

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1519	Issue Date:	CBL: 406 F053001
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Location of Construction: 0 Stepping Stone Ln <i>at #3</i>	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone <i>3</i> 207228-4233
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>R-3</i>

Past Use: Vacant Lot #3	Proposed Use: Single Family Home/ 4 Bedroom 2-story w/ attached garage	Permit Fee: \$1,761.00	Cost of Work: \$185,000.00	CEO District: 4
Proposed Project Description: Single Family Home/ 4 Bedroom 2-story w/ attached garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>

DENIED

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied	
Signature:		Date:	

Permit Taken By: Idobson	Date Applied For: 10/08/2004	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2004-0210 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>10/14/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 041519

This is to certify that Cole Dean /Windemere Home
has permission to Single Family Home/ 4 Bedroom 2-story w/ attached garage
AT 0 Stepping Stone Ln 406 F053001 CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **NO WORKER NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
11/05/04
Director - Building & Inspection Services

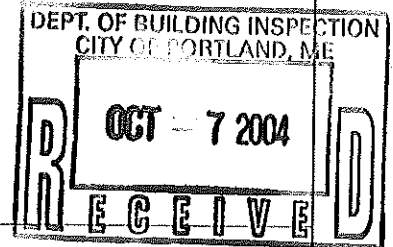
PENALTY FOR REMOVING THIS CARD



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot 3 Stepping Stone Ln</u>		
Total Square Footage of Proposed Structure <u>1648</u>		Square Footage of Lot <u>7500 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>406</u> <u>F</u> <u>53</u>	Owner: <u>WINDEMERE HOMES LLC</u>	Telephone: <u>207-283-4233</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>WINDEMERE HOMES LLC</u> <u>14 WINDEMERE LN</u> <u>SACO ME 04072</u> <u>207-283-4233</u>	Cost Of Work: \$ <u>186,000</u> Fee: \$ <u>2061-</u>
Current Specific use: <u>VACANT LOT</u>		
Proposed Specific use: <u>single family home</u>		
Project description: <u>4-bedroom 2-story home with attached garage</u>		
Contractor's name, address & telephone: <u>WINDEMERE HOMES LLC</u> <u>14 WINDEMERE LN SACO 04072</u>		
Who should we contact when the permit is ready: <u>FRANK PURSER</u>		
Mailing address: <u>14 WINDEMERE LN</u> <u>SACO ME 04072</u>		
Phone: <u>207-283-4233</u>		



Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Frank Purser</u>	Date: <u>10/7/04</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Applicant: Windemere Homes LLC

Date: 10/14/04

Address: Stepping Stone Lane - (lot # 3)
Autumn Glen

C-B-L: 406-F-053

CHECK-LIST AGAINST ZONING ORDINANCE

permit # 04-1519

Date - New Dev.

Zone Location - R-3 ZONE

Interior of corner lot -

Proposed Use/Work - construct New single family with attached garage
26' x 46' 20' x 29.5'

Sewage Disposal - City

NO FEAT Deck
Shown

Lot Street Frontage - 50' min req - 75' shown

Front Yard - 25' min 25' shown

Rear Yard - 25' min - 25' shown

Side Yard -
Garage only 1 Story → 8' min - 9' @ 46' scaled
House - 2 Story → 14' min - 14' @ 15' shown
Projections - front steps 4' x 5'

Width of Lot - 75' min - 75' shown

Height - 35' min - 27' scaled to ridge

Lot Area - 6,500 sq ft min - 7,500 sq ft max

Lot Coverage/ Impervious Surface - 25% max or 1875 sq ft max

Area per Family - 6,500 sq ft

Off-street Parking - 2 car spaces req - 2 car garage shown

Loading Bays - N/A

Site Plan - minor/mod
2004-0210

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel A Zone X

26' x 46' = 1196

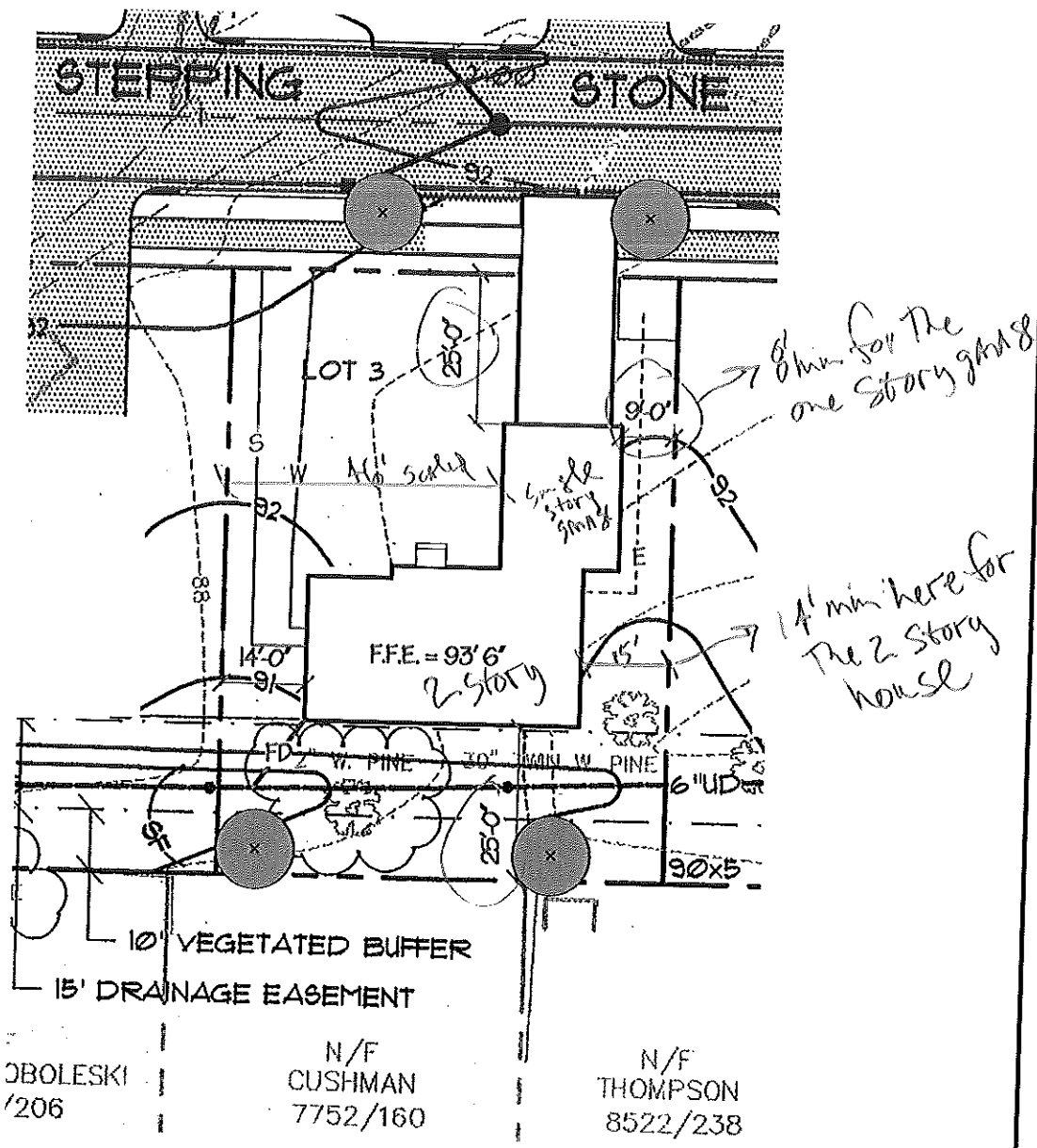
20' x 29.5' = 590

1786

4 x 5 = 20

1806 sq ft

NO Daylight Basement Shown



SITE PLAN

SCALE: 1"=30'-0"

Windemere Homes

COVENTRY COTTAGE
 LOT 3 STEPPING STONE LANE
 AUTUMN GLEN SUBDIVISION
 PORTLAND, ME

SITE PLAN

DATE
10/7/2004

SCALE
1"=30'-0"

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0210

Application I. D. Number

10/7/2004

Application Date

Cole Dean

Applicant

21 C Great Falls Rd , Gorham , ME 04038

Applicant's Mailing Address

Stepping Stone Lane

Project Name/Description

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Stepping Stone Ln , Portland, Maine

Address of Proposed Site

406 F053001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 10/8/2004

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance

signature

date

Performance Guarantee

Required*

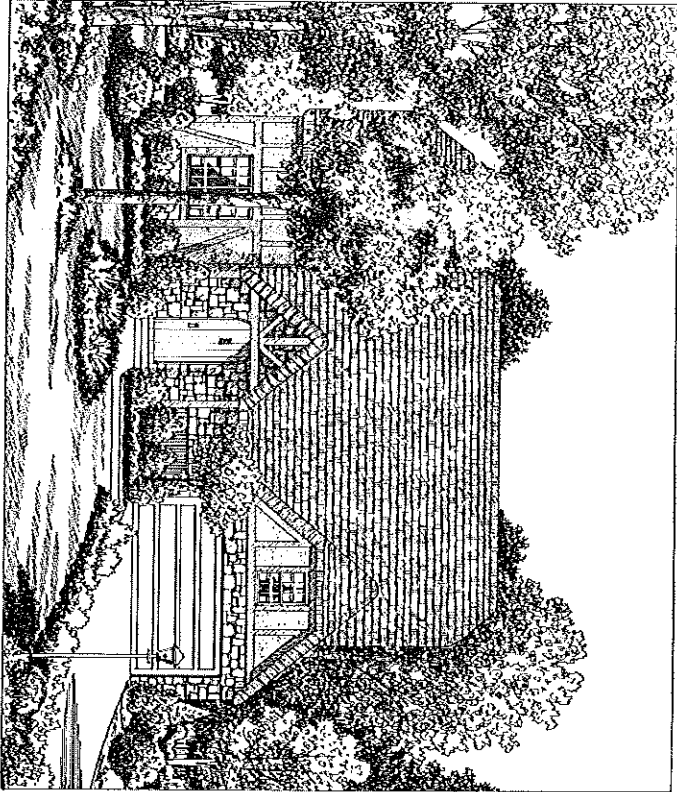
Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

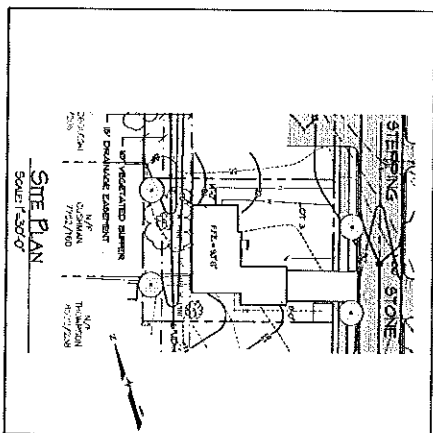
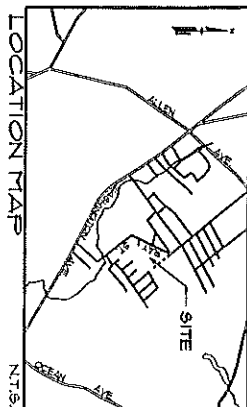
Autumn Glen

At Stepping Stone Lane

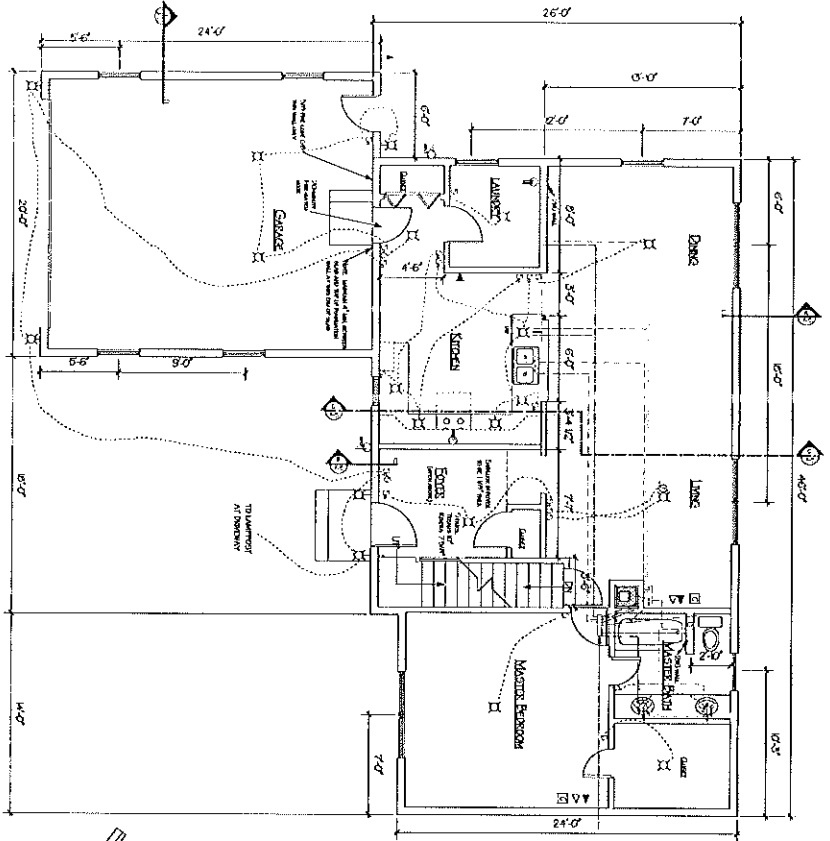


Coventry Model

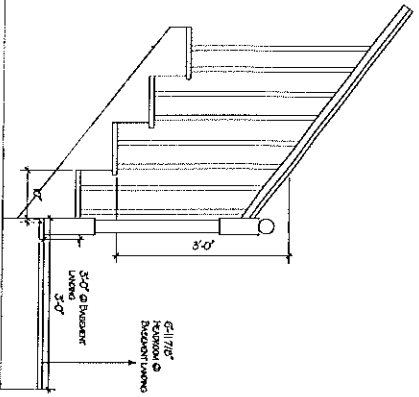
on Lot 3



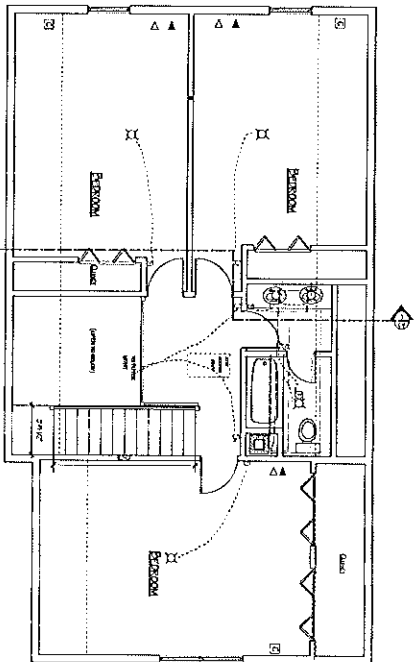
- SHEET SCHEDULE**
- A-1 COVER SHEET & SITE PLAN
 - A-2 FLOOR PLANS
 - A-3 ELEVATIONS
 - A-4 FRAMING AND FOUNDATION PLANS
 - A-5 SECTIONS
 - A-6 SPECIFICATIONS



FIRST FLOOR PLAN



PARTIAL STAIR ELEVATION
1-F-0'



SECOND FLOOR PLAN

- ELECTRICAL LEGEND**
- ▲ Return outlet
 - ▽ Cold return outlet
 - Cold outlet
- MECHANICAL LEGEND**
- ▲ Return air
 - ▽ Return air
 - Return air

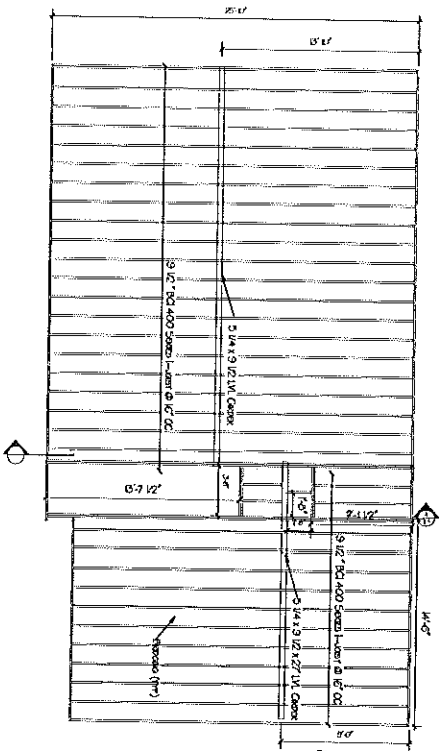
WINDOW / DOOR SCHEDULE

NUMBER	QUANTITY	MANUFACTURER	MODEL	HEADER	ROUGH OPENING
W-1	4	Anderson	2400R000	2x6	2' 0" x 6' 0"
W-2	2	Anderson	2400R000	2x6	2' 0" x 6' 0"
W-3	2	Anderson	2400R000	2x6	2' 0" x 6' 0"
W-4	2	Anderson	2400R000	2x6	2' 0" x 6' 0"
D-1	1	Timberline	110	2x6	2' 0" x 6' 0"
D-2	1	Timberline	110	2x6	2' 0" x 6' 0"

SCALE/DETAILS

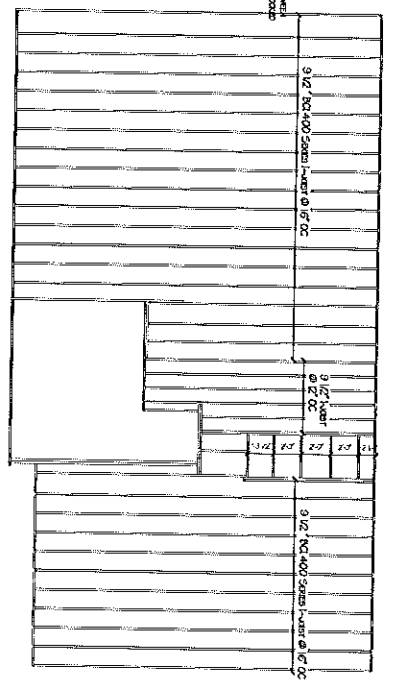
ROOM	FLOOR	WALLS	COLOR	CEILING	COLOR	COMMENTS
Living	1st	Stucco	White	9' 0" Flat	White	
Dining	1st	Stucco	White	9' 0" Flat	White	
Kitchen	1st	Stucco	White	9' 0" Flat	White	
Master Bedroom	1st	Stucco	White	9' 0" Flat	White	
Bedroom 1	1st	Stucco	White	9' 0" Flat	White	
Bedroom 2	1st	Stucco	White	9' 0" Flat	White	
Bedroom 3	1st	Stucco	White	9' 0" Flat	White	
Bath	1st	Stucco	White	9' 0" Flat	White	
Garage	1st	Stucco	White	9' 0" Flat	White	

Wendover Homes
 Product: COVENTRY
 Title: FLOOR PLAN
 Date: 1/18/18
 Scale: 1/8" = 1'-0"
 Drawing: A-2

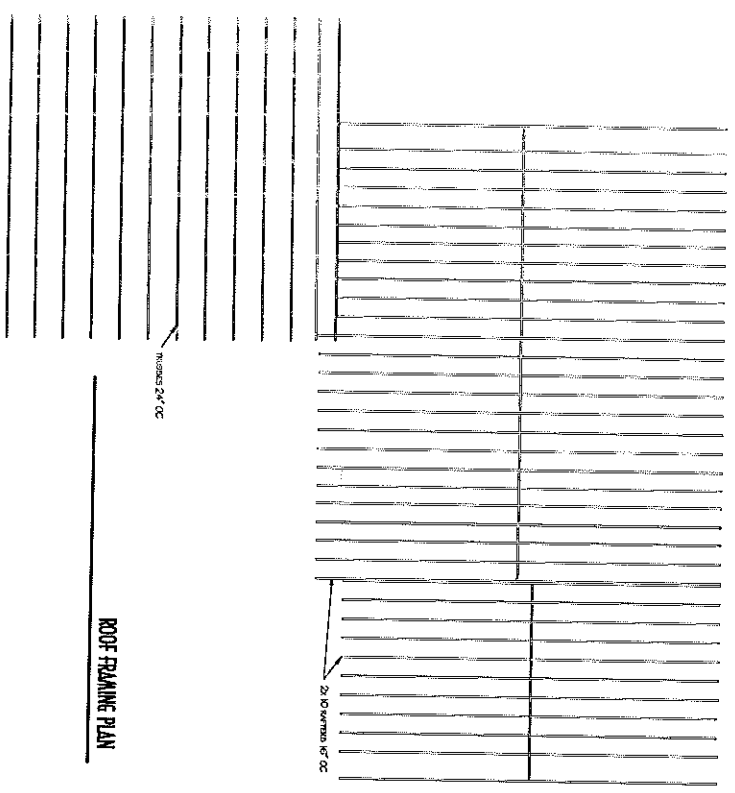


FIRST FLOOR FRAMING PLAN

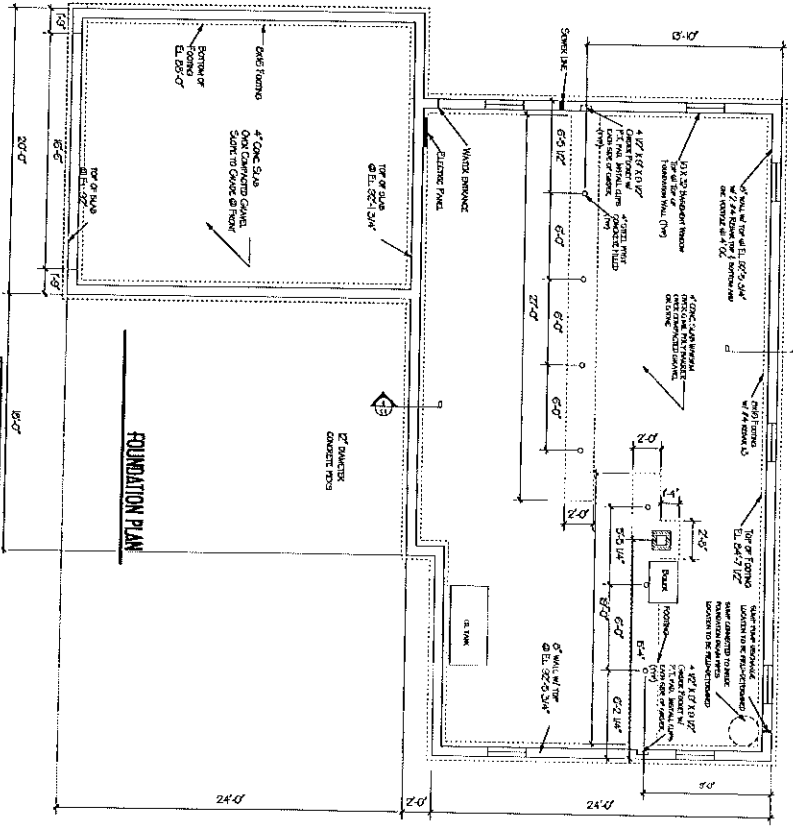
NOTE: DIMENSIONS FOR COLUMNS SHALL BE MEASURED FROM THE CENTERLINE OF THE COLUMN. DIMENSIONS FOR BEAMS SHALL BE MEASURED FROM THE CENTERLINE OF THE BEAM. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.



SECOND FLOOR FRAMING PLAN



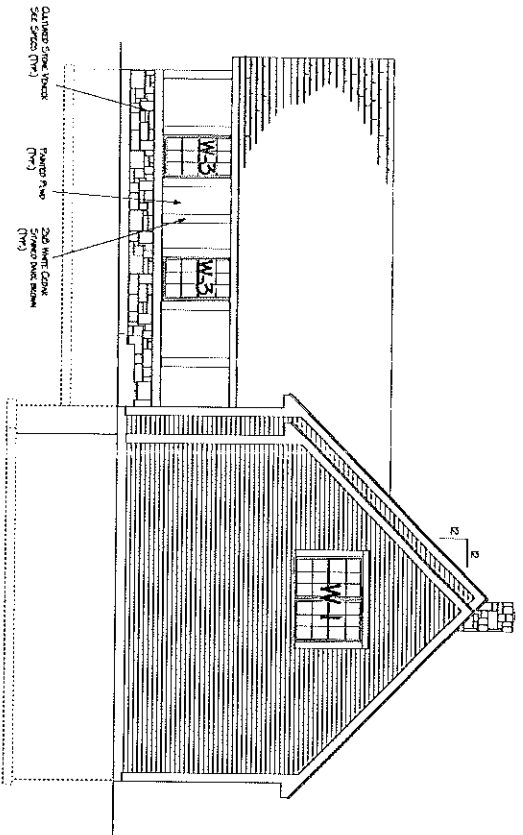
ROOF FRAMING PLAN



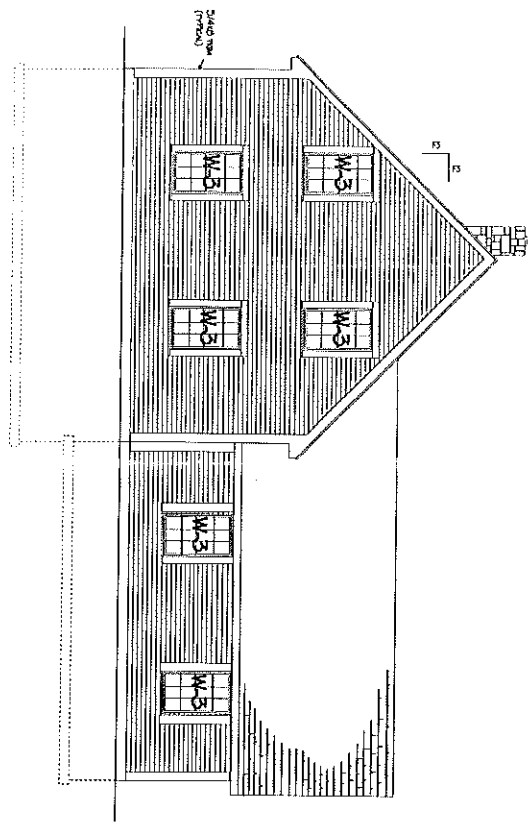
FOUNDATION PLAN

M **Indefinite Homes**
 PROJECT: **COVENTRY**
 DRAWING: **FRAMING AND FOUNDATION PLANS**
 SCALE: **1/8" = 1'-0"**
 SHEET: **A-4**

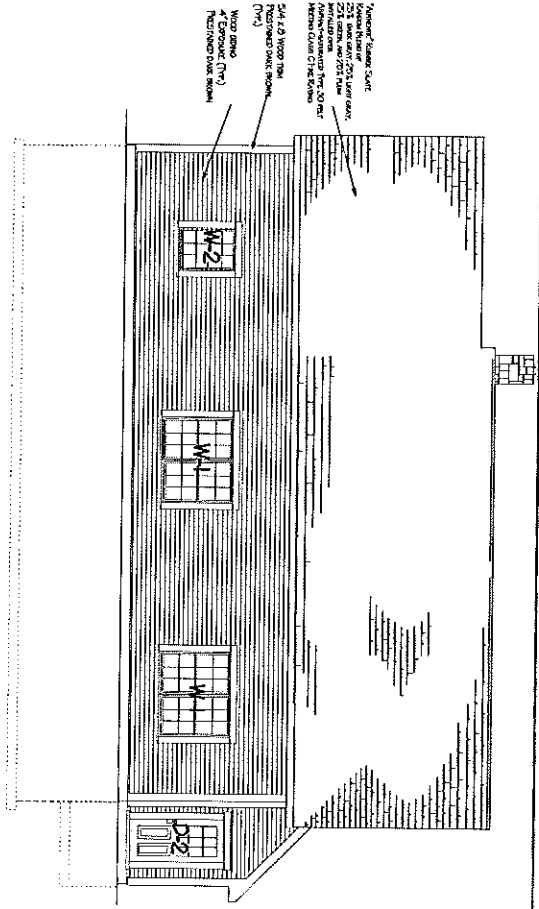
RIGHT (NORTH) ELEVATION



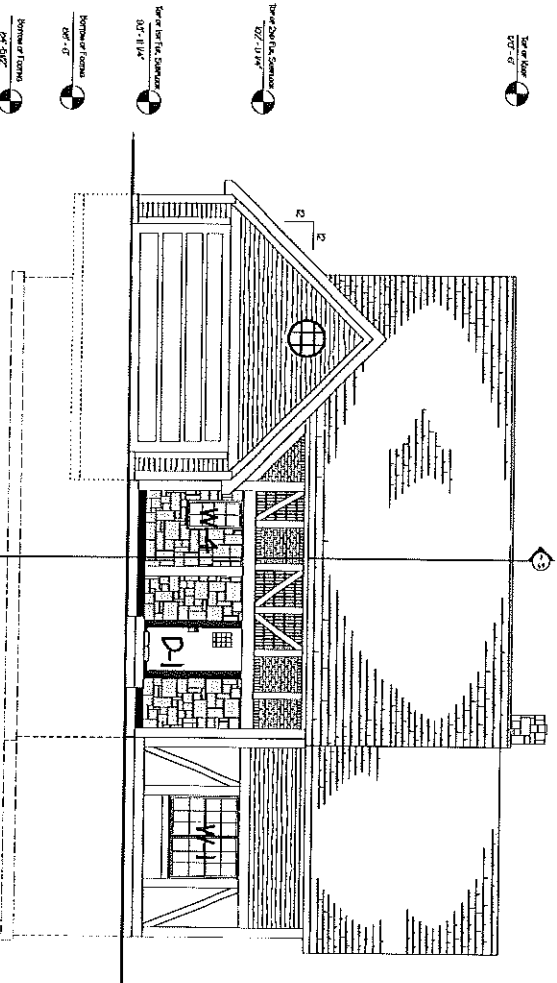
LEFT (SOUTH) ELEVATION




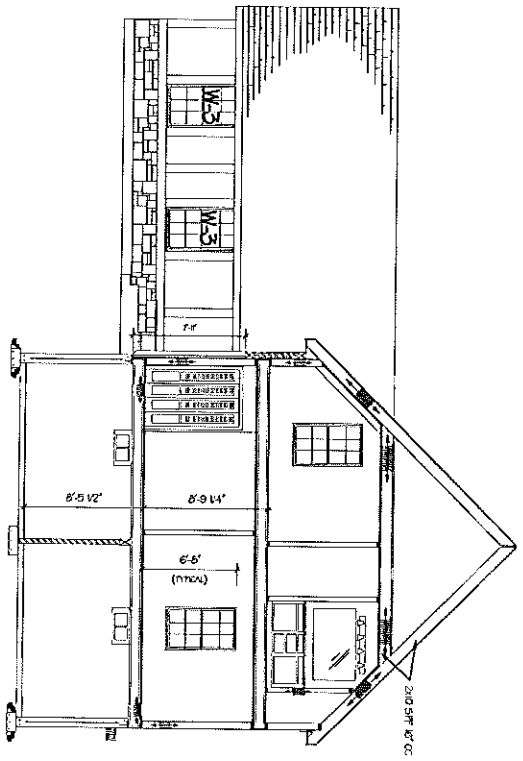
REAR (WEST) ELEVATION



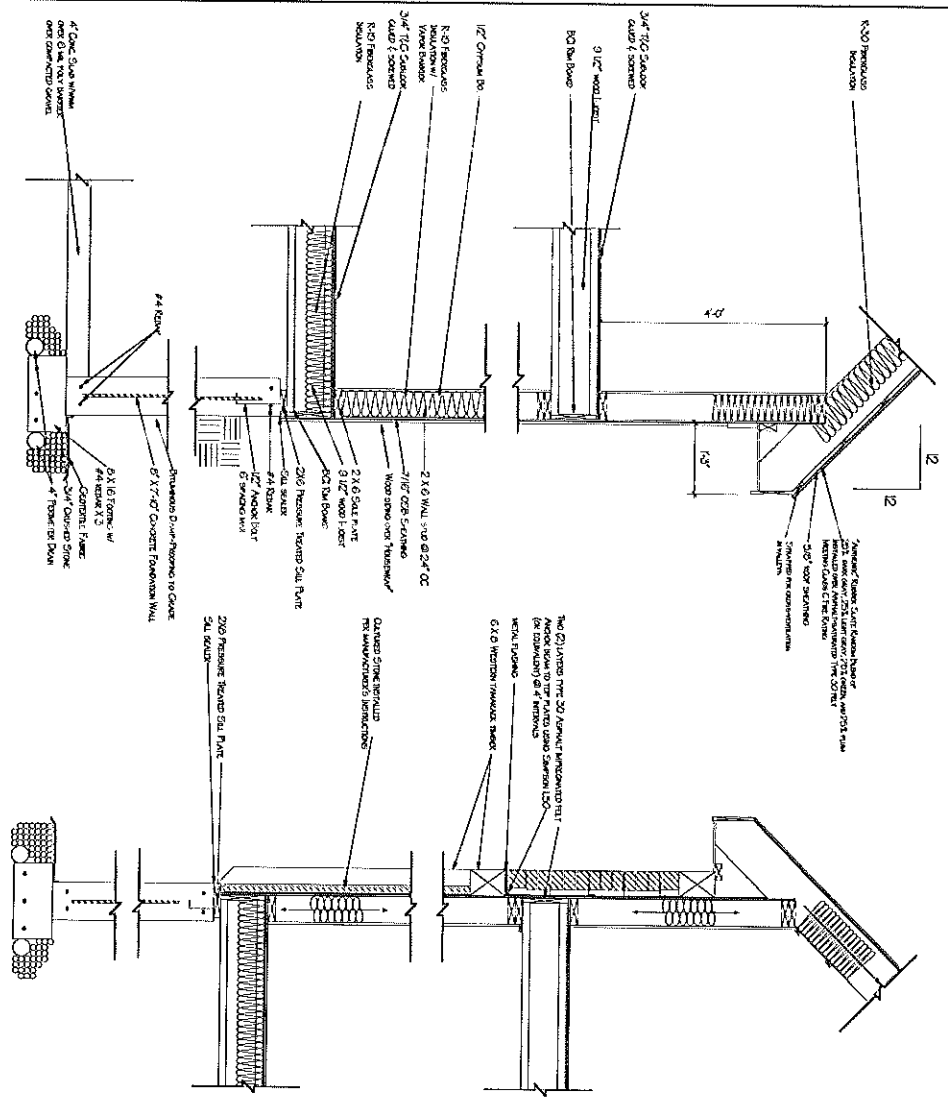
FRONT (EAST) ELEVATION




WINDCENTER HOMES
 PRODUCTS
COVENTRY
 ELEVATIONS
 1/4" = 1'-0"
A-3

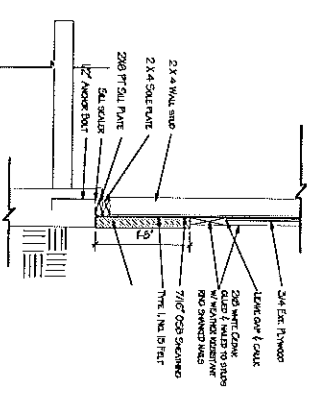


C TRANSVERSE BUILDING SECTION
SCALE: 1/4"=1'-0"



B WALL SECTION (FRONT)
SCALE: 1/2"=1'-0"

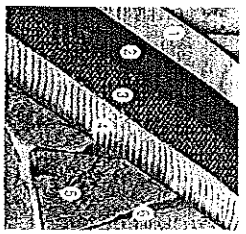
A WALL SECTION (REAR)
SCALE: 1/2"=1'-0"



D DETAIL AT GARAGE SILL
SCALE: 1"=1'-0"

CUSTOMER STONE INSTALLATION DETAILS

Typical installations:
WOOD FRAME



In sequence: (1) showing; (2) troweling; (3) leveling; (4) setting; (5) grouting; (6) finished wall.

W **WINDMILL HOMES** CONSTRUCTION

PROJECT: **COVENTRY** WOOD FRAME

TITLE: **SECTIONS & DETAILS**

DATE: **10/20/10**

SCALE: **A-5**

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1519	Date Applied For: 10/08/2004	CBL: 406 F053001
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Location of Construction: 0 Stepping Stone Ln (lot 3)	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone (207) 228-4233
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ 4 Bedroom 2-story w/ attached garage	Proposed Project Description: Single Family Home/ 4 Bedroom 2-story w/ attached garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/14/2004
Note: **Ok to Issue:**

- 1) NO DAYLIGHT BASEMENTS are being shown. NO DAYLIGHT BASEMENTS are being approved with this permit.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. No exterior decks are being shown and therefore none are being approved with this permit issuance. Please make the owner aware that this proposal brings the lot coverage almost to the maximum allowed presently within the R-3 zone.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/05/2004
Note: **Ok to Issue:**

- 1) The Lamarite Roofing product must be installed in accordance with the manufacturer's installation instructions.
- 2) As discussed during the review process, the Lamarite Slate Composite Roofing material is approved due to the products compliance with the 2000 International Residential Building Code and based on the fact that there are minimal changes in Chapter 9 of the 2003 International Residential Code.
- 3) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 10/15/2004
Note: **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) Your new street address HAS NOT BEEN ASSIGNED TO DATE, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 10/15/2004
Note: **Ok to Issue:**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | |
|--|---|
| <input checked="" type="checkbox"/> <u>Footing/Building Location Inspection:</u> | <u>Prior to pouring concrete</u> |
| <input checked="" type="checkbox"/> <u>Re-Bar Schedule Inspection:</u> | <u>Prior to pouring concrete</u> |
| <input checked="" type="checkbox"/> <u>Foundation Inspection:</u> | <u>Prior to placing ANY backfill</u> |
| <input checked="" type="checkbox"/> <u>Framing/Rough Plumbing/Electrical:</u> | <u>Prior to any insulating or drywalling</u> |
| <input checked="" type="checkbox"/> <u>Final/Certificate of Occupancy:</u> | <u>Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.</u> |



Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

11/8/04
Date

[Signature]
Signature of Inspections Official

Date

CBL: H06 F053 Building Permit #: 041519

Windemere Homes

14 Windemere Lane, Saco, Maine 04072 | (207) 283-4233

November 3, 2004

Tammy Munson
Building Inspections Office
Planning & Development Department
City of Portland
389 Congress St.
Portland ME 04101

Dear Tammy:

Please find below the response to your comments on the application for a building permit for Lot 3, Stepping Stone Lane (406-F-53):

- ✓ 1. Draft stop material not shown around chimney.
This is in text form on the Framing Plan, Sheet A-4
- ✓ 2. The header for the 6 ft. window should be 2-2x12's or 3-2x10's.
This header has been changed to 3-2x10's
- ✓ 3. Garage door header not called out.
This has now been specified as 2-2x12's.
- 2nd flr
Stair opening ✓ 4. Lally columns near stair opening needs to be moved or added.
Girder size allows 8 ft spacing of columns, so I re-spaced the columns placing one at the end of the girder.
5. No ASTM listing for roof material.
Code allows either ASTM or UL. UL listing for Crowe Authentic shingles was provided on CD. However we may be using an alternate material, TAMKO Lamarite, and the UL cert for Lamarite is attached.

I hope this answers your concerns. If not please call me.

Sincerely yours,



Smokes



ICC Evaluation Service, Inc.
www.icc-es.org

Business/Regional Office ■ 5360 Workman Mill Road, Whittier, California 90601 ■ (562) 699-0543
Regional Office ■ 900 Montclair Road, Suite A, Birmingham, Alabama 35213 ■ (205) 599-9800
Regional Office ■ 4051 West Flossmoor Road, Country Club Hills, Illinois 60478 ■ (708) 799-2305

Legacy report on the 1997 *Uniform Building Code*[™], the 2000 *International Building Code*[®] and the 2000 *International Residential Code*[®]

DIVISION: 07—THERMAL AND MOISTURE PROTECTION
Section: 07320—Roof Tiles

LAMARITE SLATE COMPOSITE ROOFING PRODUCTS

TAMKO ROOFING PRODUCTS, INC.
POST OFFICE BOX 1404
JOPLIN, MISSOURI 64802-1404

1.0 SUBJECT

Lamarite Slate Composite Roofing Products.

2.0 DESCRIPTION

2.1 General:

The roofing products are composed of colorized mineral filled polymer. The roofing products are formed by a proprietary manufacturing process.

2.2 Materials:

2.2.1 Lamarite Slate Composite Shingles: Lamarite Slate Composite Shingles are 12 inches (305 mm) wide and 18 inches (457 mm) long, and are for installation with exposures of 7 inches or 8 inches (178 mm or 203 mm). Spacer tabs are manufactured into the side edges of the shingles to ensure a proper 1/8-inch (6.4 mm) spacing between the installed shingles. A typical shingle is shown in Figure 1. The shingles weigh approximately 5.2 pounds per square foot (25 kg/m²) and 4.5 pounds per square foot (22 kg/m²), when installed with exposures of 7 inches (178 mm) and 8 inches (203 mm), respectively.

2.2.2 Shingle Starter: Starter strips are cut in the field from the headlap portion of full-size shingles in 2-inch-wide-by-12-inch-long (51 mm by 305 mm), 10-inch-wide-by-12-inch-long (254 mm by 305 mm) or 10-inch-wide-by-6-inch-long (254 mm by 153 mm) strips. Typical starter strips are shown in Diagram A in Figure 2. Alternatively, preformed (factory-cut) starter strips as shown in Diagram B in Figure 2 may be used. Preformed starter strips are either 10 inches wide by 12 inches long (254 mm by 205 mm) or 10 inches wide by 6 inches long (254 mm by 153 mm).

2.2.3 Hip and Ridge Shingles: Preformed (factory-cut) hip and ridge shingles are available with dimensions as shown in Diagram C in Figure 3. Alternatively, site-made pieces may be used for hips and ridges by cutting the standard shingle in half to yield two 18-inch-long-by-6-inch-wide (457 mm by 152 mm) pieces. Typical site-made hip and ridge shingles are shown in Diagram D in Figure 3.

2.2.4 Fasteners: Fasteners must be minimum No. 11 gage, 3/8-inch-diameter-head (9.5 mm), corrosion-resistant roofing nails. Fasteners must be of sufficient length to penetrate into the sheathing 3/4 inch (19.1 mm), or through the sheathing, whichever is less.

2.2.5 Underlayment: Roof underlayment shall be either the Moisture Guard Plus[®] or TW Metal and Tile Underlayment[®] manufactured by Tamko Roofing Products, Inc., recognized in ER-5870 and ER-5939, respectively.

2.3 Installation:

2.3.1 General: Roof decks must be installed with a minimum slope of 3:12 (25%) and a maximum slope of 21:12 (173%); and must be minimum 1 5/32-inch-thick (11.9 mm), code-complying exterior plywood or solid sheathing using maximum 1-by-6 lumber. In reroofing applications the old roofing material must be completely removed; damaged roof decking, metal drip edges and flashing must be repaired or replaced.

Minimum No. 26 gage (0.019 inch [0.48 mm]) metal flashings must be installed at locations on the roof which are vulnerable to water leaks. Such locations include roof valleys or locations where the roof abuts a vertical wall, dormer, pipe or chimney. Flashing and its installation must comply with 2000 *International Building Code*[®] (IBC) Section 1507.7.6, 2000 *International Residential Code*[®] (IRC) Section R905.6.6 or 1997 *Uniform Building Code*[™] (UBC) Section 1508.4, as applicable. Typical flashing details are shown in Figure 4. Ventilation complying with IBC Section 1503.5, IRC Section R806 or UBC Section 1505.3, and the Tamko installation instructions, must be provided.

2.3.2 Underlayment Application: The underlayment must be applied in accordance with the applicable code and Tamko installation instructions, over the entire deck, before installation of Lamarite shingles. Dust, dirt, loose nails, and other protrusions and all old shingles and roofing felts must be removed from the roof deck prior to application of the underlayment.

2.3.3 Shingle Starter Application: Two starter courses must be applied in accordance with the Tamko installation instructions and Diagram A of Figure 2.

Alternatively, the Lamarite preformed starter course may be used as shown in Diagram B in Figure 2. In the application, the bottom edge of the roof will be two layers thick.

ICC-ES legacy reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, Inc., express or implied, as to any finding or other matter in this report, or as to any product covered by the report.



2.3.4 Shingle Application:

Installation of the shingles must be in accordance with the Tamko installation instructions. Each full shingle must be fastened with two corrosion-resistant fasteners, described in Section 2.2.4. One nail must be placed in each of the nailing locations marked on the shingle. (See Figure 1.)

2.3.5 Hip and Ridge Application:

2.3.5.1 General: Using one of the underlayment products described in Section 2.2.5, an 8-inch-wide (203.2 mm) cap must be fastened over all hips and ridges so that one half of the cap rests on the top course of shingles on each side of the hip or ridge.

2.3.5.2 Preformed Hip and Ridge: Each hip and ridge shingle must be installed using two corrosion-resistant fasteners described in Section 2.2.4. One nail must be placed in each of the marked locations on the shingle. The hip and ridge shingles must be installed with the same weather exposure [7-inch (178 mm) or 8-inch (203mm)] as the field of the roof. (See Diagram C in Figure 3.)

2.3.5.3 Site-made Hip and Ridge Shingle: Site-made hip and ridge shingles must be made from a Lamarite shingle by cutting the shingle in half to yield two 18-inch-by-6-inch (457.2 mm by 152.4 mm) pieces. The two halves must then be applied by butting the cut edge of one half to the bottom side of the other half, and nailing the location marked on the shingle with the fasteners described in Section 2.2.4. (See Diagram D in Figure 3.) The side of the hip and ridge shingle with the exposed cut edge must alternate as each hip and ridge shingle is fastened. Shingle spacer tabs on the edges of site-made hip and ridge shingles must be removed prior to application.

Intersecting roof surfaces at hips and ridges must be capped with hip and ridge material described in Section 2.3.5.2 or 2.3.5.3 to prevent leaks. (See Diagram C or D in Figure 3.)

2.4 Roof Classification:

On new construction or when existing roof covering is removed, when installation is in accordance with this report, the resulting roof assembly is recognized as Class A.

2.5 Wind Resistance:

When installed in accordance with this report, in jurisdictions enforcing the UBC, the shingles are limited to installation in areas subject to a maximum basic wind speed (fastest mile) of 80 mph (129 km/h) (UBC) or (3-second gust) wind speed of 100 mph (161 km/h) (IBC or IRC), on structures a maximum 40 feet (12 192 mm) in height, in Exposure B areas.

2.6 Identification:

Each shingle is identified with the product name and the Tamko Roofing Products, Inc., name. Each pallet of shingles bears a label with the evaluation report number (ER-6147) and the logo of the inspection agency (Underwriters Laboratories Inc.).

3.0 EVIDENCE SUBMITTED

Data in accordance with the ICC-ES Interim Criteria for Special Roofing Systems (AC07), dated January 2002, and a quality control manual.

4.0 FINDINGS

That the Lamarite Slate Composite roofing products described in this report comply with the 2000 *International Building Code*® (IBC), the 2000 *International Residential Code*® (IRC) and the 1997 *Uniform Building Code*™ (UBC), subject to the following conditions:

- 4.1 The products are manufactured, identified and installed in accordance with the applicable code, this report and the manufacturer's instructions.
- 4.2 The roof classification of the products is as noted in Section 2.4.
- 4.3 The wind resistance of the products is as noted in Section 2.5.
- 4.4 The products are manufactured in Lamar, Missouri, under a quality control program with inspections by Underwriters Laboratories Inc. (AA-668).

This report is subject to re-examination in one year.

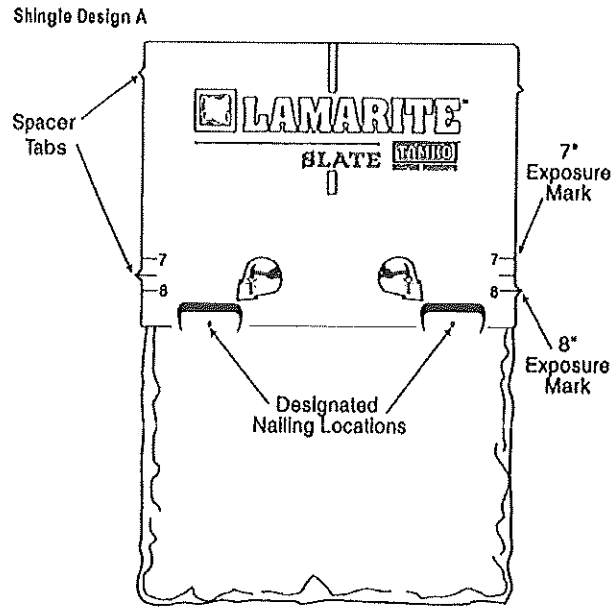


FIGURE 1—TYPICAL SHINGLE

Diagram A: Shingle Starter Strips

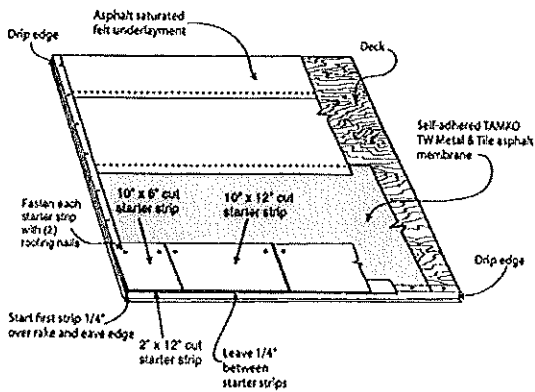


Diagram B: Preformed Starter

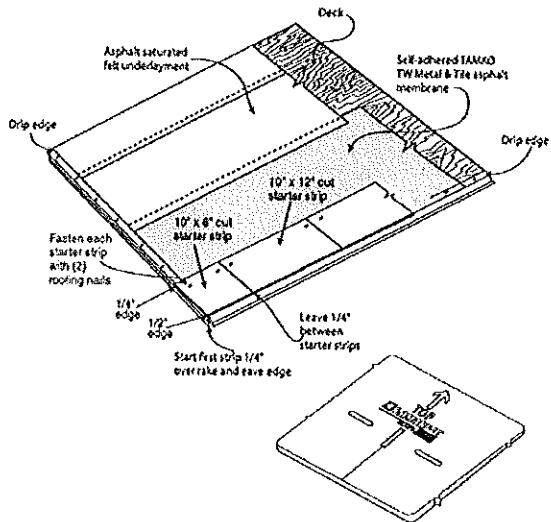


FIGURE 2—TYPICAL STARTER STRIPS

Diagram: C
LAMARITE Formed Hip & Ridge

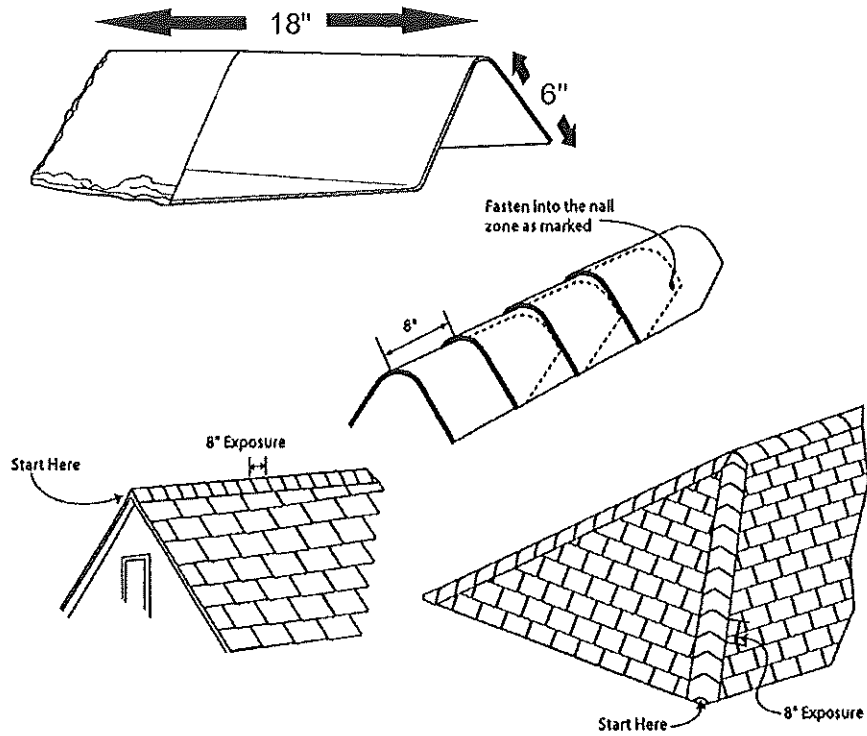


Diagram: D
LAMARITE Site Made
Hip & Ridge

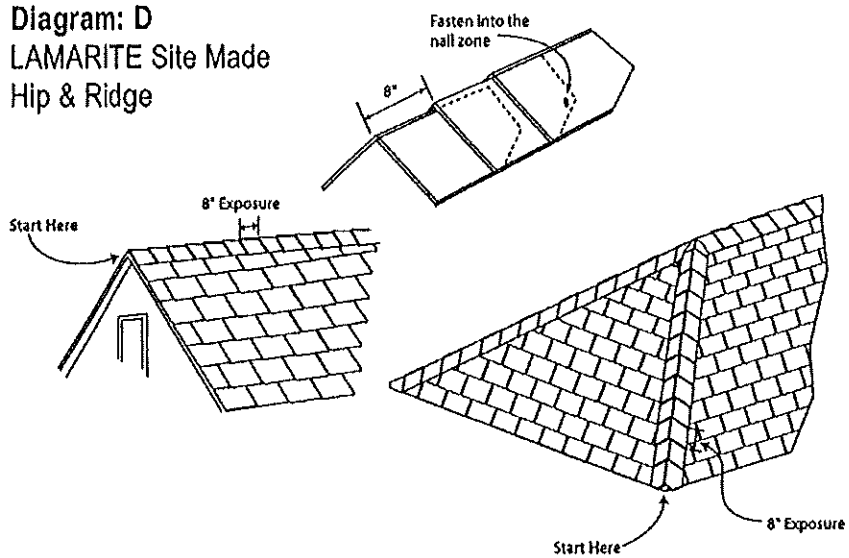
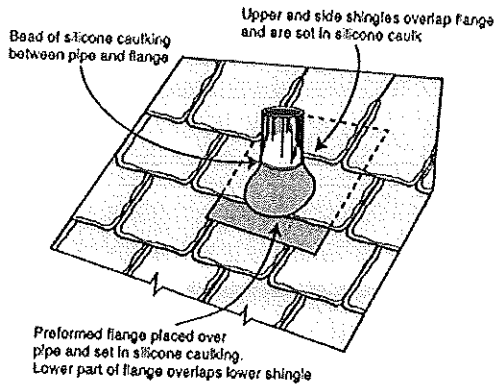
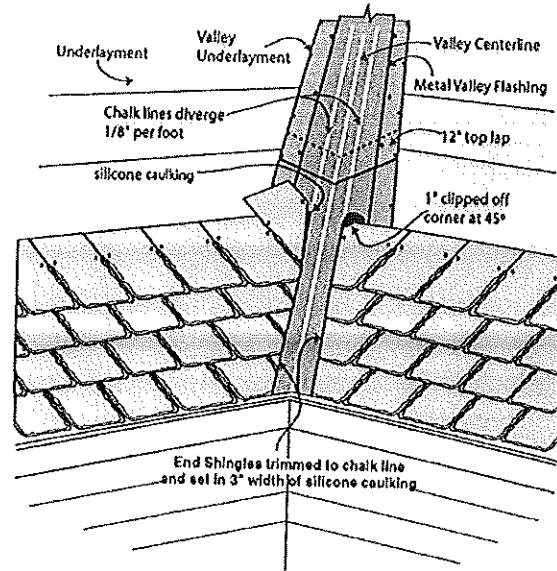


FIGURE 3—TYPICAL HIP AND RIDGE SHINGLES

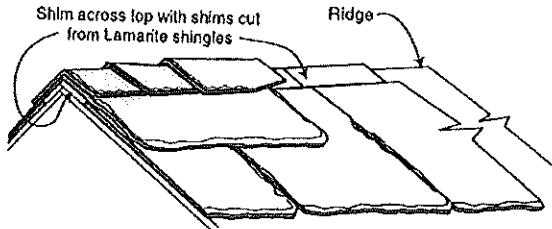
LAMARITE Pipe/Flange Detail



LAMARITE Open Valley Detail

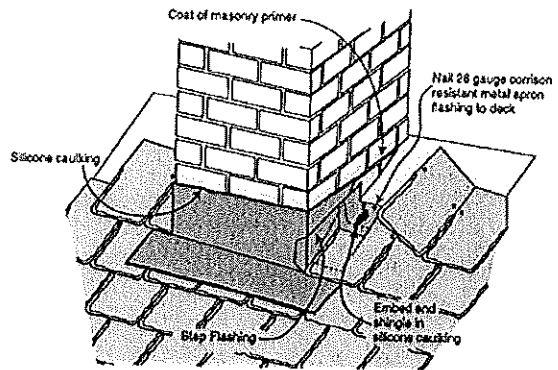


LAMARITE Shim Detail



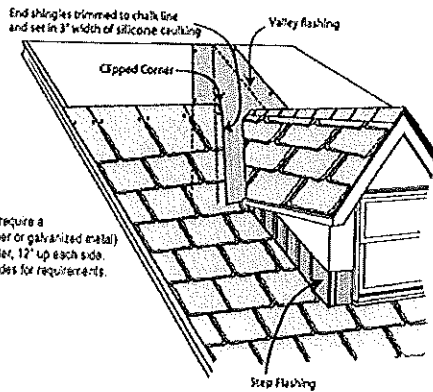
To prevent final course of Shingles from raising up when hip and ridge shingles are installed, cut a shim from a piece of a Lamarite Shingle to fit the area from the top of the last full size shingle course of Lamarite Shingles up to the ridge.

LAMARITE Step Flashing/Chimney Detail



PROPER VENTILATION IS ESSENTIAL

LAMARITE Valley/Dormer Roof Detail



NOTE:
Some regions may require a min. 26 gauge (copper or galvanized metal) with 1" splash diverter, 12" up each side. Check your local codes for requirements.

FIGURE 4—TYPICAL FLASHING DETAILS

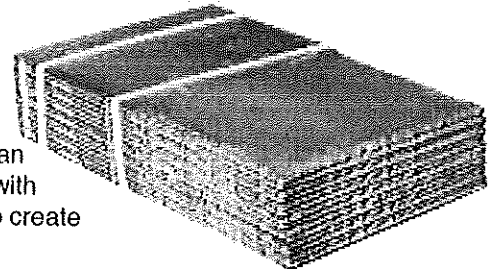
LAMARITE® SLATE

PRODUCT DATA

COMPOSITE SHINGLES

Manufactured in Lamar, MO.

TAMKO® LAMARITE® SLATE Composite Shingles feature a realistic natural slate look in an innovative composite shingle material. Molded with specific textures and contours of natural slate to create authentic detail, dimension and beauty.



ADVANTAGES

- 50 year limited warranty, 7-year FULL START, limited transferability, winds up to 90 MPH.
- Formed to the specific textures and contours of natural slate.
- U.L. Class A Fire Resistant**
- All the beauty of natural slate.
- Easier application than slate – Lighter in weight, easier to cut, and is attached using a pneumatic nail gun and two corrosion-resistant nails per shingle.***
- Application friendly design includes center lines, spacer tabs, exposure marks, and designated nailing areas.
- LAMARITE innovative composite roofing material provides long lasting, virtually maintenance-free protection and beauty.

CERTIFICATIONS

UL Class A Fire Rating**	ASTM E 108, Class A
UL Wind Resistant	ASTM D 3161
U.L. Standard 2218, Class 4	ICC-ES Legacy Report ER-6147
Miami-Dade County, FL NOA No. 04-0512.05 expiration date 07/23/2009	

COLORS

Lamarite Slate Colors:

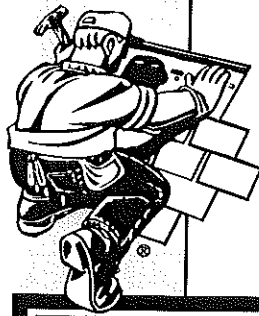
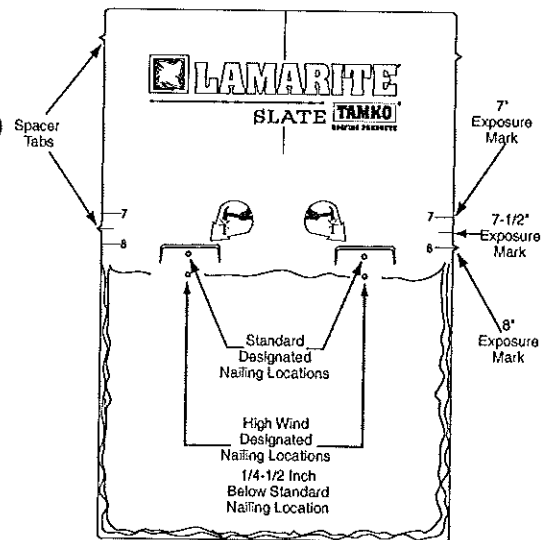
- Slate Green
- Mulberry
- Dusk Grey
- Midnight Black

PRODUCT DATA*

Shingle size	12" X 18"
Exposure	7" or 8"
Shingles per bundle	15
Shingles per square	150 (8" exposure)
Bundles per square	10 (8" exposure)
Bundles per pallet	60
Ssq per pallet	6

Patent Pending

*All values stated as nominal.
 **Contact TAMKO or Underwriters Laboratories for specific system application for U.L. A rated systems.
 ***See printed application instructions for details.



ROOFING PRODUCTS

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Visit our Web Site at www.tamko.com or www.lamarite.com

08/05/2004

Central District	220 West 4th St., Joplin, MO	64801	800-641-4691
Northeast District	4500 Tamko Dr., Frederick, MD	21701	800-368-2055
Southeast District	2300 35th St., Tuscaloosa, AL	35401	800-228-2656
Southwest District	7910 S. Central Exp., Dallas, TX	75216	800-443-1834
Western District	5300 East 43rd Ave., Denver, CO	80216	800-530-8868

LAMARITE® SLATE

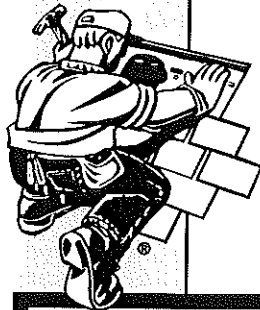
PRODUCT DATA

COMPOSITE SHINGLES

TYPICAL PHYSICAL PROPERTIES

Test:	Tested in Accordance with:	Results:
Fire	UL 790/ASTM E 108	Passed Class A
Impact Resistance	UL 2218	Passed Class 4
Wind	UL 997/ASTM D 3161	Passed
Freeze-Thaw Cycle	ASTM C 67	Passed
Temperature Cycling	ICBO AC07 Par. 4.9	Subjected to 25 consecutive Cycles – No sign of crazing, cracking, surface changes, or sign of failure or distress at the fasteners and joint locations.
Penetration	ICBO AC07 Par. 4.5	Passed
Wind/Wind Driven Rain	ICBO AC07 Par. 4.10 TAS 100-95 Florida Building Code	Passed; no leaks or fluttering of shingles
Weatherometer	ASTM D 638; ICBO AC07, Sec. 4.1	Tested to 2000 h for Tensile and Elongation.
Tensile		
Elongation		
Uplift Bend	Test specimen: Roof ICBO AC07, Sec. 3.2.3; Sec. 4.4.1 General; Sec. 4.4.2 Conditions of Acceptance	Exceeded three times the weight of the shingle.

Lamarite Accessory Products		
PRODUCT	HIP AND RIDGE	STARTER
SHINGLES PER BUNDLE	15 PIECES	20 Pieces (11.875" x 10")
COVERAGE/LINEAL FT/BUNDLE	10 LINEAL FT @ 8 inch exposure	20 LINEAL FT
QUANTITY PER PALLET	28 BUNDLES - 280 LINEAL FT	60 BUNDLES - 1,200 LINEAL FT
COLORS	Slate Green, Dusk Grey, Mulberry Midnight Black	Dusk Grey



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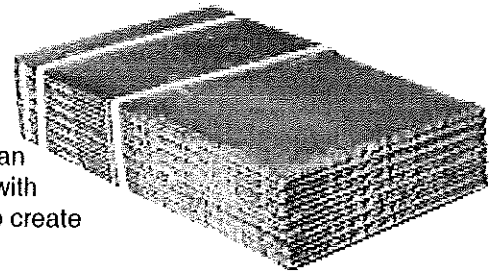
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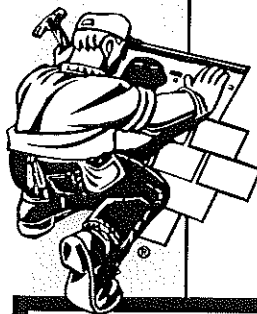
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Patent Pending

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TAMKO®

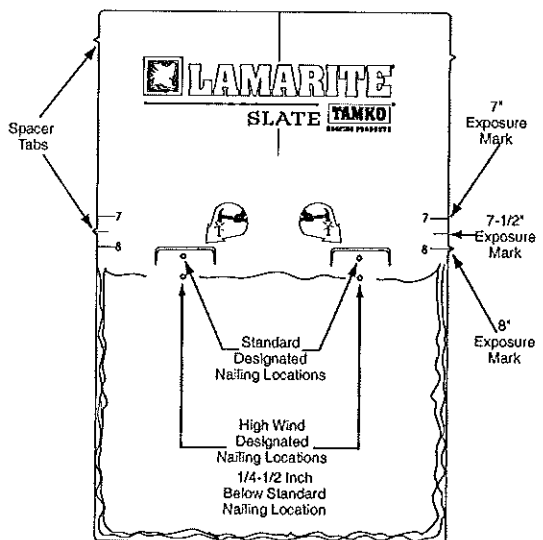
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LAMARITE® SLATE

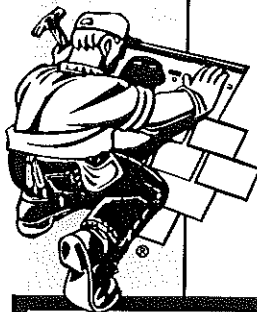
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COMPOSITE SHINGLES

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Temperature Cycling	ICBO AC07 Par. 4.9	Subjected to 25 consecutive Cycles – No sign of crazing, cracking, surface changes, or sign of failure or distress at the fasteners and joint locations.
Penetration	ICBO AC07 Par. 4.5	Passed
Wind/Wind Driven Rain	ICBO AC07 Par. 4.10 TAS 100-95 Florida Building Code	Passed; no leaks or fluttering of shingles
Weatherometer	ASTM D 638; ICBO AC07, Sec. 4.1	Tested to 2000 h for Tensile and Elongation.
Tensile		
Elongation		
Uplift Bend	Test specimen: Roof ICBO AC07, Sec. 3.2.3; Sec. 4.4.1 General; Sec. 4.4.2 Conditions of Acceptance	Exceeded three times the weight of the shingle.

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JP51554

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Western District	5300 East 43rd Ave., Denver, CO	80216	800-530-8868



997701

From: Tammy Munson
To: port-web:frank@[windemerehomes.com]
Date: Thu, Nov 4, 2004 9:32 AM
Subject: Re: Comment resolutions on 406-F-53

Hi Frank, thank you for your response to my request. I've looked everything over and the only outstanding issue is the roof material. We are waiting for a return call from the manufacturer regarding an ASTM standard that is not noted in the material. You forgot to address the smoke detectors but I will just add that as a condition on your building permit. Hopefully I will have an answer for you later this afternoon regarding the roofing. Tammy

>>> Frank at Windemere Homes <frank@windemerehomes.com> 11/03 10:52 AM >>>

Tammy,

Attached are the resolutions to your comments on the permit application for Lot 3, Stepping Stone Lane (406-F-53).

Frank Purser

207-283-4233

406-F-S3

Windomere Homes
200-41003
203-4233

10/22/04

Went over w/ Frank

Soil type/Presumptive Load Value (Table 401.4.1)	Inspector/Date/Findings
Component	Pass/Fail/NG
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK 8'x16" Rebar w/ #4
Foundation Drainage Damp proofing (Section 406)	OK
Ventilation (Section 409.1) Crawls Space ONLY	N/A
Anchor Bolts/Straps (Section 403.1.4)	OK 1/2" - 6' OC
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2)) Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	OK 5 1/4" x 9 1/2" LVL - 6 span
Sill/Band Joist Type & Dimensions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x6 PT-OK 9 1/2" I Joists
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	9 1/2 I Joist S

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x10's - 16" OC	
Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x10's - 16" OC	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK per IRC	
Fastener Schedule (Table 602.3(1) & (2))	5"	
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? Beside (Above or beside)		
Fire separation	- OK	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	OK	
Egress Windows (Section 310)	OK	
Roof Covering (Chapter 9)	UL Listed Product - Not ASTM Accepted for impact fire	
Safety Glazing (Section 308)	N/A	
Attic Access (BOCA 1211.1)	OK	
Draft Stopping around chimney	Not Shown	

1

2 Garage door headers

Header Schedule	6' open - change to 2" x 12" or 3-2x10's	
Type of Heating System	OK	
Stairs		
Number of Stairways		
Interior	1	
Exterior	1	
Treads and Risers (Section 314)	Shows Shows	5/8" R
Width	10" T	
Headroom	6 - 11 1/8"	
Guardrails and Handrails (Section 315)	Shows 3'-0"	Baluster Spacing ?
Smoke Detectors		
Location and type/Interconnected	Not shown	
Plan Reviewer Signature		

See Chimney Summary Checklist

3

4 Need 1 more balby column for stair opening

5 Roof covering not acceptable.



*Impact + Fire
Not ASTM Standard*

TFXX.R21159 Prepared Roof Covering Materials, Formed or Molded Metal, Fiber-Cement or Plastic

[Page Bottom](#)

[Questions?](#)

[Previous Page](#)

Prepared Roof Covering Materials, Formed or Molded Metal, Fiber-Cement or Plastic

Guide Information

CROWE BUILDING PRODUCTS LTD
116 BURRIS ST
HAMILTON
ON L8N 2J5, CANADA

R21159

Formed roofing shingles, for installation over minimum 15/32 in. thick plywood decks as a Class A prepared roof coverings when laid over one layer of 1/4 in. thick G-P Gypsum Dens-Deck® or 1/2 in. thick gypsum board followed by one or more layers of Type 30 underlayment either as an interply or as a base sheet alone.

Formed Roofing shingles, for installation as Class B prepared roof covering. Limited to 15/32 in. plywood decks and one ply of Type G1 plysheet.

Formed roofing shingles, for installation over minimum 15/32 in. plywood decks as a Class C prepared roof coverings when applied with one layer of Type 30 underlayment either as an interply or as a base sheet alone.

Formed roofing shingles, for installation as wind resistant roof coverings when installed in accordance with manufacturer's installation instructions. These shingles may also bear the statement "Also evaluated at wind velocities up to 110 mph".

Authentic Roof™

By Crowe Building Products Ltd.

From the people who invented it!

Made with Baljen TPO

Technical Specifications:

Colors: Bavarian Black, Virginia Dark Grey / Galveston Light Grey, Colorado Green, Paris Plum

Styles: Full Slate / Mitered Edge / Beaver Tail

Slate Size: #12-2000- Series Slates Length - 18" Width - 12" Weight - 1.2 to 1.54 Lbs. per Slate.
Thickness - 1/4" at the exposed end, tapering to 1/8" at the top.

#12-2000 - Hip & Ridge Cap Slates

Same Full slate with channel in back to allow it to bend to suit desired angle.

To figure hip & ridge cap:

Number of Feet of Hip & Ridge X 12" ~ exposure (6" to 7") = # of tile, round up to the nearest bundle of 25.

One bundle of R/C = 12.5 Feet @ 6" / 13.5 Feet @ 6 1/2" / 14.6 Feet @ 7" exposure.

Exposure: For Sloped Roof Installations, recommended roof pitch; 3/12 or 1/4 and up.

#12-2000 Series - 6" to 7":

3/12 to 6/12 - 6" exposure

Above 6/12 - expanding to maximum 7" exposure.

E.G.: 7/12 - 6 1/4", 8/12 - 6 1/2", 9/12 - 6 3/4", 10/12 - 7", 12/12 to 18/12 - 7"

Note: Vertical installations (Mansard) revert to 5" to maximum 6" exposure.

On a 3/12 installation, the roof deck should be covered with "Ice & Water Shield.

Number of slates per square	Maximum Weights per square	Per square foot
6" = 200	240 to 308 Lbs.	2.4 to 3.1 Lbs
6.5" = 185	222 to 285 Lbs.	2.22 to 2.85 Lbs.
7" = 172	206 to 265 Lbs.	2.06 to 2.65 Lbs.

Packaging:

Coverage per bundle

Bundles of 25

6" = 12.5 Sq. Ft.

= 14.6 Sq. Ft.

Per Skid

1,200 Slates max.

48 Bundles

at Per bundle

> 38.5 Lbs.

Testing: Now Underwriters Laboratories Listed; fire rated with G1 fiberglass base sheet (fiberglass f UL997; Wind Tunnel tested to velocities up to 110 MPH. Authentic Roof™ roofing slate products have been tested to limits so as to far surpass the highest standards in the industry. Authentic Roof™ roofing slate products have been tested in the ways of improving the product and the materials that are used. Authentic Roof™ roofing slate is not synthetic, polymer & rubber roofing slate and is the original. Authentic Roof™ roofing slate has a UV Violet protection package in the material to protect it from fade. For a more complete summary of the industry testing results, visit www.authentic-roof.com

1-905-529-6818

Installation, Class B

Authentic Roof™ roofing slate is made by ourselves to extreme standards. It is ongoing to find the best of the original product. Authentic Roof™ roofing slate is the original. There is also an Ultra Synthetic material and protect it. Visit www.authentic-roof.com

If it's not from C

Authentic!

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PRESS RELEASE - Underwriters Laboratories Listing #R21159

We are pleased to announce that Underwriters Laboratories Inc. has completed their tests and factory inspections. We are now listed for the following classifications:

UL790 *ASTM E108 + NFPA 256*

Class A - prepared roof covering when laid over one layer of 1/4 in. thick G-P Gypsum Dens-Deck or 1/2 in thick gypsum board followed by one or more layers of type 30 underlayment either as an interply or as a base sheet alone.

Class B - prepared roof-covering limited to minimum 15/32 in. plywood or similar decks and one ply Type G1 Fiberglass felt base sheet.

Class C - for installation over minimum 15/32 in. plywood or similar decks when applied with type 30 underlayment either as an interply or as a base sheet alone.

UL997

For installation as wind resistant roof coverings when installed in accordance with manufacturer's installation instructions. These shingles may also bear the statement " Also evaluated at wind velocities up to 110 mph" .

UL2218

Class 4 Hail Impact Resistance.

"This investigation was initiated with a purpose to establish a program of Listing and Follow-up Service for the products involved in the construction of the test assemblies. Product Listing involves more than merely testing in accordance with a designated Standard. It also involves the implementation of an ongoing program of unannounced visits at the factory whereby Underwriters field representatives audit the quality control programs for factory output, which bears the UL Mark" .

To search out Authentic Roof Listing on the Underwriters Laboratories web site:

Please go to: <http://www.ul.com>

ONLINE CERTIFICATIONS DIRECTORY - UL File Number

Enter: R21159

This will take you to Two Listings for Crowe Building Products Ltd. The first is for Fire and Wind, the second is for Hail Impact.

For more information please call us at 905-529-6818

Thank you!

Authentic Sales Department

FTX Class C Fire Retardant STARTER-COURSE

Treated by: Chemco ICBO Report No. ER 5404, Listing No. _____
Fire Tech Services Q.C. Inspection Agency, ICBO Report No. AA-641

Must be applied in accordance with application instructions included with this roofing
To be used as starter-course only with UBC 15-2 fire retardant roof systems

FTX Class B Fire Retardant STARTER-COURSE

Treated by: Chemco ICBO Report No. ER 5404, Listing No. _____
Fire Tech Services Q.C. Inspection Agency, ICBO Report No. AA-641

Must be applied in accordance with application instructions included with this roofing
To be used as starter-course only with UBC 15-2 fire retardant roof systems

FIGURE 3—TYPICAL STARTER COURSE LABELS

CALIFORNIA DEPARTMENT OF FORESTRY & FIRE PROTECTION
OFFICE OF THE STATE FIRE MARSHAL
FIRE ENGINEERING - BUILDING MATERIALS LISTING PROGRAM

LISTING SERVICE

LISTING No. 4150-1450:100

Page 1 of 1

CATEGORY: Roof Covering, Wood Shakes/Shingles

LISTEE: Chemco, Inc., 4191 Grandview Road, Ferndale, WA 98248
Contact: Philip Favro (916) 962-1066 FAX (916) 965-9357

DESIGN: Model FTX and CedarPlus *Durashake, *FST, and *Chemco pressure treated, No. 1 Grade Western Red Cedar shakes and shingles. Shakes and shingles, having a maximum moisture content of 25%, are pressured treated with Chemco's proprietary FTX fire retardant chemical. Refer to National Evaluation Service (NES) Report No. NER-215 *(March 1, 2000) and *ICBO-ES Report No. ER-5404 (December 1999) for additional detailed product description and installation considerations.

RATING: Class B and C

INSTALLATION: In accordance with listee's printed installation instructions, applicable codes & ordinances and in a manner acceptable to the authority having jurisdiction.

Class B and C shakes and shingles are applied over 1/2" thick CDX plywood with exterior glue *or spaced sheathing of 1" x 4" lumber, and a listed asphalt-saturated felt underlayment and interlayment. Spacing between shakes and shingles shall not be less than 3/8" nor more than 5/8". The roof valley flashing shall be fabricated of not less than No. 28 Ga. galvanized sheet corrosion-resistant metal applied over at least Type 15 felt. Hot-dipped zinc-coated *fasteners shall be used.

*For Class A assemblies, Class B shakes and shingles shall be applied over 1/4" Dens-Deck (a glass-faced gypsum roof board), or a minimum approved and listed 72-lb mineral surface fiberglass cap sheet installed over solid or spaced sheathing as described for Class B and C. The Dens-Deck shall be fastened with a minimum four fasteners per board and the cap sheet shall be installed with a 2-inch overlap on sides and ends. The use of the Class A assembly is subject to the final approval of the authority having jurisdiction.

MARKING: Listee's name, model number, classification, and CSFM label.

APPROVAL: Listed as Class B and C, pressure treated red cedar shakes and shingles when installed on minimum roof slopes of 4:12 and when used as part of a Class A assembly as described under Installation Section above. Class B shakes and shingles may be used on minimum roof slopes of 3:12 when at least listed Type 15 felt underlayment is used and the installation is approved by the authority having jurisdiction.

*Rev. 11-16-2001



This listing is based upon technical data submitted by the applicant. CSFM Fire Engineering staff has reviewed the test results and/or other data but does not make an independent verification of any claims. This listing is not an endorsement or recommendation of the item listed. This listing should not be used to verify correct operational requirements or installation criteria. Refer to listee's data sheet, installation instructions and/or other suitable information sources.

Date Issued: **JUNE 29, 2004**

Listing Expires June 30, 2005

Authorized By: **DIANE K. AREND**, Senior Deputy
Program Manager



Crowe Building I
 Phone: 905-529-
 Fax: 905-529-1
 Monday to Friday 9AM



Print Friendly

 WORD document

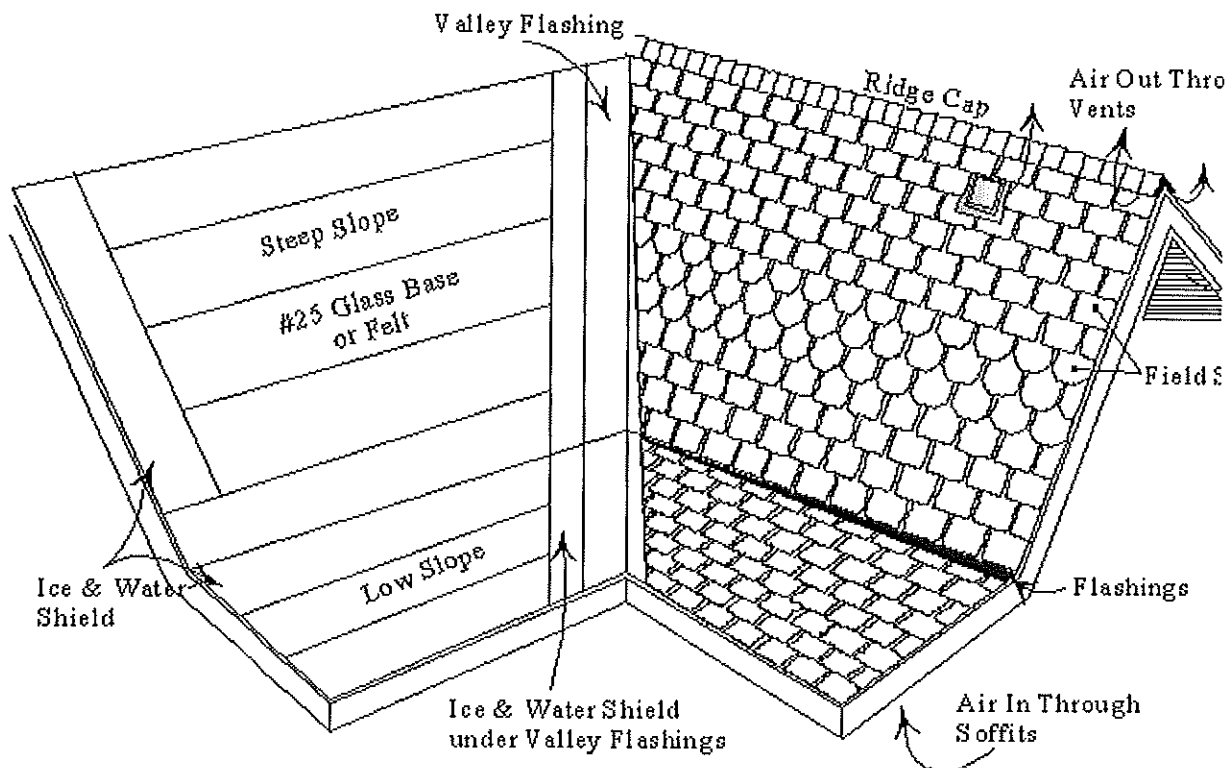
Print Friendly

 PDF document

Recommended Installation Procedures For Authentic Roof Slates

It is recommended that this material be installed on a sloped roof structure of no less than a 3/12 pitch. Or less than the roof should be sealed with a peel and stick underlay ("Ice & Water Shield "®). Authentic F installed on solid or skip sheeting (Open Strapping). On open strapping installations the spacing between should not exceed 3" to 4" and a heavier felt underlay should be used. **Important: Cut the top 6" off of row of slates.**


Exposures are 6", 6.5" & 7" measured from the bottom of the slate. **In High Wind areas, use only 6" ex** Double sided EPDM or Eternabond tape can be used to stick down slates or use slate hooks in high wind (Not warranted for Hurricanes)



It is required that a 3/16th inch (5mm) space be maintained between the slates (side by side), to allow for movement in the roof deck and expansion / contraction of the materials. This also allows for breathing of deck, because Authentic Roof is totally impervious to moisture permeation. It is not advisable to install tl temperatures below 32F degrees (0C degrees). If installation is required in low temperatures, then store 1

inside in a warm place before use . **Important: Do not use a nail gun to install the material, nails should be driven in extremely tight.**

These slates can be installed with standard Large Head 1 1/2" (4cm) galvanized roofing nails, in salty air nails will weather better. **Nails should be placed in the divots provided**, for 6" & 6.5" use the 6" divot, 7" divot. Used in conjunction with standard designed rain / drip edge flashing materials. It is advisable that exposed flashings be of a heavier gage (e.g. chimney and valley), preferably 26 gage painted galvanized steel, copper or zinc due to the extremely long life of Authentic Roof. (a W flashing is a very good choice for valleys)

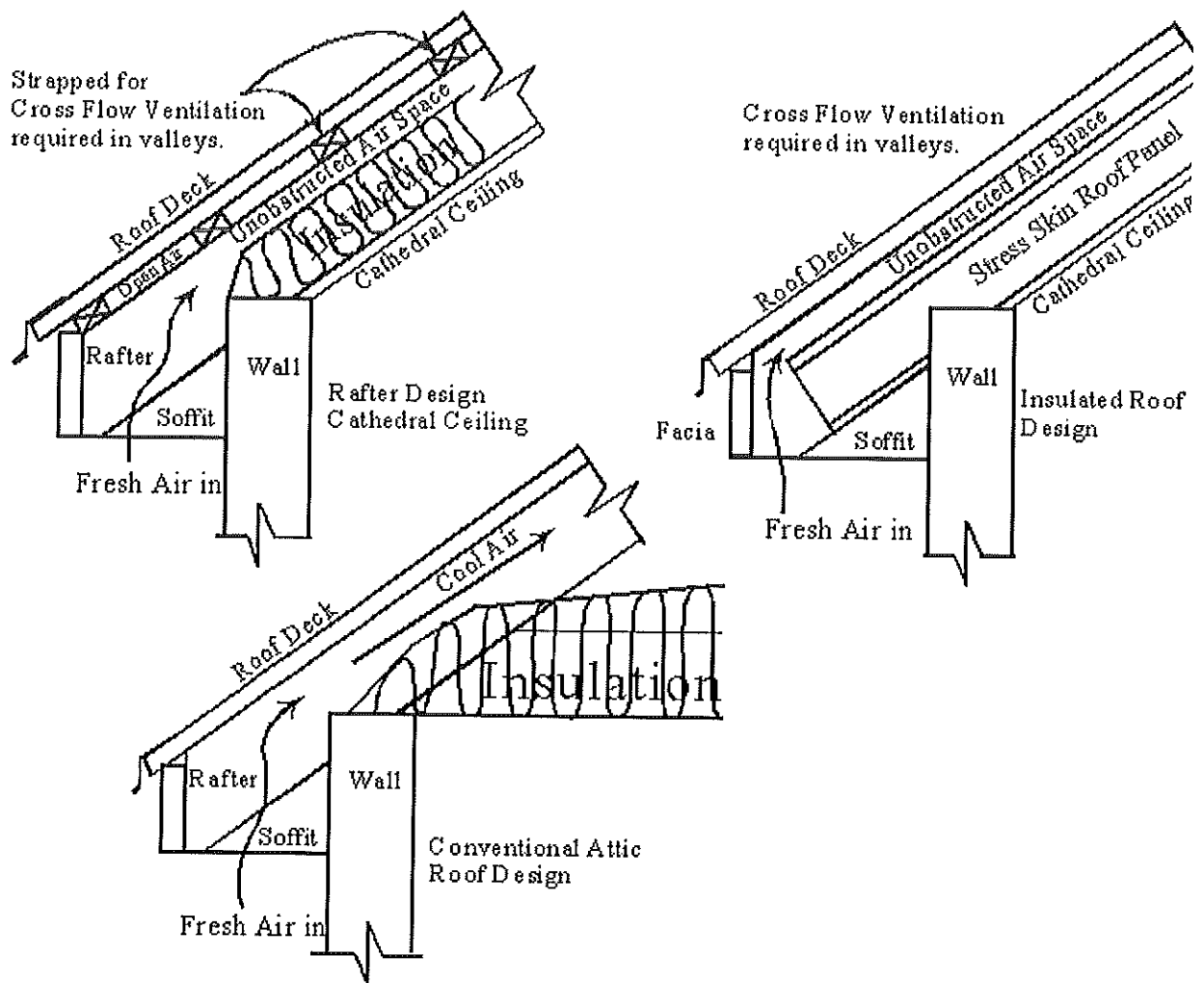
Innovators of the World's First Recycled Polymers & Rubber roofing slates  *Revised May 2003*

On solid roof decks of 15/32" plywood or similar materials.

Proper roofing standards require that an "Ice & Water Shield" ® (W.R. Grace & Co. TM) underlayment be installed over the eaves (cornice) area of the roof to protect against ice damming and under valleys, the rest of the roof should be covered with 30 Lb., felt underlayment for a UL Listed Class C fire rating, for a Class B fire rating a G1 Fire Retardant sheet material is required, for a UL listed Class A fire rating 1/4" "Dens-Deck" ® (Georgia Pacific) and 3/4" tarpaper is required. Step lapping of underlayment similar to cedar shake installation methods is also an acceptable method and may provide a better security lap of underlayment if so desired. In southern climates it is advisable to use a rain protector also in valleys, one half strip, up an open gable end and around skylights this is advisable to stop rain from getting in under open ends.

On installations over "Stress Skin" (Insulated roof panels), it is recommended that the roof be "Vertically" strapped and sheeted to create an air space for venting. Eave and ridge venting would be required on these installations. All roofing requires an air space, due to the nature of stress skins an air space has to be created.

Due to the Recycled material, bundles should be distributed evenly from each skid and the slates from each bundle should be the same so as to evenly spread any possible variegation throughout the roof. This will help to make the roof look more like slate. **Important: "One bundle from each skid and one slate from each bundle as applicable will mechanically spread any variegation evenly."**



All roofing should always be vented to allow heat build-up and moisture to escape the attic area. Cross flow ventilation should be allowed for in valleys where Stress Skin roof panels or cathedral ceilings are in use. Wood or Polymer ridge vents with no more movement in them than Authentic Roof material are acceptable. Ridge tiles should be trimmed along the top side edges so as not to protrude out from under the next cap - this is for aesthetics only.

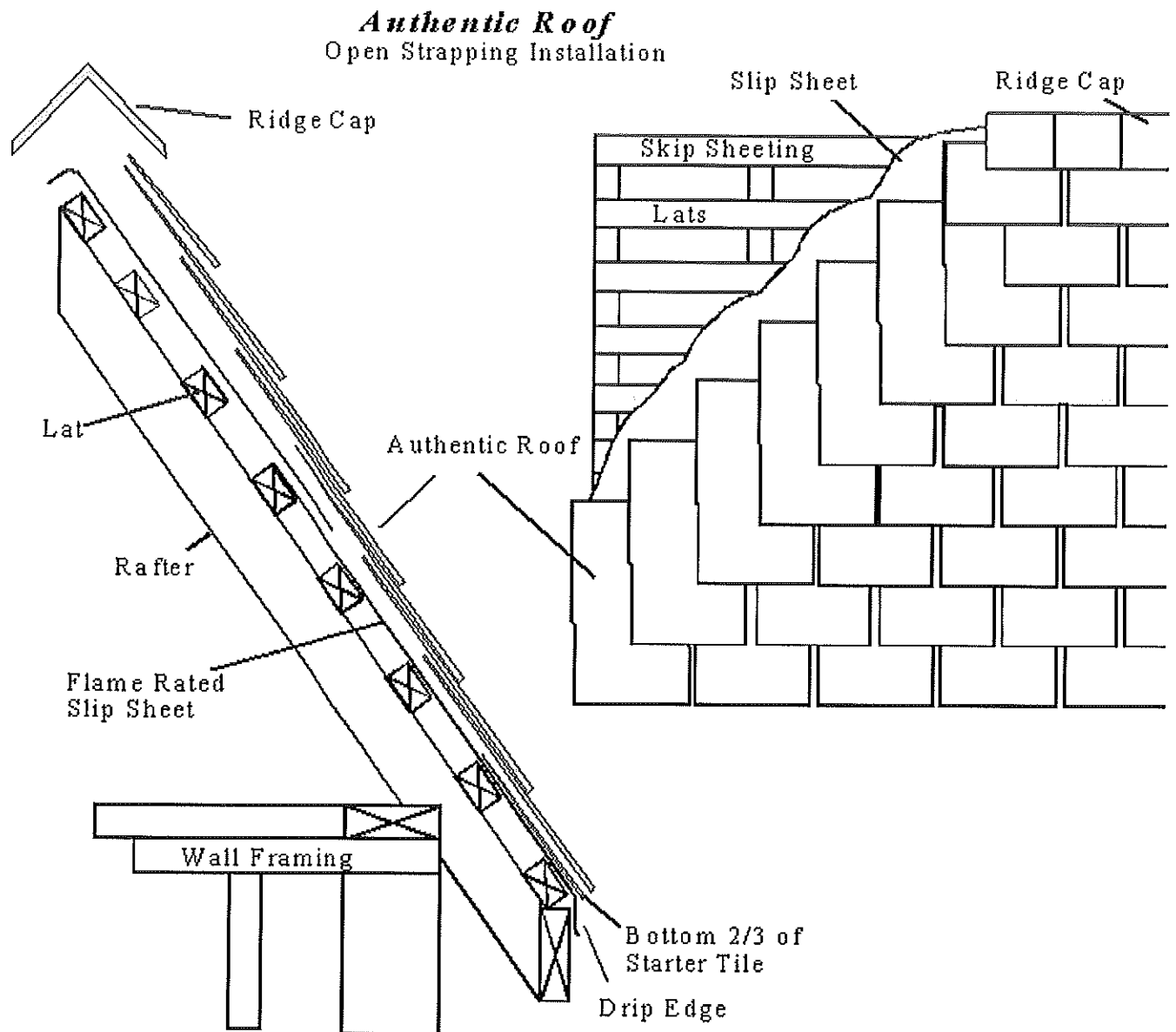
Authentic Roof from the people who invented it!

2

The line up scales on the sides of the slates are only intended as an approximate guide to ensure straight and to maintain exact exposure in the rows of slate, a chalk line should be used or a straight edge.

To cut to size or shape, score well on the front with a sharp knife and fold back, then trim, Authentic Roof cut with a power saw and fine blade, a Jig saw or a Band saw.

To form the desired degree of angle **Important: a heat strip gun should be used to heat ridge cap channels the back to allow them to be bent easier and hold down tighter.**



This product Authentic Roof can be installed by anyone with a good knowledge of proper roofing procedure. Installation should be in accordance with these recommendations and local state or provincial building codes, failure to comply may void warranty.

If it's not from Crowe, then it's not Authentic Roof!

3

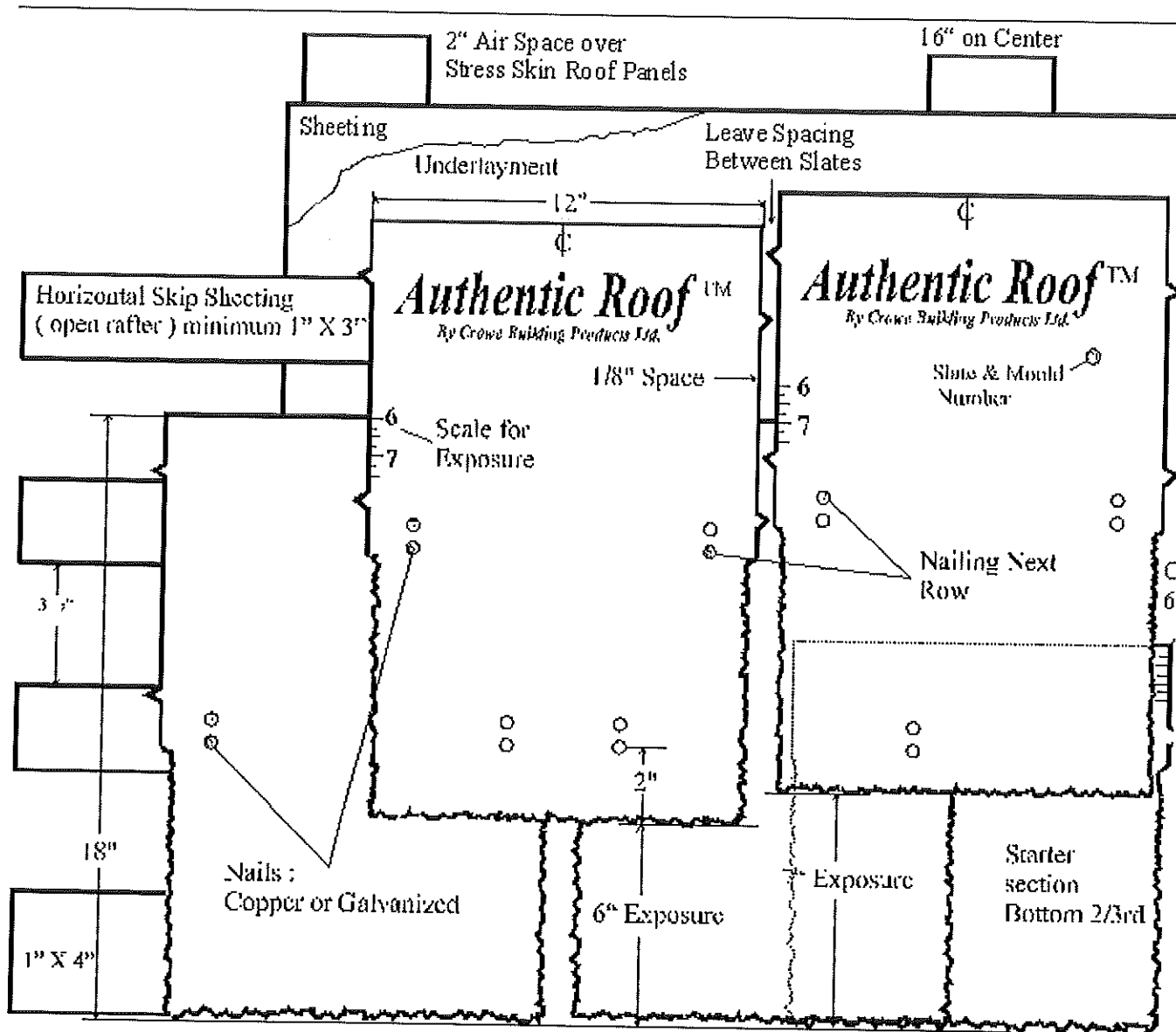
Authentic Roof™

By Crowe Building Products Ltd.

"Ice & Water Shield"® (W.R. Grace & Co. TM) at starter over eaves, in valleys, up an open gable end and around any sky-lites or other holes in the roof deck. For Class A fire rating DensDeck® with one layer of tarpaper, for a UL Listed Class B fire rating a G1 Fiberglass Base sheet material, for a UL Listed Class C 30 Lb., tarpaper. For low slope use Ice & Water on the entire roof deck.

To Start: Cut the top 1/3rd off the full starter slates and begin, then over top of these starter slates start a course shifting over 1/2 slate.

Note: In this figure, a 2 inch unobstructed air space under the roof deck is required for ventilating attic moisture, in cathedral ceilings and over Stress Skin roof panels. Horizontal strapping is for open rafter in and is necessary under the roof sheathing for cross flow ventilation where cathedral ceilings are present.



If it's not Authentic Roof, then just what are you getting?

Questions regarding installation, call 1-905-529-6818

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1988/2003

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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1519	Date Applied For: 10/08/2004	CBL: 406 F053001
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Location of Construction: 0 Stepping Stone Ln (lot 3)	Owner Name: Cole Dean	Owner Address: 21 C Great Falls Rd	Phone:
Business Name:	Contractor Name: Windemere Homes	Contractor Address: 14 Windemere Lane Saco	Phone (207) 228-4233
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ 4 Bedroom 2-story w/ attached garage	Proposed Project Description: Single Family Home/ 4 Bedroom 2-story w/ attached garage
--	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 10/14/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) NO DAYLIGHT BASEMENTS are being shown. NO DAYLIGHT BASEMENTS are being approved with this permit.</p> <p>2) Separate permits shall be required for future decks, sheds, pools, and/or garages. No exterior decks are being shown and therefore none are being approved with this permit issuance. Please make the owner aware that this proposal brings the lot coverage almost to the maximum allowed presently within the R-3 zone.</p> <p>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			

Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		