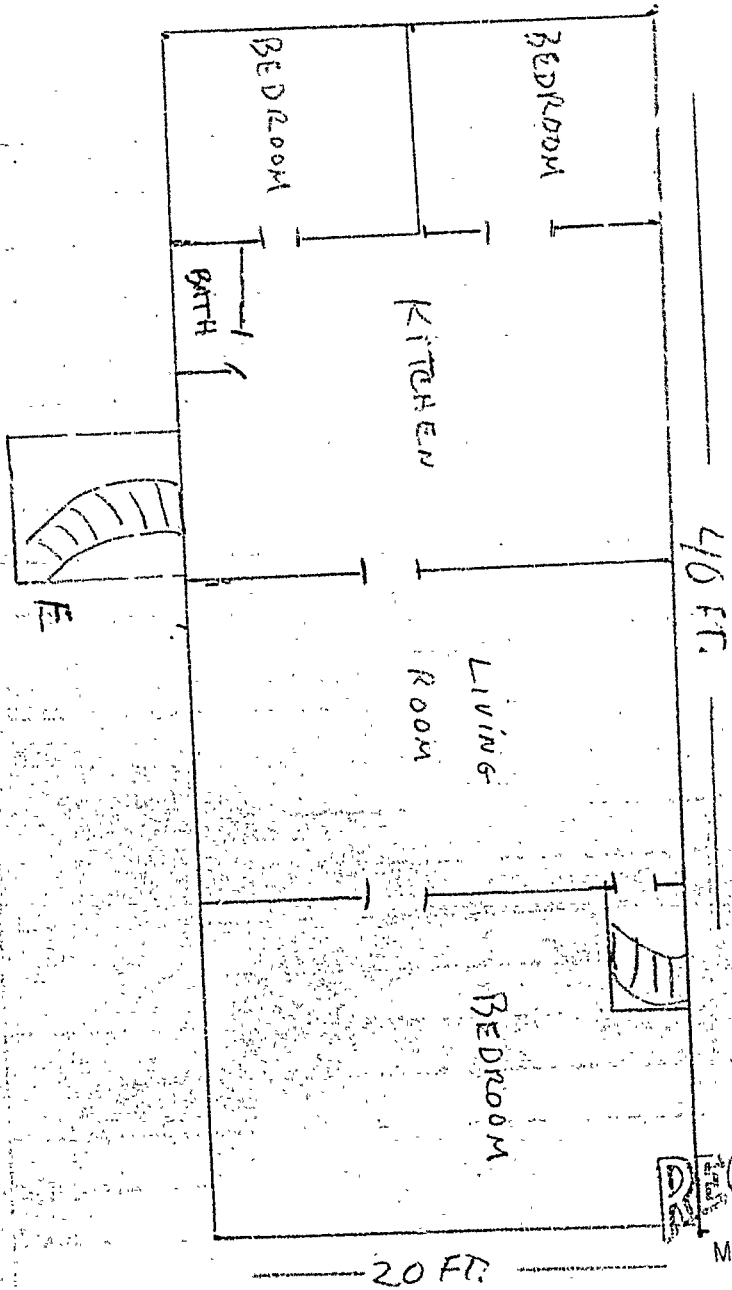
1st Floor

Lot size 7426 sq. ft.

RECEIVED

MAR - 7 1986

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

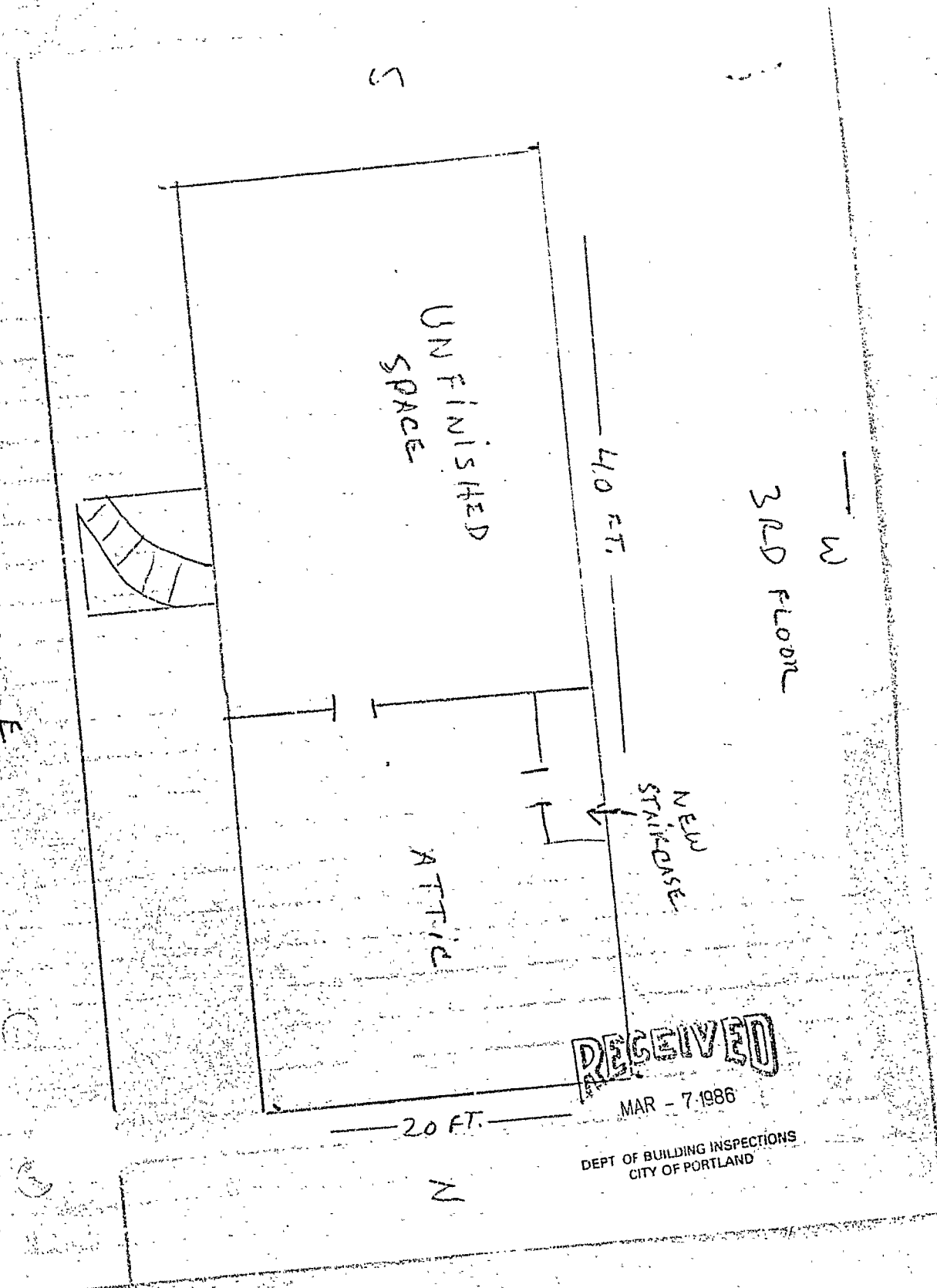


W
2nd FLOOR

RECEIVED

MAR - 7 1986

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND



3RD FLOOR

RECEIVED

MAR - 7 1986

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

Applicant: Paul Yankowsky 47 Atlantic Ave. South Portland
Address: 88 Cumberland Ave Date: March 7 1986
Assessors No.: 13-M-8435

CHECK LIST AGAINST ZONING ORDINANCE

Date -
Zone Location - R-6
Interior or corner lot -
Use - Change of Use from two to three family
Sewage Disposal - New apt on 3rd floor
Rear Yards - Opposite Larch St,
Side Yards -
Front Yards -
Projections -
Height -
Lot Area - 7426 sq ft.
Building Area -
Area per Family -
Width of Lot - 90'
Lot Frontage - 90'
Off-street Parking -
Loading Bays -
Site Plan -
Shoreland Zoning -
Flood Plains -



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

March 12, 1986

RE: 88 Cumberland Avenue

Mr. Paul Yankowsky
49 Atlantic Avenue
South Portland, Maine 04106

Dear Sir:

Your application to change the use of 88 Cumberland Avenue from a two (2) to a three(3) family dwelling unit has been reviewed and a permit is herewith issued subject to the following requirements:

1. Each apartment unit shall have access to two separate, remote and approved exits;
2. All vertical openings (stairways) shall be one hour fire rated including fire doors with self-closers;
3. Each apartment shall be equipped with an approved single station smoke detector powered by the house current;
4. The boiler shall be protected with two "quick responding sprinkler heads connected to the domestic water; and
5. Please read attached building code requirements Sections 809.4 & 1716.3.4.

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

PSH/el



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date April 10, 1986
Receipt and Permit number D26439

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 88 Cumberland Avenue

OWNER'S NAME: Paul Yankowsky ADDRESS: So. Portland, Me.

	FEES
OUTLETS: Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL 1-30	3.00
FIXTURES: (number of) Incandescent <u>x</u> Fluorescent _____ (not strip) TOTAL 1-10	3.00
Strip Fluorescent _____ ft.	
SERVICES: Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____ ..	.50
METERS: (number of) <u>1</u>	
MOTORS: (number of) Fractional _____ 1 HP or over _____	
RESIDENTIAL HEATING: Oil or Gas (number of units) _____ Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) _____ Oil or Gas (by separate units) _____ Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of) Ranges _____ Water Heaters _____ Cook Tops _____ Disposals _____ Wall Ovens _____ Dishwashers _____ Dryers _____ Compactors _____ Fans _____ Others (denote) _____ TOTAL	
MISCELLANEOUS: (number of) Branch Panels <u>1</u> - 100. amp. overhead drop	1.00
Transformers _____	
Air Conditioners Central Unit _____ Separate Unit _____ (windows) _____	
Signs 20 sq. ft. and under _____ Over 20 sq. ft. _____	
Swimming Pools Above Ground _____ In Ground _____	
Fire/Burglar Alarms Residential _____ Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____ over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE:
	TOTAL AMOUNT DUE: 7.50

INSPECTION:

Will be ready on April 10, 1986 or Will Call _____

CONTRACTOR'S NAME: Lotfey Electric

ADDRESS: 22 Runnells St., Portland

TEL: 773-3400

MASTER LICENSE NO.: 8675

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

John F. Lotfey

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN