

27 MORNING STREET

STAX

25 cut 5020R - Roll out 4920R - Thin out 0203R - Fill out 0205R

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. *55425*

Issued *17 Dec*, 19*66*
 Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address *J. J. Nichols Scarborough* Tel. _____
 Contractor's Name and Address *C. J. Poirier 118 W. Winter* Tel. *775-3391*
 Location *77 Morning* Use of Building *Shed*
 Number of Families _____ Apartments *6* Stores _____ Number of Stories *3*
 Description of Wiring: New Work _____ Additions _____ Alterations

Pipe	Cable	Metal Molding	BX Cable	Plug Molding (No. of feet)
No. Light Outlets	Plugs	Light Switches	Light Circuits	Plug Circuits
FIXTURES: No.			Fluor. or Strip Lighting (No. feet)	
SERVICE: Pipe <input checked="" type="checkbox"/>	Cable <input checked="" type="checkbox"/>	Underground	No. of Wires <i>3</i>	Size <i>3/0</i>
METERS: Relocated <i>7</i>	Added		Total No. Meters <i>7</i>	
MOTORS: Number	Phase	H. P.	Amps	Volts Starter
HEATING UNITS: Domestic (Oil)		No. Motors		Phase H.P.
Commercial (Oil)		No. Motors		Phase H.P.
Electric Heat (No. of Rooms)				
APPLIANCES: No. Ranges	Watts	Brand Feeds (Size and No.)		
Elec. Heaters	Watts			
Miscellaneous	Watts	Extra Cabinets or Panels		
Transformers	Air Conditioners (No. Units)	Signs (No. Units)		
Will commence <i>1966</i>	Ready to cover in <i>will call</i>	49	Inspection	19
Amount of Fee \$ <i>2.00</i>	Signed <i>C. J. Poirier</i>			

DO NOT WRITE BELOW THIS LINE

SERVICE <input checked="" type="checkbox"/>	METER	GROUND <input checked="" type="checkbox"/>
VISITS: 1	2	3
...	7	8
	9	10
	11	12

REMARKS:

INSPECTED BY *J. A. Hutton*
 (OVER)

LOCATION *Morning ST 27*
 INSPECTION DATE *12/12/62*
 WORK COMPLETED *12/12/62*
 TOTAL NO. INSPECTIONS *1*
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets (including switches) \$ 2.00
 31 to 60 Outlets (including switches) 3.00
 Over 60 Outlets, each Outlet (including switches) .05
 (Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
 Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
 Commercial (Oil) 4.00
 Electric Heat (Each Room) .75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dishwashers, etc. — Each Unit 1.50

TEMPORARY WORK (limited to 6 months from date of permit)

Service, Single Phase 1.00
 Service, Three Phase 2.00
 Wiring, 150 Outlets 1.00
 Wiring, each additional outlet over 50 .02
 Circuses, Carnivals, Fairs, etc. 10.00

MISCELLANEOUS

Distribution Cabinet or Panel, per unit 1.00
 Transformer, per unit 1.00

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



Mr. Abraham Kroot
142 Coyle Street
Portland, Maine

Loc. 27 Morning Street
Loc w/i S
Bldg Fire Elec Other
Issued 7/16/65
Expires 8/16/65

Dear Sir:

On July 12, 1965 an examination was made of the premises located at 27 Morning Street, Portland, Maine

Non-compliance with the ordinances relating to housing conditions was found as detailed below.

In accordance with the provisions of the above ordinance, you are hereby ordered to correct these defects according to specifications within the time limits allowed. Failure to comply with this notice will necessitate legal action.

Some repairs or improvements required will necessitate permits which are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started.

If any additional information is desired, visit or telephone the Housing Supervisor at this Office, Tel. 774-8221, extension 226. Kindly notify this office as soon as all corrections have been completed.

Very truly yours,
Boris A. Vanadzin, M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

Responsibility of Owner or Agent ** Responsibility of Occupant

STRUCTURAL

Repair and put in good order all dilapidated and hazardous parts of the structure as follows:

- a. Repair or replace the loose, worn, dilapidated and hazardous handrails of the outside porch.
- b. Repair or replace the loose, worn, dilapidated and hazardous parts of the floorboards on the porch on the rear of the 2nd and 3rd floor apts.
- c. Replace the missing bricks under the rear cellar door.
- d. Putty the loose window panes in all of the windows throughout the structure.
- e. Putty the loose window panes in the windows of the kitchen, bathroom, living room and bedroom of apt. 3, 2nd floor; and in the kitchen, bathroom, living room and bedroom of the rear apt. 6 on the 3rd floor.
- f. Determine the reason and remedy the condition which now causes the ceilings of the 2nd floor apt. to leak; and the ceilings in apt. 5 of the 3rd floor.
- g. Repair or replace the loose, cracked, or missing plaster on the ceilings of the 2nd floor apt., on the walls of the living room of apt. 5 3rd floor; and on the ceilings of apt. 5 of the 3rd floor.
- h. Repair or replace the loose, worn, and hazardous parts of the floor in the kitchen of apt. 5 of the 3rd floor.

PLUMBING

Check and have repaired all defective plumbing and plumbing fixtures throughout the structure.

- a. Repair or replace the defective trap under the kitchen sink in the kitchen of the 3rd floor, apt. 5.

ELECTRICAL EQUIPMENT

Check and have repaired all defective electric wiring and electrical equipment throughout the structure.

- a. Repair or replace the defective fixture in the hallway of the 3rd floor.
- b. Disconnect and do not connect again the extension cord now unlawfully attached in the kitchen of the 1st floor, apt. 1.
- c. Install convenience outlets in the kitchen and bathroom of apt. 5, 3rd floor.
- d. Repair or replace the defective fixture in the bathroom of the 3rd floor apt. 5.

NUISANCES AND UNSANITARY CONDITIONS

- a. Provide suitable, sufficient, water-tight, tightly covered metal garbage and rubbish containers to receive the accumulation of garbage and rubbish during the intervals between collections.
- b. Accomplish a general clean-up of the collar by removing and properly disposing of all litter and debris.

The above mentioned conditions are in violation of Chapter 307 of the Municipal Code of the City of Portland, and must be corrected on or before August 16, 1965

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Robert W. Donovan, Assistant Corporation Counsel
FROM: Albert J. Sears, Building Inspection Director
SUBJECT: Off-street parking violation at 27 Morning Street

DATE: Sept. 7, 1961

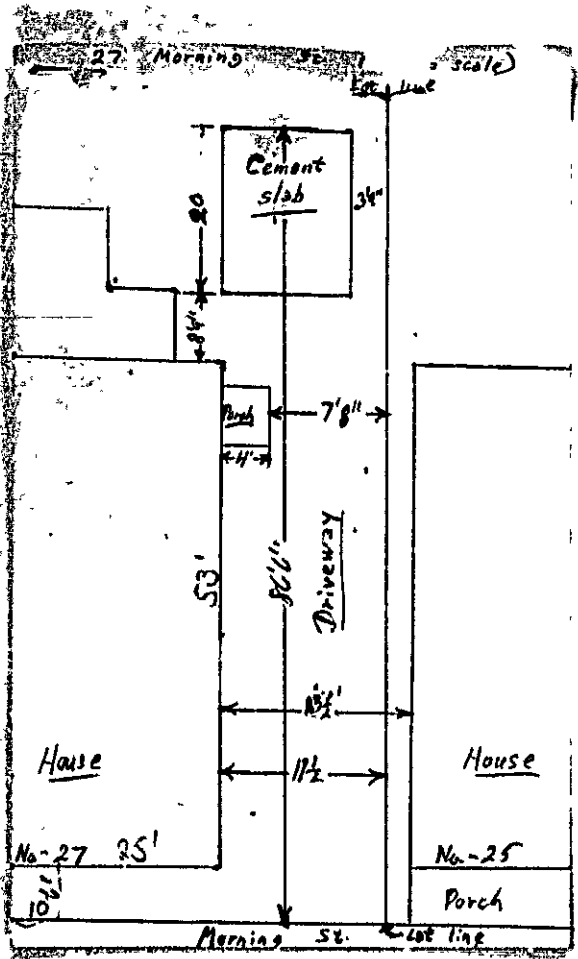
Attached herewith is complaint and papers concerning this violation. Following my letter of June 29th., Mr. Kroot was in and I explained to him the application of the Zoning Ordinance and his responsibility in connection therewith. He was rather non-committal as to what action he would take.

I have recently received another complaint from the neighboring property owner stating that conditions have not improved and that they are even damaging her building by running into it. Perhaps a letter from you might help to get the situation cleared up.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m



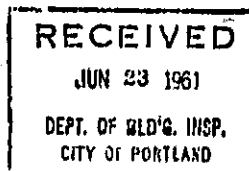
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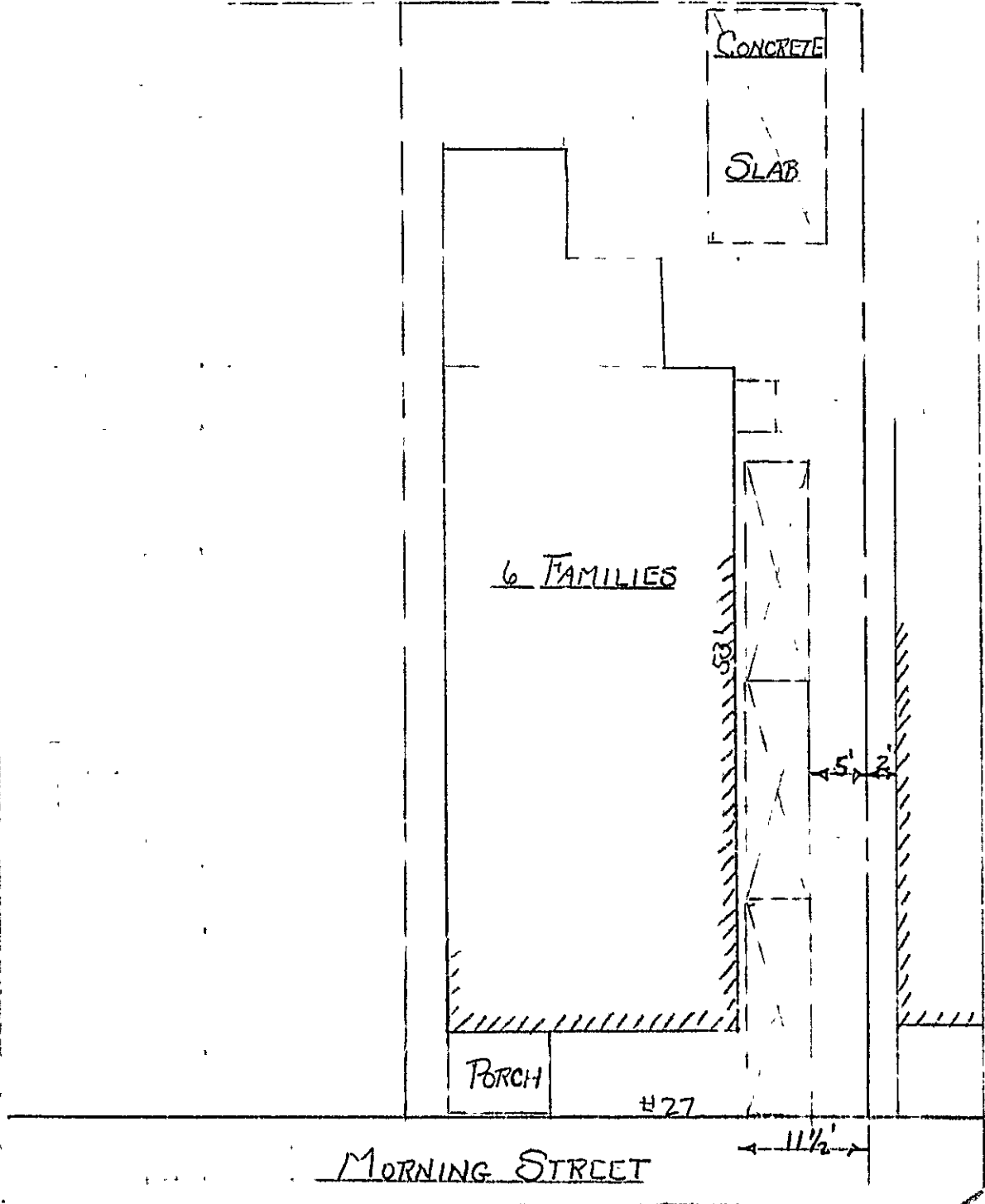
CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Albert J. Sears, Building Inspection Director DATE: June 22, 1961
FROM: Julian H. Orr, City Manager
SUBJECT: 27 Morning Street

Councillor Loring has asked a question concerning property at 27 Morning Street as to whether the extent to which they are using the yard space for parking of vehicles is within the provisions of the Zoning Ordinance. Would you please have someone check and give me a report, with an extra copy that I can turn over to Councillor Loring.

J. Orr
Julian H. Orr





CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Julian H. Orr, City Manager
FROM: Albert J. Sears, Building Inspection Director
SUBJECT: Unlawful parking at 27 Morning Street.

DATE: June 29, 1961

Investigation of a complaint received prior to receipt of your memo that five cars were being parked in the space between the two apartment houses at this location disclosed probable violation of the Zoning Ordinance. There was formerly a small garage located at the rear of the lot, for which a permit to demolish was issued a month or two ago and the concrete slab on which it was supported still remains and is available for use as a parking space.

The situation as regards Zoning Ordinance restrictions is as described in the copy of the letter I have sent to the owner of the property. If further complaints are received as to violations at this location, the only thing I can do is to notify the Corporation Counsel and let him decide what action should be taken.

Very truly yours,

AJS/jg

Building Inspection Director



APPLICATION FOR PERMIT

RE RESIDENCE ZONE

Class of Building or Type of Structure Third Class

Portland, Maine, May 16, 1961

PERMIT ISSUED
00504
MAY 19 1961
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 27 Morning St Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Abraham Kroot, 142 Coyle St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone no phone
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use _____ 1-car garage No. families _____
 Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot Dwelling
 Estimated cost \$ _____ Fee \$.50

General Description of New Work

To demolish existing 1-car frame garage.

Land to be used for parking (2) passenger cars.

Gradication letter sent 5-16-61
 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Caps under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

0.16-5/19/61--ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent see that the State and City requirements pertaining thereto observed? yes
 Abraham Kroot

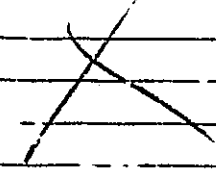
CS 301

INSPECTION COPY

Signature of owner _____ by: _____

NOTES

5/22/61 - 1110
imp. road 288



Permit No. 61/504
 Location 87 Manning St.
 Owner Alphonse H. Harts
 Date of permit 5/19/61
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued _____
 Staking Out Notice _____
 Form Check Notice _____

A series of horizontal lines for taking notes, with a large 'X' mark in the upper left portion.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, April 28, 1959

PERMIT ISSUED

MAY 7 1959

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter~~ ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 27 Morning St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Abraham Kroot, 142 Coyle St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Megquier & Jones Co., 33 Pearl St. Telephone 3-6471
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Apartment House No. families 6
 Last use _____ " " _____ No. families 6
 Material frame No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 950.00 Fee \$ 4.00

General Description of New Work

To erect steel fire escape from third floor to ground as per plan.

To remove existing wooden fire escape (steel one in its place)

Sent to Fire Dept. 4/29/59
Rec'd from Fire Dept. 5/6/59

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewerage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girders _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridg. g in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____
 On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____
 Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated.
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Carl F. Johnson
CHIEF OF FIRE DEPT.
CR 5-6-3917K

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person who has observed that the State and City requirements pertaining to trees are observed? yes

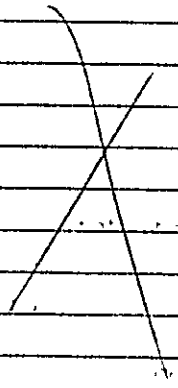
Megquier & Jones Co.

INSPECTION COPY

Signature of owner Robert J. Chenevix

NOTES

5/27/59 *Work started*
 7/6/59 - *wooden fire escape removed Trade platform built*
 9/3/59 - *work done - MO closing in matter given*
C.S.S.



Permit No. *59/4885*
 Location *17th & Broadway*
 Owner *W. J. ...*
 Date of permit *5/27/59*
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Saking Out Notice
 Form Check Notice

[Faint, mostly illegible text and lines, likely a continuation of a form or report.]

INVESTIGATION COPY

Memorandum from Department of Building Inspection, Portland, Maine

27 Morning Street

May 7, 1959

Abraham Kroot
142 Coyle Street

cc to: Hoggular & Jones Co.
33 Pearl Street

Building permit to demolish existing wooden fire escape and to erect steel fire escape from third floor to ground at the above location is issued to contractor herewith but any alterations to remaining first floor platform are to be covered by a separate permit or an amendment to this permit.

TTR/JS

Theodore T. Rand
Deputy Inspector of Buildings

CS-27



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, June 2, 1959

PERMIT ISSUED

JUN 2 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 59/488 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 27 Morning St. Within Fire Limits? Dist. No.
Owner's name and address Abraham Kroot, 142 Coyne St. Telephone
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Plans filed no. No. of sheets
Proposed use of building Apartment house No. families 6
Last use No. families 6
Increased cost of work Additional fee 50

Description of Proposed Work

To demolish existing platform at foot of metal fire escape and
To construct platform 32" x 6' on side of building at rear door (no roof)

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation concrete piers at least 4' below grade Thickness, top 9" bottom 9" cellar
Material of underpinning Sonotubes Height Thickness
Kind of roof none Rise per foot Roof covering Thickness
No. of chimneys Material of chimneys of lining
Framing lumber—Kind second hand Dressed or full size?
Corner posts Sills 4x6 Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6 2nd 3rd roof none
On centers: 1st floor 16" 2nd 3rd roof
Maximum span: 1st floor 32" 2nd 3rd roof

Approved:

Signature of Owner Abraham Kroot

Approved: Albert J. Sears Inspector of Building

INSPECTION COPY
CS-105



FILL IN AND SIGN WITH INK
**APPLICATION FOR PERMIT FOR
 HEATING, COOKING OR POWER EQUIPMENT**

Portland, Maine, **October 17, 1946**

**PERMIT ISSUED
 02056
 OCT 18 1946**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location **27 Monument Street** Use of Building **Tenement house** No. Stories **3** ~~Existing~~ Building Existing "
 Name and address of owner of appliance **A. Kroot, 27 Monument Street**
 Installer's name and address **A. E. Maddy, 479 Auburn Street** Telephone **2-0072**

General Description of Work

To install **steam boiler and oil burning equipment**

OK 10-18-46
RM

IF HEATER, OR POWER BOILER

Location of appliance or source of heat **cellar** Type of floor beneath appliance **concrete**
 If wood, how protected? Kind of fuel **oil**
 Minimum distance to wood or combustible material, from top of appliance or casing top of furnace **30"**
 From top of smoke pipe **30"** From front of appliance **6"** From sides or back of appliance **6"**
 Size of chimney flue **8x12** Other connections to same flue **none**
 If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner **Petro** Labeled by underwriters' laboratories? **yes**
 Will operator be always in attendance? Does oil supply line lead from top or bottom of tank? **bottom**
 Type of floor beneath burner **concrete**
 Location of oil storage **cellar** Number and capacity of tanks **2-275 gal.**
 If two 275-gallon tanks, will three-way valve be provided? **yes**
 Will all tanks be more than five feet from any flame? **yes** How many tanks, fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
 If wood, how protected?
 Minimum distance to wood or combustible material from top of appliance
 From front of appliance From sides and back From top of smokepipe
 Size of chimney flue Other connections to same flue
 Is hood to be provided? If so, how vented?
 If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

.....

Amount of fee enclosed? **1.00** (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**

A. E. Maddy

INSPECTION COPY

Signature of Installer

Permit No. 46/2056
Location 27 ^{2211 n 9} ~~Birmingham St~~
Owner A. Knorr
Date of permit 10/19/46
Approved 10-31-46 ^{Prub}

NOTES

1. All P.C.	✓
2. No. Line	✓
3. Kind of Ho.	Stair
4. Dist. P.C.	✓
5. Dist. V.L.	✓
6. Dist. H.C.	✓
7. Dist. T.C.	✓
8. Dist. L.C.	✓
9. Dist. S.C.	✓
10. Dist. O.C.	✓
11. Dist. U.C.	✓
12. Dist. D.C.	✓
13. Dist. B.C.	✓
14. Dist. G.C.	✓
15. Dist. F.C.	✓
16. Dist. E.C.	✓
17. Dist. C.C.	✓
18. Dist. A.C.	✓
19. Dist. N.C.	✓
20. Dist. S.C.	✓
21. Dist. W.C.	✓
22. Dist. E.C.	✓
23. Dist. O.C.	✓
24. Dist. U.C.	✓
25. Dist. D.C.	✓
26. Dist. B.C.	✓
27. Dist. G.C.	✓
28. Dist. F.C.	✓
29. Dist. E.C.	✓
30. Dist. C.C.	✓
31. Dist. A.C.	✓
32. Dist. N.C.	✓
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34. Dist. W.C.	✓
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37. Dist. U.C.	✓
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58. Dist. N.C.	✓
59. Dist. S.C.	✓
60. Dist. W.C.	✓
61. Dist. E.C.	✓
62. Dist. O.C.	✓
63. Dist. U.C.	✓
64. Dist. D.C.	✓
65. Dist. B.C.	✓
66. Dist. G.C.	✓
67. Dist. F.C.	✓
68. Dist. E.C.	✓
69. Dist. C.C.	✓
70. Dist. A.C.	✓
71. Dist. N.C.	✓
72. Dist. S.C.	✓
73. Dist. W.C.	✓
74. Dist. E.C.	✓
75. Dist. O.C.	✓
76. Dist. U.C.	✓
77. Dist. D.C.	✓
78. Dist. B.C.	✓
79. Dist. G.C.	✓
80. Dist. F.C.	✓
81. Dist. E.C.	✓
82. Dist. C.C.	✓
83. Dist. A.C.	✓
84. Dist. N.C.	✓
85. Dist. S.C.	✓
86. Dist. W.C.	✓
87. Dist. E.C.	✓
88. Dist. O.C.	✓
89. Dist. U.C.	✓
90. Dist. D.C.	✓
91. Dist. B.C.	✓
92. Dist. G.C.	✓
93. Dist. F.C.	✓
94. Dist. E.C.	✓
95. Dist. C.C.	✓
96. Dist. A.C.	✓
97. Dist. N.C.	✓
98. Dist. S.C.	✓
99. Dist. W.C.	✓
100. Dist. E.C.	✓

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Room 21, City Hall

Gentlemen:

In connection with the installation of oil burning equipment as indicated in statement below, please sign this statement and return to this office as promptly as possible so that the permit may be issued if everything else is found in order, retaining the copy for your file.

Very truly yours,

(Signed) Warren McDonald
Inspector of Buildings.

* * * * *

1. This statement is to become as much a part of the application for a permit to cover installation of oil burning equipment for Abraham Kroot at 27 Morning Street, as though written on the application form.
2. A switch or other manual control capable of completely stopping flow of oil to the burner will be provided, such device to be so located as to be conveniently reached and operated without being exposed to danger that may exist at or near the burner. If feasible this switch or similar device will be located at or near the top of the cellar stairs. In case the burner is of a type without electrical controls, a quick-closing valve will be provided in the oil supply line so located and arranged that the valve may be manually closed from the top of the cellar stairs, or outside of the room where the burner is located or from outside the building.
3. A quick action, self-closing valve designed to close at 160 to 165 degrees Fahrenheit will be provided in oil supply line.
4. Readily accessible shut-off valves, one of which may be the self-closing valve indicated in No. 3 if capable of manual operation, will be installed in oil supply line near each burner and close to supply tank. Shut-off valves will be installed on each side of oil strainers which are not a part of the oil burner unit or which are connected to oil burner unit without intervening piping or tubing. Shut-off valves will be provided both on the discharge side and the suction side of oil pumps, if any, which pump directly to the burner but which are not a part of the burner unit.
5. If there is to be a shut-off valve in the discharge line of an oil pump, a suitable pressure relief valve will be connected into the discharge line between pump and shut-off valve and arranged to return surplus oil to the storage tank or to by-pass it around the pump.

(Date) Aug 8th. 41 By Frank W. Johnson Installer



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 129

AUG 8 1941

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 8, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 27 Morning Street Use of Building tenement house No. Stories 3 Existing "New/Existing"

Name and address of owner of appliance Abraham Kroot, 27 Morning Street

Installer's name and address Gilman Furnace Co., 57 Union Street Telephone 2-8661

General Description of Work

To install Oil Burning Equipment in connection with existing steam heat (2d floor)

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? yes If not, which story Kind of fuel Oil

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace from top of smoke pipe from front of appliance from sides or back of appliance

Size of chimney flue Other connections in same flue

IF OIL BURNER

Name and type of burner Aldrich Labeled and approved by Underwriters' Laboratories? yes

Will operator be always in attendance? Type of oil feed (gravity or pressure) gravity

Location oil storage basement No. and capacity of tanks 1 - 275 gal.

Will all tanks be more than seven feet from any flame? yes How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 10 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer by [Signature] Gilman Furnace

INSPECTION COPY

RECEIVED BY THE CITY OF PORTLAND AUG 10 1941

Permit No. 41/1129

Location 27 Manning St.

Owner Abraham M. Post

Date of Permit 8/8/41.

Post Card sent _____

Notif. for insp. 11/24

Approval Tag issued 8/22/41 W.C.

Oil Burner Check List (date) 8/22/41.

1. Kind of heat Steam

2. Label _____

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card No

16. draft test in smoke pipe

NOTES



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No. 7-58

1940

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, MAY 29, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 27 Morning St Use of Building Residence No. Stories 1 New Building Existing "X"
Name and address of owner of appliance Abraham Knott, 27 Morning St
Installer's name and address Randall & McAllister, 44 Bond St Telephone 324-11

General Description of Work

To install Oil Burner to existing kitchen

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? Yes If not, which story? Kind of Fuel Oil
Material of supports of appliance (concrete floor or what kind) Concrete
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace,
from top of smoke pipe from front of appliance from sides or back of appliance
Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Tanker Labeled and approved by Underwriters' Laboratories? Yes
Will operator be always in attendance? Type of oil feed (gravity or pressure) Gravity
Location oil storage Basement No. and capacity of tanks 1-275 gal
Will all tanks be more than seven feet from any flame? Yes How many tanks fireproofed?

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of Installer Randall & McAllister

INSPECTION COPY

Permit No. 40/1958
 Location 27 Morning St
 Owner Abraham Robert
 Date of Permit 11/29/40
 Post Card sent _____
 Notif. for insp. see
 Approval 12/1/40 C.L.
 Oil Burner Check List (date) 12/1/40
 1. Kind of heat Steam
 2. Label _____ ✓
 3. Anti-siphon _____ ✓
 4. Oil storage _____ ✓
 5. Tank distance _____ ✓
 6. Vent Pipe _____ ✓
 7. Fill Pipe _____ ✓
 8. Gauge _____ ✓
 9. R¹ uidity _____ ✓
 10. Feed safety _____ ✓
 11. Pipe sizes and material _____ ✓
 12. Control valve _____ ✓
 13. Ash pit vent _____ ✓
 14. Temp. or pressure safety _____ ✓
 15. Instruction card _____ ✓
 16. Sept 2 - that is in case of pipe

NOTES



FILL IN COMPLETELY AND SIGN WITH INK

STEAM

Permit No. 1180

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

SEP 16 1938

Portland, Maine, Sept. 16, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 27 Morning St. Use of Building Residence
Name and address of owner Morris Sacknoff & Sons, 446 Fore St.
Contractor's name and address Easternoil, Inc. 133 Marginal Wsy Telephone 3-6495

General Description of Work

To install Oil Burning Equipment

EMPHATIC OF OCCUPANCY REQUIREMENTS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

NOTIFICATION BEFORE LATHING OR FINISHING TO BE GIVEN

Is heater or source of heat to be in cellar? Yes If not, which story Kind of Fuel Oil
Material of supports of heater or equipment (concrete floor or what kind) Concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace,
from top of smoke pipe, from front of heater, from sides or back of heater
Size of chimney flue Other connections to same flue

IF OIL BURNER

Name and type of burner Model A Easternoil Labeled and approved by Underwriters' Laboratories? Yes
Will operator be always in attendance? No Type of oil feed (gravity or pressure) Pressure
Location oil storage Basement No. and capacity of tanks 1-275-gal.
Will all tanks be more than seven feet from any flame? Yes How many tanks fireproofed?

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor EASTEROIL, INC.

BY [Signature]

26262

Ward _____ Permit No. 38/1480

Location 27 Morning Street

Owner Morris Sackoff & Sons

Date of permit 9/16/38

Post Card sent _____

Notif. for insp. None

Comp. C-36-146
Approval Tag issued 9/22/38 O.S.P.

Oil Burner Check List (date) 9/22/38

1. Kind of heat Steam

2. Label 136555

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent pipe

7. Fill pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16. _____

NOTES



Original Permit No. 114
Amendment No. 1 **PERMIT ISSUED**

AMENDMENT TO APPLICATION FOR PERMIT 8 1899

Portland, Maine, October 8, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 81/1899 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 27 Morning Street Ward 1 With the Fire Limits? yes Dist. No. 5

Owner's or Lessee's name and address A. Kroet, 27 Morning Street

Contractor's name and address _____

Plans filed as part of this Amendment no No. of sheets _____

Description of Proposed Work

To build walls of garage of concrete blocks 8" thick
concrete trench wall foundation built instead of slab as given in application

10/8/31 - Garage to be built as given in original permit except for foundation
which is to be concrete wall with 4x8 sill
A. Kroet

Signature of Owner Abe Kroet

Approved: Oliver T. Sanborn

Chief of Fire Department.

Approved: 10/8/31

Warren Dorr

Inspector of Buildings.

Commissioner of Public Works.

10A



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 1899

Class of Building or Type of Structure Third Class

SEP 28 1931

Portland, Maine, September 28, 1931.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 27 Cornelia Street Ward 1 Within Fire Limits? Yes Dist. No. 3
 Owner's or Lessee's name and address A. Kroot, 27 Cornelia Street
 Contractor's name and address B. Kroot, 133 Congress Street Telephone _____
 Architect's name and address _____ Telephone P-1074
 Proposed use of building garage
 Other buildings on same lot? no No. families _____
 Plans filed as part of this application? yes No. of sheets 1
 Estimated cost \$ 000.00 Fee \$.75

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect 1 car frame garage 10' x 10'

CERTIFICATE OF OCCUPANCY
REQUIREMENT
NOTIFICATION BEFORE LEAVING WAIVED,
OR CLOSING-IN IS WAIVED.

The walls of garage will be lined on inside from floor to roof boards with metal lath covered with Portland cement plaster at all points closer than 5 feet to any part of tenement house on same lot.

Appeal sustained and permit granted by Special Order of Board of Municipal Officers 9/21/31
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 10' depth 10' No. stories 1 Height average grade to top of plate 0'
 To be erected on solid or filled land? solid Height average grade to highest point of roof 15'
 earth or rock? earth
 Material of foundation concrete slab Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof hip Rise per foot 0" Roof covering asphlt roofing Class #3 Uni Lab
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Is gas fitting involved? _____
 Corner posts no Sills no Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof
 span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 20"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated 1
 Total number commercial cars to be accommodated none
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

A. Kroot

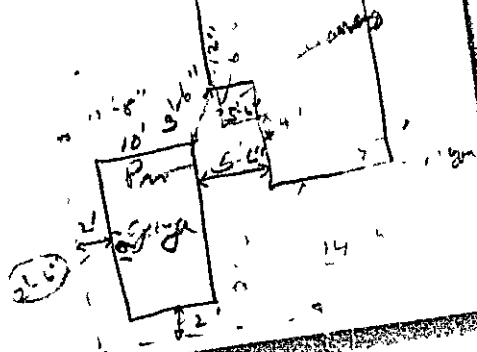
Sept 27 morning

10 x 19 garage lift
roof 13' to peak roof
summed 9/1/10

morning lift
4/27/77.

working
of earth?

Parent



(A) APARTMENT HOUSE ZONE

*Disc
Morning*

3-6

5-6

10-0

GARAGE

IF
0-0

IF

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for A. Kroot
at 27 Morning St. Date Sept.

1. In whose name is the title of the property now recorded? A. Kroot
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? eaves
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

A. Kroot



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class **1899**

Portland, Maine, August Sept. 1, 1917

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 27 Morning Street Ward 1 Within Fire Limits? Yes Dist. No. 3
 Owner's or Lessee's name and address A. Kroot, 27 Morning Street Telephone _____
 Contractor's name and address B. Kroot, 106 Congress Street Telephone P-1074
 Architect's name and address _____
 Proposed use of building 1 car garage No. families _____
 Other buildings on same lot 3 family houses
 Plans filed as part of this application? Yes No. of sheets 1
 Estimated cost \$ 200.00 Fee \$.75

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect 1 car frame garage 10' x 19'

NOTIFICATION BEFORE
OR CLOSING IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

~~Special provisions and permit granted by Special Order of Board of Health, Dec 11, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683, 2684, 2685, 2686, 2687, 2688, 2689, 2690, 2691, 2692, 2693, 2694, 2695, 2696, 2697, 2698, 2699, 2700, 2701, 2702, 2703, 2704, 2705, 2706, 2707, 2708, 2709, 2710, 2711, 2712, 2713, 2714, 2715, 2716, 2717, 2718, 2719, 2720, 2721, 2722, 2723, 2724, 2725, 2726, 2727, 2728, 2729, 2730, 2731, 2732, 2733, 2734, 2735, 2736, 2737, 2738, 2739, 2740, 2741, 2742, 2743, 2744, 2745, 2746, 2747, 2748, 2749, 2750, 2751, 2752, 2753, 2754, 2755, 2756, 2757, 2758, 2759, 2760, 2761, 2762, 2763, 2764, 2765, 2766, 2767, 2768, 2769, 2770, 2771, 2772, 2773, 2774, 2775, 2776, 2777, 2778, 2779, 2780, 2781, 2782, 2783, 2784, 2785, 2786, 2787, 2788, 2789, 2790, 2791, 2792, 2793, 2794, 2795, 2796, 2797, 2798, 2799, 2800, 2801, 2802, 2803, 2804, 2805, 2806, 2807, 2808, 2809, 2810, 2811, 2812, 2813, 2814, 2815, 2816, 2817, 2818, 2819, 2820, 2821, 2822, 2823, 2824, 2825, 2826, 2827, 2828, 2829, 2830, 2831, 2832, 2833, 2834, 2835, 2836, 2837, 2838, 2839, 2840, 2841, 2842, 2843, 2844, 2845, 2846, 2847, 2848, 2849, 2850, 2851, 2852, 2853, 2854, 2855, 2856, 2857, 2858, 2859, 2860, 2861, 2862, 2863, 2864, 2865, 2866, 2867, 2868, 2869, 2870, 2871, 2872, 2873, 2874, 2875, 2876, 2877, 2878, 2879, 2880, 2881, 2882, 2883, 2884, 2885, 2886, 2887, 2888, 2889, 2890, 2891, 2892, 2893, 2894, 2895, 2896, 2897, 2898, 2899, 2900, 2901, 2902, 2903, 2904, 2905, 2906, 2907, 2908, 2909, 2910, 2911, 2912, 2913, 2914, 2915, 2916, 2917, 2918, 2919, 2920, 2921, 2922, 2923, 2924, 2925, 2926, 2927, 2928, 2929, 2930, 2931, 2932, 2933, 2934, 2935, 2936, 2937, 2938, 2939, 2940, 2941, 2942, 2943, 2944, 2945, 2946, 2947, 2948, 2949, 2950, 2951, 2952, 2953, 2954, 2955, 2956, 2957, 2958, 2959, 2960, 2961, 2962, 2963, 2964, 2965, 2966, 2967, 2968, 2969, 2970, 2971, 2972, 2973, 2974, 2975, 2976, 2977, 2978, 2979, 2980, 2981, 2982, 2983, 2984, 2985, 2986, 2987, 2988, 2989, 2990, 2991, 2992, 2993, 2994, 2995, 2996, 2997, 2998, 2999, 3000, 3001, 3002, 3003, 3004, 3005, 3006, 3007, 3008, 3009, 3010, 3011, 3012, 3013, 3014, 3015, 3016, 3017, 3018, 3019, 3020, 3021, 3022, 3023, 3024, 3025, 3026, 3027, 3028, 3029, 3030, 3031, 3032, 3033, 3034, 3035, 3036, 3037, 3038, 3039, 3040, 3041, 3042, 3043, 3044, 3045, 3046, 3047, 3048, 3049, 3050, 3051, 3052, 3053, 3054, 3055, 3056, 3057, 3058, 3059, 3060, 3061, 3062, 3063, 3064, 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3729, 3730, 3731, 3732, 3733, 3734, 3735, 3736, 3737, 3738, 3739, 3740, 3741, 3742, 3743, 3744, 3745, 3746, 3747, 3748, 3749, 3750, 3751, 3752, 3753, 3754, 3755, 3756, 3757, 3758, 3759, 3760, 3761, 3762, 3763, 3764, 3765, 3766, 3767, 3768, 3769, 3770, 3771, 3772, 3773, 3774, 3775, 3776, 3777, 3778, 3779, 3780, 3781, 3782, 3783, 3784, 3785, 3786, 3787, 3788, 3789, 3790, 3791, 3792, 3793, 3794, 3795, 3796, 3797, 3798, 3799, 3800, 3801, 3802, 3803, 3804, 3805, 3806, 3807, 3808, 3809, 3810, 3811, 3812, 3813, 3814, 3815, 3816, 3817, 3818, 3819, 3820, 3821, 3822, 3823, 3824, 3825~~

Permit No. 317/1899

27 Morning St.

A. Krout

Date of permit 9/28/31.

Notif. closing-in

Inspn. closing-in

Final Notif. None.

Exp. date 11/16/31. *dlb*

Cert. of Occupancy issued *None*

NOTES

9/15/31 - Better drawings
present. - *None*

9/10/31. Photo. *dlb*

10/6/31. Slab laid. *dlb*

10/21/31.
Frame up to plate,
roof not started. Plate
is 9'-6" above grade
clear height. *dlb*
Miss. Liberty talked
with Mr. Krout and
lightest part will
be 15'-0". *dlb*

10/28/31.
Garage has been cut
down a little, is about
4'-9" from level. *dlb*

11/16/31.
Pans up 3" *dlb*



City of Portland, Maine

Appeal to the Municipal Officers to Change the Decision of the
 Inspector of Building- Relating to the Property Owned
 by **A. Kroot** at **27 Morning Street**

Sept. 6, 19 51

To the Municipal Officers:

Your appellant, **A. Kroot**

who is the **owner** of property at **27 Morning Street**

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c of the Zoning Ordinance. on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings denies a building permit to erect a 1-car garage on the above property on the ground that the proposed garage would be located with one corner only three foot and six inches from a three family tenement house on the same premises. The Zoning law provides that a garage in an Apartment House Zone shall not be closer than five feet to a tenement house.

The reasons for the appeal are as follows: The appellant feels that since only a small portion of the garage will be closer to the tenement house than the required five feet that the permit can be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

3160

PUBLIC HEARING ON THE APPEAL OF A. KROOT AT 27 MORNING STREET.

September 16, 1931

A public hearing upon the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the City were Councillor Craig and the Inspector of Buildings.

Mr. Kroot appeared in support of his appeal, but no opponents were present.

INSPECTOR OF BUILDINGS.

31/60

September 17, 1931.

To the Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to whom was referred the appeal of A. Kroot with relation to the construction of a private garage close to his tenement house at 27 Morning Street, reports as follows:

A public hearing has been held upon this appeal at which no opponents appeared.

It is the belief of this committee that failure to grant this permit involves unnecessary hardship, and that desirable relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

Recommended that the appeal be sustained and the permit granted subject to the condition that the inside wall from floor to roof boards of all parts of the garage closer than five feet to any part of the tenement house on the same property be lined with metal lath and cement plaster, or so-called "asbestos lumber" at least 3/8ths of an inch in thickness, and subject to compliance with all other requirements of the Building Code.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS.

Chairman.

3/60

September 12, 1931

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing at Room 35, City Hall, Wednesday, September 16th at twelve o'clock noon, Daylight Time, upon the appeal of A. Kroot who seeks the right to construct a 1-car frame garage 10' x 19' upon his property at 27 Morning Street.

A permit has been denied for this work because the proposed garage would be located with one corner only three feet and six inches away from a three family tenement house on the same premises whereas the Zoning Law provides that a garage in an Apartment House Zone shall not be closer than five feet to a tenement house.

All persons interested either for or against the above appeal will be heard at the above time and place.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS.

ARTHUR E. CRAIG, Chairman

3/60

September 12, 1931

Mr. A. Kroot
27 Morning Street
Portland, Maine

Dear Sir:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing at Room 35, City Hall, Wednesday, September 16th at twelve o'clock noon, Daylight Time, upon your appeal with relation to the construction of a 1-car garage upon the property at 27 Morning Street.

You should be present or should be represented at this hearing in support of your appeal, as failure to be so represented will be considered equivalent to withdrawal of the appeal, and will be so reported to the Board of Municipal Officers.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS,

ARTHUR E. CRAIG, Chairman



Location, Ownership and detail must be correct, complete and legible.
 Separate application required for every building.
 Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the Portland, June 14, 1921 192
 INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg:

Location 27 Morning Ward, 1 in fire-limits? NO
 Name of Owner or Lessee Louis Lerner Address 61 St. Lawrence
 " " Contractor, Joe Sheriff " 185 Gumborland Ave
 " " Architect _____ " _____
 Material of Building is wood Style of Roof, pitch Material of Roofing shingle
 Size of Building is 40ft feet long; 24ft feet wide. No. of Stories, 2 1/2
 Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
 Underpinning is brick is _____ inches thick, is _____ feet in height.
 Height of Building 30ft Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th,
 What was Building last used for? dwelling No. of Families? 2
 What will Building now be used for? same

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

DETAIL OF PROPOSED WORK

Rebuild two piazzas and put on asphalt roof over piazza, tar & gravel roof, by window
all to comply with the building ordinance

Estimated Cost \$ 275.

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
 No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
 Of what material will the Extension be built? _____ Foundation? _____
 If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
 How will the extension be occupied? _____ How connected with Main Building? _____

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations _____
 No. of feet high from level of ground to highest part of Roof to be? _____
 How many feet will the External Walls be increased in height? _____ Party Walls _____

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? _____ in _____ Story.
 Size of the opening? _____ How protected? _____
 How will the remaining portion of the wall be supported? _____
 Signature of Owner or Authorized Representative. Joe Sheriff

Address _____

27 Morning St.

FINAL REPORT

192.

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated? Doc. No. of 192

Nature of violation?

PERMIT GRANTED

June 14, 1921 192

Permit filled out by

Permit number 27 Morning

Location

Violation removed, when? 192

Estimated cost of alterations, etc., \$

Inspector of Buildings.

ALLEN BROTHERS & COMPANY

10 MC

INQUIRY BLANK

ZONE MAN

FIRE DIST. 3

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
By ~~Telephone~~

DATE Sept. 21, 1943

LOCATION 27 Morning Street OWNER Abraham Kroot - 247 Middle St.

MADE BY Wadsworth & Boston TEL. _____

ADDRESS 57 Exchange Street

PRESENT USE OF BUILDING 3 families

CLASS OF CONSTRUCTION Third NO. OF STORIES 3

REMARKS: Plans for alteration for 6 families.

INQUIRY: Would like check of plans prior to application for permit

ANSWER: _____

DATE OF REPLY _____ REPLY BY _____

LOCATION 27 Morning Street

DATE 10/21/13

NOTES



CITY OF PORTLAND
DEPARTMENT OF BUILDING INSPECTION

COPY

Certificate of Occupancy

COPY

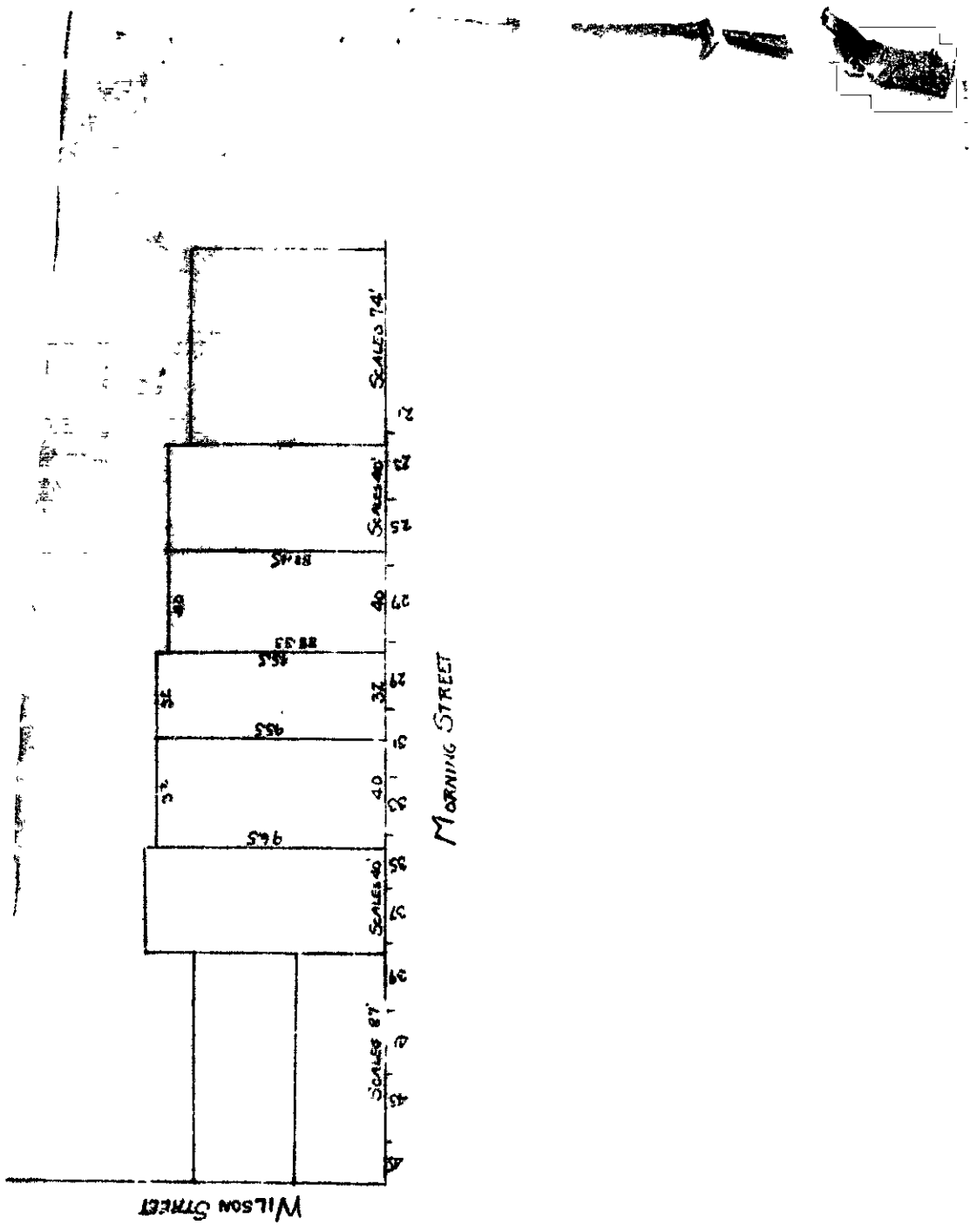
This is to certify that the building at 27 Manning Street
has been altered under Building Permit No. 43/1027 has been finally
inspected and may now be occupied for the purposes

of six family apartment house subject to conditions on re-
verse side hereof.

Date 1/5/44

Issued to A. Kroot

Inspector of Buildings



THE UNITED STATES OF AMERICA — NATIONAL HOUSING AGENCY
Home Use Program
ITEMIZED SPECIFICATIONS OF RECONDITIONING AND CONTRACTOR'S BID

A. TO THE UNITED STATES OF AMERICA—NATIONAL HOUSING AGENCY

The undersigned Contractor hereby offers to complete, in a good and workmanlike manner, and to furnish and provide all the work and materials necessary to perform and complete, the hereinafter mentioned Itemized Specifications of Work, on the property located at:

27 Morning Street, Portland, Maine.
(Property Address) (City) (State)

all such work to be performed in accordance with the specification of work on Form U.S. NHA R36 attached hereto and made a part hereof as if fully set forth herein, and designated as follows

Case No. W-17-1A-47
Rider Sheet Nos. 1-2-3-4-5
Itemized Specifications of Work

and other view in accordance with the latest revised edition of the Master Specifications issued by the Government which are approved for use in performance of the work and hereby made a part of this bid the same as if separately recited herein, and such other schedules, working drawings, and special specifications, if any, as may be attached hereto and hereby made a part hereof, and identified as Property at 27 Morning Street,
Portland, Maine.

and pursuant to the terms, covenants, and conditions herein contained, for the Sum of _____ (\$ _____) Dollars, which is the amount of the proposal, irrespective of the total of the items indicated; and offers to commence work within _____ days after notice of award in writing and to complete such work within _____ days after the date of such notice, unless delayed by strikes, walk-outs, fire or other unavoidable causes beyond the Contractor's control, in which event the date of completion shall be extended for a period to be determined by the Government.

B. CONTRACT PROVISIONS

ARTICLE 1. Wherever found herein the word "Government" means the United States of America, and the word "Premises" means the property denoted in A above, on which the work specified herein is to be performed.

ARTICLE 2. It is understood and agreed that all work done under this contract shall be performed under applicable provisions of the Act of Congress approved October 14, 1940 (Public No. 849 — 76th Congress, known as the Lanham Act), as amended.

ARTICLE 3. The Contractor agrees: (a) that unless otherwise specifically provided herein no payment shall be due hereunder until this contract has been fully performed in a substantial and workmanlike manner meeting the approval of the Government and until the Contractor has deposited with the Government satisfactory releases of liens and claims for liens of subcontractors, laborers, and materialmen, and of other persons in any way performing service or furnishing labor or materials to the Contractor on account of this contract on or for the premises; (b) that any work done or material furnished failing in the requirements of the plans, specifications, and this contract, will be removed from the premises, and replaced by the Contractor at his expense; (c) that he shall not assign this contract without the written consent of the Government; (d) that time is of the essence of this contract; (e) that no use or occupancy of the premises by anyone shall be deemed to be an acceptance of the work to be performed hereunder, it being understood that unless otherwise herein provided, the premises may be occupied during the period of this contract; (f) that he shall provide adequate workmen's compensation insurance for employees when such insurance is required by law, and provide such other insurance as specified under the Itemized Specifications of Work, or as herein otherwise provided, the evidence of such insurance as approved by the Government to be filed with it; (g) that he shall furnish, in form approved by the Government, if specified under the Itemized Specifications of Work, or elsewhere herein, a payment bond, a performance bond, a completion bond, or other bond providing for the payment of all wages and for all materials; (h) that he shall furnish to the Government upon request the names and addresses of all subcontractors and materialmen together with amounts due or to become due them, and to furnish, and cause subcontractors to furnish, upon request of the Government and on forms furnished by the Government, such reports concerning wage scales, payrolls, and otherwise, as the Government may require; (i) that any and all payments hereunder received by the Contractor shall be held by the Contractor as trust funds of the Government to be applied first to the full payment for all labor performed, materials furnished hereunder, insurance premiums, and other costs of the improvement, the surplus if any to be retained by the Contractor, and in the event of diversion of said funds, the Government shall, upon written demand mailed to the Contractor at his last known address, be entitled to the immediate return of the payments made hereunder; (j) that he shall not receive any payments under the terms of this contract unless he is not indebted to the United States Government except for current income tax and so warrants upon voucher forms to be submitted by him to the Government on approved forms for payment.

ARTICLE 4. The Contractor acknowledges that the general provisions of, and the special references to, the Master Specifications become a part of this contract, and the Contractor expressly guarantees the work embraced by this contract, to such extent as may be required by the Master Specifications for the applicable work or trade, and as though a separate written guarantee were being given by him. In the absence of a provision in the Master Specifications requiring a separate written guarantee, the Contractor hereby guarantees the work to such extent as may be established by custom for the respective work or trades; or, in the absence of such custom, the Contractor guarantees the work for a period of one year from the date of the acceptance of such work by the Government.

ARTICLE 5. The Contractor agrees to comply with all applicable provisions of law or regulations to which he is or shall hereafter become subject; and further agrees to secure a certificate of occupancy or other similar certificate evidencing performance in accordance with local law from the appropriate municipal authorities wherever and whenever necessary. Unless otherwise provided herein, the Contractor shall provide and pay for all permits, licenses, materials, labor, water, tools, equipment, light, power, transportation, and other facilities necessary for the execution and completion of the work; and when the work is finished, shall clean up the premises, leaving the same free and clear of all obstructions and hindrance. The Contractor shall be responsible for all violations of ordinances or statutes relating to the construction of buildings or the obstruction of streets and sidewalks, and shall carefully repair and make good any damage to property, streets, or pavements caused by any operation connected with the work.

ARTICLE 6. (a) Unless otherwise provided in the specifications, partial payments may be made by the Government to the Contractor after 50 per cent of the work has been completed, or as soon thereafter as practicable, on estimates made and approved by the Government. In preparing estimates the material delivered on the site and preparatory work done may be taken into consideration.

(b) In making such partial payments there shall be retained 15 per cent of the estimated amount until final completion and acceptance of all work covered by the contract; PROVIDED, HOWEVER, that the Government may require of the Contractor who requests a partial payment a completion bond to be furnished at the Contractor's expense or other acceptable indemnity in such amounts and on such forms as the Government may require AND PROVIDED FURTHER, that on completion and acceptance of any division or item of the contract on which the price is stated separately in the contract, payment may be made in full, including retained percentages thereon, less authorized deductions.

(c) All material and work covered by partial payments shall thereupon become the sole property of the Government, but this provision shall not be construed as relieving the Contractor from the sole responsibility for all materials and work upon which payments have been made or for the restoration of any damaged work, or as a waiver of the right of the Government to require the fulfillment of all the terms of the contract.

(d) Upon completion and acceptance of all work required hereunder, the amount due the Contractor under this contract will be paid upon the presentation of a properly executed and duly certified voucher therefor after the Contractor shall have furnished the Government with a release of all claims against the Government arising under and by virtue of this contract.

ARTICLE 7. The Government shall have the right at all times during the course of the work to inspect the said work, and by written order to change or modify the scope thereof, and to change, substitute, alter, delete, or supplement any of the items of specifications thereof, either of labor or of materials, it being understood that in such event the time for the performance of this Contract shall be extended for such reasonable period as may be necessary beyond the date fixed herein for the completion thereof, the period of such extension to be determined by the Government. In the event of any such change, modification, substitution, alteration, deletion, or supplement to the specifications hereunder, there shall be no increase in the basic unit price officially established hereunder for the items of work involved or for similar work. If such changes, modifications, substitutions, alterations, deletions, or supplements cause any increase or decrease in the amount due hereunder, the total price of this contract shall be increased or decreased accordingly. The Government shall not recognize any orders for changes, modifications, substitutions, alterations, deletions, or supplements as outlined herein unless they are to show the cost thereof and are signed by authorized representatives of the Government who are in charge of supervising the work performed hereunder.

ARTICLE 8. In the performance of the work covered by this contract the Contractor, subcontractor, materialmen, or suppliers shall use only such manufactured articles, materials, and supplies as have been mined or produced in the United States and only such manufactured articles, materials, and supplies as have been manufactured in the United States substantially all from articles, materials, or supplies mined, produced, or manufactured, as the case may be, in the United States; PROVIDED, HOWEVER, that if the head of the governmental agency making this contract shall find that in respect to some particular articles, materials, or supplies, it is impracticable to make such requirement or that it would unreasonably increase the cost, an exception shall be noted in the specifications as to that article, material, or supply, and a public record made of the findings which will justify such exception.

ARTICLE 9. (a) No laborer or mechanic doing any part of the work contemplated by this contract, in the employ of the Contractor or any subcontractor contracting for any part of said work contemplated, shall be required or permitted to work more than eight hours in any one calendar day upon such work at the site thereof, except upon the condition that compensation is paid to such laborer or mechanic in accordance with the provisions of this article. The wages of every laborer and mechanic employed by the Contractor or any subcontractor engaged in the performance of this contract shall be computed on a basic day rate of eight hours per day and work in excess of eight hours per day is permitted only upon the condition that every such laborer and mechanic shall be compensated for all hours worked in excess of eight hours per day at not less than one and one-half times the basic rate of pay. Not less than the prevailing wages shall be paid on all work performed hereunder. Preference in such employment hereunder shall be given to qualified local residents.

(b) For each violation of the requirements of this article a penalty of five dollars shall be imposed upon the Contractor for each laborer or mechanic for every calendar day in which such employee is required or permitted to labor more than eight hours upon said work without receiving compensation computed in accordance with this article, and all penalties thus imposed shall be withheld for the use and benefit of the Government.

(c) The Contractor shall not employ any convict labor.

ARTICLE 10. (a) Whoever shall induce any person employed on any work covered by this contract to give up any part of the compensation to which he is entitled hereto by force, intimidation, threat, or procuring the dismissal of such employee, or by any other means whatsoever, shall be fined not more than \$5,000 or imprisoned not more than five years, or both. (Title 40, Section 276b, U.S. Code, 1934 ed.)

(b) The Contractor and all subcontractors shall furnish to the Government representative in charge at the site of the work covered by this contract, or if no Government representative is in charge at the site, shall mail to Wadsworth & Boston, 67 Exchange St., Portland, Me. within seven days after the regular payment date of each and every weekly payroll, an affidavit duly executed and attested in the form attached hereto.

ARTICLE 11. In accordance with the Act of August 30, 1935, 49 Stat. 1011, as amended by the Act of June 15, 1940, 54 Stat. 399, (Title 40, Sections 276a and 276a 1, U.S. Code, 1934 ed.), the following provision shall apply if the contract is in excess of \$2,000 in amount:

(a) The Contractor and his subcontractors shall pay all mechanics and laborers employed directly upon the site of the work, unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account, the full amounts accrued at time of payment, computed at wage rates not less than those stated in the specifications, regardless of any contractual relationship which may be alleged to exist between the Contractor or subcontractors and such laborers and mechanics; and the scale of wages to be paid shall be posted by the Contractor in a prominent and easily accessible place at the site of the work. The contracting officer shall have the right to withhold from the Contractor so much of accrued payments as may be considered necessary by the contracting officer to pay to laborers and mechanics employed by the Contractor or any subcontractor on the work the difference between the rates of wages required by the contract to be paid laborers and mechanics on the work and the rates of wages received by such laborers and mechanics and not refunded to the Contractor, subcontractors, or their agents.

(b) In the event it is found by the contracting officer that any laborer or mechanic employed by the Contractor or any subcontractor directly on the site of the work covered by the contract has been paid a rate of wages less than the rate of wages required by the contract to be paid as aforesaid, the Government may, by written notice to the Contractor, terminate his right to proceed with the work or such part of the work as to which there has been a failure to pay said required wages and prosecute the work to completion by contract or otherwise, and the Contractor and his sureties shall be liable to the Government, in addition to other recoverable damages, for any excess costs occasioned the Government thereby.

ARTICLE 12. (a) Should the Contractor fail to prosecute the work to the satisfaction of the Government, or should he at any time become insolvent, or refuse to follow the plans and specifications, or fail to perform the work in a good and workmanlike manner, or cause by any action the stoppage of the work of other contractors performing work upon this property, or fail to comply in any other respect with this contract, then, upon the happening of any of the foregoing events, the Contractor agrees that the Government may, by written notice mailed to the Contractor at his last known residence or place of business, or by notice delivered at such place or to the foreman in charge of the work, terminate this contract and take over the work and prosecute to completion by contract or otherwise, and enter into and take possession of the work, materials, tools, appliances, and equipment needed to complete such work, and make such payment as the Government deems necessary for the discharge in whole or in part of the claims, liens, or claims for complete such work, and the Contractor further agrees that the expense of such notice and of liens, of any person in privity with the Contractor on account of this contract; and the Contractor further agrees that the expense of such notice and of the completion of such work, and the amount paid for the discharge or payment on account of claims, liens, or claims for liens, and the expense thereof, shall be deducted from the amount due or to become due the Contractor, and if more than the amount due then the Contractor shall be liable to the Government for the difference, and the Government may hold, sell, or otherwise realize upon any material, machinery, tools, or other equipment upon the premises on account of such difference in case the Contractor shall fail or refuse to pay the same; all without prejudice to any other remedy the Government may have.

(b) That if the work specified herein, or any part thereof, or any supplement thereto, is not completed within the time designated for the completion thereof or within any extension of time granted by the Government, the Government shall be entitled to receive from the Contractor as fixed, agreed and liquidated damages for such delay and in addition to any other damages and remedies for which provision is made herein, and in the absence of any legal justification for such delay, an amount equal to the rental paid or to be paid by the Government for the property, apportionable to the period of such delay. This provision shall apply whether the Government terminates the contract or permits the Contractor to continue the work to completion.

ARTICLE 13. The Contractor hereby expressly waives, releases, and relinquishes any and all right to maintain, or have filed or maintained, any mechanic's lien or claim against the premises or any part thereof, or any building or buildings thereon, for or on account of any work, labor, or materials, performed or furnished under this contract, and agrees that no such lien or claim shall be so filed or maintained by or on behalf of the Contractor. The Contractor further agrees that he will save, protect, defend, and hold the Government harmless from the liens or claims for liens against the premises, or any part thereof, or any buildings thereon, or any subcontractor, or any persons acting through or under the Contractor; and that if at any time there shall be any evidence of the filing or maintenance of any such lien or claim for lien on account of this contract or any other contract awarded to the Contractor by the Government, then the Government shall have the right to deduct and retain from the amount otherwise due to the Contractor hereunder an amount sufficient to indemnify and reimburse it for any and all loss or damages which may result from such lien or claim. The Contractor further agrees that this waiver shall be an independent covenant and shall operate and be effective, not only with respect to materials furnished or labor performed under this contract, but also with respect to any and all material furnished or labor performed under any contract supplemental to this principal contract, under any contract for extra labor or materials for the premises, and under any other contract awarded to the Contractor by the Government.

ARTICLE 14. (a) The Contractor agrees to save, protect, defend, and hold the Government harmless; and, in consideration of the execution of this contract by the Government agrees to save, protect, defend, and hold harmless the lessor and the owner or owners of the premises, and their successors in interest, against any liens, claims, or demands of any person or for property damages or personal injury caused hereunder by reason of the Contractor's negligence or breach of contract or otherwise arising out of this contract or for any claim or demand for patent fees, royalties, or any invention, machine, article, or arrangement that may be used by the Contractor in the construction of the work; and further agrees to defend any and all actions and proceedings arising out of any of the foregoing claims in any suit and to pay counsel fees and expenses of all kinds whatsoever in connection therewith. The Government shall have the right to deduct and retain an amount sufficient to reimburse and indemnify itself or its lessors or the owners of the premises for any loss or damage which may result therefrom.

(b) No payment shall be made to the Contractor for services and materials furnished under this contract or any contract to be performed or performed by said Contractor for the Government unless and until the final determination or settlement of any claims or suits of any nature whatsoever arising out of or in connection with the performance of this contract, which may be filed or instituted against the Government or its lessor or the owner of the premises or their successors in interest.

ARTICLE 15. The Contractor warrants that he has not employed any person to solicit or secure this contract upon any agreement for a commission, brokerage, or contingent fee. Breach of this warranty shall give the Government the right to terminate the contract or, in its discretion, to deduct from the contract price or consideration the amount of such commission, percentage, brokerage, or contingent fees. This warranty shall not apply to commissions payable by Contractors upon contracts or sales secured or made through bona fide established commercial or selling agencies maintained by the Contractor for the purpose of securing business.

ARTICLE 16. The Contractor, in performing the work required by this contract, shall not discriminate against any worker because of race, creed, color, or national origin.

ARTICLE 17. No Member of or Delegate to Congress, or Resident Commissioner, shall be admitted to any share or part of this contract or to any benefit that may arise therefrom; but this provision shall not be construed to extend to this contract if made with a corporation for its general benefit.

ARTICLE 18. It is expressly understood and agreed by the Contractor and the Government that in the performance of the work provided for in this contract, the Contractor is an independent contractor and in no wise an agent of the Government. The Contractor hereby certifies that he is not a salaried employee of the Government, and that no salaried employee of the Government shall share in any benefit or part of this contract.

ARTICLE 19. In the event any provisions hereof are invalid, the Government may at its option cancel this contract upon written notice to the Contractor to such effect mailed to his last known address; otherwise such invalidity shall not affect the other provisions hereof.

ARTICLE 20. The Contractor shall cause appropriate provisions to be inserted in all subcontracts relating to this work to insure fulfillment of all requirements hereof. For the purpose of this contract, a subcontract is defined as any contract entered into by the Contractor with an individual, partnership, association, corporation, estate or trust, or other business enterprise, or other legal entity, for a specific part of the work to be performed in connection with the work to be done or the supplies to be furnished hereunder: PROVIDED, HOWEVER, That a contract for the furnishing of standard or commercial articles or raw material shall not be considered as a subcontract.

IN WITNESS WHEREOF the undersigned Contractor sets forth his hand and seal this _____ day of _____, 19____

(Signature of Contractor) (Address)

C. ACCEPTANCE OF BID

The Government hereby accepts the foregoing offer and agrees that it will pay to the above named Contractor the sum of _____

receipt from such Contractor of satisfactory waivers and releases of all liens and claims for liens, and upon delivery of other instruments required by it to be executed in transactions of this kind, it being understood that the Government may, when necessary, hold such sum, or a portion thereof as needed for such period of time as the governing law may require to protect it against claims of mechanics or materialmen.

Acceptance recommended UNITED STATES OF AMERICA

By: _____ For the National Housing Agency

D. CERTIFICATE OF INSPECTION AND APPROVAL

This is to certify that on the following date _____

I made intermediate inspections of the above described property. I further certify that on _____ I made the final inspection and found all work satisfactorily completed in accordance with the original contract and changes therein, if any.

Inspector

ITEMIZED SPECIFICATIONS OF WORK

RATES OF WAGES

There shall be paid each mechanic or laborer of the contractor or any sub-contractor engaged in work on the premises herein in the trade or occupation listed below, not less than the hourly wage rates set opposite such trade or occupation, regardless of any contractual relationship which may be alleged to exist between the contractor or any sub-contractor and such laborers and mechanics.

LOCATION Portland, Maine DATE 9/18/45 REGION New York

PREVAILING WAGE RATES

PER HOUR	TYPE OF LABOR	PER HOUR	TYPE OF LABOR
1.50	Bricklayers	1.00	Painters, brush
	Bricklayers' apprentices		Pipe Layers (concrete & clay)
1.16	Carpenters, journeymen	1.50	Plasterers
	Carpenters' apprentices	.80	Plasterers' tenders
1.50	Cement finishers	1.50	Plumbers
1.35	Electricians	1.00	Roofers, composition
.75	Electricians' app., helpers	1.00	Roofers, slate and tile
1.00	Glaziers		Roofers' helpers
1.375	Iron workers, structural	1.00	Sheet metal workers
1.375	Iron workers, reinforcing		Sheet metal workers' helpers
	Iron workers' apprentices		Soft floor layers (linoleum)
.75	Laborers, building	1.50	Sprinkler fitters
.75	Laborers, concrete	.875	Sprinkler fitters' helpers
.75	Laborers, unskilled	1.50	Steam fitters
1.50	Lathers	.75	Steam fitters' app., helpers
	Lathers' apprentices	1.50	Terrazzo workers
1.50	Marble setters		Terrazzo workers' helpers
	Marble setters' helpers	1.50	Tile setters
.80	Mason tenders		Tile setters' helpers
.80	Mortar mixers	.75	Truck drivers

RIDER SHEET NO. 2.

ITEMIZED SPECIFICATIONS OF WORK

SCOPE:

These specifications and the accompanying drawings are intended to describe and indicate the work necessary to convert the property from a 3 family apartment house to a 6 family apartment house. The work includes all necessary demolition, masonry, carpentry, lathing and plastering, window shades, plumbing, heating, electrical work, painting and decorating and the installation of gas ranges which will be furnished at the site by the Government. The contractor shall furnish all labor and materials which are necessary, and reasonable implied by the drawings and specifications, to complete the work whether specifically specified, or shown, or not.

GENERAL CONDITIONS:

General Conditions of the Master Specifications of the E. O. L. C. shall govern all phases of this work.

DEMOLITION:

Remove the existing cellar stair, all stud basement partitions with the exception of the coal bin partitions, the hot water storage tanks and indirect heaters together with their piping, the existing side entrance porch, all partitions, door frames, and doors, window frames and sash, etc, as required by the work indicated. All salvaged material, such as doors and frames and sash and frames, stock draw cases etc. which are suitable shall be reincorporated in the work. Contractor shall cut back under the winders on the rear stair at the second floor in order to provide headroom as required and shall remove such existing porch flooring and timbers from the existing rear porch as are necessary to provide sound flooring and structure as specified under carpentry.

MASONRY:

1. Build new 12" by 12" piers for the new side porch and exit stair as indicated on the drawings.
2. Patch all holes in existing basement floor with concrete, finished flush with the existing surface.
3. Fill all thimble holes in chimney above the basement level.
4. Point and repair underpinning as necessary.
5. Clean out the existing chimney flue and leave in satisfactory condition.
6. Cast in place 1'6" by 1'6" by 1' thick concrete footings for all new posts indicated in the basement with tops of such footings finished 4" above the basement floor.

CARPENTRY:

1. Erect new exterior porch and stairways as indicated on the drawings.
2. Replace any defective structural members and refloor such portions of the existing rear porch as show decay, and repair such sound floor boarding as proves to be loose.
3. Make necessary structural repairs and furnish such new risers and treads as are necessary on the front porch and steps and the rollway steps to the basement. Replace and repair doors in rollway.
4. Cut back under winders at second floor of rear stair and frame to provide soffit for the stair with adequate headroom, to be plastered as specified later.

RIDER SHEET NO. 3.

ITEMIZED SPECIFICATIONS OF WORK

CARPENTRY(Cont)

6. Furnish new balusters and stair treads as necessary on the rear existing stairway.
6. Build casework in all new kitchens as indicated in the drawings, with stock drawcases or drawcases salvaged from existing pantry and with batten doors, or cupboard doors salvaged from the existing work, and with counter top glued up of $3/4$ " K. C. pine or of $3/4$ " plywood, as indicated.
7. Furnish and erect new 6" x 6" structural posts in the basement as indicated.
8. a. Erect new partitions and fill in closed door openings as indicated with 2 x 4 studs covered with square edged $3/8$ " gypsum wall board with cemented joints.
- b. Stud for new partitions and closed openings in public halls and stair halls and for partitions around basement stair with 2 x 4 studding to be covered with lath and plaster as later specified.
9. Furnish handrails as necessary to provide one continuous handrail on each stair and two handrails, one on each side of rear stair from second to third floor.
10. Relocate existing doors and frames, and windows and frames, as indicated and furnish such new frames, doors, and sash as necessary to execute the work indicated. Furnish and set new trim and base as required.
11. Do all necessary cutting and patching for the heating and plumbing contractor.
12. Patch all floors where partitions are removed, to provide a satisfactory and continuous finished surface.
13. Replace all missing broken or cracked glass, and all broken or frayed sash cords throughout. Ease all doors and windows and leave them in good operating condition.
14. Repair all existing hardware and provide such new hardware as is necessary. Each apartment front door shall have a cylinder rim night latch all keyed to open the main entrance door. Provide 2 keys for each apartment front door.

LATHING AND PLASTERING:

1. All new partition work in public halls and stairways, soffit of stair in rear hall where alterations were made and fire partition around cellar stairs shall be plastered with 2 coats of hard gypsum plaster on perforated gypsum lath.
2. The contractor shall remove all loose and damaged plaster on all walls and ceilings and shall replaster such areas, and fill all cracks and holes flush with the existing surface.

WINDOW SHADES:

Replace all window shades at all windows except those in apartment number 5, with new shades to cost not over \$1.00 each.

PLUMBING:

Furnish and install, complete with soil and vent stacks, hot and cold water, such new bathroom fixtures and kitchen sinks as are indicated, using Victory type plumbing fixtures similar to those manufactured by the Crane Company.

RIDER SHEET NO. 4.

ITEMIZED SPECIFICATIONS OF WORK

PLUMBING (Cont)

Furnish and install gas service from single meter to each kitchenette, and install, in the locations indicated, gas ranges with individual shut-offs. Ranges to be furnished at the site by the Government free of cost to the contractor.

Connect existing hot water storage tanks in series on suitable rack, and provide coal burning hot water heater of a suitable size in the location indicated in the basement.

HEATING:

Clean existing boilers and oil burners, make all necessary repairs and replacements to all boilers, heating system, smoke pipes, etc. Furnish and install with all required piping, etc, such new radiation as indicated.

Heating systems shall be test run, checked and left in good operating condition.

ELECTRIC WORK:

Furnish such new outlets as are indicated and furnish and install automatic time switch to control all lights in public halls and stairways. Furnish and install lighting fixtures as later selected and carry allowance item of \$62.00 for such fixtures.

PAINTING AND DECORATING:

1. All new exterior work shall be painted with 2 coats of lead and oil paint colored to match as nearly as possible existing work.

2. Interior painting and decoration shall be done in accordance with the schedule. Contractor shall furnish wall paper at cost of 35¢ per single roll and hang in locations called for over existing wall paper with lap joints. Ceilings which are to be redecorated shall receive 1 or more coats of murexco as necessary to give a smooth and even tone.

All existing hardwood floors which are to be refinished shall receive 1 coat of varnish. All existing softwood floors which are to be refinished shall receive 1 coat of floor enamel.

All walls and trim which are to be repainted shall receive 1 coat of lead and oil. All new bathrooms and new kitchens shall receive 2 coats of casein paint. Where wall paper exists in any of these locations it shall be removed. All new woodwork throughout shall receive 2 coats lead and oil paint.

SCHEDULE:

	Floor	Walls	Trim	Ceiling
Front Public Hall	varnish	repaper	touch up	wash & whiten
Rear Public Hall	varnish	paint	touch up	
APARTMENT #1				
Bedroom	varnish	repaper	touch up	wash & whiten
Living room	varnish	repaper	touch up	" "
Bath		paint	"	" "
Kitchen	varnish	paint	"	" "
Closets	O.K.	"	"	" "
APARTMENT #2				
Living room	varnish	paper	touch up	wash & whiten
Kitchen	"	paint	"	" "
Bed room	"	paper	"	" "
Bath	"	paint	"	" "
Closets	O.K.	paint	"	" "

RIDER SHEET NO. 5.

ITEMIZED SPECIFICATIONS OF WORK

	Floor	Halls	Trim	Ceiling
Bedroom	varnish	paper	O.K.	O.K.
Kitchen	O.K.	paper	O.K.	O.K.
Bath	"	O.K.	Touch up	"
Closets	"	"	O.K.	"
		paint	paint	"
AP				
Bedroom	paint	O.K.	O.K.	O.K.
Kitchen	O.K.	wash only	O.K.	"
Bath	varnish	O.K.	touch up	"
Closets	varnish	paint	touch up	"
Living Room	varnish	paint	paint	wash & whiten
Hall	"	paper	"	" "
Bedroom	"	"	"	" "
Bath	O.K.	paint	"	" "
Closets	"	"	"	" "
Living Room	O.K.	paint	paint	whiten
Bedroom	paint	paper	"	wash & whiten
Kitchen	varnish	paint	"	" "
Closets	O.K.	paint	"	" "

CLEANING:

At the completion of the work all rubbish and debris of every description shall be removed from the entire premises both inside and outside. Restore all damaged or disturbed material due to the execution of the work to its original condition. Clean all hardware, plumbing fixtures, floors, and so forth and leave the entire premises in a condition suitable for immediate occupancy.



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 1012

Class of Building or Type of Structure third OCT 9 1943

Portland, Maine, Sept. 24-1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~in~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Morin St. Within Fire Limits? Y Dist. No. 3
 Owner's or Lessee's name and address Abraham Kroot 27 Manning St. Telephone _____
 Contractor's name and address Lessee National Bounting Co. Ernest G. Soule 71 Edwards St. Telephone 2-7311
 Architect Wunderlich & Boston 57 Exchange Plans filed yes No. of sheets # 7
 Proposed use of building apartment No. families 6
 Other buildings on same lot garage
 Estimated cost \$ 5000 Fee \$ 4.50

Description of Present Building to be Altered

Material wood No. stories 3 Heat steam Style of roof flat Roofing T & G
 Last use Tenant No. families 3

General Description of New Work

To make alterations to building as per plan to change use from three family tenement to six family apartment house

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sill's _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? yes

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY _____
 Signature of owner Abraham Kroot
Ernest G. Soule

39478

Inspection Services
P. Samuel Hoffman
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 22, 1995

ROMANO HENRY A
36 MORNING ST
PORTLAND ME 04101

Re: 27 Morning St
CBL: 003- - C-616-001-01
DG: 6

Dear Mr. Romano:

The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above-referred property

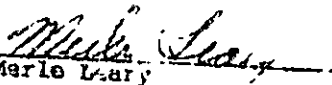
Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code. We did, however, note the following items that could cause future problems:

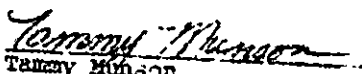
1. **ITF - OVERALL** 113.56
HARD-WIPED BATTERY-BACK/UP SMOKE DETECTORS ARE REQUIRED IN EACH UNIT

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely,


Marie Leary
Code Enforcement Officer


Tammy Munson
Code Educ. Offr / Field Supv.

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 22, 1995

ROMANO HENRY A
36 MORNING ST
PORTLAND ME 04101

Re: 27 Morning St
CBL: 003- - C-016-001-01
DU: 6

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Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code. We did, however, note the following items that could cause future problems:

1. INT - OVERALL - 113.50
HARD-WIRED BATTERY-BACK/UP SMOKE DETECTORS ARE REQUIRED IN EACH UNIT

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely,


Merle Leary
Code Enforcement Officer


Tammy Hanson
Code Enfc. Offr./ Field Supv.