

**NOTE:**

ELEVATION AT TOP OF LB-3 TO BE 113' 6 1/2"

ADDITIONAL MATERIALS REQUIRED FOR STAIRS: (C)

DECK - SEE SCHEDULE SHEET "D-6922"

(7) 1 REQUIRED

(8) 1 REQUIRED (OPTIONAL)

STEEL - SEE SCHEDULE SHEET "D-6923"

(4) 1 REQUIRED (OPTIONAL)

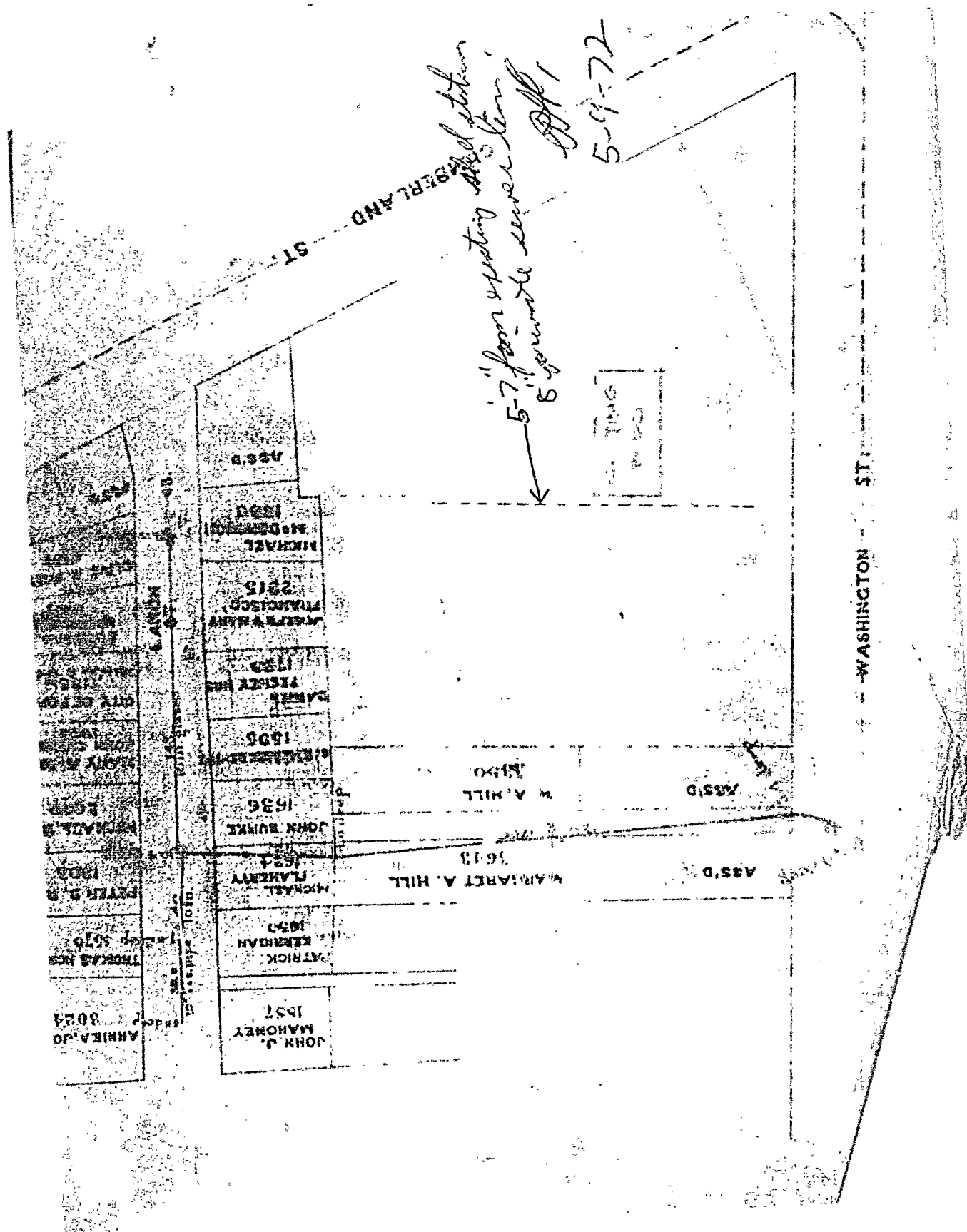
ELECTRICAL - SEE SCHEDULE SHEET "D-69232"

(3) 1 REQUIRED

(A) 1 REQUIRED - SUBMITTANCE FOR (B) ON FRONT

ROOF TRUSSES - DOUBLES FIN

ROOF DRAINAGE - DOUBLES FIN





B2  
B2 RESIDENCE ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, March 24, 1972

PERMIT ISSUED

MAR 30 1972

0324

BY CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 27 Washington Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Shell Oil Co., 55 Williams St., Wellesley, Mass. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address J.C. Metivier, & Co, P.O. Box 373, Kittery, Me Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets 2  
Proposed use of building Service Station No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_ Fee \$ 15.00  
Estimated cost \$ 5,000.

General Description of New Work

To construct 12' x 20' storeroom addition as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Shell Oil

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes  
Is connection to be made to public sewer? no If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Shell Oil Co.

APPROVED:

O.K. E.B. 3/29/72

CS 391

INSPECTION COPY

Signature of owner By: H. Metivier

NOTES

5-9-72 Work started  
sewer under the  
new section, this  
sewer is private  
6" with no lateral  
with the oil company  
the building will be  
this line with  
5-9-72 Note on  
plus private survey  
indicated by dotted line

5-19-72 3/4" 4' 0" 12' 0" 12' 0"

6-6-72 work about  
completed

6-7-72 same

6-30-72 same

8-21-72 same

9-25-72 same

10-1-72 same

324

Washington Ave  
Shell Oil Co

of permit 3/30/72

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Sealing and Notice SAM

Form Check Notice 5-11-72

X

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

April, 1972

Location: #27 Washington Ave.

Before tanks and piping are covered from view, installer is required to notify the **Fire Dept. Headquarters** of readiness for inspection and to refrain from covering up until approved by the **Fire Dept. Headquarters** (1)

These tanks of 5000 gallons capacity are required to be of steel or wrought iron no less in thickness than # 1/4 gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

April, 1970

Location: #27 Washington Ave.

Before tanks and piping are covered from view, installer is required to notify the **Fire Dept. Headquarters** of readiness for inspection and to refrain from covering up until approved by the **Fire Dept. Headquarters**

(1)

These tanks of 5000 gallons capacity are required to be of steel or wrought iron no less in thickness than # 4" gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

SHELL OIL CO  
SERVICE STATION

5000  
5000  
5000

NEW 5000  
7' x 17'5"

4" FILL

2' 1/2"

CUMBERLAND AVE.  
SIDEWALK

JUSTICE ADDITIONAL  
SIDEWALK

2330  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

SIDEWALK

27 WASHINGTON AVE.



# APPLICATION FOR PERMIT

Class of Building or Type of Structure

Installation

Portland, Maine,

April 23, 1970

PERMIT 402  
APR 27 1970  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect or repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 27 Washington Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Shell Oil Company, 5 Central Ave. So. Portland Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Portland Pump Company, 321 Lincoln St. So. Portland Telephone 772-6336  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 2.00

## General Description of New Work

To install (1)-5000 gallon gasoline storage tank, outside underground.  
(new installation).

Tank bears Und. label.

Tank will be buried 3' underground and covered with asphaltum.

Vent pipe-2"

Sent to Fire Dept. 4/23/70  
Rec'd from Fire Dept. 4/27/70

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kin. of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber-Kind \_\_\_\_\_, Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Pump Company

APPROVED:

Dir. C.O. Ridd 4-27-70  
P. W. S. APR 27 1970

CS 301

INSPECTION COPY

Signature of owner

by:

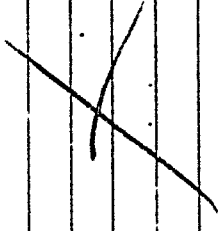
Raymond B. Hubert

7M

Permit No. 70/402  
Location 27 Washington Ave.  
Owner Shell Oil Company  
Date of permit 4/27/70  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

4/29/70 - P.I.F.  
S.S.



(COPY)



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

LOCATION #21 Washington Ave.

Issued to Shell Oil Company

Date of Issue September 5, 1963

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Permitting Permit No. 63/453, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Service Station

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Date issued 9/16/66  
 Portland Plumbing Inspector  
 By ERNOLD R GOODWIN

App. First Insp.  
Date SEP 20 1953  
By

App. Final insp.  
Date SEP 20 196  
By

**Type of Bldg.**

☒ Commercial

☐ Residential

☐ Single

☐ Mult. Family

☐ New Construction

☐ Remodeling

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER 1-31-30

Address- 33 Washington Ave.

Installation For: Service Station

Owner of Bldg: Shell Oil Co.

Owner's Address 3 Central Ave., So. Portland Date: \_\_\_\_\_

Plumber **Martin Caron**

Date: 9/16/66

Owner's Address		Date	9/16/88	
Plumber		NO.	FEE	
NEW	REPL			
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS	FLOOR	SURFACE
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS	1	2.00
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISH WASHERS		
		OTHER		
TOTAL			1	2.00

Building and Inspection Services Dept.: Plumbing Inspection

# PERMIT TO INSTALL PLUMBING

By J. P. Welch  
 PORTLAND PLUMBING  
 INSPECTOR

APPROVED FIRST INSPECTION  
 Date June 10, 1963

By JOSEPH P. WELCH  
 APPROVED FINAL INSPECTION  
 Date Aug 14, 1963

By JOSEPH P. WELCH

- By TYPE OF BUILDING  
☐ COMMERCIAL  
☐ RESIDENTIAL  
☐ SINGLE  
☐ MULTI FAMILY  
☐ NEW CONSTRUCTION  
☐ REMODELING

Address 21 Corner Washington & Cumberland  
 Installation For: Shell Oil Co.  
 Owner of Bldg. Shell Oil Co.  
 Owner's Address: Portland, Maine  
 Plumber: Sam Burokoff

12904  
 PERMIT NUMBER

		PROPOSED INSTALLATIONS		DATE	6-10-63
NEW	REP'L		NUMBER		FEE
1		SINKS	1		\$ 2.00
2		LAVATORIES	2		4.00
2		TOILETS	2		4.00
		BATH TUBS			
		SHOWERS	6		3.60
6		DRAINS			
		HOT WATER TANKS			
		TANKLESS WATER HEATERS			
		GARBAGE GRINDERS			
		SEPTIC TANKS			
		HOUSE SEWERS			
		ROOF LEADERS (Conn. to house drain)			

TOTAL ▶ \$13.60

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

# PERMIT TO INSTALL PLUMBING

12905

Date issued 6-10-63  
PORTLAND PLUMBING INSPECTOR

Address 21 Corner Washington & Cumberland PERMIT NUMBER

Installation For: Shell Oil Co.

Owner of Bldg. Shell Oil Co.

Owner's Address: Portland, Maine

Plumber: Sam Byrokoff

Date: 6-10-63

By J. P. Welch

APPROVED FIRST INSPECTION

Date June 14, 1963

By JOSEPH P. WELCH

APPROVED FINAL INSPECTION

Date June 14, 1963

By JOSEPH P. WELCH

- TYPE OF BUILDING
- ☐ COMMERCIAL
  - ☐ RESIDENTIAL
  - ☐ SINGLE
  - ☐ MULTI FAMILY
  - ☐ NEW CONSTRUCTION
  - ☐ REMODELING

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
1		HOUSE SEWERS	1	\$ 2.00
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL ► \$ 2.00



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, June 27, 1963

PERMIT RECEIVED

JUN 27 1963

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 63/453, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 21 Washington Ave. Within Fire Limits? Dist. No.  
Owner's name and address Shell Oil Company, 5 Central Ave., So. Portland Telephone  
Lessee's name and address Telephone  
Contractor's name and address Duncan Construction Co., Inc. Telephone  
25 Tapley St., Springfield, Mass. Plans filed No. of sheets  
Architect Service Station No. families  
Proposed use of building No. families  
Last use Additional fee .50  
Increased cost of work

## Description of Proposed Work

To change construction of pylon walls to 8 inches of masonry consisting of 4 inches of concrete blocks and 4 inches of brick facing, and to change size of two supporting beams from 4" WF @ 13 lbs. to 8" WF @ 17 lbs.  
steel carrying steel beam to be fireproofed with 4 layers of 1/2" gypsum wallboard cemented over with first layer wired to beam.

## Details of New Work permit to be issued to contractors.

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Material of underpinning Height Thickness  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimneys of lining  
Framing lumber—Kind Dressed or full size?  
Corner posts Sills Girt or ledger board? Size  
Girders Size Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2nd 3rd, roof  
On centers: 1st floor 2nd 3rd, roof  
Maximum span: 1st floor 2nd 3rd, roof

Approved:

Shell Oil Company  
Duncan Construction Co., Inc.  
Signature of Owner by: Stuart Duncan

Approved: Albert J. Sears  
Inspector of Buildings

INSPECTION COPY  
CS. 105

21 Washington Ave. East 15 Masonry Service Station  
5' x 30' Green Coast Co. Portland Shell.

- Check Geo's letter of 3/14/23!  
 P 4. Fresh pit detail.  
 P 5. 5'-4" Concrete Block room found on plan.  
 Detail sheet 1C-4150  
 P 5. Windows with wood frame shown instead of  
 OK. metal mesh and wire glass. Note for wall door.  
 Then 3' to 4' high.  
 P 6. Rear entrance door not shown in plan or  
 mentioned in spec.  
 P 7. OK. Part 18 Plumbing & Piping Specifications  
 8. OK. Section 19 Paint type spec.  
 P 9. Support for suspended heater not shown.  
 P 10. Section shows leader board to be on wall and  
 note that traps at floor to be tied up 6" gauge wire.  
 P 11. Lumber to be D.F. 1700 p.s.f., by spec.  
 P 12. Fill in with wood acceptable?  
 P 13. Not shown.  
 P 14.

See letter  
 Yours.

Write.

Write.  
 not shown  
 letter 1/24/23  
 15903-2

21-35  
Mar 6.9

~~14. 1st floor plan - East - second and bearing for stairs 4/18/63~~  
~~1st floor plan - East - second and bearing for stairs 4/18/63~~  
~~1st floor plan - East - second and bearing for stairs 4/18/63~~

- P 15. 1st floor plan - East - second and bearing for stairs 4/18/63  
 16. 1st floor plan - East - second and bearing for stairs 4/18/63

17. 1st floor plan - East - second and bearing for stairs 4/18/63  
 18. 1st floor plan - East - second and bearing for stairs 4/18/63

# New Service Station at 2135 Washington Avenue

2/20/63

1- Zoning- B-2 Zone - Appeal filed.

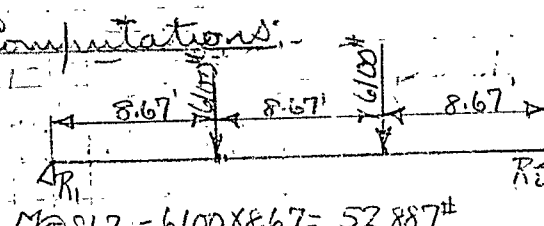
2- Special + General Use Requirements:

SECTION 204	SECTION 212
a- Service Garage	a- O.K.
b- Fire windows rear wall	b- O.K.
c- O.K.	c- O.K.
d- O.K.	d- O.K.
e- Second means of egress from cube required	e- O.K.
f- 4- Enclosure - Heaters?	f- O.K.
g- O.K.	g- O.K.
h- Heating requirements?	h- Heating requirements?
i- Grease + oil separator?	i- O.K.
j- O.K.	j- O.K.

3- Construction Details and Design:

- a- Second Class or better construction? Are portions of outside walls of wood? section over show window?
- b- Anchorage of walls.
- c- Tying of ventiler.

4- Computations:



$$M @ 8.67 = 6100 \times 8.67 = 52,887^{\#}$$

$$\begin{aligned} S_{req} &= 52,900 \times 1.2 \\ &= 20,000 \\ &= 31.74 \\ S_{of} 12" WF @ 27^{\#} &= 34.1 \end{aligned}$$

(Over)

26.5
73
79.5
265
344.5
55
172.25
172.25
189.47.5
867
6100
86700
5202
52887.00
36
432
468
13
1487
468
60.67

$$13 \times 8 \frac{3}{4} \times 54 = 60.67$$

# New Service Station at 21-35 Washington Avenue

3/8/63

## 4- Computations (continued): -

6x10 dr Hemlock - 15' span = 4045#

6x10 dr D.F. - 15' span = 5515

$$\frac{4045}{15 \times 9} = 30^{\#} \text{ per sq ft}$$

$$\frac{5515}{15 \times 9} = 40^{\#} \text{ per sq ft}$$

6x10 dr Hemlock - 13' span = 4667#

6x10 dr D.F. - 13' span = 6364#

$$\frac{4667}{13 \times 9} = 40^{\#} \text{ per sq ft}$$

$$\frac{6364}{13 \times 9} = 54^{\#} \text{ per sq ft}$$

2" hemlock plank - 9 1/2' span = 50# per sq ft

2" D.F. plank - 9 1/2' span = 58 1/2# per sq ft

$$\begin{array}{r} 30 \\ 135 \overline{)4045} \\ \underline{405} \end{array}$$

$$\begin{array}{r} 4 \\ 135 \overline{)5515} \\ \underline{540} \\ 115 \end{array}$$

$$\begin{array}{r} 4 \\ 117 \overline{)4667} \\ \underline{468} \end{array}$$

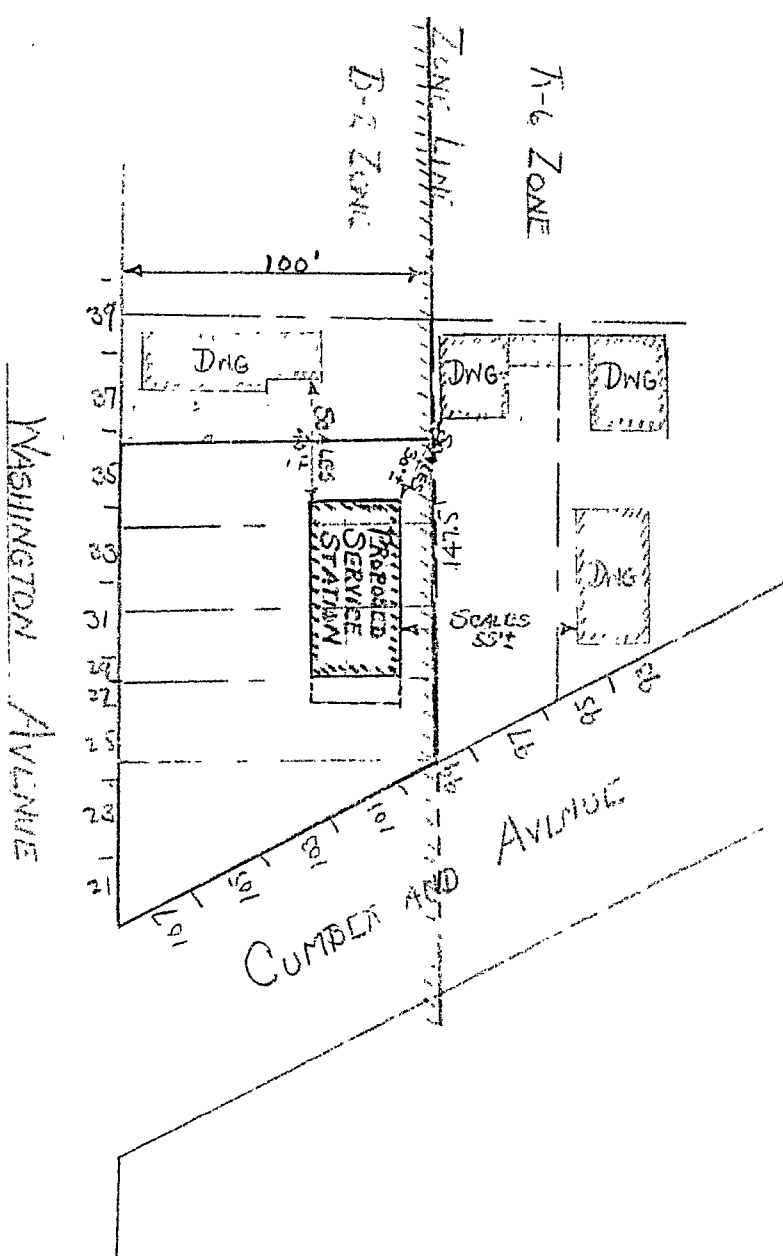
$$\begin{array}{r} 54 \\ 117 \overline{)6364} \\ \underline{585} \\ 514 \end{array}$$

$$\begin{array}{r} 66 \quad 45 \\ 51 \quad 53 \\ 2 \overline{)1172} \quad \overline{)101} \\ \underline{58} \quad \underline{50} \\ 58 \frac{1}{2} \end{array}$$

New Service Station at 21-35 Washington Avenue

3/12/63

- ✓1- Zoning Appeal sustained conditionally
- ✓2- Windows in rear wall must be metal sash + wire glass to meet requirements of Sect. 203-b
- ✓3- A second means of egress from rear of bldg required
- ✓4- Approval for removal of tree in street
- ✓5- Suspended heater must be of approved type
- ✓6- 10" Vitroliner type E flue - O.K.
- ✓7- Approved grease + oil separator required.
- ✓8- How is brick veneer to be tied to steel frame of pylon roof sign? Also to masonry wall
- ✓9- Type of lumber in roof framing. A 40# live load design required
- ✓10- Use of wood construction in outside wall above show window.
- ✓11- Statement of design
- ✓12- Separate permits for demolition of buildings
- ✓13- Rubbish Enclosure details - Not shown on plan on which appeal was based.
- ✓14- ~~Anchorage of masonry walls at roof line~~
- ✓15- Pipe columns
- ✓16- Support for Vitroliner Flue and Suspended Heater
- ✓17- Wood battens on outside of masonry walls
- ✓18- Masonry on outside walls must extend to roof sheathing



Service Station at 21-35 Washington Ave, corner of Cumberland  
2/13/63

Zoning: R-2 Zone - Use allowable  
Rear Yard - 20' required because rear  
line abuts an R-6 zone. Sec 5.9-3b-1  
Minimum of only 10' being provided?  
Side yard - None required. Minimum  
of 20' being provided - OK.  
Front yard - None required - OK.

Overhang at  
center of rear  
= 3'-6"

$$\frac{10+12}{2} = 11$$

$$20-2 = 18'$$

$$11-3\frac{1}{2} = 7\frac{1}{2}'$$

Sec. 18-D - Entrance doors to toilet rooms  
are to face Cumberland Ave., the side  
street, contrary to this section?

Sec. 19-M - Revolving pole sign will  
encroach on corner clearance area.

Sec. 16-A-5-a - Revolving pole sign  
is to be about 27 feet high, thus exceed-  
ing the maximum height of 20' of this  
section.

Pylon roof sign is to project just  
10' above the street front of lot and  
thus just meets requirements of this  
section.

Revolving pole sign will face  
residential zone, at rear contrary  
to provisions of this section.

H. H. ROERDEN

District Engineer  
SHELL OIL COMPANY

P. O. Box 1177  
PORTLAND, MAINE  
Phone: 774-2664

*Prof. H. H. Hoerden*  
*H. H. Hoerden*

AP- 21-35 Washington Ave., corner of Cumberland Ave.

May 6, 1963

Shell Oil Company  
Att: Mr. H. H. Hoerden  
5 Central Ave., So. Portland

cc to: Duncan Construction Co., Inc.  
25 Tapley St., Springfield, Mass.

Gentlemen:

Permit to construct a one story three-bay service station 62'6" x 29'4" as per revised plans and specifications received April 29, 1963 and in accordance with Mr. Sears letter of March 13, 1963 is being issued subject to compliance with the following:

1. There will need to be additional structural members in the pylon framing to support the wire lath and brick ties, approval of which is to be obtained before construction of the pylon above the service station is started.
2. The masonry of both end walls is to extend up to the underside of the roof sheathing as is stated in Paragraph 13 of Mr. Sears' letter mentioned above.
3. Separate permits issuable only to actual installers required for installation of pole sign and heating equipment.
4. Notice for inspection of forms prior to pouring of concrete and before application of covering to inside of walls, partitions and ceilings required.
5. Certificate of occupancy required from this department before building may lawfully be put into use.
6. Revolving pole sign has been limited by Board of Appeals to 20 feet in height and area of sign to six feet square.

Very truly yours,

Gerald E. Mayberry  
Deputy Building Inspection Director

G:MM

A.P.-21-35 Washington Ave., corner of Cumberland Ave.

March 13, 1963

Shell Oil Company  
Att: Mr. H. H. Roperden  
5 Central Ave., So. Portland

Gentlemen:

Although the appeal under the Zoning Ordinance for new service station at the above named location in this City has been sustained conditionally, permit for its erection cannot be issued until information indicating compliance with Building Code requirements has been furnished. Rights granted under the appeal will expire unless work is started within six months of the date on which the appeal was sustained. Items and details in question are as follows:

1. The permit application already filed needs to be completed by furnishing an estimated cost of the work, paying permit fee based thereon, and furnishing name of contractor. - O.K.
2. Separate permits will be needed for demolition of the existing buildings on the lot, as well as other permits issuable only to the actual installers for installation of the pole sign, heating equipment, and gasoline storage tanks and pumps. - will do.
3. Approval for removal of any tree on City property will need to be secured from the City Park Department. - will do
4. Details of the trash enclosure at rear of building shown on revised plot plan need to be furnished. Since this will encroach upon the rear yard, but was not shown on plot plan on which zoning appeal was based and hence was not included in items covered by the appeal, question arises as to whether its construction in the location shown can be authorized without further approval of the Board of Appeals. maybe all right
5. Since the rear wall is to be closer than 30 feet to the lot line, window openings in that wall are required by Section 204-b-2 of the Building Code to have metal sash and wire glass. Omit windows in this wall will provide
6. A second means of egress from the rear of the Service Room by way of a door at least two feet wide and six feet four inches high is required by Section 204-a-2 of the Code. Since any wall in which such a door can be located is likely to be closer than 30 feet to a lot line, it will need to be a fire door. will provide
7. Grease and oil separator serving floor drain in Service Room is required by Section 204-1-1 to be of a type approved by the Fire Chief and the Plumbing Inspector. - will do

AP-21-35 Washington Ave., corner of Cumberland Ave.

Feb. 13, 1963

Shell Oil Company  
Att: Mr. H. M. Loerden  
5 Central Avenue  
South Portland, Maine

cc to: Corporation Counsel

Gentlemen:

Building permit for construction of a one story masonry service station building 30 feet by 50 feet at the above named location is not issuable under the Zoning Ordinance for the following reasons:

1. The rear wall is to be a minimum of 10 feet and the overhang of roof a minimum of 7 1/2 feet from the rear lot line instead of the 20 feet and 18 feet respectively required by Sec. 9-C-b-1 of the Ordinance because the rear line of this property, located in a B-2 Business Zone, abuts an R-6 Residential Zone.
2. A revolving pole sign to be located near the street corner is to be about 27 feet high, thus exceeding the maximum height of 20 feet set by Section 16-A-5a; and will also during its revolution face the adjoining residential zone at the rear contrary to the provisions of the same section.
3. The revolving pole sign is to encroach unlawfully upon the 25-foot corner clearance area required by Section 19-H.
4. The entrance doors to the two toilet rooms are to face Cumberland Avenue, the side street, contrary to the provisions of Section 18-D of the Ordinance.

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, an authorized representative should go to file the appeal.

Very truly yours,

Albert J. Sears  
Building Inspection Director

AJS:m

Shell Oil Co.

Page 2

March 13, 1963

8. The suspended warm air heater is required to be of a type bearing the label of approval of Underwriters' Laboratories, Inc. for use in a garage. *C.R.*
9. What provision is to be made in roof construction for support of the loads from the suspended heater and Vitroliner prefabricated chimney? *will provide*
10. How is brick veneer to be tied to masonry walls and steel frames of pylon roof sign in a manner to meet requirements of Section 308 of the Code? *Masonry - H. Shady Gable. Shown all - 16" Plank to be D.F.*
11. Of what grade and species of lumber is roof framing to be constructed? The Building Code requires such framing to have a minimum live load capacity of 40 pounds per square foot.
12. Because of its use, the building is required to be of Second Class Construction or better. In such construction walls are required to be of masonry throughout. While the solid 6x10 wood beams on top of the walls can be accepted, there appear to be a number of other locations, such as wall above show window of Sales Room, where the wooden construction cannot be approved. *will take care of*
13. The masonry of both end walls must extend up to the underside of the roof sheathing in accordance with Section 308-b-6.3 of Code. *will do*
14. Wood battens on outside of masonry walls will need to be applied without void spaces behind them. *no - will accept.*
15. The designation of the 3 inch round pipe columns as "Sch. 40" is not understood. The Building Code sets up a minimum outside diameter of 4 inches for pipe columns unless it can be established by rational methods of design that smaller columns are adequate as to strength and stiffness to support the loads involved. *will use 4" square columns*
16. A statement of design (blank copies enclosed) covering the reinforced masonry and structural steel is required for affixing to the plans.

Very truly yours,

Albert J. Sears  
Building Inspection Director

AJS:m

## REFERENCE DRAWINGS

SURVEY

ID-1114 PLOT PLAN  
 D-15903-2 PLANS AND DETAILS  
 D-15904-2 ELEVATIONS  
 D-15905-1 MILL WORK - DETAILS  
 D-15706-1 ELECTRICAL PLAN  
 C-15677 Pylon DETAILS  
 D-16487 ASSEMBLY AND DETAILS FOR 6 FT.  
 CONTROLLED BACKGROUND SIGN FOR  
 MASONRY PYLON  
 IC-4374-1 HEATING PLAN  
 IC-4150 RUBBISH ENCLOSURE  
 IC-4378 REST ROOMS - ACCESSORIES, TILE, ETC.  
 B-15346 RECESSED MIRROR DETAILS FOR REST ROOMS  
 P-102 SERVICE 24 3-BAY TIRE RACK, CH3, TAN (BAND)  
 D-15516-5 PUMP ISLAND PLAN, ELEV. & DETAILS  
 ID-3546-1 SUBMERGED PUMPING DETAILS  
 D-6' CBR SIGN BASE  
 C-16690 EXTERIOR PAINTING SCHEME  
 C-16689 INTERIOR PAINTING SCHEME  
 A-2930 16' POLE FOOTING  
 P-101 STORAGE RACK SHEDDING PLAN

## SPECIFICATIONS

1. GENERAL SPECIFICATIONS FOR THE CONSTRUCTION OF A RANCH SERVICE STATION.
2. ADDENDA TO THE GENERAL SPECIFICATIONS.
3. HEATING SYSTEM REPORT & INSTRUCTIONS ON SHELL HEAD BURNER.
4. HARDWARE ADDENDA
5. CONCRETE & MORTAR ADDENDA - COLD WEATHER APPLICATION
6. SECTION I - EARTHWORK
7. SECTION III - BASE COURSE AGGREGATE
8. SECTION IV - 2" ASPHALTIC CONCRETE PAVEMENT

## GENERAL NOTES

1. TREE STUMP (36" ELM) AND ROOTS TO BE REMOVED BY THE GENERAL CONTRACTOR TO A DEPTH TO ALLOW FOR NEW CONCRETE DRIVEWAY - SEE SPECIFICATIONS
2. REMOVAL OF CURBING FOR NEW ENTRANCES BY OTHERS.
3. BUILT UP  $\nabla$  SLOPE PIT RUN OR CRUSHER - RUN AGGREGATE TOPPED WITH A 1" ASPHALTIC CONCRETE BINDER TO BE INSTALLED ALONG THE REAR AND SIDE PROPERTY LINES AS SHOWN.

## GRADING

1. EXISTING GRIDES 00.0 ALSO SEE SURVEY
2. FINISH GRADES 00.0

RECEIVED

MAY 27 1963

DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

May 27, 1963

OK as to location and  
dimension of driveway opening.

AH Bonner

WATER MAIN

82.9

AIN  
OF (RIM)

81.1 RIM S.M.H.

80.7 M.H.

## SPECIFICATIONS

- ## GENERAL NOTES

- GRADING

- DEPT. OF BUDG. INSP.  
CITY OF DENVER

May 27, 1963

OK as to location and  
dimensions of driveway openings.  
A.H. Connor

TO CONGRESS ST. ~~2~~

## REVISIONS

SHELL OIL COMPANY  
BOSTON, MASS.

PROPOSED PLOT PLAN OF  
SERVICE STATION TO BE CONSTRUCTED  
AT WASHINGTON & CUMBERLAND AVES.  
PORTLAND, MAINE

SCALE: 1" = 10'-0" DATE: 7-15-63

DRAWN: H. H. KORDEN

**CHECKED**

ID- 3946-2

## APPROVALS

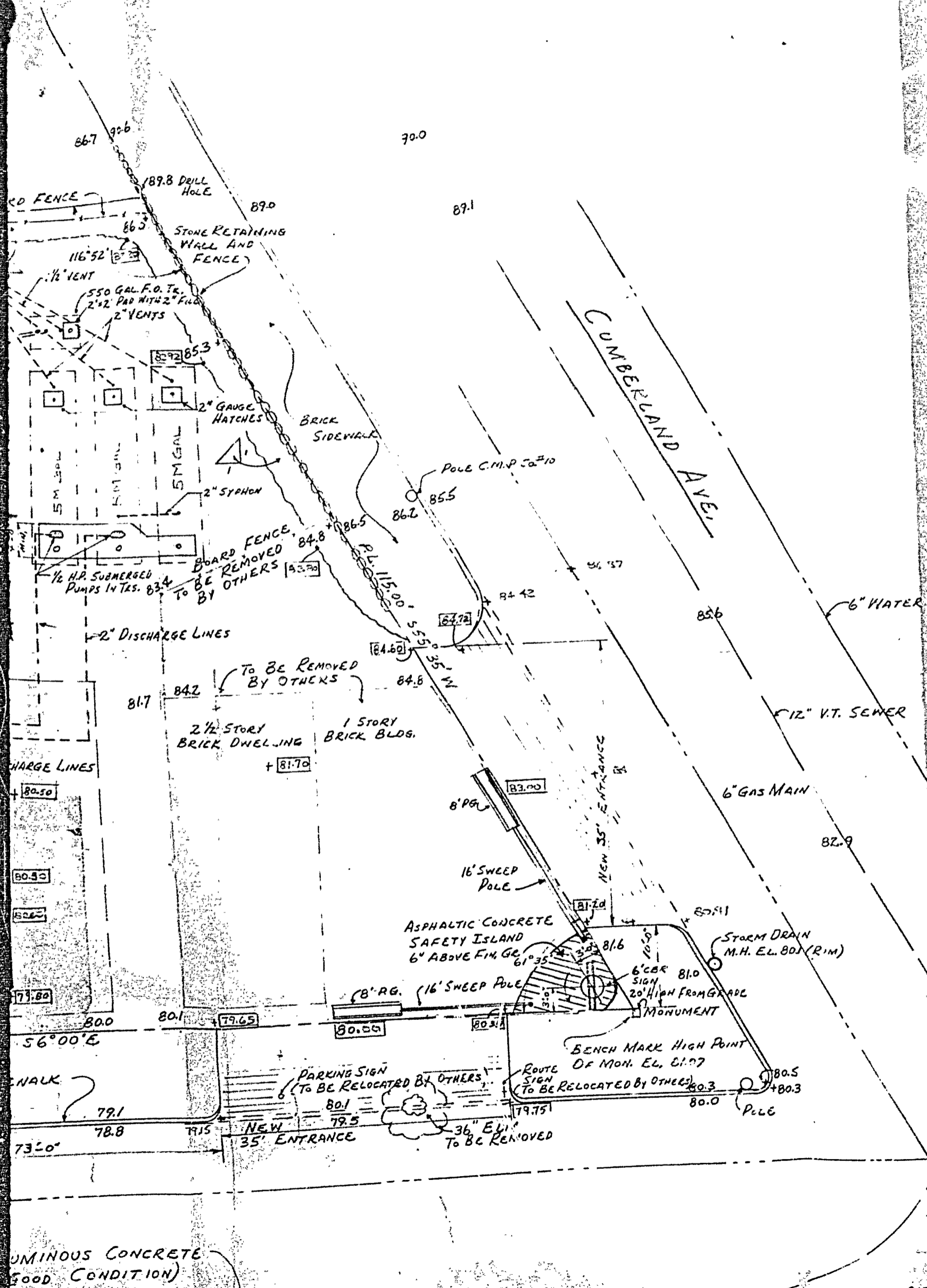
**SALES MGR.**

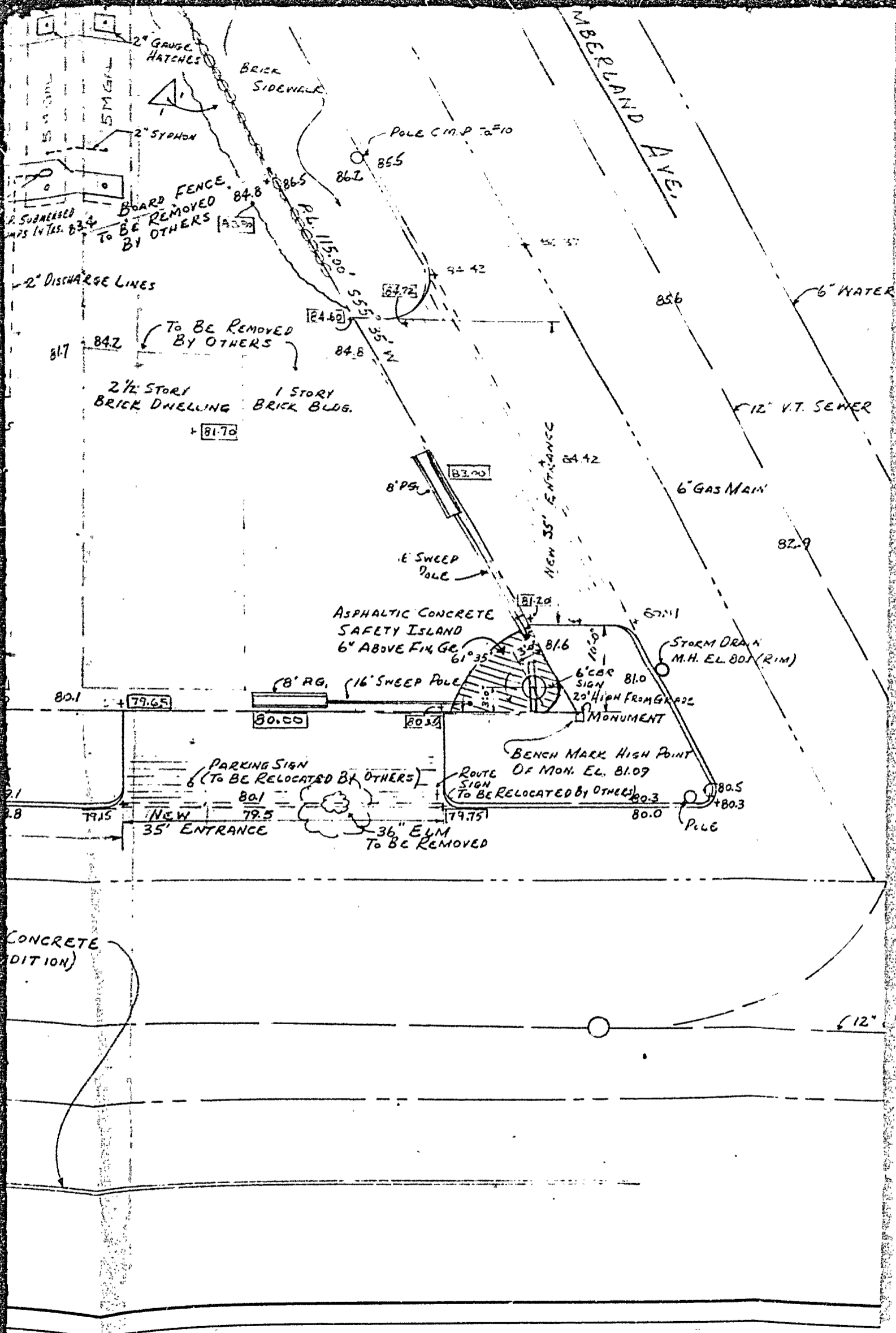
OPER. MGR.

R. E. MGR

RET. MGR.

DIST. MGR





1963

882

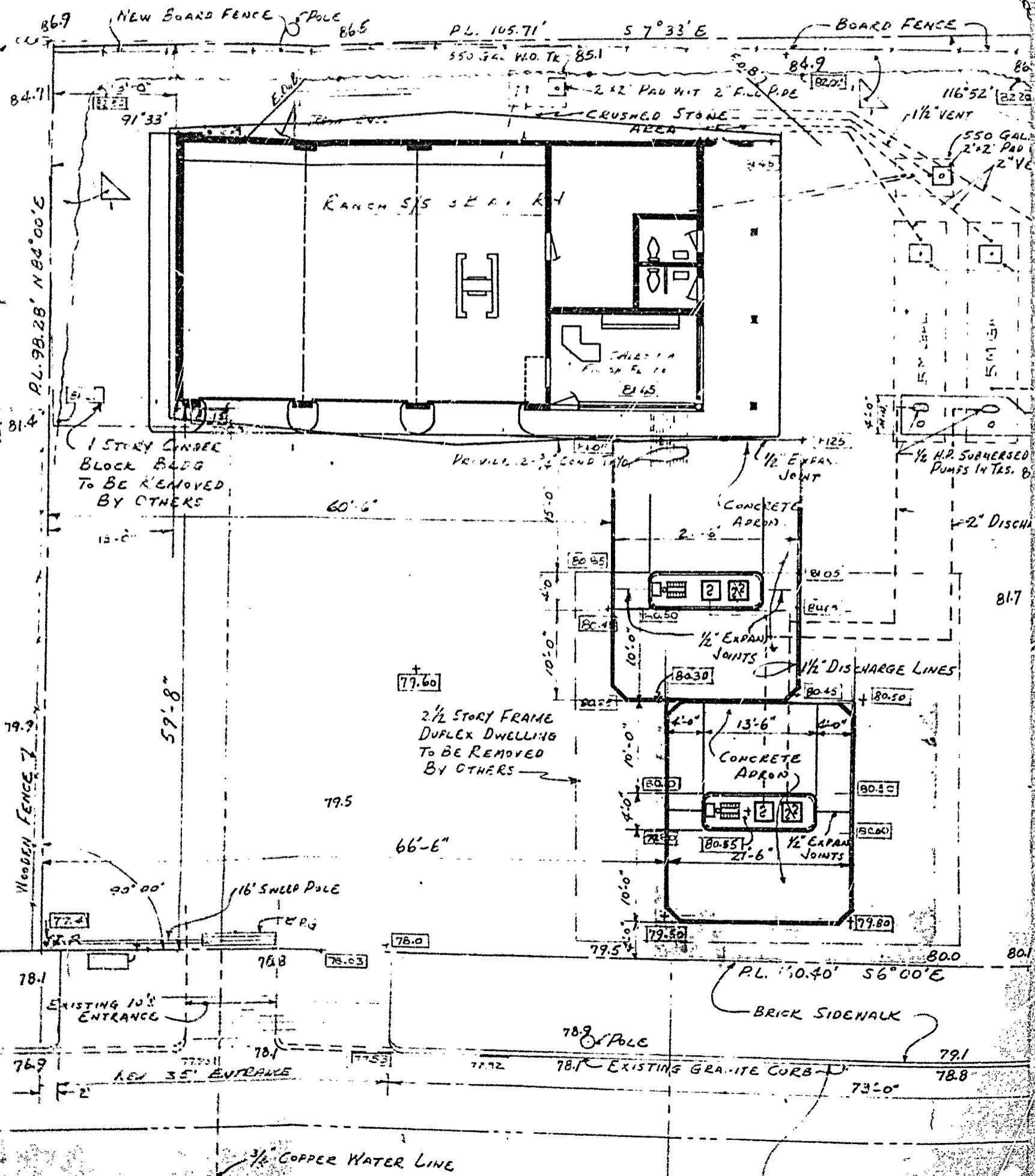
872

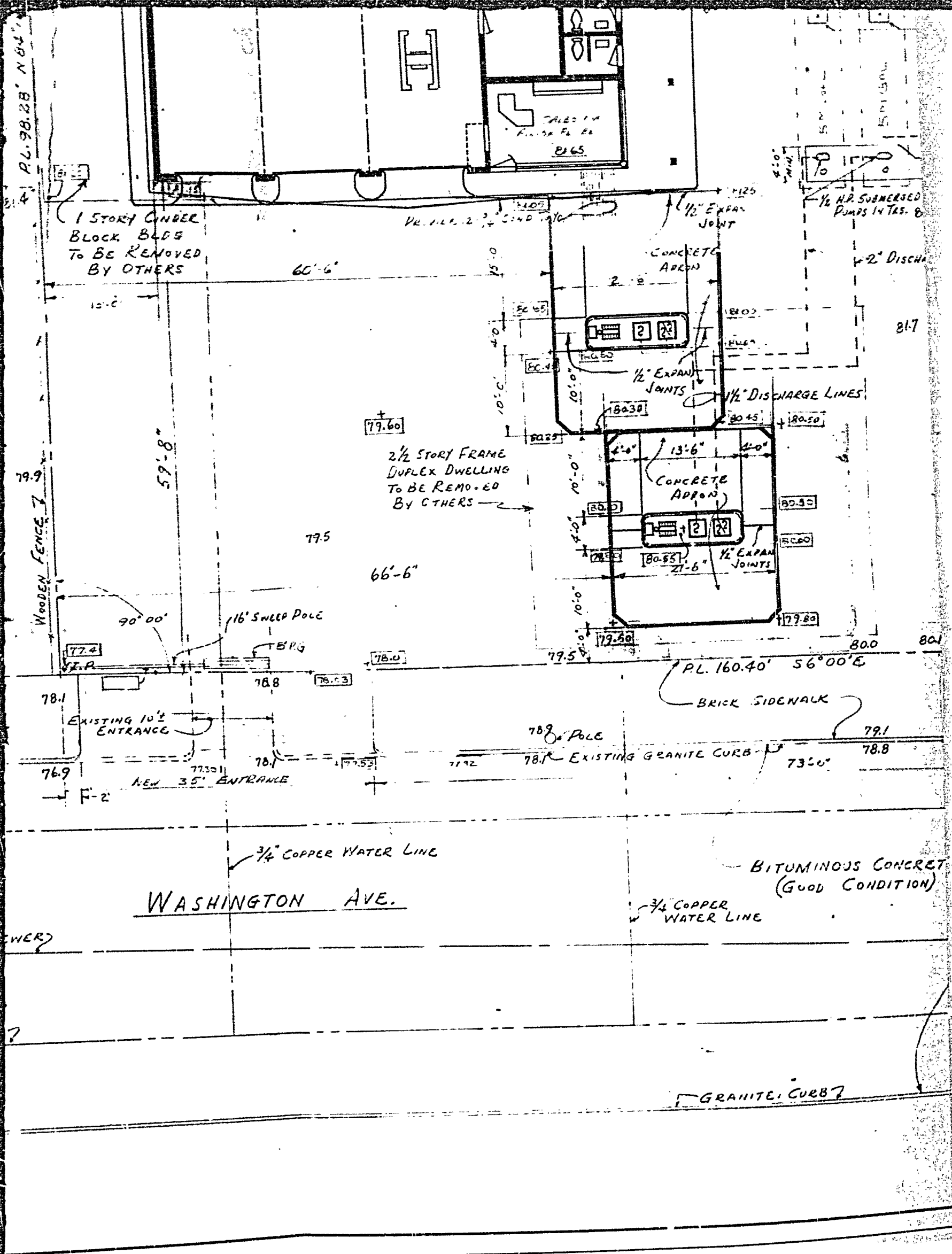
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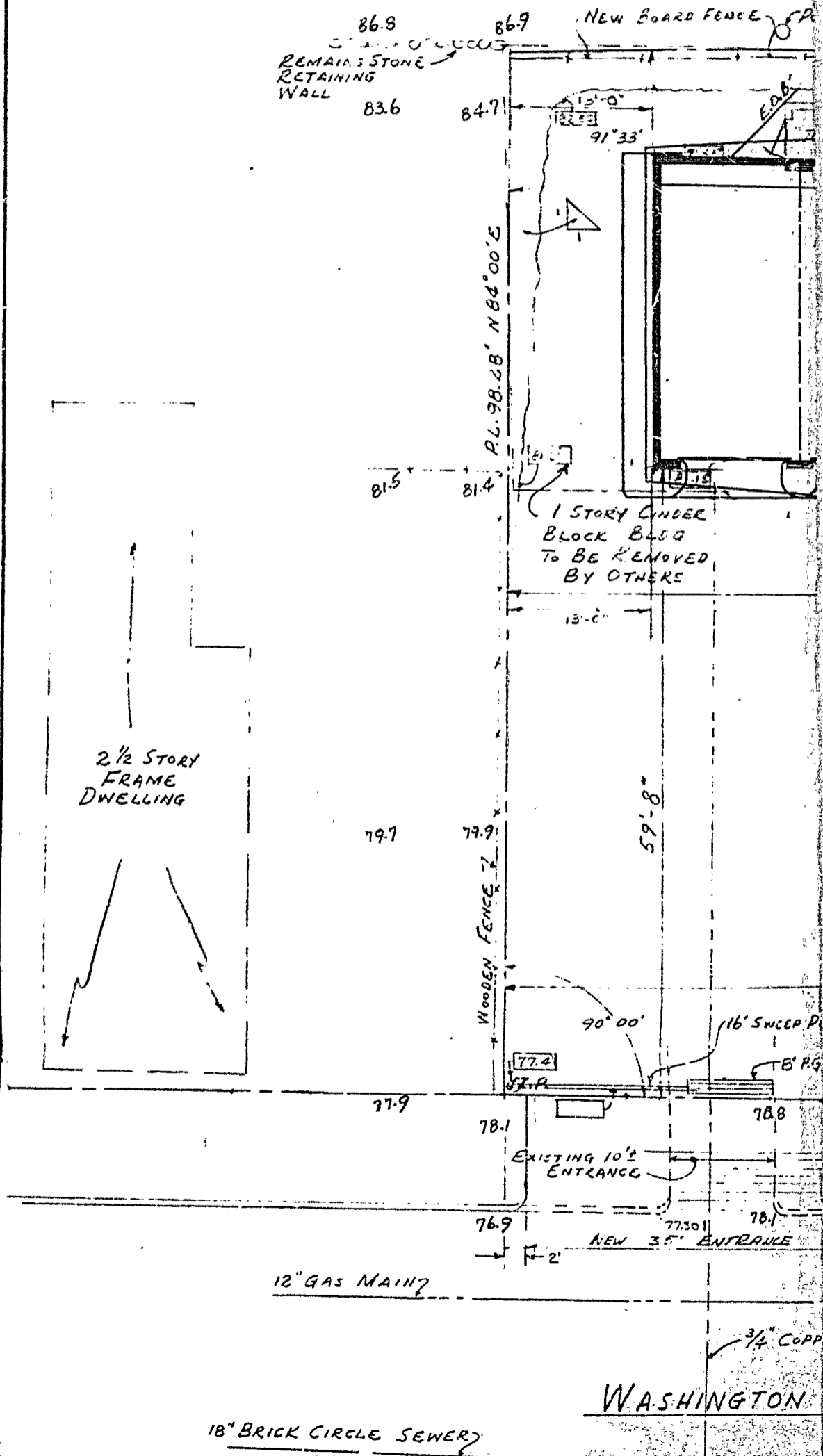
826





N  
MAY 1963

882



2 1/2" STAIR  
FRAME  
DUE LUNA

797

797

797

797

797

12" GAS MAIN

WASHINGTON

16" BRICK CIRCULAR SEWER

12" WATER MAIN



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine February 12, 1963

Completed 4/29/63

PERMIT ISSUED  
00453  
MAY 6 1963  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 21 Washington Ave. Within Fire Limits?            Dist. No.             
Owner's name and address Shell Oil Company, 5 Central Ave. South Portland Telephone             
Lessee's name and address            Telephone             
Contractor's name and address Robert Duncan Construction Co., Inc. Telephone             
Architect 25 Topley St. Scarborough, Mass. Specifications yes Plans yes No. of sheets 14  
Proposed use of building Service Station No. families             
Last use            No. families             
Material            No. stories            Heat            Style of roof            Roofing             
Other buildings on same lot             
Estimated cost \$ 22,000. Fee \$ 11.00  
Pd. 4/29/63

## General Description of New Work

To construct 1-story masonry service station 50' x 30'

~~This is preliminary to get settled the question of zoning appeal. In the event the appeal is sustained the applicant will furnish complete information, the estimated cost and pay local fee.~~

## Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner Shell Oil Company P.O. Box 1177

## Details of New Work

Is any plumbing involved in this work?            Is any electrical work involved in this work?             
Is connection to be made to public sewer?            If not, what is proposed for sewage?             
Has septic tank notice been sent?            Form notice sent? yes  
Height average grade to top of plate            Height average grade to highest point of roof             
Size, front            depth            No. stories            solid or filled land?            earth or rock?             
Material of foundation            Thickness, top            bottom            cellar             
Kind of roof            Rise per foot            Roof covering             
No. of chimneys            Material of chimneys            of lining            Kind of heat            fuel             
Framing Lumber—Kind            Dressed or full size?            Corner posts            Sills             
Size Girder            Columns under girders            Size            Max. on centers             
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor           , 2nd           , 3rd           , roof             
On centers: 1st floor           , 2nd           , 3rd           , roof             
Maximum span: 1st floor           , 2nd           , 3rd           , roof             
If one story building with masonry walls, thickness of walls?            height?           

## If a Garage

No. cars now accommodated on same lot           , to be accommodated            number commercial cars to be accommodated             
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?           

APPROVED:

G. E. M. w. Letter

## Miscellaneous

Will work require disturbing of any tree on a public street             
Will there be in charge of the above work a person who can see that the State and City requirements pertaining to work are observed? yes  
Shell Oil Company

CS 301

INSPECTION COPY

Signature of owner

by:

H. H. Pender

Permit No. 21  
Location Washington Ave  
Owner Shell Oil Company  
Date of permit 5/6/63  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. 9/4/63  
Cert. of Occupancy issued 9/5/63  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

2/10/63 - Planning Dept

100

10/16/77

*Lark - 1st April up*

6'9163 - winter.

Ref. furnished by C. L.

[illegible]

71-22163-100-1-1

1944

7/23/63

1. Right hand - right hand

8/5/63 - 010

$0.5 \times 10^{-10} = 5 \times 10^{-11}$

9/21/63

Handwritten text	
------------------	--

Wash State

9/3/63 - 10/1/63

Carl. H. ...

1

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11

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• •

\_\_\_\_\_

1

1

15

[illegible]

1

*[Faint handwritten notes at the bottom of the page]*

1951

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

April 30, 1963

Location: 21-35 Washington Ave.

Before tank and piping is covered from view, installer is required to notify the Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept. Headquarters

(3)-5000  
This tank of 1,500 gallons capacity is required to be of steel or wrought iron no less in thickness than # gauge, and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

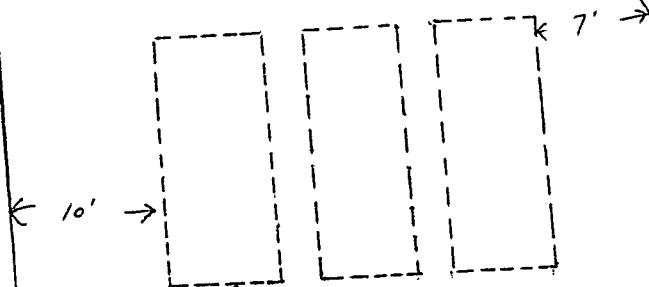
Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

Fire Dept Files

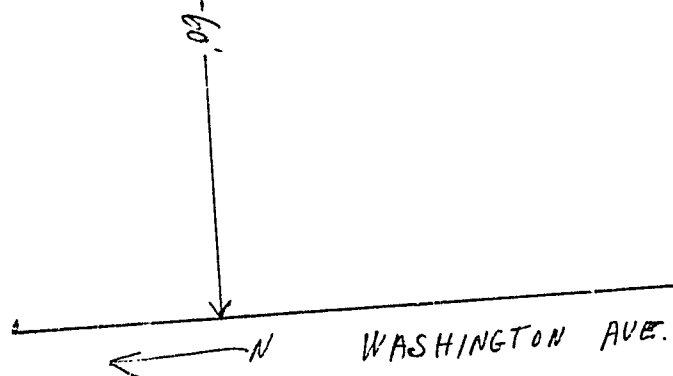
SHELL OIL CO.  
1 CENTRAL AVE.  
So. PORTLAND, ME.  
SP 4-2664

PORTLAND PUMP CO.  
321 LINCOLN ST.  
So. PORTLAND, ME.  
SP-2-6336



3-5000 GAL UG TANKS  
2" VENT LINES  
2" DISCHARGE " FROM TANKS

1-500 GAL W.O. TANK BEHIND BLDG.



CUMBERLAND & WASHINGTON AVES.  
PORTLAND, ME.



# APPLICATION FOR PERMIT

B2 BUSINESS ZONE

PERMIT ISSUED  
00454  
MAY 6 1933

Class of Building or Type of Structure Installation

Portland, Maine, April 29, 1933

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 21-35 Washington Ave. Within Fire Limits? Dist. No.  
Owner's name and address Shell Oil Company, 1 Central Ave. South Portland Telephone  
Lessee's name and address Portland Pump Company, 321 Lincoln St. So. Portland Telephone 2-6336  
Contractor's name and address Specifications Plans Yes No. of sheets 1  
Architect Service Station No. families  
Proposed use of building No. families  
Last use  
Material No. stories Heat Style of roof Roofing  
Other buildings on same lot Fee \$ 2.00  
Estimated cost \$

## General Description of New Work

outside  
To install (2)-5000 gallon underground gasoline storage tanks.  
" (1)-500 gallon ~~under~~ oil storage tank outside underground.

2" vent lines.  
2" and 1 1/2" piping from tank to pump.  
Tanks bear Underwriters Label.

Tanks to be buried 3' underground and covered with asphaltum.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

## Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimneys of lining Kind of heat fuel  
Framing Lumber-Kind Dressed or full size? Corner posts Sills  
Size Girder Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof height?  
If one story building with masonry walls, thickness of walls?

## If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Pump Company

APPROVED:  
P. P. Johnson  
G. E. Mc-

CS 301

INSPECTION COPY

Signature of owner

by:

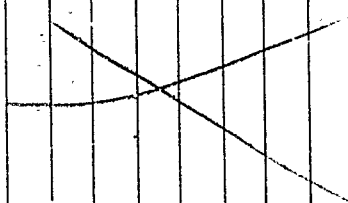
J. L. Lutzfield

2m

Permit No. 63/454  
 Location 21-35 Washington Ave.  
 Owner Shell Oil Company  
 Date of permit 5/6/63  
 Notif. closing-in \_\_\_\_\_  
 Inspn. closing-in \_\_\_\_\_  
 Final Notif. \_\_\_\_\_  
 Final Inspn. \_\_\_\_\_  
 Cert. of Occupancy issued \_\_\_\_\_  
 Staking Out Notice \_\_\_\_\_  
 Form Check Notice \_\_\_\_\_

NOTES

7/4/63 - work done  
 E. L. J.



CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

April 12, 1963

Shell Oil Company  
5 Central Ave.  
South Portland Maine

Gentlemen:

(concrete block garage)  
With relation to permit applied for to demolish a building or portion of building at #33-35 Washington Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

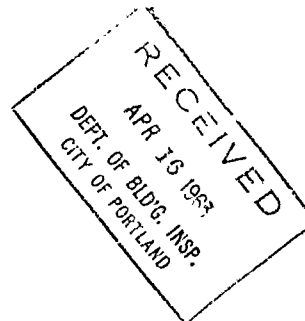
*Albert J. Sears*

Albert J. Sears  
Inspector of Buildings

AJS/H

Eradication of this building has been completed.

*1-1-63*  
*4-12-63*



B2 BUSINESS ZONE



## APPLICATION FOR PERMIT

 Class of Building or Type of Structure  
 Portland, Maine,

2nd class

April 12, 1963

PERMIT ISSUED

12366  
APR 16 1963

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 33-35 Washington Ave. Within Fire Limits?            Dist. No.             
 Owner's name and address Prop. Owner Shell Oil Company, 5 Central Ave. So. Portland Telephone             
 Lessee's name and address            Telephone             
 Contractor's name and address David Dascanio, 29 St. George St. Telephone             
 Architect            Specifications            Plans no.            No. of sheets             
 Proposed use of building            No. families             
 Last use            No. families             
 Material conc. blk. No. stories 1 Heat            Style of roof            Roofing             
 Other buildings on same lot            Fee \$ 5.00  
 Estimated cost \$           

## General Description of New Work

To demolish existing building (concrete block garage) 40' x 40'

Do. you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

Land to be used for service station and parking area.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. *Graduating letter sent 4-12-63*  
**PERMIT TO BE ISSUED TO contractor**

## Details of New Work

Is any plumbing involved in this work?            Is any electrical work involved in this work?             
 Is connection to be made to public sewer?            If not, what is proposed for sewage?             
 Has septic tank notice been sent?            Form notice sent?             
 Height average grade to top of plate            Height average grade to highest point of roof             
 Size, front            depth            No. stories            solid or filled land?            earth or rock?             
 Material of foundation            Thickness, top            bottom            cellar             
 Kind of roof            Rise per foot            Roof covering             
 No. of chimneys            Material of chimneys            of lining            Kind of heat            fuel             
 Framing Lumber—Kind            Dressed or full size?            Corner posts            Sills             
 Size Girder            Columns under girders            Size            Max. on centers             
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor           , 2nd           , 3rd           , roof             
 On centers: 1st floor           , 2nd           , 3rd           , roof             
 Maximum span: 1st floor           , 2nd           , 3rd           , roof             
 If one story building with masonry walls, thickness of walls?            height?           

## If a Garage

No. cars now accommodated on same lot           , to be accommodated            number commercial cars to be accommodated             
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?           

## Miscellaneous

Will work require disturbing of any tree on a public street?            no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?            yes

David Dascanio

APPROVED:

*OK - 4/16/63 - agf*

CS 301

INSPECTION COPY

Signature of owner

by:

Mrs. David Dascanio

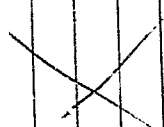
71

4/28  
5/28

Permit No. 63/366  
Location 33-35 Washington Ave  
Owner Shell Oil Company  
Date of permit 4/16/63  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

5/2/63 - Term Down  
S. & H.  
5/18/63 - work done -  
General Construction permit  
Issued S. & H.



CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

April 2, 1963

David Dascanio  
35 St. George St.  
Portland Maine

Dear Sir:

With relation to permit applied for to demolish a building or portion of building at #25-27 Washington Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

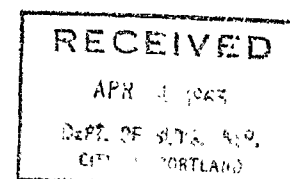
*Albert J. Sears*

Albert J. Sears  
Inspector of Buildings

AJS/H

Eradication of this building has been completed.

*J. L. King*  
4-2-63





B2 BUSINESS ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure

Third Class

Portland, Maine,

April 2, 1963

PERMIT ISSUED  
APR 4 1963  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 25-27 Washington Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address David Dascanio, 35 St. George St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address OWNER Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use Apartment House (duplex house) No. families 4  
Material frame No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 5.00

## General Description of New Work

To demolish existing 2-story (duplex) apartment house.

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

Land to be used for service station and parking area.

*Examination letter sent - 4-2-63*  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

O.N-4/4/63-ajf

## Miscellaneous

no

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
David Dascanio

CS 301

INSPECTION COPY

Signature of owner

by:

David Dascanio

7M

4/30

Permit No. 63/294  
Location 25-27 Washington Ave  
Owner Donald Darrin  
Date of permit 4/4/63  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

5/1/63 - Work done -  
General Cleaning, etc.  
Permit for gas station  
issued 5/1/63

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

April 2, 1963

David Dascario  
35 St. George St.  
Portland Maine

Dear Sir:

With relation to permit applied for to demolish a building or portion of building at #21-23 Washington Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

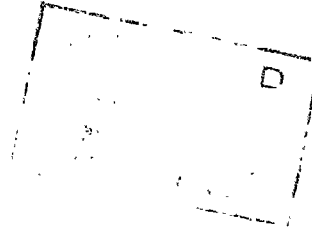
*Albert J. Sears*

Albert J. Sears  
Inspector of Buildings

AJS/H

Eradication of this building has been completed.

*11-2-63*





B2 BUSINESS ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd and 3rd floor  
Portland, Maine, April 2, 1963

00295

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 21-23 Washington Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address David Dascanio, 35 St. George St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address David Dascanio, 35 St. George St. Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use Laundramat & Dwelling No. families 1  
Material brick No. stories 1-2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 5.00

## General Description of New Work

To demolish existing 1 and 1½-story building (formerly laundramat and dwelling)  
(attached)

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

Land to be used for service station and parking area.

*Graduation letter sent 4-2-63*  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

David Dascanio

APPROVED:

OK-4/4/63-agg

CS 301

INSPECTION COPY

Signature of owner by: David Dascanio

7M



B2 BUSINESS ZONE  
**APPLICATION FOR PERMIT**  
Class of Building or Type of Structure 2nd and 3rd floor  
Portland, Maine, April 2, 1963

**PERMIT ISSUED**  
**00295**  
APR 4 1963  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 21-23 Washington Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address David Dascanio, 35 St. George St. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address David Dascanio, 35 St. George St. Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use Laundramat & Dwelling No. families 1  
Material brick No. stories 1-2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 5.00

#### General Description of New Work

To demolish existing 1 and 1½-story building (formerly laundramat and dwelling)  
(attached)

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept of Public Works of the City of Portland? Yes.

Land to be used for service station and parking area.

*Exclusion letter sent 4-2-63*  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

#### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber-Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

#### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
ON-4463-agg

#### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

David Dascanio

CS 301

INSPECTION COPY

Signature of owner by:

David Dascanio

7M

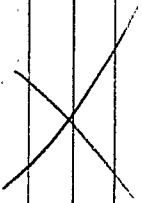
5/28  
5/28/63

Permit No. 63/595  
Location 21-23 Washington Ave.  
Owner David Dorman  
Date of permit 4/4/63  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

5/26/63 - Form Dorman  
Carried over app. 5/28/63

5/28/63 - underdone -  
General construction permit  
Pages attached numbered  
17



AP - 21-35 Washington Ave.

July 15, 1963

Resnick Oil Co.,  
206 Congress Street

cc to: Shell Oil Co.  
1 Central Avenue  
So. Portland, Maine

Gentlemen:

Issuance of permit for installation of heating equipment in service station under construction at above named location is being withheld pending uncovering of underground fuel storage tank so that required inspection can be made. This tank was evidently installed and inadvertently covered before application for permit was applied for. An inspector from this department reports that he has been unsuccessful in getting this tank uncovered in spite of a number of promises that it would be done. May we not have the cooperation of all concerned toward this end without further action by this department becoming necessary?

Very truly yours,

AJS/h

Albert J. Sears  
Director of Building Inspection



Permit No. 63/845  
 Location 21-35 Washington Ave  
 Owner Shell Oil Company  
 Date of permit 7/22/63  
 Approved \_\_\_\_\_

NOTES

1	Site Map	✓
2	Vent Pipe	✓
3	Kind of Fuel	✓
4	Burner Reg. & Supports	✓
5	Name of Label	✓
6	Steel Cover	✓
7	Black Line Control	✓
8	Rem. to Control	✓
9	Piping Schematic & Protection	✓
10	Valve & Inlet Pipe	✓
11	Cap. to Tank	✓
12	Facility to Tank	✓
13	Facility to Tank	✓
14	Oil Comp.	✓
15	Instruction Card	✓
16	Low Water Shut-off	✓

7-22-63  
 See gal tank off to  
 cover.  
 7/21/63 - M. B. J.  
 E. B. J.



B2 BUSINESS ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, September 4, 1963

PERMIT 15-050  
7/08  
SEP 9 1963  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish inscill the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 21 Washington Ave. Within Fire Limits? Dist. No.  
Owner's name and address Shell Oil Company, 5 Central Ave. So. Portland Telephone  
Lessee's name and address Telephone  
Contractor's name and address owners Telephone  
Architect Specifications Plans *see Standard Plan* No. of sheets  
Proposed use of building No. families *fill*  
Last use No. families  
Material No. stories Heat Style of roof Roofing  
Other buildings on same lot  
Estimated cost \$ Fee \$ 2.00

General Description of New Work

To erect (1) rotating sign 6' x 6'-steady lighting, as per plans

Expend sustained *2/28/63*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimneys of lining Kind of heat fuel  
Framing Lumber—Kind Dressed or full size? Corner posts Sills  
Size Girder Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor, 2nd, 3rd, roof  
On centers: 1st floor, 2nd, 3rd, roof  
Maximum span: 1st floor, 2nd, 3rd, roof  
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

*J. E. M.*

Miscellaneous

Will work require disturbing of any tree on a public street? *no*  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? *yes*

Shell Oil Company

by:

*H. J. R.*  
Dist. Engineer

CS 301

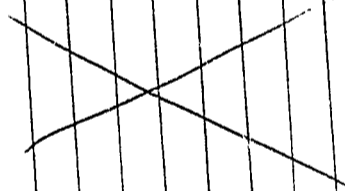
INSPECTION COPY

Signature of owner

Permit No. 63/1108  
Location 21 Washington Ave  
Owner Shell Oil Company  
Date of permit 9/9/63  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_

NOTES

9/10/63 - work done  
E. S. S.



*Sustained Conditionally*  
*63/19 2/28/63*

DATE: February 28, 1963

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF Shell Oil Company (option owner)  
AT 21-35 Washington Avenue

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

Franklin G. Hinckley  
~~RAYMOND L. NELSON~~ Frederick B. Nelson  
Harry M. Schwartz

VOTE	
YES	NO
(x)	( )
(x)	( )
(x)	( )

Record of Hearing

No opposition.

Provided that the revolving pole sign shall not exceed 20 feet in height and the face of the sign shall not be larger than 6 feet square.

CITY OF PORTLAND, MAINE  
IN THE BOARD OF APPEALS

VARIANCE APPEAL

February 28, 1963

Shell Oil Company Option, owner of property at AP-21-35 Washington Avenue under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a variance from the provisions of said Ordinance to permit construction of a one story masonry service station building 30 feet by 58 feet at this location. This permit is presently not issuable under the Zoning Ordinance because 1) the rear wall is to be a minimum of 10 feet and the overhang of roof a minimum of 7½ feet from the rear lot line instead of the 20 feet and 18 feet respectively required by Section 9-C-b-1 of the Ordinance because the rear line of this property, located in a B-2 Business Zone, abuts an R-6 Residential Zone; 2) a revolving pole sign to be located near the street corner is to be about 27 feet high, thus exceeding the maximum height of 20 feet set by Section 15-A-5a and will also during its revolution face the adjoining residential zone at the rear contrary to the provisions of the same section; 3) the revolving pole sign is to encroach unlawfully upon the 25 foot corner clearance area required by Section 19-M; 4) the entrance doors to the two toilet rooms are to face Cumberland Avenue, the side street, contrary to the provisions of Section 18-D of the Ordinance.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

Shell Oil Company

By

N. H. Kende  
APPELLANT

DECISION

After public hearing held February 28, 1963, the Board of Appeals finds that all of the above conditions do exist with respect to this property and that a variance should be granted in this case, provided that the revolving pole sign shall not exceed 20 feet in height and the face of the sign shall not be larger than 6 feet square. It is, therefore, determined that a variance from the provisions of the Zoning Ordinance should be granted in this case, provided that the revolving pole sign shall not exceed 20 feet in height and the face of the sign shall not be larger than 6 feet square.

Franklin G. Hilday  
Harry M. Hilday  
Richard L. Hilday  
BOARD OF APPEALS

PORTLAND ZONING BOARD OF APPEALS

Gentlemen:

As an immediate abuttor to the land at the corner of Washington and Cumberland Avenues, for which the Shell Oil Company is seeking a variance in the set-back requirements, the placing of an 8-foot rotating sign on the corner, and the restroom locations, I wish to state that I have no objections to these items.

Mary T. Price  
Name

Rear 93 Cumberland Ave.  
Address

February 26<sup>th</sup> 1963  
Date

ALBERT J. SEARS  
INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

AP-21-35 Washington Ave., corner of Cumberland Ave.

Feb. 13, 1963

Shell Oil Company  
Attn: Mr. H. H. Roerden  
5 Central Avenue  
South Portland, Maine

cc to: Corporation Counsel

Gentlemen:

Building permit for construction of a one story masonry service station building 30 feet by 58 feet at the above named location is not issuable under the Zoning Ordinance for the following reasons:

1. The rear wall is to be a minimum of 10 feet and the overhang of roof a minimum of 7 1/2 feet from the rear lot line instead of the 20 feet and 18 feet respectively required by Sec. 9-C-b-1 of the Ordinance because the rear line of this property located in a B-2 Business Zone, abuts an R-6 Residential Zone.
2. A revolving pole sign to be located near the street corner is to be about 27 feet high, thus exceeding the maximum height of 20 feet set by Section 16-A-5a, and will also during its revolution face the adjoining residential zone at the rear contrary to the provisions of the same section.
3. The revolving pole sign is to encroach unlawfully upon the 25-foot corner clearance area required by Section 19-M.
4. The entrance doors to the two toilet rooms are to face Cumberland Avenue, the side street, contrary to the provisions of Section 18-D of the Ordinance.

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, an authorized representative should go to file the appeal.

Very truly yours,

Albert J. Sears  
Building Inspection Director

AJS:12