

ENCROACHMENT VOLUME CALCULATIONS:

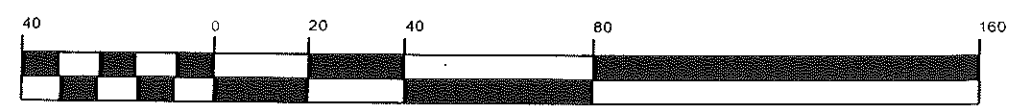
EXIST:
 HEIGHT OF EXISTING BUILDING = 16'+4" EXPOSED FOUNDATION = 20' TOTAL
 AREA OF EXISTING ENCROACHMENT = 519 SF
 VOLUME OF EXISTING ENCROACHMENT = 20' * 519 SF = 10,380 CF

PROPOSED:
 AVERAGE HEIGHT OF PROPOSED BUILDING IN ENCROACHMENT AREA = 22.9'+9" EXPOSED FOUNDATION = 23.65'
 AREA OF PROPOSED ENCROACHMENT = 430 SF
 VOLUME OF PROPOSED ENCROACHMENT = 23.65' * 430 SF = 10,169 CF

LEGEND

- PROPERTY LINE
- LIMIT 75' STREAM PROTECTION ZONE
- EDGE OF WETLAND/ STREAM
- LIMIT OF EXISTING BUILDING TO BE REMOVED
- LIMIT OF EXISTING BUILDING WITHIN STREAM PROTECTION ZONE
- LIMIT OF PROPOSED BUILDING
- LIMIT OF PROPOSED BUILDING WITHIN STREAM PROTECTION ZONE
- LIMIT OF PROPOSED GREENSPACE WITHIN STREAM PROTECTION ZONE

GRAPHIC SCALE



(IN FEET)

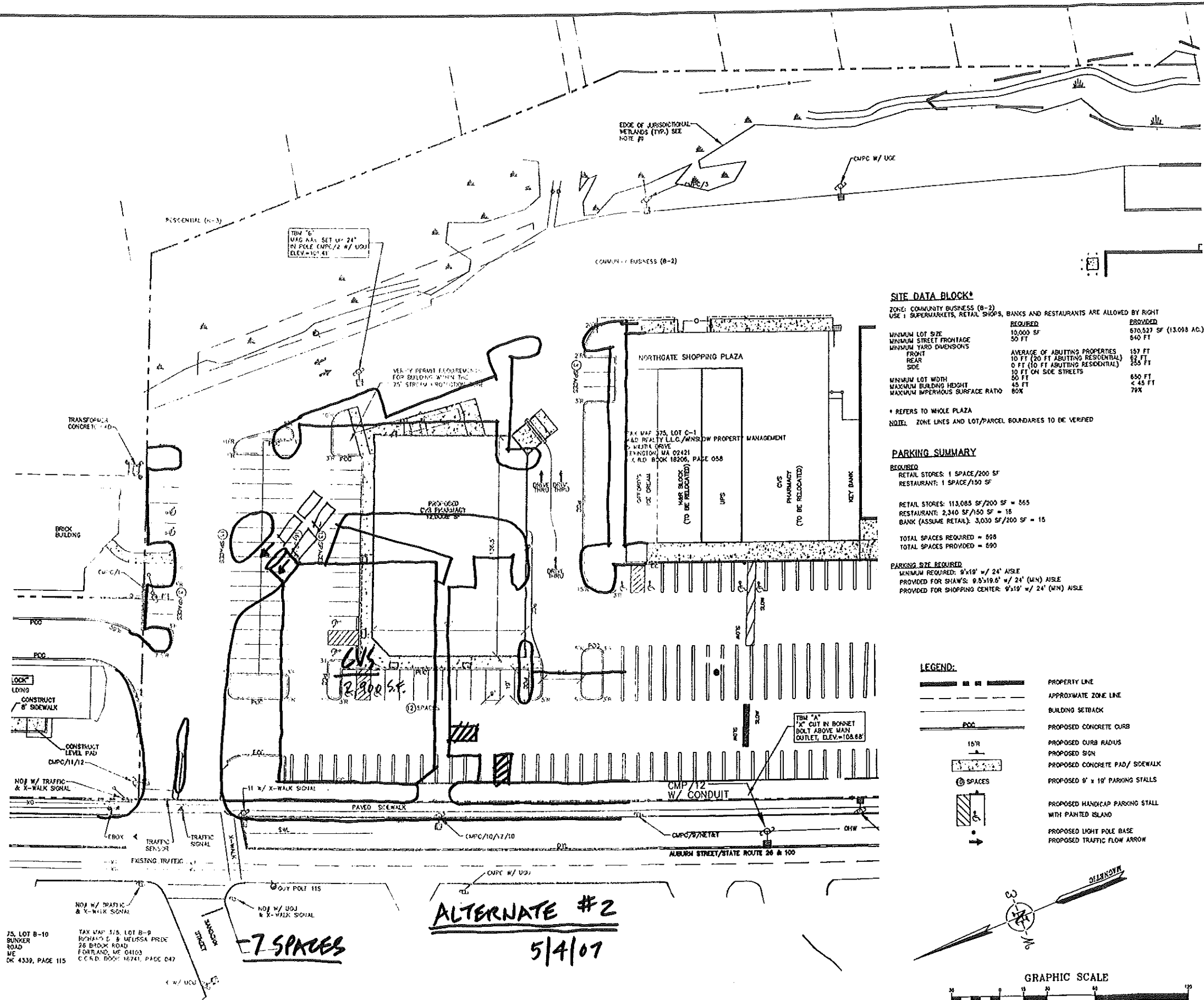
EXHIBIT 1: STREAM PROTECTION ZONE

3/10/09

No.	Appd	Date	REVISIONS

**NORTGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

AEI APPLIEDORE ENGINEERING
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603) 433-8818
 aei@appliedoreeng.com



SITE DATA BLOCK*

ZONE: COMMUNITY BUSINESS (B-2)
 USE 1 SUPERMARKETS, RETAIL SHOPS, BANKS AND RESTAURANTS ARE ALLOWED BY RIGHT

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	10,000 SF	670,527 SF (13.093 AC.)
MINIMUM STREET FRONTAGE	50 FT	540 FT
MINIMUM YARD DIMENSIONS		
FRONT SIDE	AVERAGE OF ADJUTING PROPERTIES	157 FT
REAR SIDE	10 FT (20 FT ADJUTING RESIDENTIAL)	52 FT
	0 FT (10 FT ADJUTING RESIDENTIAL)	253 FT
	10 FT ON SIDE STREETS	
MINIMUM LOT WIDTH	50 FT	650 FT
MAXIMUM BUILDING HEIGHT	45 FT	4.45 FT
MAXIMUM IMPERVIOUS SURFACE RATIO		79%

* REFERS TO WHOLE PLAZA
 NOTE: ZONE LINES AND LOT/PARCEL BOUNDARIES TO BE VERIFIED

PARKING SUMMARY

REQUIRED
 RETAIL STORES: 1 SPACE/200 SF
 RESTAURANTS: 1 SPACE/150 SF

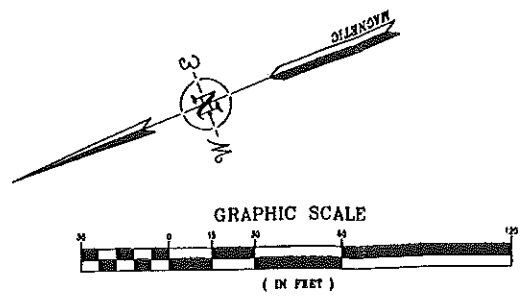
RETAIL STORES: 113,085 SF/200 SF = 565
 RESTAURANTS: 2,340 SF/150 SF = 15
 BANK (ASSUME RETAIL): 3,030 SF/200 SF = 15

TOTAL SPACES REQUIRED = 595
 TOTAL SPACES PROVIDED = 590

PARKING SIZE REQUIRED

MINIMUM REQUIRED: 9'x19' w/ 24' AISLE
 PROVIDED FOR SHAW'S: 9.5'x19.5' w/ 24' (MIN) AISLE
 PROVIDED FOR SHOPPING CENTER: 9'x19' w/ 24' (MIN) AISLE

- LEGEND:**
- PROPERTY LINE
 - APPROXIMATE ZONE LINE
 - BUILDING SETBACK
 - PROPOSED CONCRETE CURB
 - PROPOSED CURB RADIUS
 - PROPOSED SIGN
 - PROPOSED CONCRETE PAD/ SIDEWALK
 - PROPOSED 9' x 19' PARKING STALLS
 - PROPOSED HANDICAP PARKING STALL WITH PAINTED ISLAND
 - PROPOSED LIGHT POLE BASE
 - PROPOSED TRAFFIC FLOW ARROW



ALTERNATE #2
 5/4/07

-7 SPACES

75, LOT B-10
 SUNKER ROAD
 WE
 DK 4339, PAGE 115

TAX MAP 315, LOT B-P
 RICHARD E. & MELISSA PRIDE
 26 BROOK ROAD
 FORTLAND, ME 04103
 C.C.R.D. BOOK 16741, PAGE 047

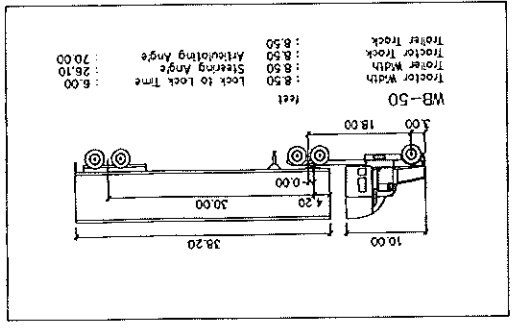
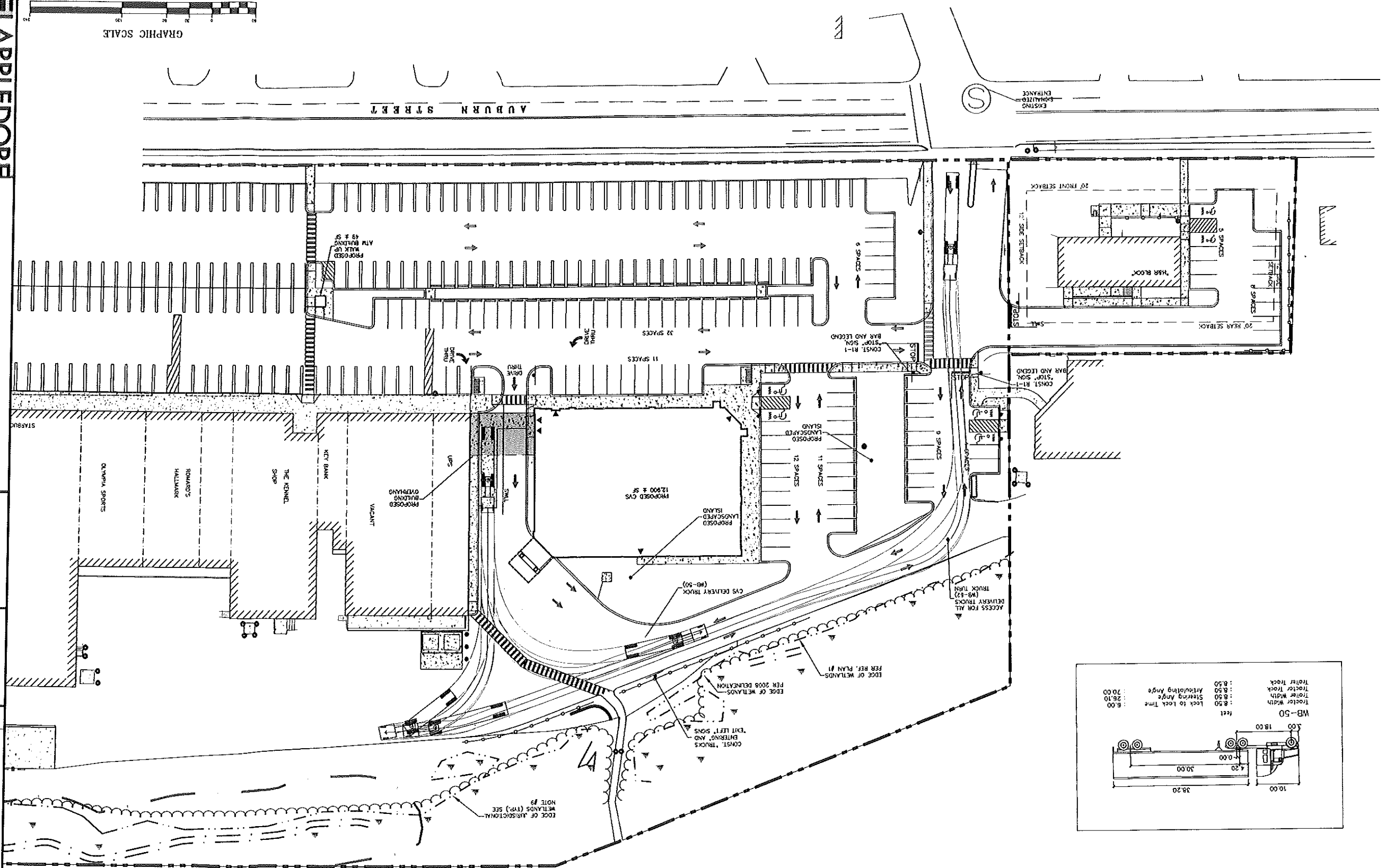
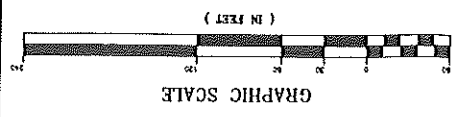
No.	Description	Date
	REVISIONS	

DATE: MARCH 13, 2008
 SCALE: AS SHOWN
 DESIGNED BY: JOC
 DRAWN BY: SAM
 APPROVED BY: CY
 PROJECT NO.: 2042C
 FILE NO.: 2042CONCEPT-1.DWG

**NORTHGATE PLAZA
 AUBURN STREET
 PORTLAND, MAINE**

APPLEDORE ENGINEERING ONE
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EXHIBIT 4: DELIVERY TRUCK ACCESS PLAN 1 OF 1



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**NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

DATE: MARCH 13, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: CV/BLM
PROJECT NO.: 2042B
FILE NO.: 2042B-SITE.DWG

No.	Description	Appd	Date

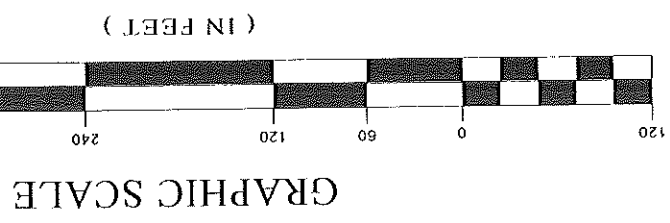
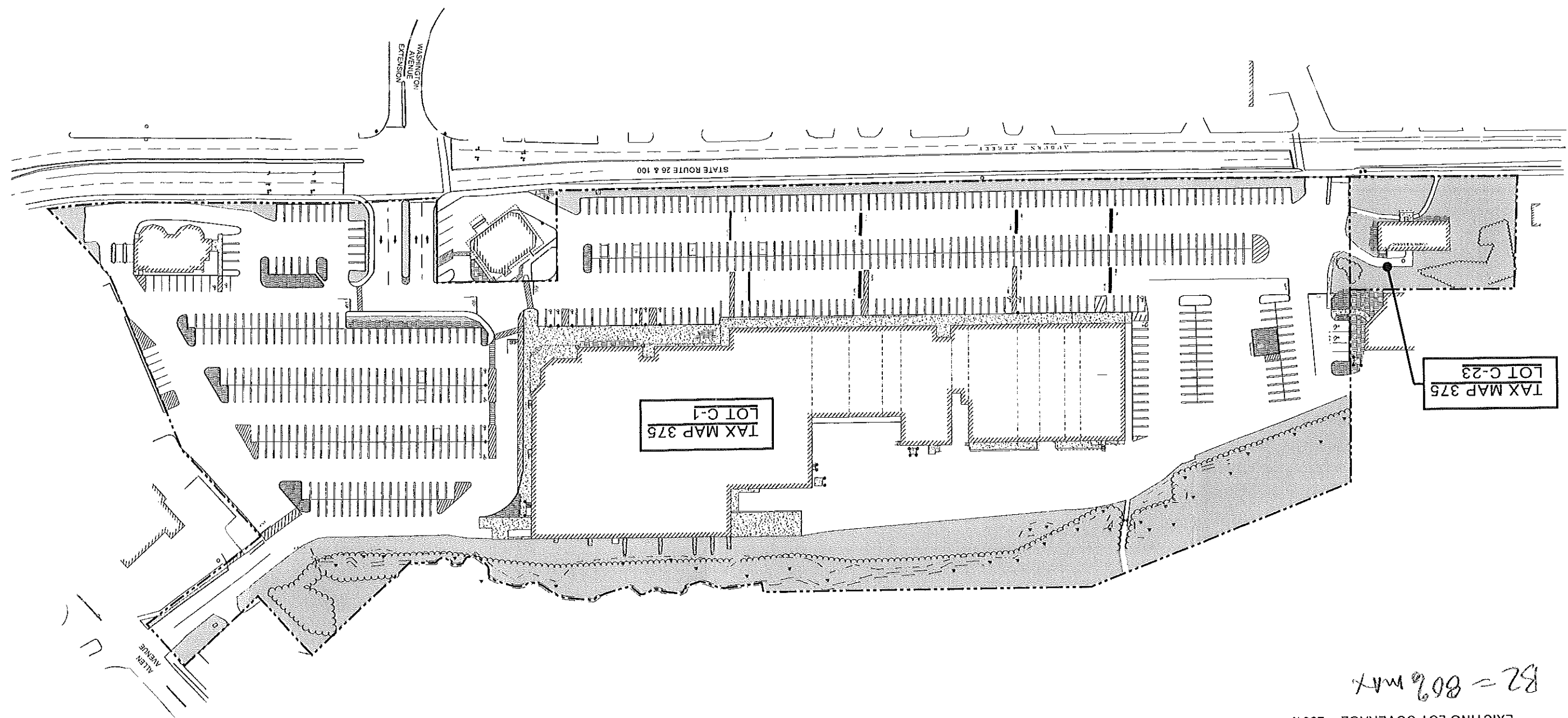


EXHIBIT 2: EXISTING IMPERVIOUS AREA



82 = 80% MAT

EXISTING PERVIOUS AREA = ±112,459 SF
EXISTING LOT COVERAGE = ±80%

LOT AREA = 575,009 SF

LOT C-1
TAX MAP 375

EXISTING PERVIOUS AREA = ±19,071SF
EXISTING LOT COVERAGE = ±19%

LOT AREA = 23,480 SF

LOT C-23
TAX MAP 375
23,478

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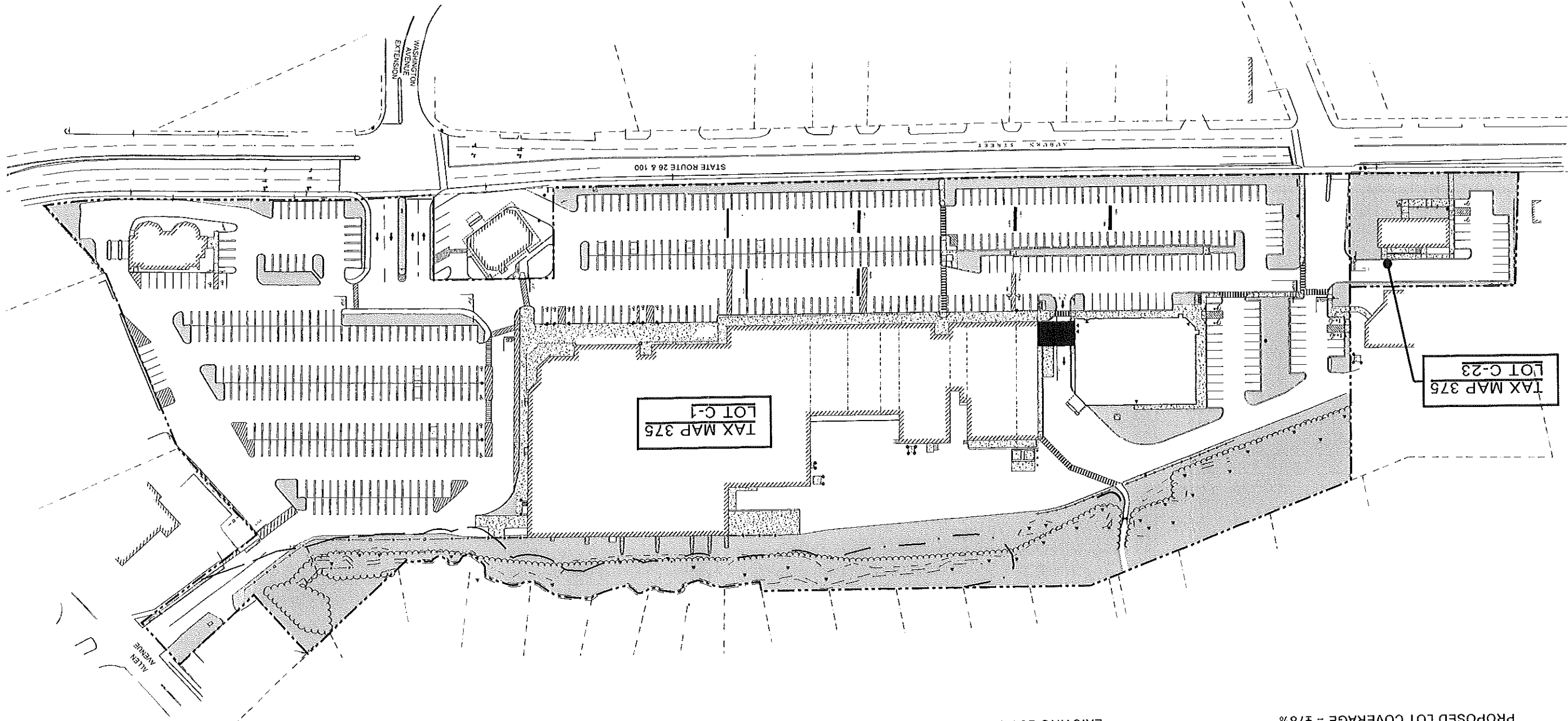
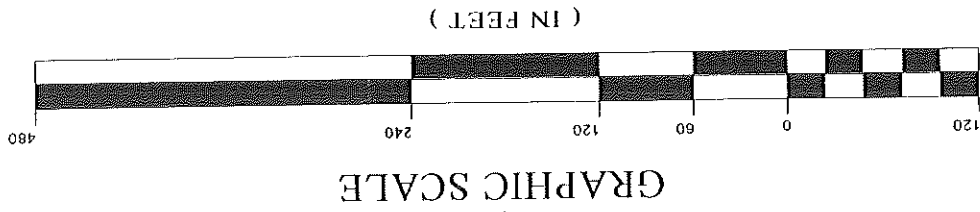
**NORTGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

DATE: MARCH 13, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GY/BLM
PROJECT NO: 2042B
FILE NO: 2042B-SITE.DWG

No.	Appd	Date

REVISIONS

EXHIBIT 3: PROPOSED IMPERVIOUS AREA



TAX MAP 375
LOT C-1
LOT AREA = 675,009

PROPOSED PERVIOUS AREA = ±126,867 SF
PROPOSED LOT COVERAGE = ±78%

TAX MAP 375
LOT C-23
LOT AREA = 23,480 SF

PROPOSED PERVIOUS AREA = ±10,317SF
EXISTING LOT COVERAGE = ±56%

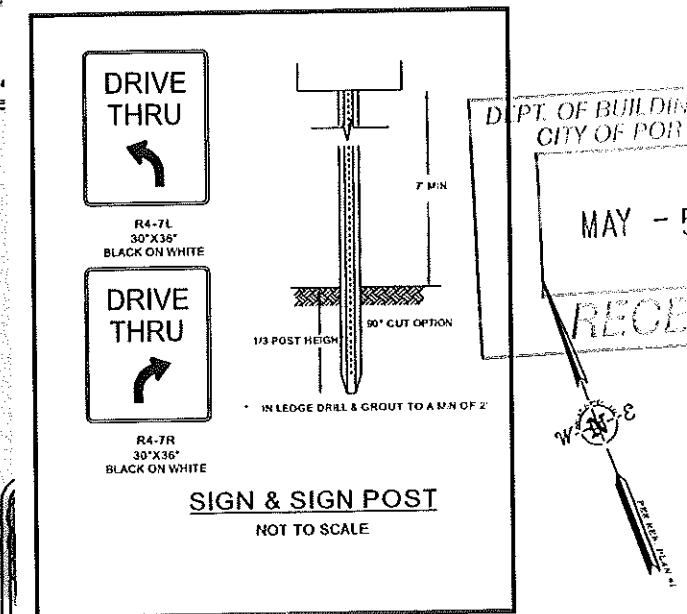
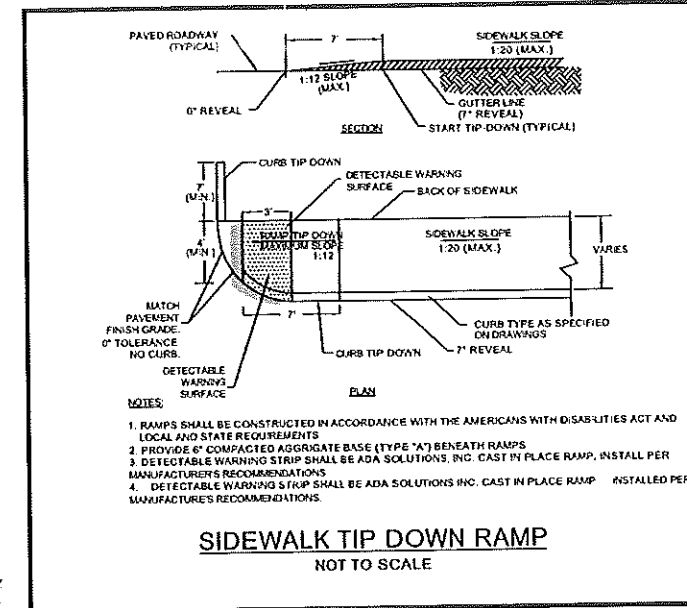
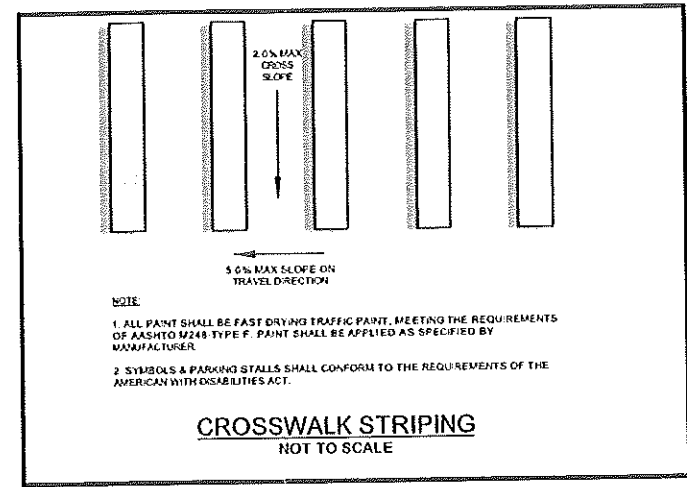
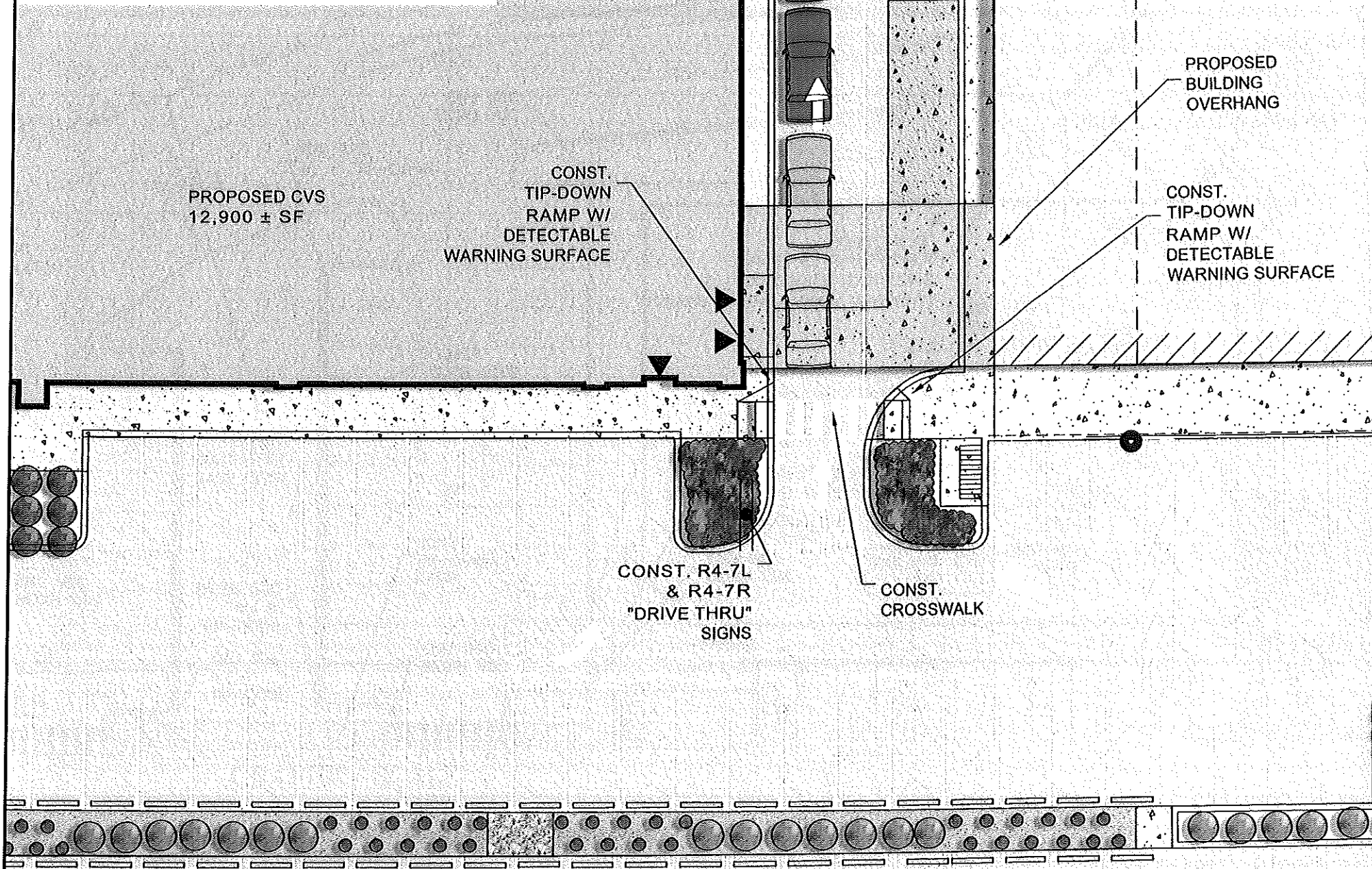
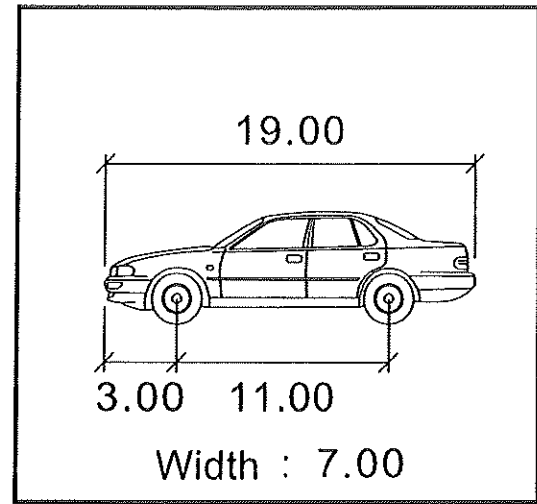
APPLEDORE ENGINEERING
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**NORTGATE PLAZA
AUBURN STREET
PORTLAND, MAINE**

DATE: MARCH 13, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GYBLM
PROJECT NO.: 2042B
FILE NO.: 2042B-SITE.DWG

No.	Appd	Date

REVISIONS

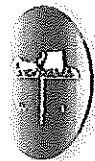
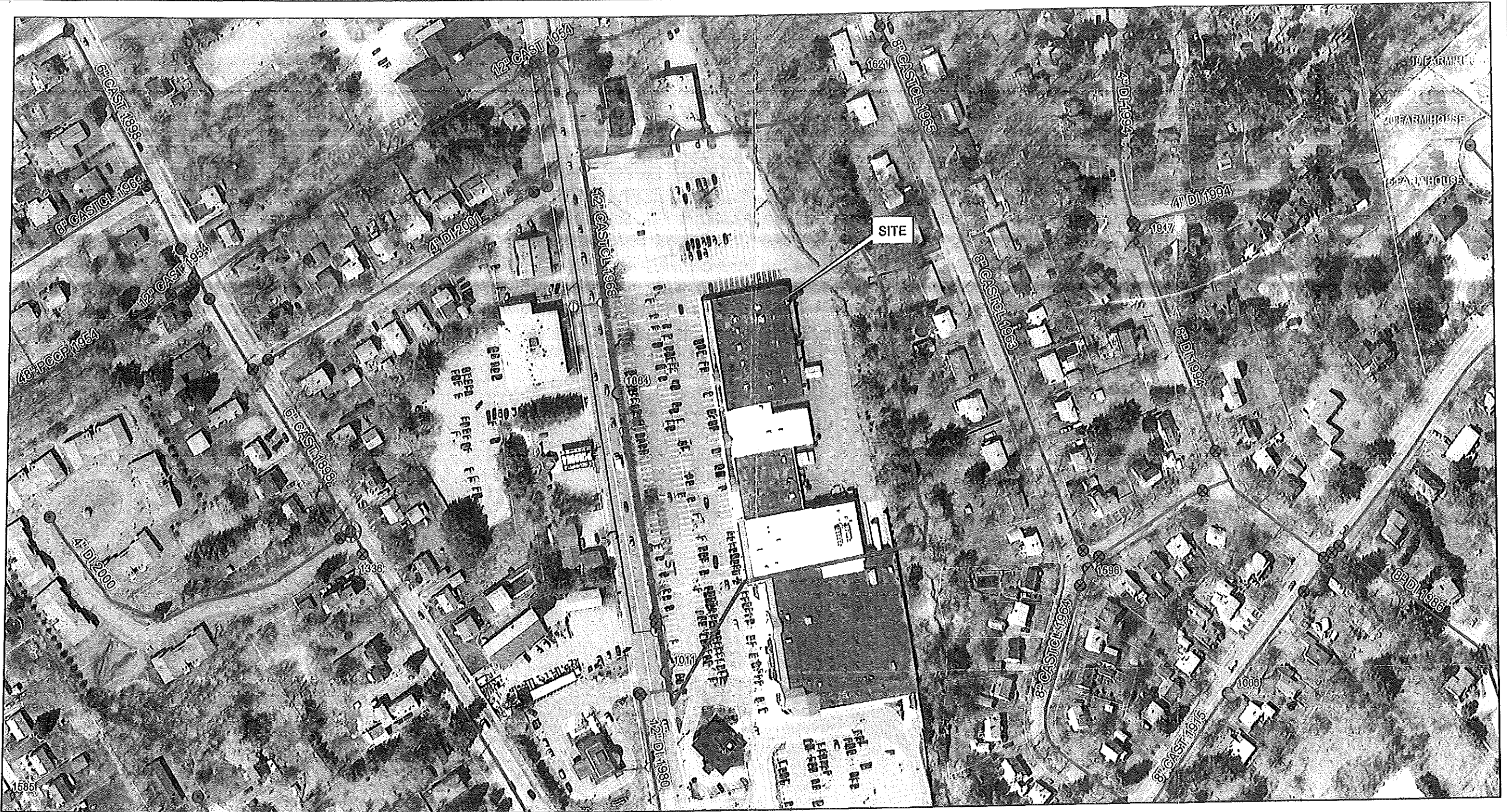


No.	Description	Date
	REVISIONS	

DATE: MAY 1, 2009
SCALE: AS SHOWN
DESIGNED BY: SAM
DRAWN BY: SAM
APPROVED BY: GYBLM
PROJECT NO.: 2042B
FILE NO.: 2042B-SITE.DWG

RECEIVED
MAY - 5 2009
DPT. OF BUILDING
CITY OF PORTLAND
NORTHGATE PLAZA
AUBURN STREET
PORTLAND, MAINE

APPLEDORE ENGINEERING
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
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aer@applecoreeng.com



PORTLAND WATER DISTRICT
225 Douglass Street
Portland, ME 04104

Legend

- | | | | |
|----------------|-------------------|-------------------|------------|
| ⊙ Blow Off | ⊙ Fire Service | ⊙ Air Valve | ⊙ Sleeve |
| ⊙ By Pass | ⊙ Hydrant Control | ⊙ Gate Charge | ⊙ Tee |
| ⊙ Distribution | ⊙ Service | ⊙ Material Change | ⊙ Hydrants |
| ⊙ End of Main | ⊙ Transmission | ▲ Reducer | |

91 Auburn Street

Portland



Disclaimer: This map is suitable for preliminary study and analysis and is based on PWD record information. PWD is not liable for any damages whatsoever resulting from inaccurate data or from errors made in the location and marking of its infrastructure.

Drawn By: J. Paschal

Prepared For: Appledore Engineering

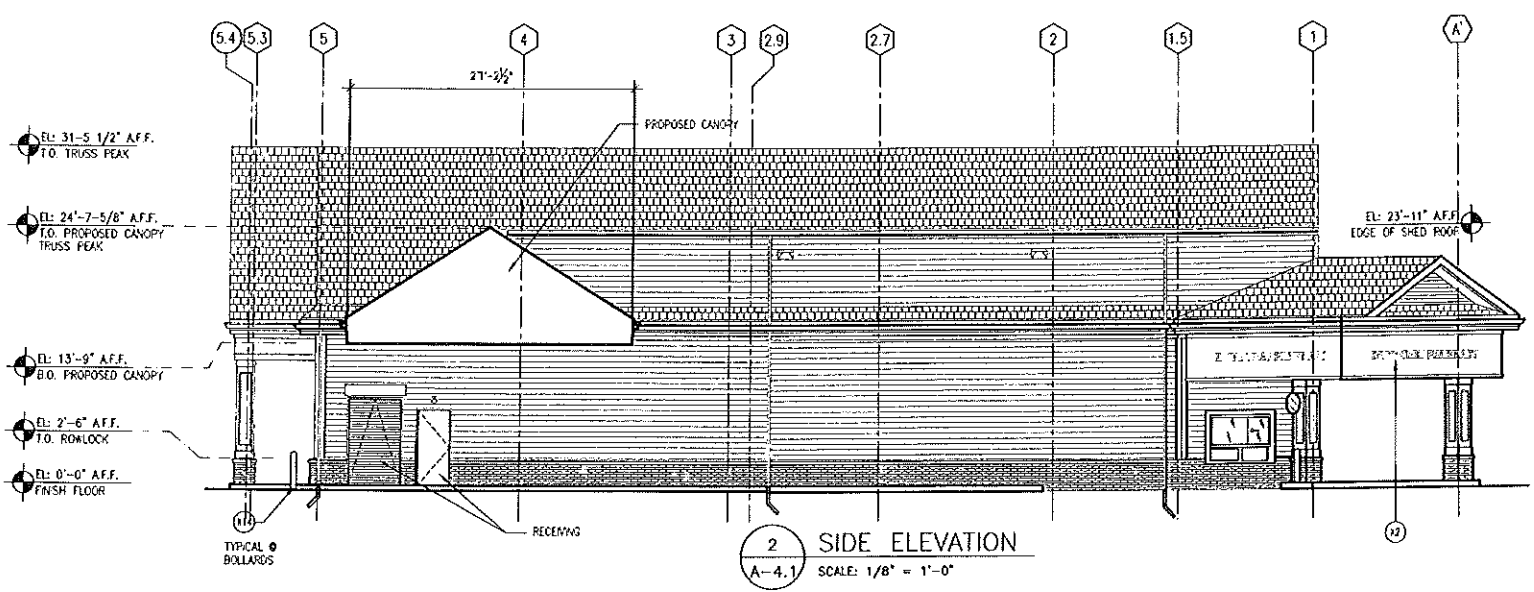
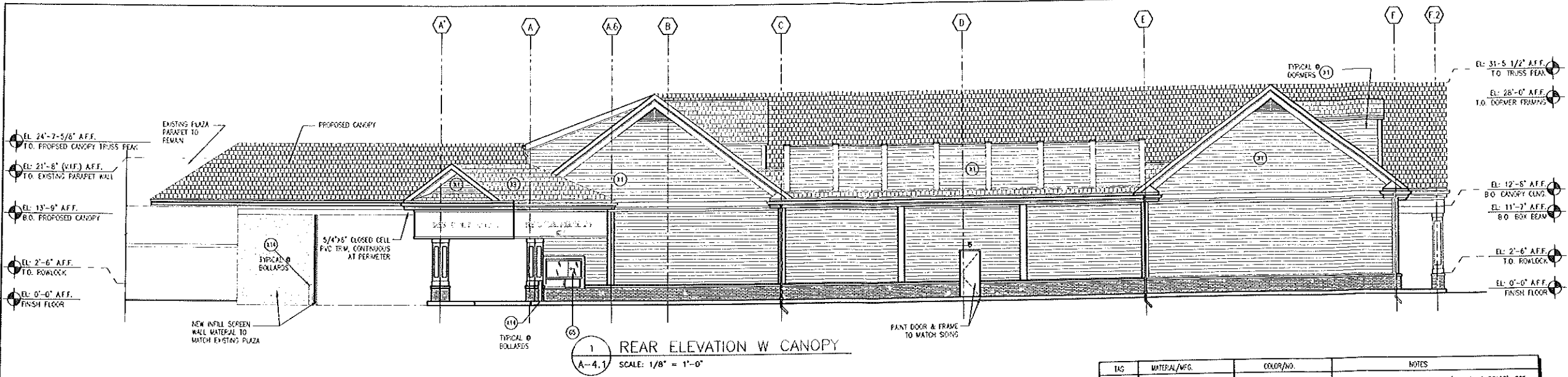
Scale: As Noted

Date: December 12, 2008

CONSULTANT:
 SEAL:
 DEVELOPER:

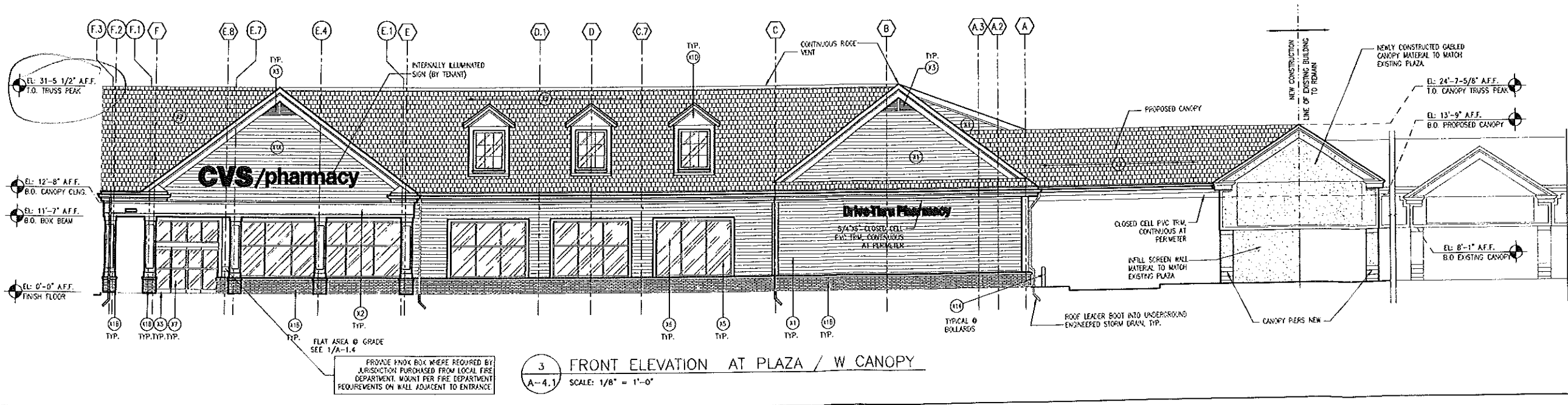
CVS/
 pharmacy
 NEW
 STORE NUMBER XXXX
 NORTHGATE PLAZA
 91 AUBURN STREET
 PORTLAND, MAINE

REVISIONS:
 DRAWING BY: DSG
 DATE: 02/19/09
 JOB NUMBER: 209017
 TITLE: EXTERIOR ELEVATIONS
 SHEET NUMBER: A-4.1
 COMMENTS:



NO.	MATERIAL/WFG.	COLOR/NO.	NOTES
11	"WEREZALU" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	AMERICANA 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
11A	"WEREZALU" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
11B	EXTERIOR FACE BRICK	CVS FED	MORTAR COLOR - NATURAL GREY
12	SHEET PVC CLADDING	SMOOTH FACE	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
13	GYRON DECORATION	BENJAMIN MOORE 319-79	LOUVER BY "GYRON MOLDDED MILLWORK", # FT13V60X23 1/2 PITCH. INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
15	BULLET RESISTIVE GLASS		SEE INTERIOR FINISH SCHEDULE ON SHEET A3.2
15	W/O/DOOR STOREFRONT "MANNER" TRIFAB II	VALSPAR INO. COATING #351A226, COLONIAL WHITE	#451-1 SERIES FLUOROPOLYMER FINISH (A. 1-800-366-3655)
16	1" INSULATED FLOAT GLASS	OPAQUE WHITE SPANDEL	STOREFRONT WINDOWS
16A	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
17	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
18	NOT USED		
19	FIBERGLASS ASPHALT ARCHITECTURAL SHINGLE	ENTER BLEND G.C. TO SUBMIT SAMPLES	GAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
110	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	ATKINS WHITE #319-79	PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME. ALL EXTERIOR SURFACES NOT FACTORY PRIMED & PAINTED TO RECEIVE X10
111	EXTERIOR PIPE BOLLARDS BENJAMIN MOORE	SAFETY YELLOW #208-9400	DEVILEX #8 ACrylic, 4200-SERIES, HIGH PERFORMANCE

GENERAL NOTES:
 1) ALL FINISHES ARE TYPICAL AND USED THROUGHOUT THE BUILDING (UNLESS OTHERWISE NOTED)



Feb 19, 2009 - 4:46 pm DGRUNERT
 P:\Retail_P\209017\Civil\209017\FRONT ELEV.dwg