

16-03 011 2 1111 1111

SHAW-WALKER
FBI
#9203-1R



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Jan. 30 1979
Receipt and Permit number A 23230

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
Maine the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK 88 Cumberland Ave.
OWNER'S NAME Della Davis ADDRESS same FEES

OUTLETS	Receptacles	Switches	Plugmold	ft. TOTAL	
FIXTURES (number of)	Incandescent	Flourescent	(not strip)	TOTAL	
	Strip Flourescent	ft.			
SERVICES	Overhead ☒	Underground	Temporary	TOTAL amperes	
		3		200	3.00
METERS (number of)					1.50
MOTORS (number of)	Fractional				
	1 HP or over				
RESIDENTIAL HEATING	Oil or Gas (number of units)	6			6.00
	Electric (number of rooms)				
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler)				
	Oil or Gas (by separate units)				
	Electric Under 20 kws	Over 20 kws			
APPLIANCES (number of)	Ranges		Water Heaters		
	Cook Tops		Disposals		
	Wall Ovens		Dishwashers		
	Dryers		Compactors		
	Fans		Others (denote)		
	TOTAL				
MISCELLANEOUS: (number of)	Branch Panels				
	Transformers				
	Air Conditioners Central Unit				
	Separate Units (windows)				
	Signs 20 sq. ft. and under				
	Over 20 sq. ft.				
	Swimming Pools Above Ground				
	In Ground				
	Fire/Burglar Alarms Residential				
	Commercial				
	Heavy Duty Outlets, 220 Volt (such as welders)	30 amps and under			
		over 30 amps			
	Circus, Fairs, etc.				
	Alterations to wires				
	Repairs after fire				
	Emergency Lights, battery				
	Emergency Generators				
			INSTALLATION FEE DUE:		
			DOUBLE FEE DUE:		
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT			TOTAL AMOUNT DUE:		10.50
FOR REMOVAL OF A "STOP ORDER" (304-16.b)					

INSPECTION:

Will be ready on _____, 19____; or Will Call xx
CONTRACTOR'S NAME Paul Rheaume Jr.
ADDRESS Hacker Rd. Ext. Breeport
TEL. 729-1725
MASTER LICENSE NO. 353
LIMITED LICENSE NO. _____

SIGNATURE OF CONTRACTOR:

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

PROGRESS INSPECTIONS:

_____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____
 _____ / _____ / _____

Permit Application Register Page No. 13

DATE:

REMARKS:

OK

CITY OF PORTLAND, MAINE

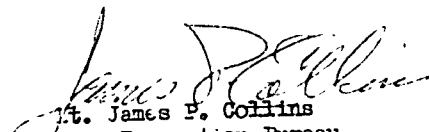
MEMORANDUM

TO: Building Inspection Dept.
FROM: Fire Prevention Bureau
SUBJECT: 88 Cumberland Ave.

DATE: 12/28/77

Approved _____ is hereby given for a building permit
from this Department subject to the following requirements/reasons

- 1) Access to the fire escape through a window must measure 30X36 inches in the clear.
- 2) Doors between the corridors and the apts. shall be self closing.
- 3) The boiler room shall be enclosed with a one hour fire rated partition and a one hour fire door with self closer.
- 4) All stairways and corridors shall be illuminated at all times.
- 5) All vertical openings shall be enclosed to prevent the spread of fire and smoke.
- 6) The fire escape shall meet all the size requirements of Chapter 5-9 of the 101 Life Safety Code.


Lt. James P. Collins
Fire Prevention Bureau

ROUTING SLIP FROM:
DEPARTMENT OF BUILDING AND INSPECTION SERVICES

ADDRESS 88 Cumberland Ave

Date 12/12/77

☒ FIRE DEPARTMENT

PLANNING BOARD

RENEWAL

MAINE WAY

PUBLIC WORKS

HEALTH

OTHERS

APPROVED

DISAPPROVED BY REASON OF:
(quote section of pertinent ordinance or other governing factors)

SPECIAL COMMENTS:

*More complete plans are needed
before I can process this permit*

S. J. P. Collins

KEEP SECOND COPY AND RETURN ORIGINAL TO BUILDING & INSPECTIONS

88 Cumberland Avenue

December 17, 1977

cc: Ms. Davis
58 Wilson St.

Leslie Hoar
Peaks Island, Maine

Fire Chief

Dear Mr. Hoar:

The Fire Dept. will not okay the plans concerning the building at 88 Cumberland Avenue because they are not clear as to intent.

A set of plans must be submitted to the Fire Dept. showing the use and layout of each floor as it exists, and another plan showing how each floor is proposed to be used, and the means of egress from all of them.

When this has been submitted to the Fire Dept., and has their approval, this department will then be in a position to issue the Building Permit.

Very truly yours,

Earle S. Smith
Plan Examiner

RSS/r

28 Cumberland Avenue

December 29, 1977

cc: Fire Chief

Leslie Hoar
Peaks Island, Me.

Ms. Davis
58 Wilson St.

Dear Mr. Hoar:

A permit for a Change of Use to a total of 4 apartments in the above building with alterations as per plans is issued herewith subject to the following Building Code and Fire Department requirements.

The access to the fire escape through a window must measure 30 x 36 inches in the clear.

Doors between the corridors and the apartments shall be made self closing.

The boiler room is required to be enclosed with a one hour fire rated partition and ceiling and equipped with a 1 hr. fire door with self closing device. Sufficient air for combustion must be introduced into the boiler room and the super heated air, if any, is required to be exhausted therefrom. Please, therefore, provide this office with computations showing that the oil burner will have sufficient air for combustion and that the super heated air will be exhausted therefrom.

All stairways and corridors are required to be illuminated at all times.

All vertical openings shall be enclosed to prevent the spread of fire and smoke.

The fire escape shall meet all the size requirements of Chapter 5-9 of the 101 Life Safety Code.

A separate permit for the fire escape should be applied for at this office by the actual installer.

Very truly yours,

Earle S. Smith
Plan Examiner

ESS/r



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION R-6 PORTLAND, MAINE, 12/9/77

PERMIT ISSUED

JAN 8 1978

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 88 Cumberland Avenue Fire District #1 ☐ #2 ☐
1. Owner's name and address Ms. Davis- 53 Wilson St., Portland, Me. Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address Leslie Hoar-Reaks Island, Me. Telephone 766-2030
4. Architect Specifications Plans No. of sheets
Proposed use of building multi dwell. No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Fee \$ 32.00
Estimated contractual cost \$ 8,000

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Change of Use to a total of 4 apartments
Dwelling Ext. 234 with alterations as per plans. 1 Sheet

Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☐ 2 ☐ 3 ☒ 4 ☐

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

BUILDING INSPECTION—PLAN EXAMINER
ZONING: A.A. McGowan 12/9/77
BUILDING CODE:
Fire Dept.: St. James Edwards
Health Dept.:
Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Leslie Hoar Phone #
Type Name of above Leslie Hoar 1 ☐ 2 ☐ 3 ☒ 4 ☐
Other
and Address

FIELD INSPECTOR'S COPY

NOTES

Permit No. 2246001
 Location 801 Highland Ave
 Owner Miss E. Lewis
 Date of permit 12-9-77
 Approval 1-3-78

12/11/77 [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]
 [unclear] [unclear] [unclear] [unclear]

Jan 5/78 Unable to get in, no one answered.

Aug 4/78 No one answered the door.
 Sept 26/78 Starting on interior work.
 in basement etc. Will add
 new carrying timbers & glr joist!

Feb 5/1980
 This is under advisement.
 The 2nd glr is not completed and the
 owner wants a 2nd means of egress
 is required by code from the 2nd glr
 before it can be re-erected. (As per plan.)
 (Basement) repairs to the glr joist have been
 completed and new supporting carrying
 timbers with steel columns have been
 placed along side of the originals,
 supporting the ends of all the floor joist.
 Extra carrying timbers that is
 ripped out and tied to either be replaced
 or a new one placed along side of it was
 * over-looked by the contractor etc. It is
 located front & center of the building.
 Talked with the owner (Mrs. Davis) and she
 said for me to take this matter up with the
 Neighborhood Conservation Dept that hired &
 paid the contractor, that she was not putting one
 more cent into the repairs.
 Talked with [unclear] & with N.C. and it
 will be handled by [unclear] Dept. No inspections
 were called for. Constantly unable to get in
 and get with the owner. The owner appeared
 to be most unhappy. At any time we requested
 that someone let us into the property to let
 the inspectors get in to inspect the work etc.
 May 20/80 work completed, the old beam in
 question * has been
 replaced.

88 Cumberland Ave.

Nov. 24, 1964

Mr. Walter J. Holman, Jr.
88 Cumberland Ave.

cc to: Walter J. Holman, Jr.
88 Cumberland Ave.

Dear Mr. Holman:

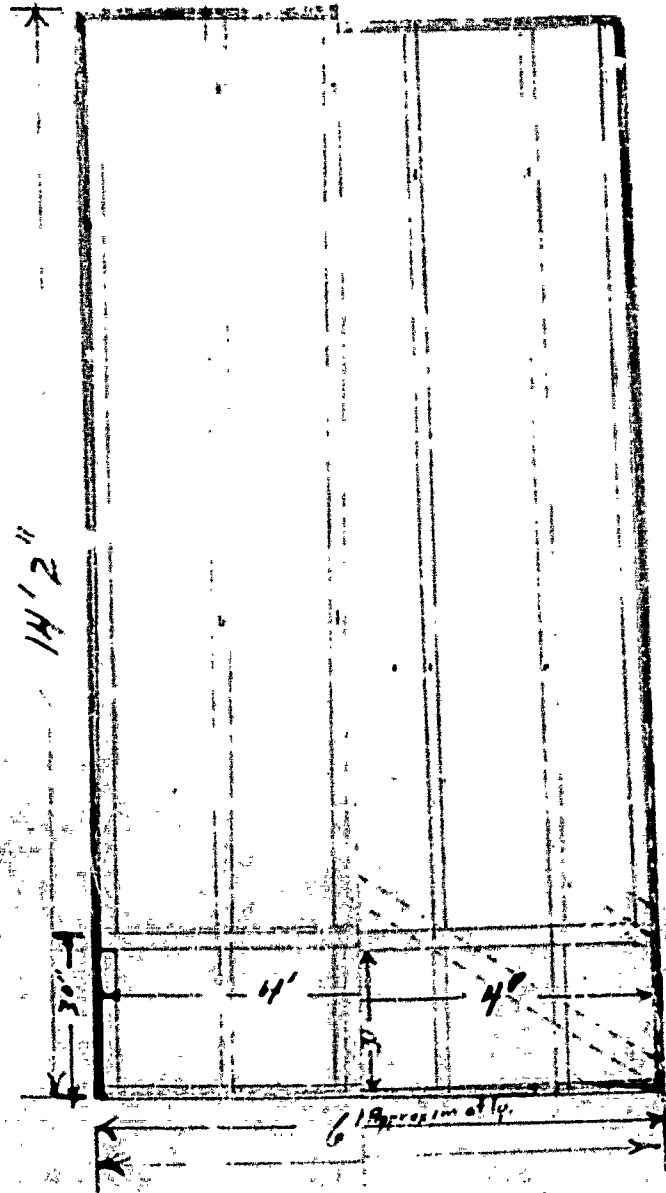
We are unable to issue amendment number 1 to construct a 15 foot dormer on the rear portion with this dormer facing Cumberland Avenue until more information is furnished in accordance with our discussion as follows:

1. As the new dormer roof will make the entire 15 foot center section of the roof quite flat, there will no longer be much rafter action this structure will need to be supported by a structural ridge or by a bearing partition. We understand that you propose to support the roof by building a bearing partition from floor to roof construction. Information on this framing will need to be provided.
2. Another amendment to this permit or a separate permit will be needed to provide an outside or inside stairway to the third floor to be used as a second means of egress without which this floor cannot be lawfully occupied as living quarters.

Very truly yours,

Gerald L. Taylerry
Deputy Building Inspection Director

G.L.M.



Note:
All Rafters and
Studs 16" oc
center.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 21

Portland, Maine, August 17, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 63/740 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 88 Cumberland Avenue Within Fire Limits? Dist. No.
Owner's name and address Walter C. Bodman, Sr., 88 Cumberland Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Walter C. Bodman, Jr., 88 Cumberland Ave. Telephone
Architect Plans filed yes with original No. of sheets 1
Proposed use of building Dwelling No. families 2
Last use " No. families 2
Increased cost of work 500. Additional fee 2.00

Description of Proposed Work

To construct 16' dormer rear of building as per plan

*THIS dormer to be on rear portion of building facing
Cumberland Ave.*

12/31/64 Refunded. Work not being done.

Details of New Work owner

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof shed-pitch Rise per foot 7" Roof covering asphalt roofing Class C Unc. Lab.
No. of chimneys Material of chimneys of lining
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 2x4 Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof 2x6
On centers: 1st floor , 2nd , 3rd , roof 16"
Maximum span: 1st floor , 2nd , 3rd , roof 22'

Approved:

Signature of Owner Walter C. Bodman, Jr.

Approved:

Inspector of Buildings

INSPECTION COPY

CS-105

AP- 88 Cumberland Avenue

July 2, 1963

Mr. Walter C. Bodman, Sr.
88 Cumberland Avenue

cc to: Walter C. Bodman, Jr.
88 Cumberland Avenue

Dear Mr. Bodman:

Permit to construct a 15 foot dormer on rear of building
as per plans received with application is being issued in accordance
with our discussion of the above date as follows:

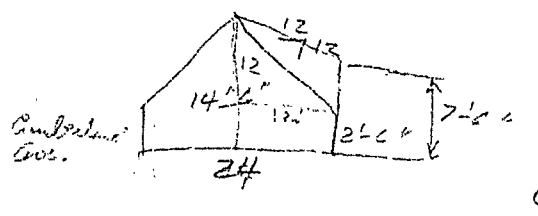
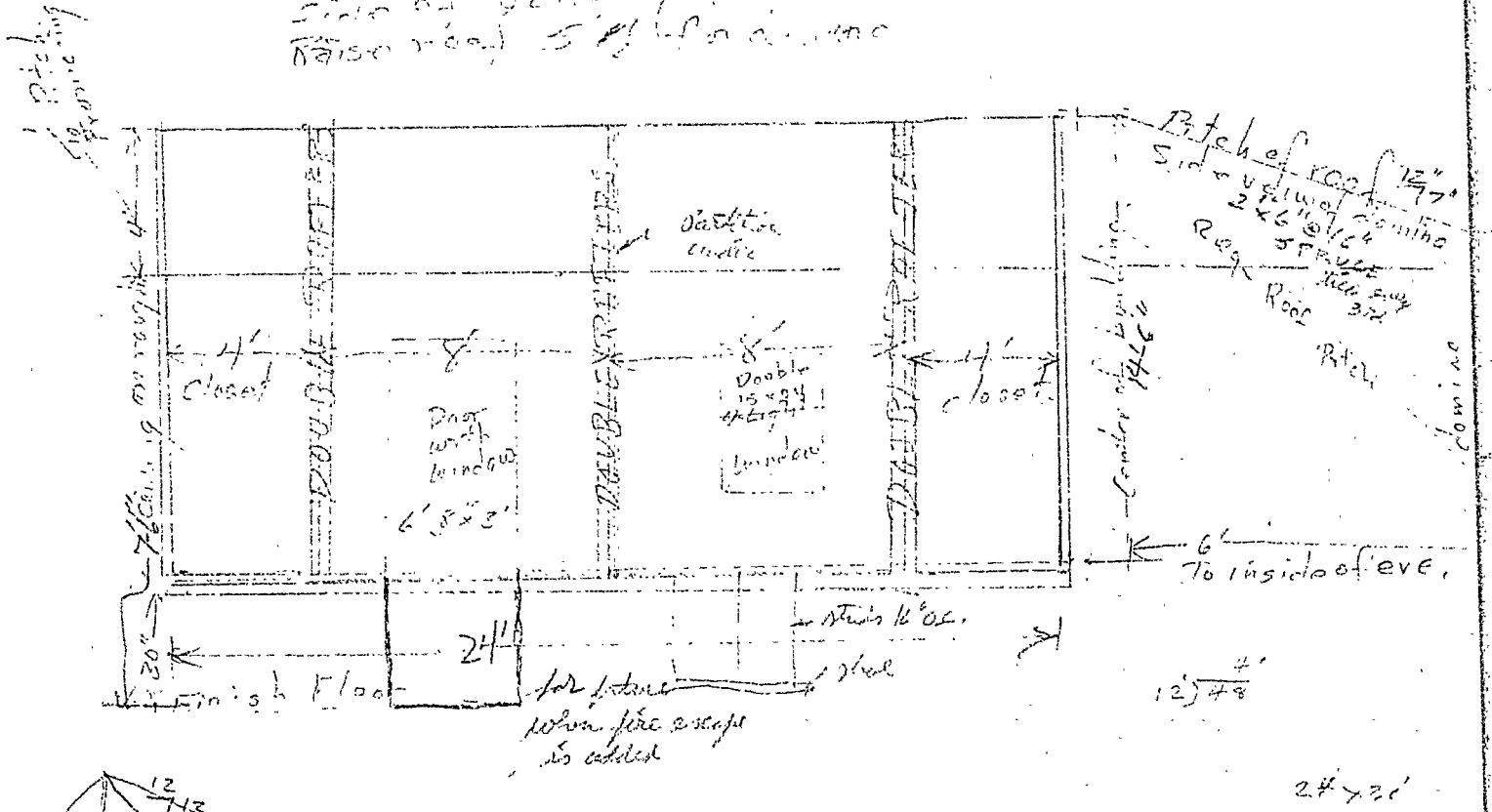
We are given to understand that this
building is in need of a new roof and
that you desire to install this dormer
for future use before the re-roofing
is done. It is further understood
that the third floor is not to be in-
habited until you provide a second
means of egress to a fire escape or
otherwise. This work will be done
under an amendment to this permit
or by a separate permit.

Very truly yours,

Gerald E. Hayberry
Deputy Building Inspection Director

GEN:m

All PARTS are now 24 in center
 All PARTS to be changed to 16" on center
 Partition to hold up center rafters of domino
 Section showing At Back roof of frame in-
 side of building. Looking toward southwest.
 Raise roof 5' 6" from ground



Approx 20' to new line

1/4" in scale
 1/8" in = 1 foot



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, May 17, 1963

PERMIT ISSUED

JUL 2 1963

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 88 Cumberland Ave Within Fire Limits? Dist. No.
Owner's name and address Walter C. Bodman, Sr., 88 Cumberland Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address WALTER C. Bodman, Jr., 88 Cumberland Ave. Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Dwelling No. families 2
Last use No. families 2
Material frame No. stories 2 1/2 Heat Style of roof pitch Roofing
Other buildings on same lot Fee \$ 13.00
Estimated cost \$ 500.

General Description of New Work

To construct 16' dormer rear of building as per plan

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner.**

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof shed pitch Rise per foot 7" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber Kind hemlock Dressed or full size? dressed Corner posts 2-2x4 Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof 2x6
On centers: 1st floor 2nd 3rd roof 16"
Maximum span: 1st floor 2nd 3rd roof 12'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent see that the State and City requirements pertaining thereto observed? yes

APPROVED:

W. C. Bodman W/letter

CS. 301

INSPECTION COPY

Signature of owner

Walter Bodman

NOTES

10/10/63 - Permit facing
Congress St - has been constructed
One vehicle is to face Congress
Amenity to the above - low cost
next year. E.S.L.

10/29/64 - MID was 6
started on new dinner
E.S.L.

4/28/65 - MID was 6
started on 2nd dinner
E.S.L.

7/16/65 - MID was 6
done Ref

8/11/65 - Same E.S.L.

11/7/66 - Prop not
completed. E.S.L.

X

to
are

Location 81 Cumberland Ave
Owner Wallace C. Bredemeyer
Date of permit 7/2/63
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

Permit No. 1739
10/10/63
10/29/64
4/28/65
7/16/65
8/11/65
11/7/66

PERMIT TO INSTALL PLUMBING

Date Issued 2-15-63 Address 28 Cumberland Avenue PERMIT NUMBER 12506
 By J. P. Welch PORTLAND PLUMBING INSPECTOR Installation For: Walter C. Bodman
 APPROVED J. P. Welch Owner of Bldg. Walter C. Bodman
 Date 2-15-63 Owner's Address 28 Cumberland Avenue
 Plumber: Portland Gas Light Company Date: 2-15-63

PROPOSED INSTALLATIONS	NUMBER	FEE
SINKS		
LAVATOR.		
TOILETS		
BATH TUBS		
SHOWERS		
DRAINS		
HOT WATER TANKS		
TANKLESS WATER HEATERS		
GARBAGE GRINDERS	1	\$ 2.00
SEPTIC TANKS		
HOUSE SEWERS		
ROOF LEADERS (Conn. to house drain)		

DATE 2-15-63 BY J. P. Welch APPROVED FINAL INSPECTION
 Date 2-15-63 By JOSEPH P. WELCH
 TYPE OF BUILDING
☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL \$ 2.00
☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL \$10.60
☐ NEW CONSTRUCTION
☐ REMODELING
 5M 12-53 ☐ PORTLAND HEALTH DEPT. PLUMBING INSPECTION Total

PERMIT TO INSTALL PLUMBING

Date

Issued

By

APPROVED FIRST INSPECTION

Date

By

APPROVED FINAL INSPECTION

Date

By

APPROVED FINAL INSPECTION

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By

APPROVED FINAL INSPECTION

Address 88 Cumberland Avenue
Installation For Walter Bodman
Owner of Bldg. Walter Bodman
Owner's Address 88 Cumberland Avenue
Plumber: Reuben Kntz

12457

PERMIT NUMBER

Date: 1-30-63

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
1	1	SINKS		
		LAVATORIES		
	2	TOILETS	2	\$ 4.00
2		BATH TUBS	2	4.00
		SHOWERS	2	2.60
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

JOSEPH P. WELCH

- TYPE OF BUILDING
☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL \$10.60

☐ NEW CONSTRUCTION
☐ REMODELING

SM 12-53

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION

Total

PERMIT
NUMBER **5385**

Date
Issued **7-17-57**

By **J. J. [Signature]**

APPROVED FIRST INSPECTION

Date **7-17-57**

By **J. J. [Signature]**

APPROVED FINAL INSPECTION

Date **7-17-57**

By **J. J. [Signature]**

TYPE OF BUILDING

☐ COMMERCIAL

☐ RESIDENTIAL

☐ SINGLE

☐ MULTI FAMILY

☐ NEW CONSTRUCTION

☐ REMODELING

PERMIT TO INSTALL PLUMBING

Address: **Walter Bolman**

Installation For: **38 Cumberland Ave**

Owner of Bldg.: **"**

Owner's Address: **"**

Plumber: **Boulton Katz** Date: **7-17-57**

NEW	REP'L	PROPOSED INSTALLATION	NUMBER
		SINKS	
		LAVATORIES	
		TOILETS	
		BATH TUBS	
		SHOWERS	
		DRAINS	
		HOT WATER TANKS	
		TANKLESS WATER HEATERS	3
		GARBAGE GRINDERS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS (conn. to house drain)	
			Total

SN 12-53 ☐

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Oct. 24, 1960

PERMIT ISSUED
NOV 2 1960
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 88 Cumberland Ave. Within Fire Limits? Dist. No.
Owner's name and address Millie Bodman, 88 Cumberland Ave. Telephone 3-9514
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building 2- family dwelling No. families 2
Last use _____ No. families _____
Material _____ No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 1.00-.50
Estimated cost \$ 60.00

General Description of New Work

To relocate 1 existing window on first floor and to raise up outside wall (same location as window) of dwelling. No change in size of opening
2" x 4 header

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

APPROVED: W. E. M. 11/2/60

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Millie Bodman

INSPECTION COPY

Signature of owner

By: Walter Bodman

F. M. M.

Permit No. 6011681
Location 88 Cumberland Ct.
Owner Willie Beckman
Date of permit 10/2/60
Notif. closing-in 11/22/60
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Notice _____

11/10/1911

NO --



Memorandum from Department of Building Inspection, Portland, Maine

AP 88 Cumberland Avenue

Nov. 2, 1960

Mrs. Millie Bodman
88 Cumberland Avenue

Dear Mrs. Bodman:

Permit is being issued to close existing window opening
and to install new window of smaller size in the same wall.

I understand that new window will be separated by a
space of at least 8 inches between new and existing window
in kitchen.

This space will enclose at least two supporting studs.

Very truly yours,

Gerald E Mayberry
Deputy Inspector of Bldgs.

GEM:m

Memorandum from Department of Building Inspection, Portland, Maine

88 Cumberland Ave.--Demolish 10 feet of existing side piazza and to cover one-half of roof of dwelling for Millie Rodman by Zoel Therrien--August 27, 1957

Building permit to demolish 10 feet of existing side piazza and to cover one-half of roof of dwelling at 88 Cumberland Ave. is issued herewith subject to the following conditions:

1. If not existing, a sill at least 4x6 in size is to be provided across end of piazza where demolition ends.
2. Roof covering of dwelling is to be of a type bearing at least the Class "C" label of Underwriters' Laboratories, Inc.

AJS/B

cc Mr. Zoel Therrien
17 Locust St.

(Signed) Warren McDonald
Inspector of Buildings



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 27, 1957

R6 RESIDENCE ZONE

PERMIT ISSUED

01227

AUG 27 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 88 Cumberland Ave. Within Fire Limits? Dist. No.
Owner's name and address Millie Bodman, 88 Cumberland Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Zoel Therrien, 17 Locust St. Telephone 3-0561
Architect Specifications Plans no No. of sheets
Proposed use of building Dwelling No. families 2
Last use No. families 2
Material frame No. stories 2 1/2 Heat Style of roof pitch Roofing asphalt
Other building on same lot Fee \$.50
Estimated cost \$ 50

General Description of New Work

To demolish 10' of existing side piazza
To cover one-half of roof of dwelling

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Millie Bodman

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Millie Bodman

APPROVED:

with memo by agj

Signature of owner By:

Zoel G. Therrien

INSPECTION COPY

[illegible]

Permit No. 371, 1987
Location 8811 Cumberland Hill
Owner Miller, Benjamin
Date of permit 8/22/87
Notif. closing in _____
Insps. closing in _____
Final Notif _____
Final Inspn. 8/22/87
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Note _____



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Dec. 30, 1957
Renewal of 53/2654

PERMIT ISSUED

00000
JAN 3 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 22 Hubbard Ave. Within Fire Limits? yes Dist. No. 2
Owner's name and address William Bodman, 22 Hubbard Ave. Telephone none
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building habitation house No. families 2
Last use apartment house No. families 3
Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 2.00
Estimated cost \$ 300

General Description of New Work

No change door to window on side of dwelling. To replace about 14' of outside wall in first story in kitchen, 1x4 studs, 10" on centers, clabboarded on outside. To replace 4x6 sill under this wall to be replaced.
(Third apartment will not be used until fire escape is installed)

Decided to change off - 12/31/57
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

O.K. - 12/31/57 - CJS

Signature of owner

Walter C. Bodman

INSPECTION COPY

44-47-27-
44-48-44-7

Permit No. 5511

Location 38 Cumberland Ave

Owner Walter C. Redman

Date of permit 12/3/55

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

1/31/55 - also permit
5/26/55 - Same 288
7/13/55 - Same 288
7/2/55

WMCD 8/15/55

Jul. 24, 1955

Re: 88 Cumberland Ave.—Minor changes and improvement of outside wall

Mr. Walter Bohman
88 Cumberland Ave.

Dear Mr. Bohman:

You secured a building permit on October 14th, 1953 to make alterations and improvements of the building at the above location, but no work was started within three months of the date of issuance of the permit, and the permit became void.

On January 3rd, 1955 a similar permit was issued to you for the same work:

"To change door to window on side of dwelling. To rebuild about 14' of outside wall in first story in kitchen, 2x4 studs, 16" on centers, clapboarded on outside. To replace 4x6 sill under this wall to be replaced. (Third apartment will not be used until fire escape is erected)"

On February 2, 1955 our inspector reported that a new window had been cut in, that it looked as though a part of the sill had been replaced although there are gaps in the brick underpinning directly under the sill, that the new work had not been clapboarded, leaving merely the rough boarding exposed, that the door had not been replaced by a window. He made three inspections after that, the last on July 13th and each time he reported no further work done. Since no work apparently has been done on the job for a period exceeding five months, the permit has again lapsed, and if you desire to change the door to a window, it will be necessary to secure another building permit.

If, however, the exterior wall is left without weather-proof coverings, such as clapboards, the work you have already done is in violation of the Building Code and it is necessary that this violation be corrected by applying the usual felt and conventional weather-proof siding of some character. If the sill has not been thoroughly corrected, it should be. No additional permit will be needed to apply the weather-proof covering on the exterior wall nor to make good the defects in the sill or underpinning.

We shall expect this violation of the Building Code as to omission of weather-proof covering to be made good before August 15th, 1955.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/G



APPLICATION FOR PERMIT

Class of Building or Type of Structure First Class
Portland, Maine, Dec. 12, 1953

PERMIT ISSUED
01854
DEC 14 1953
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 240 Cumberland Ave. Within Fire Limits? yes Dist. No. 3
Owner's name and address Walter Bodman, 240 Cumberland Ave. Telephone none
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building dwelling house No. families 2
Last use apartment house No. families 3
Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 2.00
Estimated cost \$ 200.00

General Description of New Work

To change door to window on side of dwelling. To rebuild about 24' of outside wall in first story in kitchen, 24' wide, 16" on centers, clapboarded on outside. To replace 4x6 sill under side wall to be replaced.
(Third apartment will not be used until fire escape is erected.)

*See note on reverse side under 1/28/54
Sapsen - no need to send letter under 1/28/54*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Gordon E. Martin (Vice Supervisor)

Signature of owner

Walter C. Bodman

INSPECTION COPY

Permit No. 531854
Location 18 Cambridge Ave.
Owner Walter Anderson
Date of permit 10/14/53
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of occupancy issued
Sinking Out Notice
Form Check Notice

11/30/83 10:00 AM

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10/11/2014

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22. Letter from



Br 88 Cumberland Ave.

LSS 2/8/54

January 27, 1954

Mr. Walter J. Bodman
88 Cumberland Ave.,

Copy to: Director of Health Dept.

Dear Mr. Bodman:

On October 14, we issued to you a building permit:
"To change door to window on side of building (at 88 Cumberland Ave.) To rebuild about 14 feet of outside wall in first story in kitchen, 2x4 studs, 16 inches on centers, clapped on outside. To replace 4x6 sill under this wall to be replaced."

On checking several times since issuance of the permit, our inspector has found that none of the work has been started. The last date of inspection was January 21, which is more than three months from the date of issuance of the permit.

The building Code provides that after a permit has been issued, if the operations involved are not commenced within three months of the date of issuance, the permit shall become void. In such a case and the work intended is to be later attempted, a new permit has to be applied for and the new building permit fee paid.

It is my impression that you may have been directed by the Health Department to correct conditions, and under such circumstances we do not wish to lapse the permit unless absolutely necessary.

Will you be good enough to let me know, preferably in writing, you plan to do about this work--before February 8, 1954. In event we do not hear from you by that date, or, if you are unable to promise an early start of the work, we shall be compelled to consider the permit as lapsed and of no more value.

Very truly yours,

WMCJ/B

Warren McDonald
Inspector of Buildings

AP 68 Cumberland Avenue

WMcD 10/19/53

October 13, 1953

Gordon Martin, Supervisor of Housing Inspection, Health Department

Warren McDona11, Inspector of Buildings

Application for permit for alterations and repairs at 68 Cumberland Avenue.

Attached is the application for permit and permit card for the above job, as a result of our telephone conversation.

Please note that the applicant gives the last use as a 3-family apartment house and the proposed use as a 2-family dwelling house, indicating under general description that there is a third apartment which will not be used until additional means of egress have been provided.

There seems to be some question as to whether or not there may be a store in the first story of this building, perhaps illegally converted for living quarters, or perhaps intended to be so converted. If either of the latter are the case, will you be good enough to advise us as that change from store to living quarters should be included in the application for the permit, and we will need a sketch or plan of the arrangement of rooms, showing windows in each room etc., and the character of use of each room as bedroom, kitchen etc.

If you find everything satisfactory for issuance of the permit without comment, it will be helpful if you will approve the inspection copy of the application in the space provided.

WMcD/B

Inspector of Buildings

Attachment: Inspection copy of application and permit card

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



March 17, 1952

Mrs. Caroline Smith
54 1/2 W. 1st Street
Portland, Maine

Loc. 88 Cumberland Ave.
Bldg. 1st, 2nd Fl. Apt. 1
Bldg. x Fire Elec. x Other
Issued March 17, 1952
Expires April 18, 1952

Dear Sir:

On March 7, 1952

an examination was made of the premises located at 88 Cumberland Avenue, Portland, Maine. Non-compliance with the ordinances relating to housing conditions was found as detailed below. In accordance with the provisions of the above ordinance you are hereby ordered to correct these deficiencies according to specifications within the time limits allowed. Failure to comply with this order will necessitate legal action. Some repairs or improvements required with the premises are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started. If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1431, extension 226. Kindly notify this Office as soon as all corrections have been completed.

Very truly yours,
R. and M. L. M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

== Responsibility of Owner or Agent ** Responsibility of Occupant

- | | |
|-----------------------------|--|
| Plumbing | Check and have repaired all plumbing and plumbing fixtures as follows:
a) Repair or replace trap in the kitchen sink on the first floor apartment right. |
| Electrical Equipment | a) Check and have repaired all electrical wiring and electrical fixtures throughout the structure. Attention is directed to the loose wires in the fixture located in the bedroom of the first floor apartment right.
b) Provide adequate artificial illumination in the first floor hallway left. |
| Structural Repairs | Put in good order all dilapidated and hazardous parts of the structure as follows:
a) Repair the plaster in the hole in the kitchen ceiling in the first floor apartment right.
b) Replace the missing plaster on the bedroom ceiling in the second floor apartment.
c) Replace the missing plaster in the hallway leading from the first to the second floor.
d) Repair or replace the worn, loose tread at the foot of the cellar stair way.
e) Repair or replace the leaking roof. |
| Pest and Insect Infestation | a) Take steps to rid the premises of the infestation and remain. We suggest that you procure the services of some qualified person to do the work. |

The above mentioned conditions are in violation of the following ordinances, "Minimum Standards for Dwellings (Tenancy)", "Authority to Vacate Buildings" and must be corrected on or before April 18, 1952.

To: Housing Division, Health Department
From: _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

Loc. 88 Cumberland Ave.
Bldg. 1st, 2nd Fl. Apt. 1
Bldg. x Fire Elec. x Other
Issued March 17, 1952
Expires April 18, 1952

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



March 15, 1952

100 84 Cumberland Ave.
1st, 2nd, 3rd floor
Bldg X Fire Y Elec Z Other
Issued March 15, 1952
Expires April 16, 1952

Re: Building Inspection
100 84 Cumberland Ave.
Portland, Maine

Dear Sir:

On March 15, 1952 an examination was made of the premises located at 100 84 Cumberland Ave., Portland, Maine.
Non-compliance with the ordinances relating to housing conditions was found as detailed below.
In accordance with the provisions of the above ordinance you are hereby ordered to correct these defects according to specifications within the time limits shown. Failure to comply with this notice will necessitate legal action.
Some repairs or improvements required are of an extensive nature which are to be obtained from the Building Inspector, Health Department or other City Departments. These must be obtained before the work is started.
If any additional information is desired, you may telephone the Housing Supervisor at this office, telephone 4-1131, extension 227. Kindly note that this notice is void as all corrections have been completed.

Very truly yours,
Edward W. Gault, M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

= Responsibility of Owner or Agent ** Responsibility of Occupant

Plumbing

- Check and have repaired all plumbing and plumbing fixtures as follows:
- Repair or replace the cold water faucet in the first floor apartment rear.
 - Repair or replace the roses, broken or clogged water supply pipes from the first floor to the second floor apartment front.
 - Repair or replace the sink drain in the second floor apartment rear.
 - Repair or replace the broken seat in the toilet room of the first floor apartment rear.
 - Repair or replace the plugged toilet in the toilet room of the second floor apartment front.
 - Ventilate the toilet rooms of the first floor apartment rear, second floor apartment front, second floor apartment rear, by either a window to the outside air, or an approved ventilation system.

Electrical Equipment

- Check and have repaired all electric wiring and electric fixtures throughout the structure. Attention is directed to the loose fixtures in the kitchen, bedroom of the second floor apartment front, the kitchen and toilet room of the second floor apartment rear.
- Provide adequate artificial illumination in the second floor hallways.

Structural Repairs

- Put in good repair all dilapidated and hazardous parts of the structure as follows:
- Replace or have repaired all dilapidated and missing window panes, sashes, doors, window and door frames.
 - Replace all defective and missing lath. Attention is directed to the lath in the kitchen and bedrooms of the first floor apartment rear, the kitchen and bedroom of the second floor apartment front, the kitchen and bedroom of the second floor apartment rear.
 - Repair or replace the missing plaster on the walls and ceilings throughout the structure. Attention is directed to the walls and ceilings in the first floor apartment rear.

To: Housing Division, Health Department
From _____

Date _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

100 84 Cumberland Ave.
1st, 2nd, 3rd floor
Bldg X Fire Y Elec Z Other
Issued March 15, 1952
Expires April 16, 1952

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

Structural Repairs Cont:-

- Particular attention is directed to the hazardous exposed areas three (3) feet square in back of the stove and chimney in the first floor apartment rear, the walls and ceiling in the toilet room of the first floor apartment rear, the bedroom of the first floor apartment rear, the wall and ceiling in the toilet room and bedroom of the second floor apartment front and kitchen of the second floor apartment rear, and the first and second floor hallway.
- d) Repair or install doors in the bedroom of the first floor apartment rear, the kitchen of the second floor apartment floor, the toilet room of the first floor apartment rear.
 - e) Repair or replace the outside light, stairway and porch.
 - f) Repair or replace the leaking gutter on the right, rear side of the structure.

nuisances and insanitary conditions

- a) Remove the trash, litter and mattresses from the eaves in the vacant second floor bedroom and hallway, the vacant second floor apartment rear and from the basement.

The above mentioned conditions are in violation of the following ordinances: "Minimum Standards for Continued Occupancy", "Authority to Vacate Buildings" and must be corrected on or before April 17, 1952.

Complaint No. C-50-151 2-1-51

Location R 89 Cumberland Ave.,

Date Received 10/31/50

Date Disposed of 7/11/52

NOTES

9/11/52 - 71.
Health Dept said
they would take
care of situation if
transplant made
on 9/11/52 L.S.