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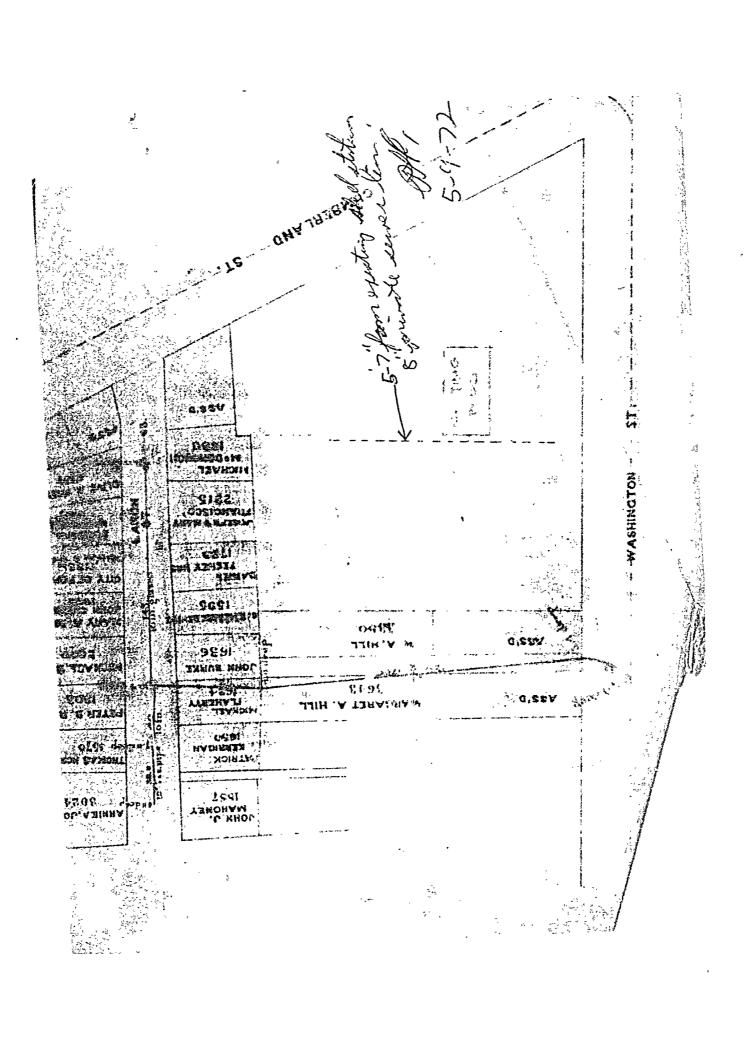
ו העקרובנם - ביתציוותוב בסוב (ב) סע הצפעו daninbaz i 28260-0 # 13345 37000HDS 395 - 7472112978 בין בבלחובנס (סובוסותה) 18267-0, 133-15 30000H75 305 - 78616 (a) (SANGITO) COUNCES (A) mpig there success see some דומונות חיובטיירצ שבמחושבה בשב בושבבשח (): NOTE

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- CALL	B2 RESIDENCE 20	Marie 128 Action 10	PERMIT ISSUED
1 /	APPLICATION FOR	RPERMIT	MAR 30 1972
	Class of Building or Type of Structure Portland, Maine, Mai	مدو ووموسور همست ، چېشوند دې وسووهندو ورومانو سود د په ودوم ده د ووهند مر دمي .	0324
The unde in accordance wi specifications, if Location 27 !	TOR OF BUILDINGS, PORTLAND, MAINE resigned hereby applies for a permit to erect alter regists the Laws of the State of Maine, the Building Cany, submitted herewith and the following specific lashington Ave. Shell Oil Co., 55 Milliams	pair demolish install the follo Code and Zoning Ordinance ations: Within Fire Limits S St., Wellesley, Ma	Dist. No
	and address	I .O. DON JIJS ILL	Ery, Me Telephone
	Specific	mtione Mans	TANK TANK TANK TANK TANK TANK TANK TANK
Proposed use o	f building Service Station	all references of the first process or the second s	No. families
Material	No. stories Heat	Style of roof	Roofing
Other building Estimated cost	s on same lot		Fee \$ 15.00
	General Descriptio		
To construc	et 12° x 20° storeroom addition as 1	per plans.	

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Shell Oil Details of New Work Has septic tank notice been sent? ______Form notice sent? ______Height average grade to top of plate ______ Height average grade to highest point of roof_____ Size, front______depth _____No. stories _____solid or filled land?_____earth or rock? ____ Material of foundation ______ Thickness, top _ _____ bottom ____ cellar ____ Kind of roof _____Risc per fort _____Roof covering ____ No. of chimneys _____ Material of chimneys ____ of lining ____ Kind of heat ____ fuel ___ Framing Lumber-Kind_____ Dressed or full size?____ Corner posts ____ Size Girder _____ Size ____ Max. on centers _____ Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor_____, 2nd_____, 3rd _____, roof Joists and rafters: 1st floor....., 2nd _____, 3rd _____, roof ___ On centers: 1st floor______, 2nd________, 3rd _______, roof ___ Maximum span: If one story building with masonry walls, thickness of walls? ______height? If a Garage No. cars now accommodated on same lot____, to be accommodated___number commercial cars to be accommodated____ Will automobile repairing be done other than rate of repairs to cars habitually stored in the proposed building?_____ Miscellaneous APPROVED: Will work require disturbing of any tree on a public street?... O.K. 2.8. 3/29/72 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____yes_ Shell Oil Co.

Signature of owner By:

INSPECTION COLY

AND THE COLUMN				
Maskington ave Shell Oll Co Notif. closing-in Inspn. closing-in Final Notif. Final Inspn. Cert. of Occupancy issued Sealing Out Notice SAM Form Check Notice 5-11-)		1,		
S-9-72 Wark stated the sunder the	5-14-72 2/any going	Gerylldi.	6-30-22 Jane 994	9-25-72 3276

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

April, 1970

Location: #27 Labinaton Ave.

Before tanks and piping are covered from view, installer is required to notify the Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept. Headquarters (1)

These tanks of 5000 gallons capacity are required to be of steel or wrought iron no less in thickness than # 18 gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

AFF11, 1970

Location: #27 rawhington Ave.

Before tanks and piping are covered from view, installer is required to notify the Fire Dept. Hoadquarters of readiness for inspection and to refrain from covering up unti. pproved by the fire lapt. Headquarters

These tanks of 5000 gallons capacity are required to be of steel or wrought iron no less in thickness than # 4" gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

if tank will be so located as to te subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

SHELL OIL CO
SERVICE STATION

NEW SCOOL

NEW

27 WASHINGTOD AVE.



APPLICATION FOR PERMIT

Class of Building or Type of Structure	THE TANK
Portland, Maine, Arril	23, 1970 CAN ULLIAND
To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE	
The undersigned hereby apriles for a permit to erect allor repair de	la Zoning Orathance of the City of I oration of Proceedings
specifications, if any, submitted herewith and the following specifications:	Die No.
Location 27 Washington Ave. Owner's name and address Shell Oil Company, 5 Central	Within Fire Limits? Dist. No l ave. So. Portland Telephone
Owner's name and address	Telephone
Lessee's name and address Portland Pump Company, 32.	Telephone
Contractor's name and address Portland Pump Company's Architect Specifications Proposed use of building Last ise Marerial No. stories Heat Style Other buildings on same lot	PlansNo. of sheets
Proposed use of building	No. families
Last ise	No. families
Margial No. stories Heat Style	of roof Roofing
Other buildings on same lot	The second secon
General Description of	
To install (1)-5000 gallon gasoline storage tank	, outside underground. (now installation).
Tank bears Und label.	War was the first
Tank will be buried 3' underground and covered w.	ith asphaltum.
Vent pipe-2"	
	Sent to Fire Dept. #/23/70 - Rec'd from Fire Dept. #/27/26
	Sent to Fire Dept. 4/27 76
	Rec Italian
It is understood that this permit does not include installation of heatin	g apparatus which is to be taken out separately by and in
the name of the heating contractor. PERMIT TO BE ISSUED To	O contractors
Daniel of None	Wash and a series to the series of the serie
To one	electrica! work involved in this work?
Is connection to be made to public sewer? If not,	, what is proposed for sewage?
Is any plumbing involved in this work? Is connection to be made to public sewer? If not, Has septic tank notice been sent? Form	notice sent?
Height average grade to top of plate Height av	verage grade to highest point of roof
Size front depth No. stories solid o	or filled land?earth or rock?
Height average grade to top of plate Height average grade to top of plate No. stories Solid of Material of foundation Thickness, top Kind of roof Rise per foot Roof No. of chimneys Material of chimneys of line	bottom cellar
Rise per footRoof	covering
No of chimneys Material of chimneys of line	ing Kin of heat fuel
Framing Lumber-Kind Diessed of Idil Size	Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridg	ing in every floor and flat roof span over 8 feet.
	, 3rd, roof
	, 3rd, roof
On centers: 1st floor	3rd , roof
Maximum span: 1st floor, 2nd If one story building with masonry walls, thickness of walls?	height?
If a Garag	
No. cars now accommodated on same lot, to be accommodate	number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to car	s habitually stored in the proposed building?
	Miscellaneous
APPROVED:	equire disturbing of any tree on a public street? 10
Fire (O. Poole 4-27-70 Will work	be in charge of the above work a person competent to
APR 2 7 1970 see that the	ne State and City requirements pertaining thereto are
observed?	
ODSERVED!	
The state of the s	Portland Pump Company
C5 301: 77 77 77 77 77 77 77 77 77 77 77 77 77	ONK
INSPECTION COPY Signature of owner by:	m USTEMEN
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ing the manager way is the second of the contract of the contr	- 1.1.1 (1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1 1.1.1
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Permit No. 7a / 46 W		\$ 100 mg/m
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Owner Skell Old Confrey		
Date of permit 4/27/>o		
Notif. closing-in		
Inspn. closing-in		ár ár
Final Notif.		か にと と 数
Final Inspn.		1 (2) (2) (3) (4) (4) (4) (4) (4) (4) (4) (4) (4) (4
Cert. of Occupancy issued		
Staking Out Notice		
Form Check :: ptice		
W29/20- P. E. E.		The state of the s

(COPY)



CITY OF PORTLAND, MAINE Department of Building Inspection

Certificate of Occupancy

#21 Washington Ave. LOCATICN

Issued to Shell Oil Company Date of Issue September 5, 1963

This is in reriting that the Duilding, premises, or part thereof, 2: the above location, built—altered—changed as to use under Profing Permit No. 63/453, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OF PREMISES

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Limiting Conditions:

Entitle

Service Station

This certificate superseder certificate issued

Approved:

(Date)

Inspector

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lesses for one dollar.

	PERMIT TO INSTALL PLUMBING	RMIT NUMBER 1 11 110	
	Institution For: Service Station		
Date issued 9/16/66	Owner's Address 5 Central Avn., So. Po	Date: 9/16/66	
Portland Plumbing Inspector	Plumber Martin Caren	NO. FEE	
By ERNOLD R GOODWIN	SINKS		
App. First Insp.	LAVATORICS TOILETS EATH TUBS		,
By App. Finul insp.	SHC WERS DRAWS FLCOR SU	RFACE	
Date SEP 20 196	HÖT WATER TANKS TANKLESS WATER HEATERS GARBAGE DISPOSALS		- -
Type of Bldg.	SELTIC TANKS HOUSE SEWERS	2.00	ī
Commercial Residential	ROCF LEADERS AUTOMATIC WAS HERS		_
Single Mult. Family	DISHW ASHERS OTHER		
New Construction Remodeling		TOTAL 1 2.00	5

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Building and Inspection Services Dept.; Plumbing Inspection

| PERMIT TO INSTALL PLUMBING | Address | Corner Vashington & Cuming Plant | Permit Number | Installation for: Shell vil Co. | Owner's Address: Portland, Paine | Power's Address: Power's Address:

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Installa	tion to	shell (h) 40.			74.0	gi	_	
					2.21			,
Owner'	s Addr	ess: Portland, Maine						
Plumbe	er:	Sam Burokoff		21e: f.,,	10-	53		
NEW	REP'L	PROPOSED INSTALLATIO	NS	NUM	THE R	PEE		
1		SINKS						
-		LAVATORIES			-+-			
	T	TOILETS						
—	 	BATH TUBS			-			
·}		SHOWERS						
	1	DRAINS						
		HOT WATER TANKS			-+			
	_	TANKLESS WATER HEATERS						6
1	1	GARBAGE GRINDERS						3
		SEFTIC TANKS						_
7-	+	HOUSE SEWERS			1	<u>\$ 2</u>	.00	
	+	ROOF LEADERS (Conn. to h	nouse drain					
 	+	 						
-	+	 						
<u> </u>				-0741		4. /	2 00	
H ANI) HEA	LTH DEPT. PLUMBING INSP	ECTION	TOTAL		\$ 4	2.00	
	Address Installa Owner Owner Plumbe NEW	Owner of Bldg Owner's Addr Plumber: NEW REP'L	Address 2 Corner Washington & Installation For: Shell Oil Ca. Owner of Bidg. Shell Oil Ca. Owner's Address: Portland, Maine Plumber: Sam Purokoff Reorosed Installation SINKS LAVATORIES TOILETS BATH TUBS SHOWERS DRAINS HOT WATER TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SETTIC TANKS HOUSE SEWERS ROOF LEADERS (Conn. to the content of the content	Address 2 Corner Washin ton & Camber Installation For: Shell Oil Co. Owner of Bidg. Shell Oil Co. Owner's Address: Portland, Maine Plumber: Sam Phyrokoff Directory of Sinks LAVATORIES TOILETS BATH TUBS SHOWERS DRAINS HOT WATER TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SEFTIC TANKS HOUSE SEWERS ROOF LEADERS (Conn. to house drain	Address 21 Corner Washington & Comberland Installation For: Shell Oll Co. Owner of Bldg. Shell Oll Co. Owner's Address: Portland, Maine Plumber: Sam Physicoff Date: Fredroste Installations NEW EEFL PROPOSED INSTALLATIONS LAVATORIES TOILETS BATH TUBS SHOWERS DRAINS HOT WATER TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SETTIC TANKS 1 HOUSE SEWERS ROOF LEADERS (Conn. to house drain)	Address 2 Corner Washin_ton & C:tmberland Installation For: Shell Oil Co. Owner of Bidg. Shell Oil Co. Owner's Address: Portland, Maine Plumber: Spm Phyrokoff Date: 6.10 NEW REPL PROPOSED INSTALLATIONS NUMBER SINKS LAVATORIES TOILETS BATH TUBS SHOWERS DRAINS HOT WATER TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SEFTIC TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SEFTIC TANKS HOUSE SEWERS ROOF LEADERS (Conn. to house drain)	Address 2 Corner Washin ton & Comberland PERMIN Installation For: Shell Oil Co. Owner of Bldg. Shell Oil Co. Owner's Address: Portland, Maine Plumber: Sam Purokoff Date: 6.10-63 NEW REFL PROPOSED INSTALLATIONS HUMBER FEE SINKS LAVATORIES TOILETS BATH TUBS SHOWERS DRAINS HOT WATER TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SEFTIC TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SEFTIC TANKS TOUGHERS ROOF LEADERS (Conn. to house drain)	Address 2 Corner Washington & Camberland PERMITNUMBE Installation For: Shell Oil Co. Owner's Address: Portland, Maice Plumber: Sam Pyrokoff Date: 6_10_63 NEW EEFL PROPOSED INSTALLATIONS HAMKE FEE SINKS LAVATORIES TOILETS BATH TUBS SHOWERS DRAINS HOT WATER TANKS TANKLESS WATER HEATERS GARBAGE GRINDERS SETTIC TANKS 1 HOUSE SEWERS 1 ROOF LEADERS (Conn. to house drain)

APPLICATION FOR AMENDMENT TO PERMIT

JUN 27 1963

Amendment No. #1

June 27, 1963 Portland, Maine, ..

UTY of PORTLAND

To the INSPECTOR OF BUILDING	S, PORTLAND, MAINE	الهريق بما ما مامات التاريخ
The undersigned hereby applies for in the original application in accordance	amendment to Permit No. 53/453 pertaining with the Laws of the State of Maine, the L tions, if any, submitted herewith, and the fo	
1	Within Dira	Timits? Dist. No
Location64	oll Oil Company, 5 Central Ave.So	.Portland Telephone
Owner's name and address		m t t
Lessee's name and address	D. C. t. attended Tro	Telephone
1 - 11	Duncan Construction Co.Inc.	Telephone
Contractor's name and address	Duncan Construction Co.Inc. 25 Tapley St.Springfield Mass.	Plans filed No. of sheets
Architect	***************************************	I land med
Decreed use of building	Service Station	No. tamilies
-		No. families
Last use		Additional fee •50
Increased cost of work		Additional 100
	Description of Proposed Work	

To change construction of pylon walls to 8 inches of masonry consisting of 4 inches of concrete blocks and 4 inches of brick facing, and to change size of two supporting from 4" WF@ 13 lbs. to 8" WF @ 17 lbs.

Tams from 4" WF@ 13 lbs. to 8" WF @ 17 lbs.

wher with first layer wired to beam.

	Details of New Work permit to be issued to contractors.
ttittmmalmod in t	his work? Is any electrical work involved in this work?
s any plumbing involved in t	of plate
Height average grade to top	No. stories solid or filled land? earth or rock?
Size, front depth	No. Stories Solid of fried failed
Material of foundation	Thickness, top bottom cellar
Material of underpinning	Height Thickness
Wind of most	Rise per foot Roof covering
	Material of churneys or ming or ming
Tanamina lumber Kind	Dressed or full size?
C	Sills
Corner posts	Columns under girders Size
Girders Size	crying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
	1st floor, 2nd, 3rd, roof,
Joists and rafters:	1st floor, 2nd
On centers:	1st floor, 2nd, 3rd, r.of
Maximum span:	1st floor , 2nd , 3rd , roof , roof
Approved:	Shell Oil Company Duncan Construction Co.Inc. Signature of Owner by:
	Approved: Approved: Inspector of Buildings
INSPECTION COPY	\vee .

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		Thushington ave Court 15 sunsony sevice Ita	to a	
	ΓP.	Thesh fit details.		
		5 Windows with pood from House centers of 6 Metal masked work of fire son't for wall down. Then 30 to a but the		
		E Peur sutrance door vou stour ou plans sie	Joes.	
	46.1	8. Ox. Petrón 19 Parch Types frees.		
		3. Se Hert pr. suspended leater and Novan	Me. I see	
	P.	10 Northern Shows Leader hand to for a which and and with this bright at pylon to be test in a gange with.	Write.	
	P.	IL Lumber to be D.F. 1700 V.S., Sydex gree.		
	TP/IZ	Pull in with word acceptable?		
	#13	East theorem	Write.	200-0
	17/4		15503-1	- 1
Mary State	and the second			

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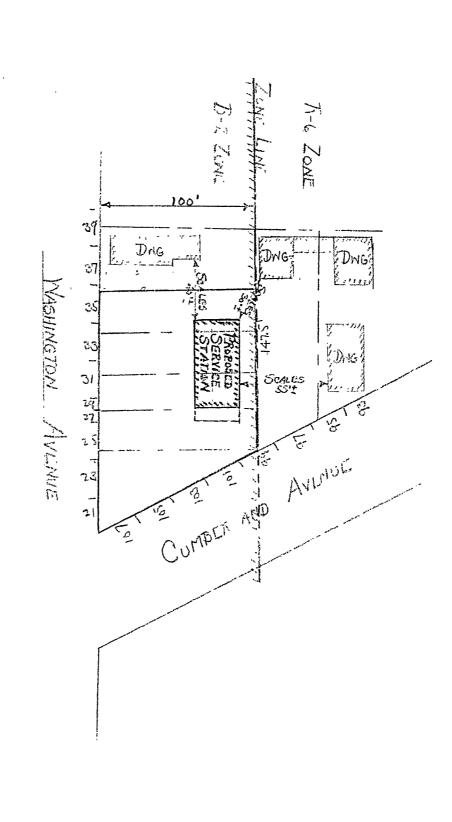
Statement of design on John 1875 Col. @9' Mar 40 × 16 Statement of design on putie fall of Brist Tes la fortuna

7 Teur Service Elation at 21-35 Washington	Overne
7- Zoning- 6-2 Zone - appeal filed.	265
2- Special + Ocheral ice Pagrinements:	265
SECTION 204 SECTION 212 a-service garage a-O.K.	344.5 55 172.25
b- Freundows rear wall b-O.K.	17275 189 ±7.5
c-0.K	
a-0.1	
from Cube regioned e-OK.	
f-4-Chelorine Lorder H.O.K.	867 40
h-) Leating requirements h- Heating requirements?	86700 6
i-grease + oil separation? U-Oil	528 8 7, 60 432 440
J-0.K.	7507 CO 69
3- Constantion Vertails and Mesign;. a Second Class of Getter construction?	
doction our show window?	13X.83/2×54=6094
6- anchorage of wallo, C- Tyingof venter.	
4-Contintations:	
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AN INCAMENTAL PROGRAMMENTAL PROGRAMMENTAL PROGRAMMENTAL PROGRAMMENTAL PROGRAMMENTAL PROGRAMMENTAL PROGRAMMENT Residente de la companya de la comp

4 Jane -

New Service Station at 21-35 Washington avenue oring appeal sustained conditionally 1/2- Windows in rear wall must be met al sail + wire glass to med reguirements of Sect. 203-b 13- a sevond means of egress from rear of lube required of tree in street 15- Euspender water must be of approved type 16-10-Vitroliner type E flue-ON 7- approved grease + oil reparator required. 18- How is onch venier to 9 hed to steel frame of proposition roof sign? also to maiory wall 19- Type of Rumber in roof firming. a 40# live load design No-rese of wood condition in orderde wall above show 11- Statement of design 1/2- Separate permilo for demolution of the Edward 13- Rubbish Enclosure delais - not shown on plan. 14- anchouge of maximy walls at wor line 15-Pyle columns MIG- Support for Vibroliner The and Suspended Heater 117- Wood Batters on outside of masony walls 18- masony on outside walls must extend to roof sheathing



Service Station at 21-35 Washington ave, corner of Combelles K-2 Jone - Use allowable overlang at and - 20 heguned because : an ceriter whrear Rue alles an R-6 more. Lec & 6.9-C6-1 Nummum of only 10' being provided. ? Lide good - hone required nummen = 366 10+12=11 of 20' being morrdell-OK. Front yard-none required. -O.K. 20-2=18' 11-3/2=7/2 Lect 16-D - Critique doors to toplet rooms are to face Cumberland (ive. the side street, contrary to this section? <u>Sect 19-M</u> - Revolving hole sign will encroach on corner clearance area. Sect 16-A-5-a-Year olong hole sign isto be about 27 feet light thus exceed-ing the maximum heightel by the settion 10' above the is sell hard of the this section. Revolving hole sign will face residential zone at rear contrary to provisione of this section H. H. ROERDEN District Engineer
SHELL OIL COMPANY

AP- 21-35 Washington Ave., corner of Cumberland Ave. May 6, 1963 Shell Oll Company cc to: Duncan Construction Co., Inc. Att: Er. H. H. Hoerdon 25 Tapley St., Springfield, Pess. 5 Central Ave., So. Fortlend Gentlemen: Fermit to construct a one story three-bay service station 62'6" x 29'4" as per revised plans and specifications received April 29, 1963 and in accordance with Fr. Scars letter of March 13, 1963 is being issued subject to compliance with the following: 1. There will need to be additional structural members in the pylon framing to support the wire lath and brick ties, approval of which is to be obtained before construction of the pylon above the service station is started. 2/ The masonry of both end walls is to extend up to the underside of the roof sheathing as is stated in Paragraph 13 of Er. Sears' letter mentioned above. 3. Separate permits issuable only to actual installers required for installation of pole sign and heating equipment. 4. Notice for inspection of forms prior to pouring of concrete and before application of covering to inside of walls, partitions and callings required. 5. Certificate of occurancy required from this department before building may lawfully be put into use. 6. hevolving pole sign has been limited by Board of Appeals to 20 feet in height end area of sign to six feet square. Very truly yours, Gerald E. Kayberry Deputy Endlding Inspection Director G: Mrm

A.P.-21-35 Weshington Ave., corner of Cumberland Ave.

Karch 13, 1963

Shell Oil Company Att: Mr. H. H. Rowerden 5 Central Ave., So. Fortland

Gentlemen:

Although the appeal under the Zoning Ordinance for new service station at the above named location in this City has been sustained conditionally, permit for its erection cannot be issued until information indicating compliance with Building Code requirements has been furnished. Rights granted under the appeal will expire unless work is started within aix souths of the date on which the appeal was sustained. Items and dotails in question are as follows:

- 1. The permit application already filed needs to be completed by furnishing an estimated cost of the work, raying parmit fee based thereon, and furnishing name of contractor.
- 2. Separate permits will be needed for demolition of the existing buildings on the lot, as well as other permits issuable only to the actual installers for installation of the pole sign, heating equipment, and gasoline storage tanks and pumps. Will do.
- 3. Approval for removal of any tree on City property will need to be secured from the City Park Department. Lingle do
- 4. Details of the trash enclosure at rear of building shown on revised plot plan ner to be furnished. Since this will encroach upon the requised rear yard, but was not shown on plot plan on which soming appeal was based and hence was not included in items covered by the appeal, question arises as to whether its construction in the location shown can be authorized without further approval of the Board of Appeals.
- 5. Since the rear wall is to be closer than 30 feet to the lot line, window openings in that wall are required by Section 204-b-2 of the Building Code to have metal sash and wire glass.
- 6. A second means of egress from the rear of the Service Room by way of a door at least two feet wide and six feet four inches high is required by Section 204-e-2 of the Code. Since any wall in which such a door can be located is likely to be closer than 30 feet to a lot line, it will need to be a fire door.
- 7. Grease and oil separator serving floor drain in Service Room is required by Section 204-i-1 to be of a type approved by the Fire Chief and the Plumbing Inspector.

AP-21-35 Weshington Ave., corner of Cumberland Ave.

Feb. 13, 1963

ce to: Corporation Counsel

Shell All Company Att:Hr. H. H. Loerdon 5 Central Avenue South Fortland, Maine

Gentlemen:

building permit for construction of a one story masonry service station building 30 feet by 58 feet at the above named loos-tion is not issuable under the Zoning Ordinance for the following reasons:

- 1. The rour wall in to be a minimum of 10 feet and the overhang of roof a minimum of 7% feet from the rear lot line instead of the 20 feet and 18 feet respectively required by Sec. 9-C-b-1 of the Ordinance because the rear line of this property, located in a B-2 Business None, abuts an B-6 Residential None.
- 2. A revolving pole sign to be located maar the street corner is to be about 27 feet high, thus exceeding the maximum height of 20 feet set by section 16-A-5a; and will also during its revolution face the adjoining residential zone at the rear contrary to the provisions of the same section.
- 3. The revolving pole sign is to encreach unlawfully upon the 25-foot corner clearance area required by Section 19-M.
- 4. The entrance doors to the two toilet rooms are to face Cumberland Averse, the side stroot, contrary to the provisions of Section 18-D of the Ordinance.

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, an authorized representative abould go to file the appeal. very truly yours,

> Albert J. Sears Building Inspection Director

a: دُلِمْ

Shell Oil Co.

S. The suspended warm air heater is required to be of a type bearing the label of approval of Underwriters' laboratories, Inc. for use in a garage.

9. What provision is to be made in roof construction for support of the loads from the suspended heater and Vitroliner pre-fabricated chimney?

- 10. How is brick venser to be tied to masonry walls and steel frames of pylon roof sign in a manner to meet requirements of Section 308 of the Code? 11. Of what grade and species of lumber is roof framing to be constructed? The building Code requires such framing to have a minimum live load capacity of AO rounds now

 - 12. Because of its use, the building is required to be of Second Class Construction or better. In such construction wells are required to be of masonry throughout. While the solid 6x10 wood bears on top of the walls can be accepted, there appear to be a number of other locations, such as wall above show window of Sales Room, where the wooden construction cannot be approved.
 - 13. The masonry of both end walls must extend up to the underside of the roof sheathing in accordance with Section 308-b-6.3 of
 - Wood bettens on outside of mesonry walls will need to be of accept.
 - 15. The designation of the 3 inch round pipe columns as "3ch.40" Will wer is not understood. The Building Code sets up a minimum columns outside dismeter of 4 inches for pipe columns unless it can be established by ratio al methods of design that smaller columns are adequate as to strength and stiffness to support the loads involved.
 - 16. A statement of design (blank copies enclosed) covering the reinforced rasonry and structural steel is required for affixing to the plans.

Very truly yours,

Albert J. Sears Building Inspection Director

AJS:m

REFERENCE DRAWINGS

IV- THE PLOT PLAN D-15903-2 PLANS AND DETAILS D-15904.2 ELEVATIONS 5- 15905-1 MILL WORK -ETAILS 6-15706-1 ELECTRICAL PLAN C 15677 PYLON DETAILS D-16487 ASSEMBLY AND DETAILS FOR 6 FT. CONTRILLED BACKEROUND SIEN FOR MASSARY DYLON IC-43744 HEATING PLAN IC-4150 RIBSIN ENCLOSURE IC-4378 KEST ROOMS - ACCESSORIES, TILE, ETC, 8-15346 KECESSED MIRROR DETAILS FOR REST ROOMS P-122 SERVICE RY 3-BRY THE MACK CHB., THE BURNO D-15516-5 PUNP ISLAND PLAN, ELEN. & DETAILS ID-3546 I SUBMERGED PUMPING DETAILS 6'-CBR SIGN BASE. EXTERIOR PAINTING SCHEME C-16670 INTERIOR PAINTING SCHEME c-16689 16' POLE FOOTING A-2930 STURY GE RA: SHELVING U.T.N.

SPECIFICATIONS

- 1. GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF A RANCH SERVICE STATION.
- 2. ADDENDA TO THE GENERAL SPECIFICATIONS.
- 3. HEATING SYSTEM REPORT & INSTRUCTIONS ON SHELL HEAD BURNER,
- 4. HARDWARE ADDENDA
- 5. CONCRETE & MORTAR AUDENDA COLD WEATHER APPLICA TION
- 6. SECTION I EARTHWORK
- 7, SECTION III BASE COURSE AGGREGATE
- 8, SECTION IX 2" ASPHALTIC CONCRETE PAVEMENT

GENERAL NOTES

- 1. TEEE STUMP (36"ELM) AND ROOTS TO EE REMOVED BY THE GENERAL CONTRACTOR TO A DEPTH TO ALLOW FOR NEW CONCRETE DRIVEWAY SEE SPECIFICATIONS
- 2. REMOVAL OF CURBING FOR NEW ENTRANCES BY CTHERS.
- 3. BUILT UP SLOPE PIT RUN OR CRUSHER RUN AGGREGAT & TOPPED WITH A I" ASPHALTIC CONCRETE BINDER TO BE INSTALLED ALONG THE REAR AND SIDE PROPERTY LINES AS SHOWN.

GRADING

- 1. EXISTING GREDES CON ALSO SEE SURVEY
- 2 FINISH GRADES DO.D

RECEIVED MAY 27 1963

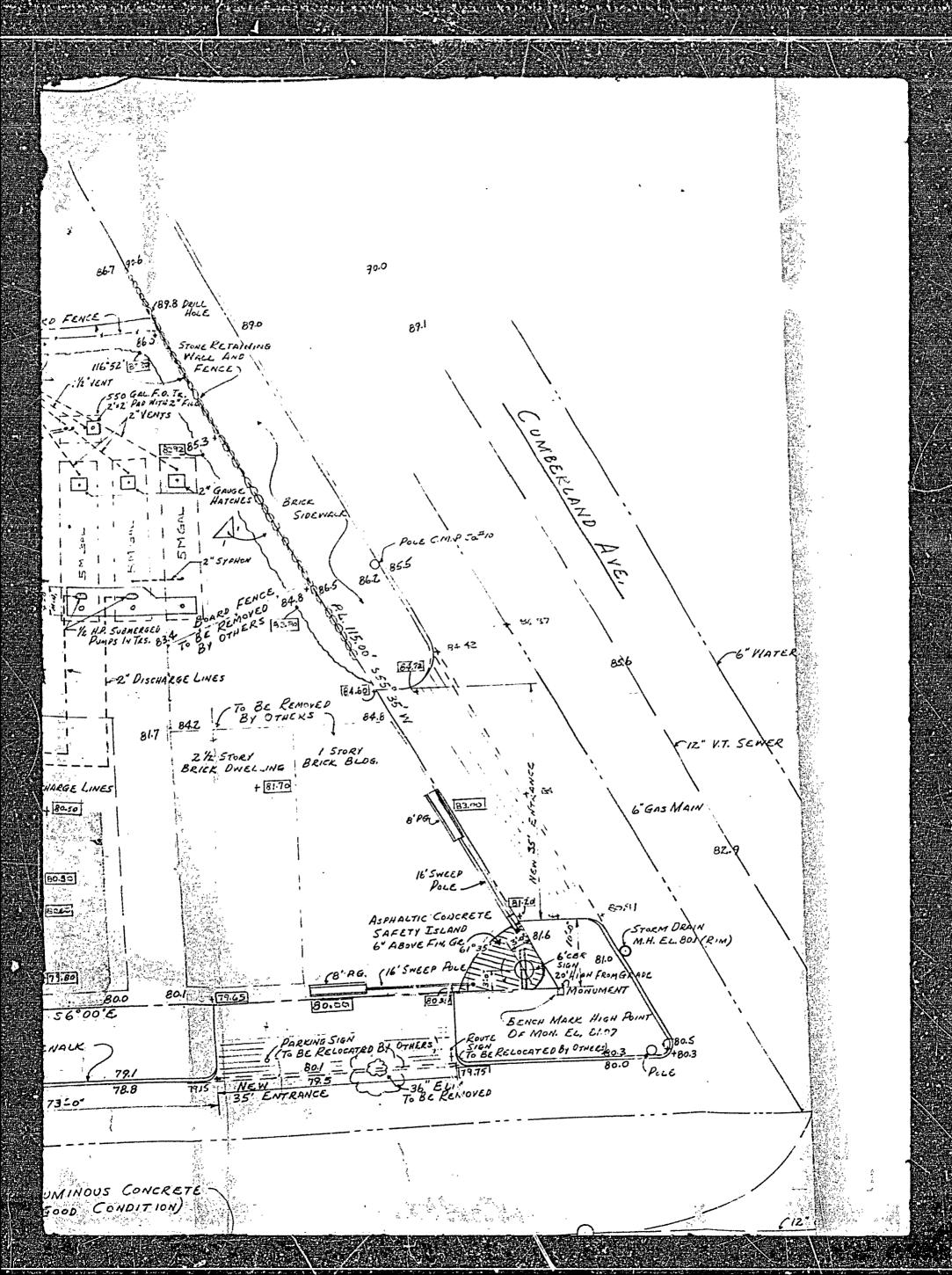
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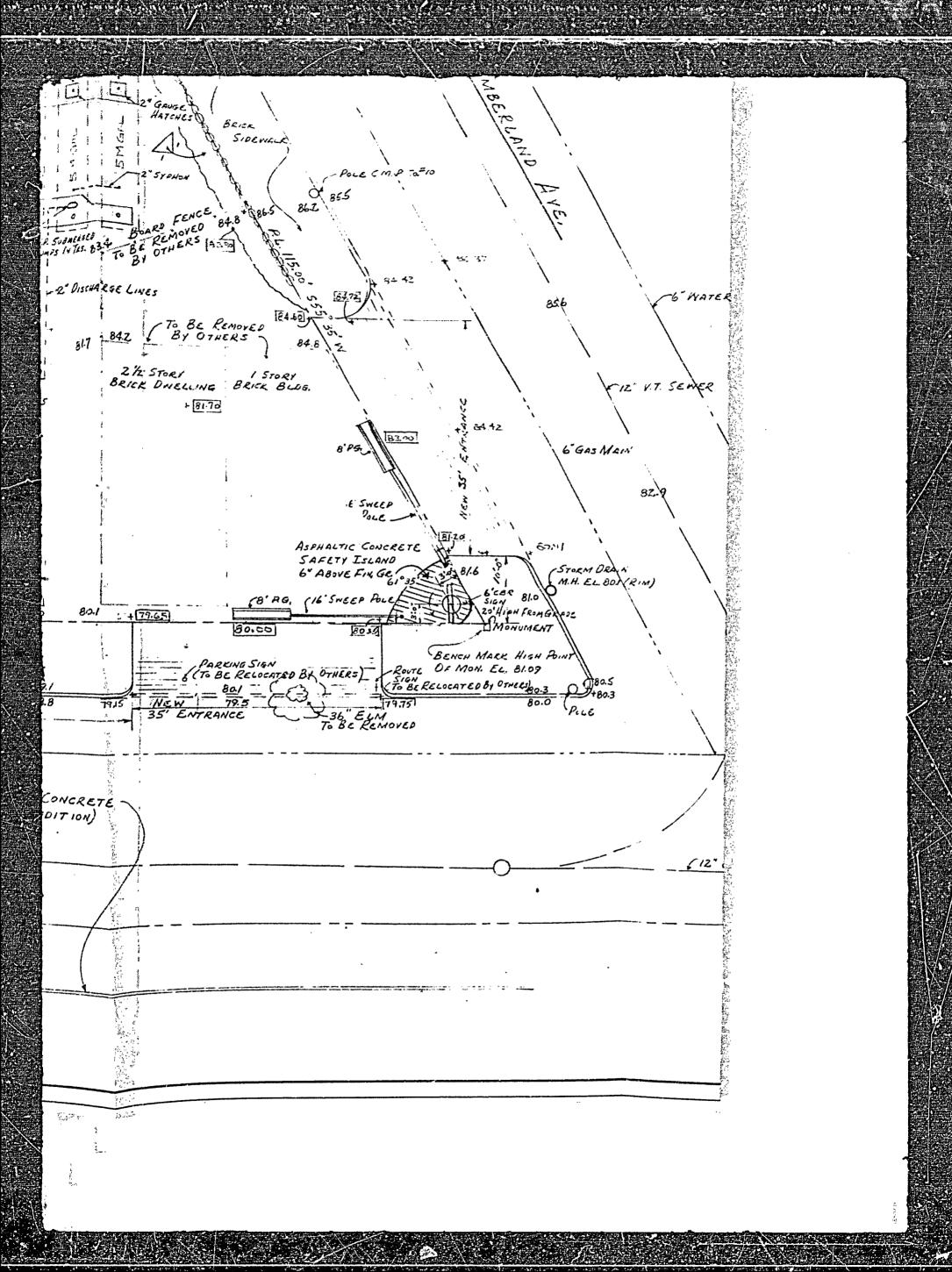
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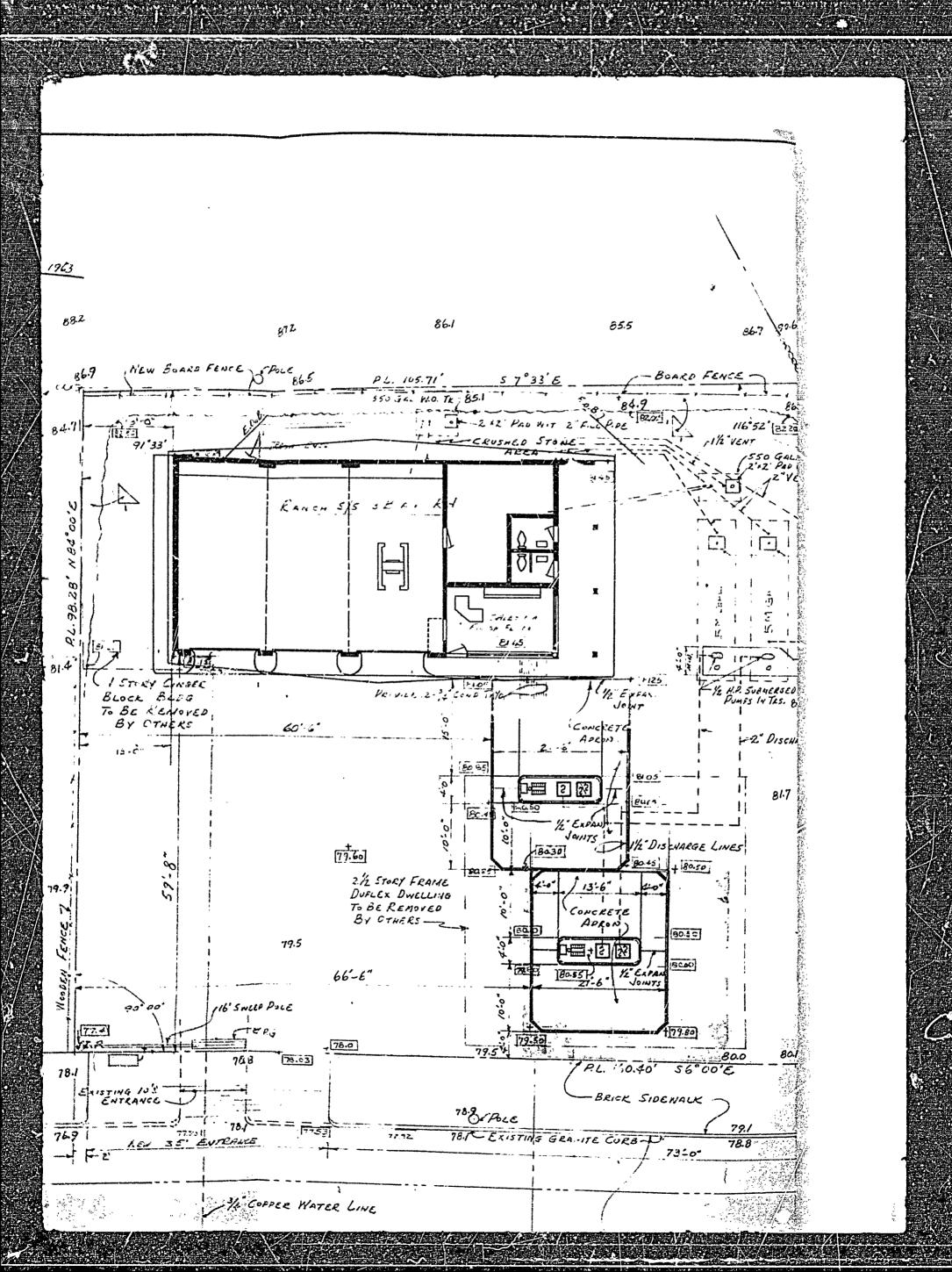
May 27, 1963

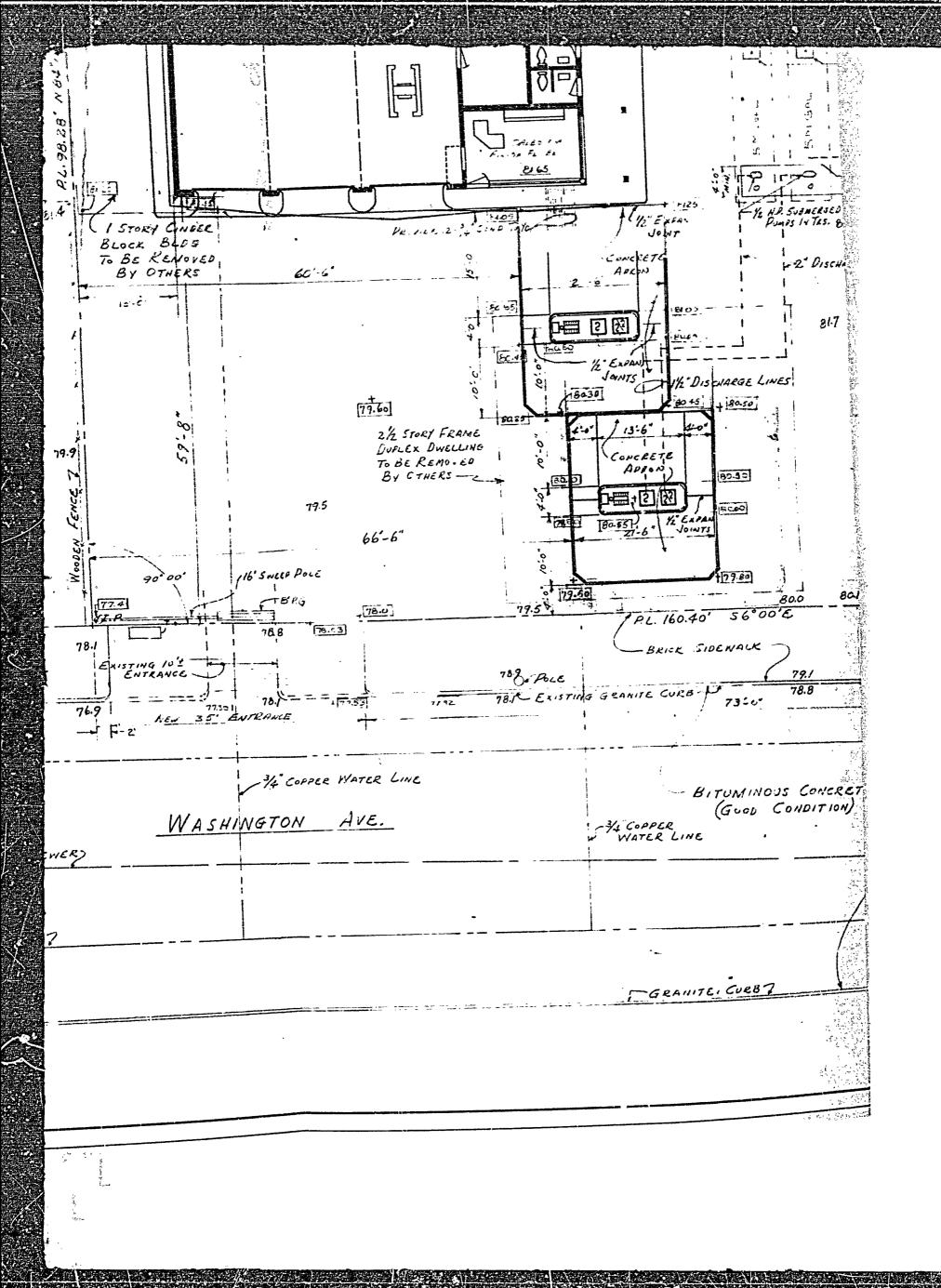
807 M.H

IU-15+0-1 SUBMERGED PUMPING DETAILS 6' CBR SIGN BASE EXTERICE PAINTING SCHEME C-16690 C- 16187 INTERIOR PAINTING SCHEME 16 POLE FOOTING A - 2930 STORE TE REI SHELVING WIFM SPECIFICATIONS 1. GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF A RANCH SERVICE STATION. 2. A VOENDA TO THE GENERAL SPECIFICATIONS. 3. HEATING SYSTEM REPORT & INSTRUCTIONS ON SHELL HEAD BURNER, 4. HARDWARE ADDENDA 5. CONCRETE & MORTAR ADDENDA - COLO WEATHER APPLICATION -6"WATER MAIN 6. SECTION I - EARTHWORK 7, SECTION III - BASE COURSE AGGREGATE 8, SECTIONITY - 2" ASPHALTIC CONCRETE PAVEMENT GENERAL NOTES 1. TREE STUMP (36" ELM) AND ROOTS TO BE 12" V.T. SENER REMOVED BY THE GENERAL CONTRACTOR TO A DEPTH TO ALLOW FOR NEW CONCRETE DRIVEWAY SEE SPECIFICATIONS Z. REMOVAL OF CURBING FOR NEW ENTRANCES
BY OTHERS, GAS MAIN 3. BUILT UN' SLOPE PIT RUN OR CRUSHER - RUN
AGGREGATE TOPPED WITH A 1" ASPHA-TIC CONCRETE 82.7 BINNER TO BE INSTALLED ALOND THE REAK AND SIDE PROPERTY LINES AS SHOWN. GKADING 1. Existing GRADES DO ALSO SEE SURVEY H. EL BOX (RIM) Z FINISH GRADES DO. 01 81.1 RIM S M.H. RECEIVED MAY 27 1963 May 27, 1963 GEPT. OF BLYG. INSP. CITY OF PERFLEXS to locations and #80.5 +80.3 of dimenon grenning, POLC 897 M.H TO CONERESS ST. -Z-(12" CEM. PIPE Pinto 304 T CLOSES TO EW & Miores Tor Stand C: Commiss Serves. GERDY CHANGES DESCRIPTION MARK DATE MADE CH H REVISIONS COMPANY SHELL BOSTON, MASS. **APPROVALS** PROPOSED PLOT PLAN OF SERVICE STATION TO BE CONSTRUCTED SALES MGR. OPER. MGB - Mic/ AT WASHINGTON & CUMBERLAND AVES. R. E. MGR. DATE : - 15-63 BCALE . / " = /9 -0" RET. MGR. ID- 3946-2 DRAWN. H. H. EGERDEN DIST. MGR. CHECKED C 68 1 15 M









MAG. 1963 88.2 REMAINS STONE RETAINING NEW BOARD FENCE 86.9 (1) -0' (1) 33' 84.7 81.5 81.4 j ` BLOCK BUDGE
TO BE KENOVED
BY OTHERS 2 1/2 STORY FRAME DWELLING 79.7 79.9 90.00 16' SWEEP PL 77.9 78.1 ENTRANCE 12"GAS MAINT -3/4 COP WASHINGTON 18" BRICK CIRCLE SEWERY

Z/z Singl Funda Descuins 197 12" GAL MAINY Washing roll IN BRICK CIRFLE GRARES 12" VINIER MAILY



APPLICATION FOR PERMIT

MAY 6 1553 CITY of PUETLAND

Class of Building or Type of Structure Second Class February 12, 1963 Portland, Maine, ___ To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: _ Within Fire Limits? _ Location 21 Washington ave. Owner's name and address Shell Cil Company, 5 Central Ave. South Portland Telephone Lessee's name and address ... Contractor's name and address retable Junean Construction Co., Inc. 25 Tapley 3t Specifications , rass Plans yes No. of sheets 19.14 ___ No. families . Proposed use of building ___ __ No. families __ Last use _ _Style of roof _ Material_____No. stories___ Other buildings on same lot Estimated cost \$ 22,-000. Pd. 4/29/63 General Description of New Work To construct 1-story masonry service station 5c' x 30' appeal to succeined the applicant will for high complete information, Permit Issued with Letter It is understood that this permit does not incited installation of heating apparatus which is to be taken out separately by and in It is understood that this permit does not that the trislandston of meaning opening of the heating contractor. PERMIL TO BE ISSUED TO Owner Capital Proc. Eco. 1117 (Proteined Portland, Maine Details of New Work Is any plumbing involved in this work? ______ Is any electrical work involved in this work? ______ Is connection to be made to public sewer? ______ If not, what is proposed for sewage? ______ Has septic tank notice been sent? Form notice sent? Height average grade to top of plate ______ Height average grade to highest point of roof_ ____ depth _____No. stories _____ solid or filled land?_____ _____ Thickness, top _____ bottom____ Material of foundation ___Rise per foot _____ Roof covering ___ Kind of roof No. of chimneys _____ Material of chimneys ____ of lining ____ Kind of heat ____ fuel ___ ___ Dressed or full size?_____ Corner posts _____ Sills ____ Framing Lumber-Kind ____ Size Girder _____ Columns under girders ____ Size ____ Max. on centers __ Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor_____, 2nd_____, 3rd _____, roof ____ Joists and rafters: On centers: ___, 2nd_____ _ 1st floor____ Maximum span: If one story building with masonry walls, thickness of walls? If a Garage No. cars now accommodated on same lot......., to be accommodated......number commercial cars to be accommoda-Will automobile repairing be dore other than minor repairs to cars habitually stored in the proposed building?..... Miscellaneous APFROVED: y. E. M. w letter Will work require disturbing of any tree on a public street Will there be in charge of the above work a person co see that the State and City requirements pertaining observed? yes Shell Oil Company

INSPECTION COPY Signature of owner

Permit No. 1		Sind was the state of the state	The second secon
NOTES	215/63 - Mooh perperson	Allie	Wind .

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MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

April 30, 1963

Location: 21-35 hashingto Ave.

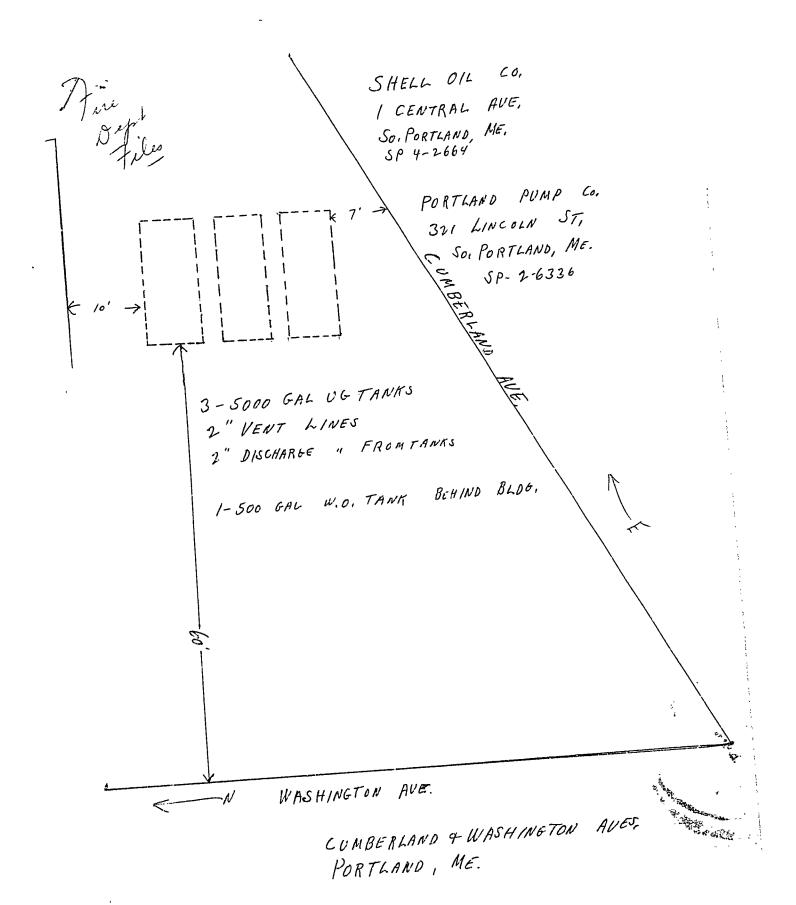
Before tank and piping is covered from view, installer is required to tify the fire icit. Headquarters of readiness for inspection and notify the fire icht. Head warters to refrain from covering up until approved by the Fire Dept. Headquarters

This tank oil)-5000 capacity is required to be of steel or wrought iron no less in thickrass than # gauge; and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corresive soil such as cinders or the like.

Fipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks,

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.





B2 BUSINESS ZONE PERMIT ISSUED 00454
MAY 6 1933

AP	PLICATION		12.4	MAT
Class of Building	or Type of Structure	Installation-		ity of Portiano
	Portland, Maine,	April 29, 19	<u> </u>	
o the INSPECTOR OF EUIL		NE		
The undersigned hereby ap accordance with the Laws of the	plies for a permit to erect e State of Maine, the Bu	alter repair demousn i ilding Code and Zonii	•	building structure equipment City of Portland, plans and
becifications, if any, submitted he	rewith and the journains	*****	Tim I imital	Dist. No.
ocation 21-35 Washingto	Shell Cil Company.	1 Central Ave.	South Portlan	d Telephone
wner's name and address		1.1		Telephone
wner's name and address essee's name and address contractor's name and address	Portland Pump C	ompany, 321 Lin	coln St.So.Po	rtland 2-0350 Telephone 2-0350
Contractor's name and address	<u>,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,</u>	Specifications	Plans Ves	No. of sheets 1
Architect	Sonrice Stat	opęcou	***************************************	No. families
Proposed use of building		,	********************************	No. families
Proposed use of building	Heat	Style of roof	***************************************	Roofing
Material No. storie Other buildings on same lot	es			
Other buildings on same lot	~	- ;		Fee \$ 2.00
Estimated cost \$	General Desc	ription of New	Work	
* * * * * * * * * * * * * * * * * * *	General Des			
	outside	•		*
To install (3)-5000	harman Land	gasoline stor	age tanks.	
" (1)-500 g	gallon underground allon wate oil sto	rage tank outsi	ae undergroun	.u.
	water			em.
2" vent Lines.	om tank to pump.			
2" and 1½" piping fr Tanks bear Underwrit	ers Label.			
Tanks bear bluctwird Tanks to be buried 3	underground and	covered with as	spnarrum.	See to Fire Dept 4-29-63
				tel to Fire Dept.
It is understood that this permit the name of the heating contract	or. PARMIT 10 Ba	ils of New Work	ratus which is to be ontractor	in this work?
the name of the heating contract	Detail this work?	ils of New Work	ratus which is to be ontractor cal work involved	in this work?
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Permit No. 63/4546 Location 2/-35 Vashington Alexander Owner Shell Oil Company Date of permit 5/6/63 Notif. closing-in Inspn. closing-in Final Notif. Final Inspn. Cert. of Occupancy issued Staking Out Notice Form Check Notice.	Tollier Children and Children and the solution of leasted with well curtying partitional faller of forces. John Miller with the faller of the solution of the
3/4/63-Morham	the contract the conference of

CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

whell Oil Company 5 Central Ave. South Portland Maine April 12, 1963

Gentlemen:

(concrete block garage) With relation to permit applied for to demolish a building or ion of building at #32.35 Washington A portion of building at #33-35 Washington Ave. it is unlawful to commence demolition work until a permit has beer issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the domolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

AJS/H

Inspector of Buildings

Eradication of this building has been completed.

1 1 1 1 Leve 1 1

B2 BUSINESS ZONE



APPLICATION FOR PERMIT

2nd class April 12, 1963

ATIS PO	Portland, Maine,	
o the INSPECTOR OF BUILDI	NGS, PORTLAND, MAINE es for a permit to erect alter repair demolish instal tate of Maine, the Building Code and Zoning Or with and the following specifications: Ave. Within Fir hell Oil Company, 5 Central Ave. Sc	If the following building structure equipment
n accordance with the Laws of the becifications, if any, submitted herew	with and the following specifications: Within Fir	re Limits? Dist. No
ocation 33-35 Washington	Ave.	.Portland Telephone
Owner's name and address	Rell UII Compary 3	Telephone
Lessee's name and address	David Dascanio, 29 St.George St. Specifications	Telephone
Contractor's name and address	David Dascanio, 29 St. George St. Specifications	Plans noNo. of sheets
Architect	Specifications	No. families
Material conc. blk. No. stories	1HeatStyle of roof	Fee \$ 5.00
Other buildings on same lot	10 7+100 +110 3-104-104-104-104-104-104-104-104-10	ree \$
Estimated cost \$	General Description of New Wo	ork
•		
· · · ·	-	
To demolish existing	building (concrete block garage) 4	0' x 40'
Do. you agree to tight with public or privat under the supervision City of Portland? Yes	tly and permanently close all sewe e sewers from this building or str and to the approval of the Dept.	of Public Works of the
/ 2,	service station and parking area. A description of lealing apparated the state of	lus which is to be taken out separately by and in ractor
the name of the heating contracto	ver t.	to this work?
	The Company of the Co	. 1. !alread in this Work!

Is any plumbing involved in this work? ______Is any electrical work involved in this Is connection to be made to public sewer? _____ If not, what 1s proposed for sewage? ____ Form notice sent? Has septic tank notice been sent? Height average grade to top of plate Height average grade to highest point of roof.... Size, front______depth _____No. stories ____solid or filled land?____earth or rock? ____ _____ Thickness, top _____ bottom_____ cellar Material of foundation Kind of roof No. of chimneys Material of chimneys of lining of liningKind of heat _____ Dressed or full size?_____ Corner posts _____ Sills ... Size Max. on centers . Framing Lumber-Kind..... Size Girder _____ Columns under girders ____ Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. ____, 2nd_____ 1st floor..... Joists and rafters: 1st floor..... On centers: ., 2nd..... 1st floor..... ...height? . Maximum span: If one story building with masonry walls, thickness of walls?.....

No. cars now accommodated on same lot......, to be accommodated.....number commercial cars to be accommodated..... Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?......

APPROVED: 4/16/63-00

Will work require disturbing of any tree on a public street?.....no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?yes.....

David Dascanio

INSPECTION COPY

Signature of owner

by: Mrs

Permit No. 63/366

Location: 33-35 Washing brest forestic weigned and company partitions (1997) TOTAL CALL CALLES Date of permit Notif. closing-in Inspn. closing-in . 123331 L * Final Notif. عدودة فيه Final Inspn. Cert. of Occupancy issued Staking Out Notice Form Check Notice ES ME ROBETTO ST SEEK TO. NOTES 6 2593 6 19VO 00 12 , ; } **

CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

April 2, 1963

bavio Dascanio 35 St.George St. Portland Maine

Dear Sir:

With relation to permit applied for to demolish a building or portion of building at #25-27 Washington Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demalish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/H

Eradication of this building has been completed.

RECEIVED

APR 1 10KE

DEPT. OF SITE AND

B2 BUSINESS ZONE



APPLICATION FOR PERMIT

Third Class Class of Building or Type of Structure April 2, 1963 Portland, Maine, To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Location 25-27 Washington Ave. Within Fire Limits? Dist. No... Owner's name and address David Dascanio, 35 St.George St. Telephone... Lessee's name and address Telephone Contractor's name and addressTelephone.... Architect Specifications..... ... Plansno....No. of sheets . Proposed use of building Apartment House (duplex house) Last use No. families Material frame No. stories Heat Other buildings on same lot Fee \$ 5.00 Estimated cost \$____ General Description of New Work To demolish existing 2-story (duplex) apartment house. Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes. Land to be used for service station and parking area. Epoduation letter sent - 4-2-63 It is understood that this permit does not include instellation of heating apparatus which is to be taken out separately by and in

the name of the heating contractor. PERMIT TO BE ISSUED TO Has septic tank notice been sent? _____Form notice sent? ____ Size, front_____earth or rock?____earth or rock?____ Thickness, top ______ bottom____ cellar ____ Material of foundation Kind of roof ______Rise per foot ______Roof covering ______ No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel ____ Framing Lumber-Kind Dressed or full size? Corner posts Sills Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____ Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor....., 2nd...., 3rd..., roof -- On centers: 1st_floor,_____, 2nd_____, If one story building with masonry walls, thickness of walls?_____ If a Garage

No. cars now accommodated on same lot......, to be accommodated.....number commercial cars to be accommodated..... Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? Miscellaneous

Will work require disturbing of any tree on a public street? Will there be in charge of the above work a person competent to see that the State and City requirements partaining thereto are observed? yes

David Dascanio

Signature of owner

4/30 का महास्त्र का किछ अधिक समित्र समित्र Date of permit Notif. closing-in Inspn. closing-in C.4., 11 Final Notif. Final Inspn. Cert. of Occupancy issued Staking Out Notice Form Check Notice

CITY OF FORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

April 2, 1963

David Dascanio 35 St.George St. Portland Maine

Dear Sir:

With relation to permit applied for to demolish a building or portion of building at #21-23 Washington Ave. it is unlawful to commence demolition work until a permit has been issued from thus department.

Section 6 of the ordinance for rodent and vermin concrol provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demalition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Secre

AJS/H

Inspector of Buildings

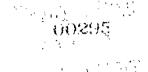
Eradication of this building has been completed.

B2 BUSINESS ZONE



APPLICATION FOR PERMIT

Class of milding or Type of Structure 2nd and Excelses



CETATIS POE	Portland, Maine,	April 2, 1903	
To the INSPECTOR OF BUIL	DINGS, PORTLAND, MAIN	NE	
The undersigned hereby of in accordance with the Laws of the	pplies for a permit to erect a se State of Maine, the Buil erewith and the following s	ılter repair demolish install t ding Code and Zoning Ordi pecifications:	ne following building structure equipment nance of the City of Portland, plans and
On Ok Weekingto	on Ave.	Within Fire I	Limits? Dist. No
o l and addross	Esvid Lascanio, 35.	St.Geor e St.	relepnone
Swife a name and address			Telephone
Contractor's notice and address	Lavid xekenylascanio, 3	5 St. George St.	Telephone
Contractor's in the and address	S	pecifications P	lans no No. of sheets
			INO. IZIIIIIES
Proposed use of building	Laundramat .	Ďwelling	No. íamilies
Last usebrick No stori	es 1-2 Heat	Style of roof	Roofi 1g
Material	CO M. W		······································
Estimated cost \$			Fee \$ 5.00
Estimated cost	General Descr	ription of New Work	
	General 2000		
Do you agree to ti	intly and permanent vate sewers from the ion and to the appr	ly close all sewers	endramat and dwelling) (attached) or drains conrecting course to be desolished, Public Works of the
Land to be used fo	r service station a	nd parking area.	
A 44 A			/ h
It is understood that this permitthe name of the heating contract	it does not include installat	ion of neating apparatus will institute to owner	vich is to be taken out separately by and in
	Details	s of New Work	
Is any plumbing involved in t	this work?	Is any electrical worl	k involved in this work?
v	mblic sewer?	If not, what is pro-	osed for activage, manner
TT	-ent?	Form notice sent?	
TT 1.1.1 amade to top	of plate	Height average grade to	highest point of roof
at took donth	No stories	solid or filled land r	earth of rocki
ne tal at foundation	Thick	cness, top botton	1 celiar
Trivial of most	Rise per foot	Roof covering	······································
Maria California	Material of chimneys	of lining	Kind of heat ruci
Framing Lumber-Kind	Dressed or full	size? Corner	posts cills
Size Girder	Columns under girders	Size	Prax. on centers
Stude (outside walls and car	rving partitions) 2x4-16"	O. C. Bridging in every fl	oor and flat roof span over 8 feet.
Joists and rafters:	1et floor	. 2nd 3r	d, 1001
On centers:	1st floor	, 2nd, 3r	d, roof
Manimum anant	1st floor	. 2nd, 3r	d, root
Waximum span.	asonry walls, thickness of	f walls?	height?
if one story building with it			•
		If a Garage	and to be accommodated
No. cars now accommodated	l on same lot to be a	ccommodatednumber	commercial cars to be accommodated
Will automobile repairing b	e done other than minor r	epairs to cars habitually st	ored in the proposed building?
	0		Miscellaneous
PROVED:	a Out	Will work require disturbi	ing of any tree on a public street?
OK-44163-C	77	Will there be in charge	of the above work a person competent t_{υ}
	V	see that the State and	City requirements pertaining thereto are
		observed? .735	
		Cavir. Dascanio	
			C. (
CS 301	ber.	Home	Careasia
INSPECTION COPY S	ignature of ownerby:		A A.



	√AP	PLICATION	B2 BUSINESS ZONE FOR PERMIT	PERMIT ISSUED OO295
	Class of Building	g or Type of Structure	2nd and 3xXXXIIXX a April 2, 1963	
ATIS				
The unde	ersigned hereby ap ith the Laws of th	e State of Maine, the Bu	alter repair demolish install the following ilding Code and Zoning Ordinance of the specifications:	e City of 1 of Marian France and
			Within Time Limited	Dist. No
1	T	lardd Dagcardo, 35	St. George St.	Telephone
Lessee's name	and address	David	35 St. Georga St.	Telephone
Contractor's na	ame and address	xekeryDascanlo,	Spinish Plans no	No. of sheets
			Specifications Plans no	
Proposed use o	of building	Laundramat &	2 Dwelling	No. families
ar hun	iola No storie	s 1-2 Heat	Style of roof	Roonng
Material91.#	e on same lot			alberrerspresser (secretalises of the being factor energy secret secret from
Uther Dunding	t \$		-	Fee \$ 5.00
Esumated cos	L Pairembouring	General Desc	cription of New Work	
To demo	olish existin	g 1 and $1\frac{1}{2}$ -story	building(formerly laundramat (att	and dwelling)
with p		rate sewers from to on and to the app	tly close all sewers or drai his building or structure to roval of the Dept of Public	be demotished,
	50	service station	and parling area. 23 Leach 4-5-63 ation of heating apparatus which is to be	taken out separately by and in
the name of th	e heating contracto	r. PERMIT TO LE	is of New Work	
Is any alumb	sing involved in t	ain words?	Is any electrical work involved	in this work?
		lalia annuari	it hot, what is proposed for se	mage:
Has septic ta	ink notice been s	ent?	Form notice sent?	int of roof
Height avera	age grade to top	of plate	Height average grade to highest po	earth or rock?
Size, front	depth .	No. stories	solid or filled land?solid or filled land.	cellar
Material of f	oundation	The second second	Roof covering	
Kind of roof	, ************************************	Rise per 100t	of lining	f heat fuel
No. of chimi	neys	Material of childrens Dressed or full	1 size? Corner posts	Sills
Framing Lui	IIIDei-Kiiid	Columns under girders	Size	Max. on centers
Size Giruci	de walls and car	ving partitions) 2x4-16	"O. C. Bridging in every floor and flo	it roof span over 8 feet.
	and rafters:	1st floor	, 2nd, 3rd	
On cen		1st floor	, 2nd, 3rd	, roof
Marin	um coan:	1st floor	, 2nd, 3rd	, roof
If one story	building with m	asonry walls, thickness	of walls?	height?
II OHE Story	<u></u>		If a Garage	
No. cars no	w accommodated	on same lot, to be	accommodatednumber commercia	al cars to be accommodated
Will autom	õbile repairing be	done other than minor	repairs to cars habitually stored in the	proposed series
PROVED:		- 0	Miscellar	710
(A) J-1	41412-0	(D)	Will work require disturbing of any	tree on a public street
		7	Will there be in charge of the abo	re work a person competent to
***************************************	***************************************		see that the State and City requi	nements pertaining elected are
	**************************************	***************************************	observed? Yes	
***************************************			David Dascanio	
C5 301			. Garil Oute	- 1 m / / / /
INSPECTIO	ON COPY S	gnature of owner by	i TATAL	~ W.

2/28					
Permit No. 63/5-5					
Location 21-23 Washingto aux					
Owner Down Danamia				-	
Date of permit 4/4/63	,				3 9 3
Notif. c'osing-in					7 72
Inspn. closing-in					
Final Notif.					
Final Inspn.					1,51
Cert. of Occupancy issued					16 17 18 18 18 18 18 18 18 18 18 18 18 18 18
Staking Out Notice					
Form Check Notice		.			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	1 1 1 1 1				
			1 1		
Town of the second of the seco					3 3
The same					
Driver Sil					
NOTES WALLEY SERVER MANUTAN SERVER LESS MANUTAN					

AP - 21-35 Washington Ave.

July 15, 1963

Resnick Oil Co., 206 Congress Street cc to: Shell Cil Co. 1 Contral Avenue So.Portland, Haine

Gentlemen:

AJS/h

Issuance of pormit for installation of heating equipment in service station under construction at above moded location is being withheld pending uncovering of underground fuel storage tank so that required inspection can be made. This tank was evidently installed and insavertently covered before application for penuit was applied for. An inspector from this department reports that he has been unsuccessful in getting this tank uncovered in spite of a number of presides that it would be done. May we not have the cooperation of all concerned toward this end without further action by this department becoming necessary?

Very truly yours,

Albert J. Scars Director of Building Inspection



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT Portland, Maine, June 18, 1963

PERMIT ISSUE!
OOS45

TITY of PORTLARIN

To the second of	the first transfer of the control of
To the INSPECTOR OF BUILDINGS, PORTLAND, ME.	
The undersigned hereby applies for a permit to in ance with the Laws of Maine, the Building Code of the C	istall the following heating, cooking or power equipment in accordity of Portland, and the following specifications:
Location 21-35 Washington Ave. Use of Buil	Iding Service Station No. Stories 1 New Building Existing:
Shell Oil	Company, 1 Central Ave. Do. Portland
Installer's name and address	1 elephone
General De	escription of Work
To install Forced hot air heating system ar	nd oil burning equip ent [Fodel 35 0 0]
IF HEATER,	OR POWER BOILER
Suspended from Any humah	ole material in floor surface or beneath?none
	Kind of fuel in many many many many many many
Minimum distance to burnable material, from top of app	liance or casing top of furnace12"_non-combustible materi
From top of smoke pipe From front of app	plianceover 4.1 From sides or back of appliances wer. 31
Size of chimney flue 10" Vitrali Othepromections	Rated maximum demand per hour
Size of chimney flue .10!	ure proper and safe combustion? Yes
	3-37
IF C	OIL BURNER
Name and type of burneAfco-suspended.unit	Labelled by underwriters' laboratories? Yes
Will operator be always in attendance? Does	s oil supply line teed from top or bottom of tank? bottom
Will operator be always in attendancer	Number and conscitu of tanks 500 gal. construction on
Location of oil storageoutside underground	Size of vent pipe 14" 500 gal. Togation on Number and capacity of tanks 00 gal. construction plans
Low water shut off	yes . How many tanks enclosed?
Will all tanks be more than five feet from any flame?	yes. How many tanks enclosed:
Total capacity of any existing storage tanks for furnace	burners
	KING APPLIANCE
Location of appliance	Any burnable material in floor surface or beneath?
Tf so how protected?	Height of Legs, if any
Skirting at bottom of appliance? Distance	e to combustible material from top of appliance
From front of appliance From sides a	and back From top of smokepipe
Size of chimney flue Other connection	s to same flue
Is head to be provided? If so, h	ow vented? Forced or gravity?
If gas fired, how vented?	Rated maximum demand per hour
	PMENT OR SPECIAL INFORMATION
	· management in the contract of the contract o
Afco unit heater-American Furnace Co Tank to be buried 3' below grade-Und	Dany. Label. coated with asphaltum.
Company of the compan	
	and the state of t
Amount of fee enclosed? 2.00 (\$2.00 for one he building at same time.)	eater, etc., \$1.00 additional for each additional heater, etc., in same
3 47 (42.4.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1	
PPROVED:	Will there be in charge of the above work a person competent to
018 8 18 4/12/63	see that the State and City requirements pertaining thereto are
	· · · · · · · · · · · · · · · · · · ·
	observed?Yes
	kesnick Oil Company
cs 300 Signature of Insta.	maby: M. Mucuroma
Signature of Insta	
The results of the second of t	TANK
and the state of t	11 July 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1

Permit No. 63/845 Location 2/-35 Washington and Owner Shell O'cl Company Date of permit 7/22/63		
Approved		
Vent Pipe		
Burner Registra Supportation State Court 1 6 State Court 1 7 High Lin 1 (2018)		
8 Rem to Cutto	is off	
18 Instruction Card	ful Jan 18	
16 Low Ward Spu off.	2000	
	CAN SANTON TO THE S	



B2 BUSINESS ZONE APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, September 4, 1963

PERMI	1/03
SEP	9 1963
CITY of	PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

LocationLocation ave.	ving specifications:	Dist. No
Location 21 Washington Ave. Shall Oil Com Owner's name and address	pany, 5 Central Ave.So.Portlan	d Telephone
Lessee's name and address		Telephone
Contractor's name and addressowners		Telephone
Architect	Specifications Plans	No of steels an
Proposed use of building	Sta	No. families
Last use		No. families
Material No. stories Heat		<i>V</i>
Other buildings on same lot		-
Estimated cost \$	***************************************	Fee \$ 2.00
	escription of New Work	- vo ymaninin amananaman
To erect (1) rotating sign 6' x 6'-	steady lighting, as per plana	
	kwoenl onst	nined 2/28/6-3
It is understood that this permit does not include insta		taken out separately by and in
the name of the heating contractor. PERMIT TO E	BE ISSUED TO owners	
Det	tails of New Work	
Is any plumbing involved in this work?		
Is connection to be made to public sewer?	If not, what is proposed for sev	vage?
	Form notice sent?	
Height average grade to top of plate	Form notice sent? Height average grade to highest po	int of roof
Height average grade to top of plate	Form notice sent? Height average grade to highest po	int of roof
Height average grade to top of plateNo. stories Material of foundation	Form notice sent?	int of roofearth or rock?ellar
Height average grade to top of plateNo. stories Material of foundation	Form notice sent?	int of roofearth or rock?ellar
Height average grade to top of plate	Form notice sent?Form notice sent?	int of roofearth or rock?ealar
Height average grade to top of plate	Form notice sent? Height average grade to highest possible services, solid or filled land? Roof covering of lining Corner posts	ellarheatfuel
Height average grade to top of plate	Form notice sent? Height average grade to highest possible services, solid or filled land? Roof covering of lining Corner posts	ellarheatfuel
Height average grade to top of plate Material of foundation No. stories Material of foundation Rise per foot No. of chimneys Material of chimney Framing Lumber—Kind Dressed or fu Size Girder Columns under girder	Form notice sent? ———————————————————————————————————	ellarheatfuelsills
Height average grade to top of plate Material of foundation No. stories Material of foundation Rise per foot No. of chimneys Dressed or fusive Girder No. of chimneys Columns under girder Stze Girder Columns partitions 2x4-1	Form notice sent? ———————————————————————————————————	heat fuel sax. on centers roof span over 8 feet.
Height average grade to top of plate	Form notice sent? Height average grade to highest points and of series are solid or filled land? Roof covering Solid or filled land? Roof covering Kind of solid size? Corner posts Size M 6" O. C. Bridging in every floor and flat	heat fuel ax. on centers roof span over 8 feet, roof
Height average grade to top of plateNo. stories Size, front depthNo. stories Material of foundation Ti Kind of roof Rise per foot No. of chimneys Material of chimney Framing Lumber—Kind Dressed or fu Size Girder Columns under girde: Studs (outside walls and carrying partitions) 2x4-1 Joists and rafters: 1st floor On centers: 1st floor	Form notice sent? Height average grade to highest poor series and for filled land? Roof covering Kind of all size? Size M 6" O. C. Bridging in every floor and flat	heat fuel Sills roof span over 8 feet, roof, roof, roof,
Height average grade to top of plateNo. stories Size, front depthNo. stories Material of foundation Ti Kind of roof Rise per foot No. of chimneys Material of chimney Framing Lumber—Kind Dressed or fu Size Girder Columns under girde: Studs (outside walls and carrying partitions) 2x4-1 Joists and rafters: 1st floor On centers: 1st floor	Form notice sent? Height average grade to highest points and solid or filled land? Roof covering Kind of all size? Size M 6" O. C. Bridging in every floor and flat points and size contained and size	heat fuel Sills ax. on centers roof span over 8 feet. roof , roof
Height average grade to top of plateNo. stories Size, front depthNo. stories Material of foundation Ti Kind of roof Rise per foot No. of chimneys Material of chimney Framing Lumber—Kind Dressed or fu Size Girder Columns under girde: Studs (outside walls and carrying partitions) 2x4-1 Joists and rafters: 1st floor On centers: 1st floor Maximum span: 1st floor	Form notice sent? Height average grade to highest pools seld or filled land? Roof covering of lining Size Size M 6" O. C. Bridging in every floor and flat 2nd 2nd 3rd 2nd 3rd 3rd 3rd 3rd 5 of walls?	heat fuel Sills ax. on centers roof span over 8 feet. roof , roof
Height average grade to top of plateNo. stories Material of foundation Rise per foot No. of chimneys Material of chimney Framing Lumber—Kind Dressed or fu Size Girder Columns under girde: Studs (outside walls and carrying partitions) 2x4-1 Joists and rafters: 1st floor On centers: 1st floor Maximum span: 1st floor If one story building with masonry walls, thickness	Form notice sent? Height average grade to highest points and solid or filled land? Roof covering Roof covering Kind of all size? Corner posts Size M 6" O. C. Bridging in every floor and flat 2nd 3rd 3rd 3rd 3rd 4 Garage	heat fuel sills ax. on centers roof span over 8 feet. roof , roof , roof height?
Height average grade to top of plate	Form notice sent? ———————————————————————————————————	int of roof earth or rock? ellar heatfuel Sills ax. on centers roof span over 8 feet. , roof, roof, roof, roof, roof, roof, roof, roof, roof
Height average grade to top of plate	Form notice sent? Height average grade to highest pools solid or filled land? Roof covering Solid or filled land? Roof covering Kind of all size? Corner posts Size M 6" O. C. Bridging in every floor and flat 2nd 3rd 2nd 3rd 3rd 3rd 5 of walls? If a Garage e accommodated number commercial or repairs to cars habitually stored in the pools	int of roof earth or rock? ellar heat fuel Sills ax. on centers roof span over 8 feet. , roof height? cars to be accommodated proposed building?
Height average grade to top of plate	Form notice sent? Height average grade to highest poles solid or filled land? Roof covering Solid or filled land? Roof covering Kind of all size? Corner posts Size M 6" O. C. Bridging in every floor and flat 2nd 3rd 3rd 3rd 3rd 4 Garage accommodated number commercial repairs to cars habitually stored in the poles.	int of roof earth or rock? ellar heatfuelSills ax. on centersroof span over 8 feet, roof, roof, roof, roof, roof, roof, roof, roof
Height average grade to top of plate	Form notice sent? ———————————————————————————————————	int of roof earth or rock? ellar heatfuel Sills ax. on centers roof span over 8 feet. , roof, roof height? cars to be accommodated proposed building? cous ee on a public street? no
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Permit No. 63/1104 Location 21 Washington and Owner Shell Oil Congrey				-				10970	
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Sustained Conditionally 63/19 3/28/63

DATE: February 28, 1963

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF Shell Oil Company (option owner) AT 21-35 Washington Avenue

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS	VOTE			
Franklin G. Hinckley RMINMXLYXYMMN Frederick B. Nelson Harry M. Shwartz	YES (x) (x) (x)	NO () ()		

Record of Hearing

No opposition.

Provided the the revolving pole sign shall not exceed 20 feet in beight and the face of the sign shall not be larger than 6 feet square.

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CITY OF PORTLAND, MAINE IN THE BOARD OF APPEALS

VARIANCE APPEAL

February 28, 1963

under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a variance from the provisions £ said Ordinance to permit:
construction of a one story masonry service station building 30 feet by 58 feet at this location.
Construction of a one story masonry service station building 30 feet by 58 feet at this location.
This permit is presently not issuable under the Zoning Ordinance because 1) the rear wall is to
the a minimum of 10 feet and the overhang of roof a minimum of 7½ feet from the rear lot line
instead of the 20 feet and 18 feet respectively required by Section 9-C-b-1 of the Ordinance
because the rear line of this property, located in a B-2 Business Zone, abuts an R-6 Residential
because the rear line of this property, located in a B-2 Business Zone, abuts an R-6 Residential
Zone; 2) a revolving pole sign to be located near the street corner is to be about 27 feet
Zone; 2) a revolving pole sign to be located near the street corner is to be about 27 feet
its revolution face the adjoining residential zone at the rear contrary to the provisions of the
its revolution face the adjoining residential zone at the rear contrary to the provisions of the
clearance area required by Section 19-M; 4) the entrance doors to the two toilet rooms are to
clearance area required by Section 19-M; 4) the entrance doors to the two toilet rooms are to
Ordinance.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance. Shell Oil Company

DECISION

After public hearing held February 28, 1963, the Board of Appeals finds that all of the above conditions do exist with respect to this property and that a variance should be granted in this case, provided that the revolving pole sign shall not exceed 20 feet in height and the face of the sign shall not be larger than 6 feet square.

It is, therefore, determined that a variance from the provisions of the Zoning Ordinance

should be granted in this case, provided that the revolving pole sign shall not 20 feet in height and the face of the sign shall not be larger than 6 feet square.

ROARD OF APPEALS

PORTLAND ZONING BOARD OF APPEALS

Gentlemen:

As an immediate abuttor to the land at the corner of Washington and Cumberland Avenues, for which the Shell Oil Company is seeking a variance in the set-back requirements, the placing of an 8-foot rotating sign on the acorner, and the restroom locations, I wish to state that I have no objections to these items.

Name Name Plan (Solo Moders)

February. 26 4 1963 -

ALBERT J. SEARS

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CITY OF PORTLAND, MAINE

Department of Building Inspection

AP-21-35 Washington Ave., corner of Cumberland Ave.

Feb. 13, 1963

Shell Oil Company Att:Mr. H. H. Roerden 5 Central Avenue South Fortland, Knime Vcc to: Corporation Counsel

Gentlemen:

Building permit for construction of a one story masonry service station building 30 feet by 58 feet at the above named location is not issuable under the Zoning Ordinace for the following reasons:

- 1. The rear wall is to be a winimum of 10 feet and the overhang of roof a minimum of 7% feet from the rear lot line instead of the 20 feet and 18 feet respectively required by Sec.9-C-b-1 of the Ordinance because the rear line of this property located in a b-2 husiness Zone, abuts an H-6 Hendential lone.
- 2. A revolving pole sign to be located near the street corner is to be about 27 feet high, thus exceeding the maximum height of 20 feet set by section 16-A-5a; and will also during its revolution face the adjoining residential zone at the r tr contrary to the provisions of the same section.
- 3. The revolving pole sign is to encroach unlawfully upon the 25-foot corner clearance area required by Section 19-M.
- 4. The entrance doors to the two tollet rooms are to face Cumberland Avenue, the side street, contrary to the provisions of Section 18-D of the Ordinance.

the inderstand that you would like the exercise your appeal rights constraint these discrepancies. Accordingly we are certifying the case—the Corporation Counsel, to whose office in Room 208, City Mall, an authorized representative should go to file the appeal.

Very truly yours,

Albert J. Scars Building Inspection Director

AJSIM