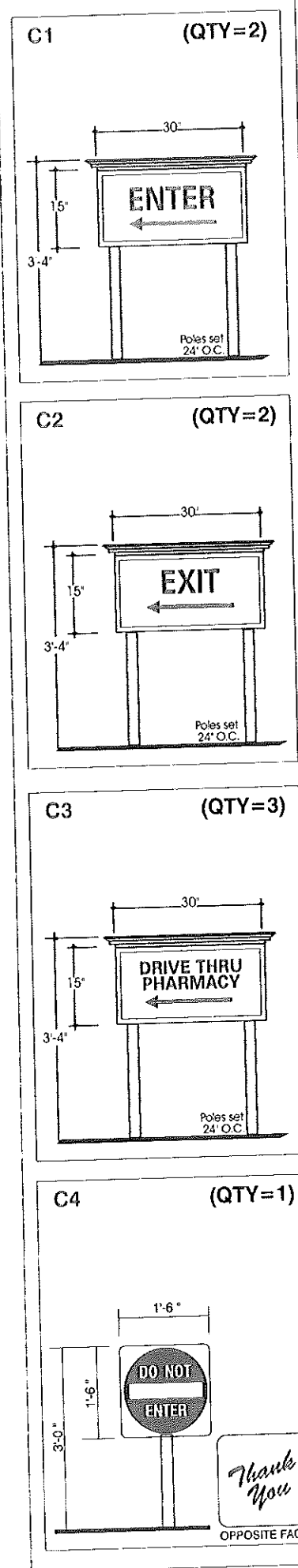
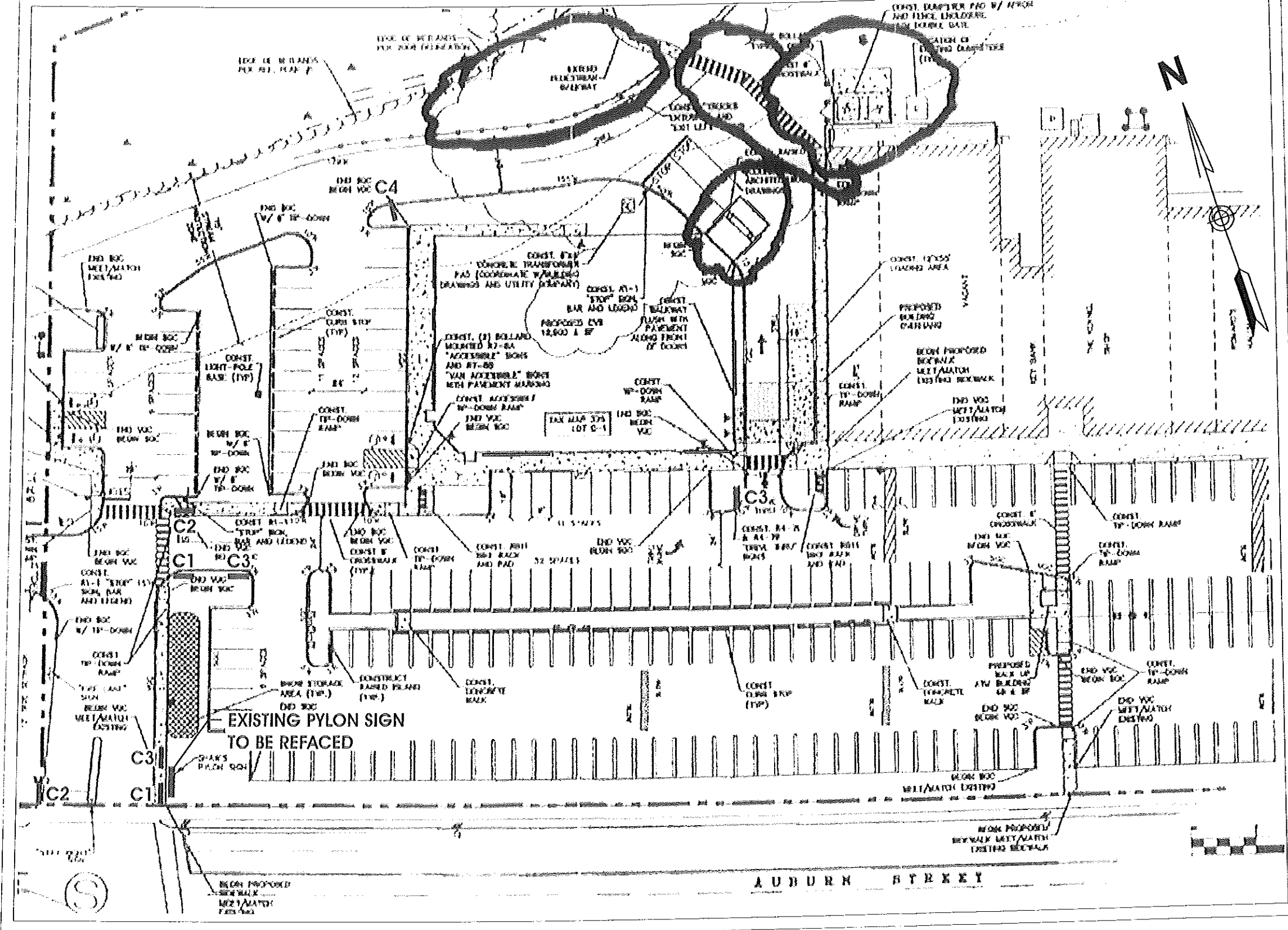




**SITE PLAN - NOT TO SCALE**



125 Samuel Barnett Boulevard  
New Bedford, MA 02745  
800.544.0961 | poyantsigns.com

**CVS/pharmacy**

Store# 00329  
Northgate Plaza | 91 Auburn Street  
Portland, Maine

Project:XXX  
CVS/Pharmacy  
Directional Signage Package

Sales: Gary McCoy  
Date: 09.11.2009  
Designer: NM

Note:  
This is an original unpublished drawing created by Poyant Signs, Inc. It is submitted for your personal use in connection with a project being planned for you by Poyant Signs, Inc. It is not to be shown to anyone outside your organization, nor is it to be reproduced, copied or exhibited in any fashion until transferred.

Revisions:


Approved By:

Date:

Directional Package

**TAX MAP 375  
LOT C-1  
SITE DATA**

LOCATION: PORTLAND, MAINE  
 ZONING DISTRICT: B-2 COMMUNITY BUSINESS ZONE  
 (A PORTION OF THE LOT IS IN THE SP-STREAM PROTECTION ZONE)  
 PERMITTED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES, RETAIL ESTABLISHMENTS, RESTAURANTS  
 CONDITIONAL USE: DRIVE-THRU WHICH IS ADJACENT TO ANY RESIDENTIAL USE OR ZONE

**DIMENSIONAL REQUIREMENTS:**

	REQUIRED	COMUNITY BUSINESS (B-2)	PROVIDED
MINIMUM LOT AREA:	10,000 SF	575,000 SF	575,000 SF
MINIMUM STREET FRONTAGE:	50 FT	424 FT	424 FT
MINIMUM YARD SETBACK:	0 FT	424 FT	424 FT
FRONT SETBACK:	0 FT	424 FT	424 FT
REAR SETBACK:	0 FT	424 FT	424 FT
REAR ABUTTING RESIDENTIAL:	20 FT	424 FT	424 FT
MAXIMUM LOT COVERAGE:	60 %	377%	377%
MAXIMUM HEIGHT:	45 FT	<45 FT	<45 FT

\* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

**PARKING REQUIREMENTS**

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
SHAW'S	59,850 ± SF (1)	1/200 SF	300 SPACES	
STARBUCKS	1,870 ± SF	1/150 SF	13 SPACES	
OLYMPIA SPORTS	3,300 ± SF	1/200 SF	17 SPACES	
ROBARD'S HALLMARK	6,570 ± SF	1/200 SF	33 SPACES	
THE KENNEL SHOP	7,330 ± SF	1/200 SF	37 SPACES	
KEYBANK	1,780 ± SF	1/334 SF	6 SPACES	
VACANT (2)	7,165 ± SF	1/200 SF	36 SPACES	
UPS	3,270 ± SF	1/334 SF	10 SPACES	
TOWN AND COUNTRY	3,030 ± SF	1/334 SF	10 SPACES	
PROPOSED CVS	12,900 ± SF	1/200 SF	65 SPACES	
PROPOSED ATM	49 ± SF	1/334 SF	1 SPACE	
<b>TOTAL:</b>			<b>528 SPACES</b>	<b>583 SPACES (3)(4)</b>
BICYCLE SPACES:			42 SPACES(5)	22 SPACES
ADA ACCESSIBLE SPACES:			12 SPACES	13 SPACES

NOTES:  
 (1) SHAW'S CALCULATION ALSO INCLUDES THE 2,600 SF DEDUCTION ALLOWED UNDER SECTION 14-332(H)  
 (2) VACANT USE ASSUMED AS A RETAIL ESTABLISHMENT  
 (3) PARKING PROVIDED IN NORTHGATE PLAZA ASSUMES SHARED PARKING BETWEEN LESSORS  
 (4) TOTAL PARKING EXCLUDES 13 SPACES WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-39 (MEDICAL OFFICE BUILDING) AND 5 SPACES WHICH SHALL BE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.  
 (5) TWO BICYCLE PARKING SPACES FOR EVERY TEN MOTOR VEHICLE PARKING SPACES FOR THE FIRST ONE HUNDRED REQUIRED MOTOR VEHICLE PARKING SPACES, PLUS ONE BICYCLE PARKING SPACE FOR EVERY TWENTY MOTOR VEHICLE PARKING SPACE OVER ONE HUNDRED. TWENTY-TWO BICYCLE SPACES HAVE BEEN PROVIDED WITHIN LIMIT OF WORK.

**PARKING REQUIREMENTS FOR MEDICAL OFFICE BUILDING WITH PARKING EASEMENT ON SITE:**

TENANTS:	FLOOR AREA	REQUIREMENT:	REQUIRED:	PROVIDED:
MEDICAL OFFICE	9,941 ± SF	1/400 SF	25 SPACES	
<b>TOTAL:</b>			<b>25 SPACES</b>	<b>25 SPACES</b>

NOTES:  
 (1) 13 SPACES ON NORTHGATE PLAZA ARE DESIGNATED TO TAX MAP 375, LOT C-39 BY EASEMENT.

**TAX MAP 375  
LOT C-23  
SITE DATA**

LOCATION: PORTLAND, MAINE  
 ZONING DISTRICT: R-P RESIDENTIAL PROFESSIONAL  
 PERMITTED USE: BUSINESS SERVICES AND PROFESSIONAL OFFICES

**DIMENSIONAL REQUIREMENTS:**

	REQUIRED	RESIDENTIAL PROFESSIONAL (R-P)	PROVIDED
MINIMUM LOT AREA:	6,600 SF	23,450 SF	23,450 SF
MINIMUM STREET FRONTAGE:	60 FT	180AFT	180AFT
MINIMUM LOT WIDTH:	60 FT	180AFT	180AFT
MINIMUM YARD SETBACK:	20 FT*	50AFT	50AFT
FRONT SETBACK:	12 FT	32AFT	32AFT
REAR SETBACK:	20 FT	43AFT	43AFT
SIDE SETBACK:	20 FT	43AFT	43AFT
MAXIMUM IMPERVIOUS SURFACE:	70 %	45 %	45 %
MAXIMUM INTERIOR OPEN SPACE:	10% OF PARKING AREA	40%	40%
MAXIMUM FLOOR AREA RATIO:	55 %	122 %	122 %
MAXIMUM HEIGHT:	45 FT	45 FT	45 FT

\* FRONT YARD SHALL NOT EXCEED THE AVERAGE DEPTH OF THE FRONT YARDS OF THE CLOSEST DEVELOPED LOTS ON EITHER SIDE. WHERE THE FRONT YARD EXCEEDS 10 FEET A PEDESTRIAN EDGE TREATMENT SHALL BE CONSTRUCTED.

**PARKING REQUIREMENTS**

OFFICES:	1/400 SF	13 SPACES	13 SPACES(1)
5,200/400			
ADA ACCESSIBLE SPACES:	1 SPACE	2 SPACES	2 SPACES
BICYCLE SPACES:	2 SPACES	5 SPACES	5 SPACES

NOTE:  
 (1) TOTAL PARKING INCLUDES 5 SPACES LOCATED ON TAX MAP 375, LOT C-1 WHICH ARE DESIGNATED TO TAX MAP 375, LOT C-23 (H&R BLOCK) BY EASEMENT.

**SITE NOTES:**

- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF ASTM D 4484 TYPE "7").
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PO'S & PTS.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN AUBURN STREET SHALL BE COORDINATED WITH CITY OF PORTLAND AND THE WEDOT.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ARCHITECT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- SNOW THAT CAN NOT BE ACCOMMODATED IN THE LOCATIONS SHOWN SHALL BE TAKEN OFF-SITE.

**LEGEND**

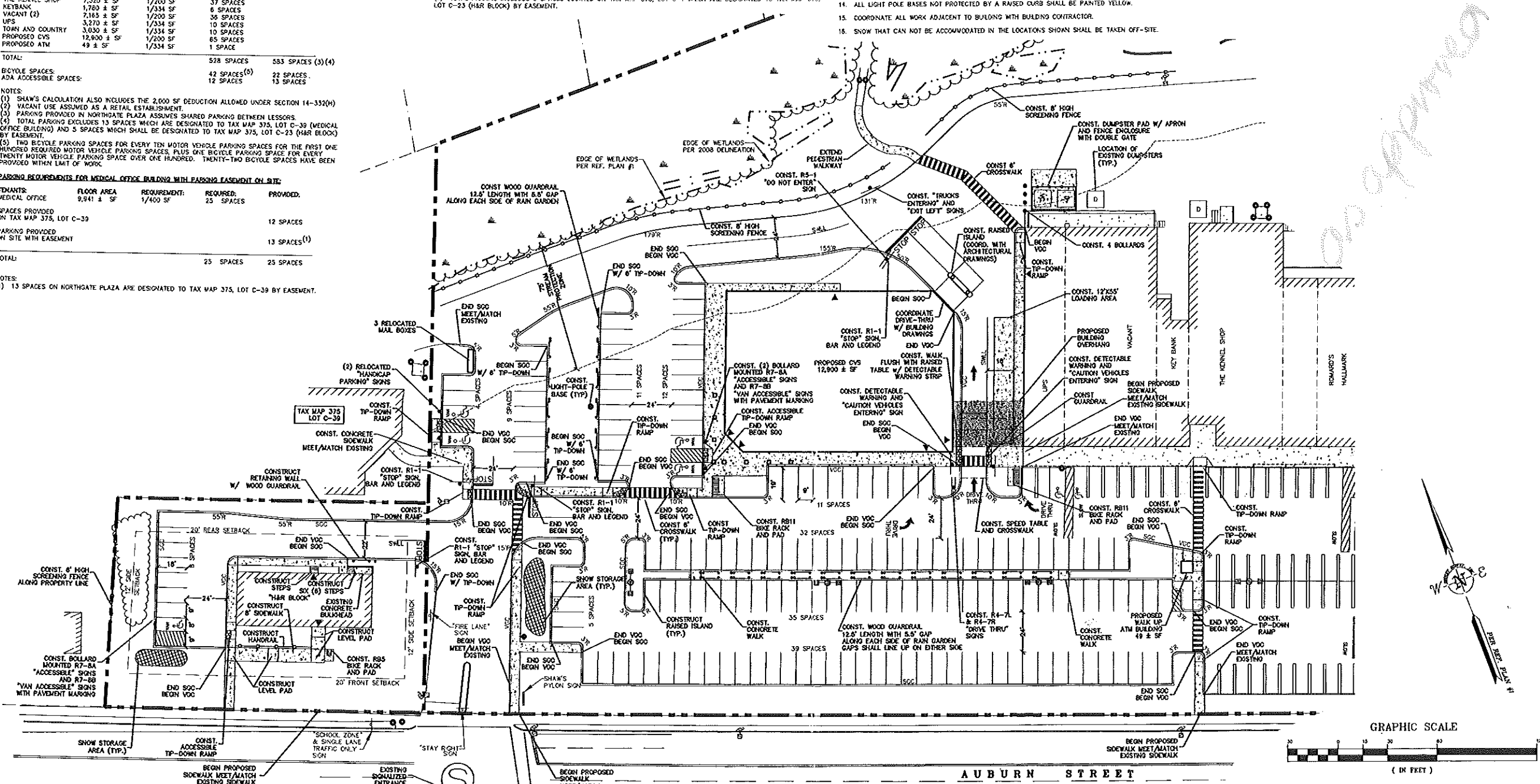
- PROPERTY LINE
- 75' STREAM PROTECTION ZONE
- ADJUTER LOT LINE
- BUILDING SETBACK
- EDGE OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED LIGHT POLE BASE
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED VAN ACCESSIBLE PARKING SPACE
- PROPOSED CROSSWALK
- PROPOSED PAINTED ARROW
- PROPOSED BIKE RACK
- DOUBLE YELLOW LANE LINE
- PROPOSED CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- DOOR LOCATION
- PROPOSED CURB STOP



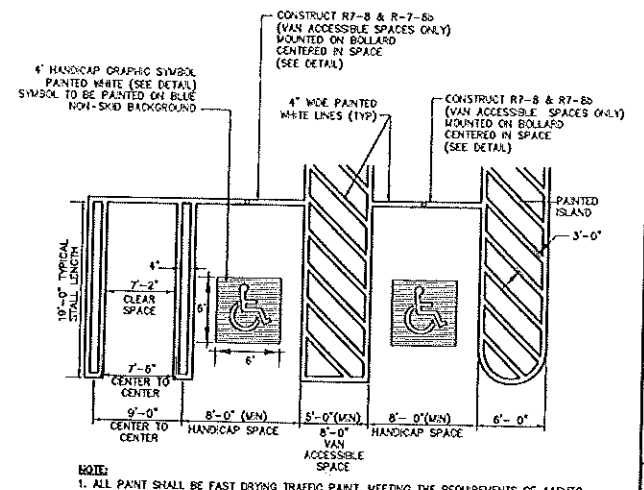
DATE: AUGUST 15, 2009  
 SCALE: AS SHOWN  
 DESIGNED BY: SAM  
 DRAWN BY: SAM  
 APPROVED BY: GY/BLM  
 PROJECT NO.: 2042B  
 FILE NO.: 2042B-CONSISTING

**NORTHGATE PLAZA  
 AUBURN STREET  
 PORTLAND, MAINE**

**APPLEDORF ENGINEERING**  
 177 CORPORATE DRIVE  
 PORTSMOUTH, NEW HAMPSHIRE 03801  
 (603) 432-8818  
 ae@appledorfeng.com

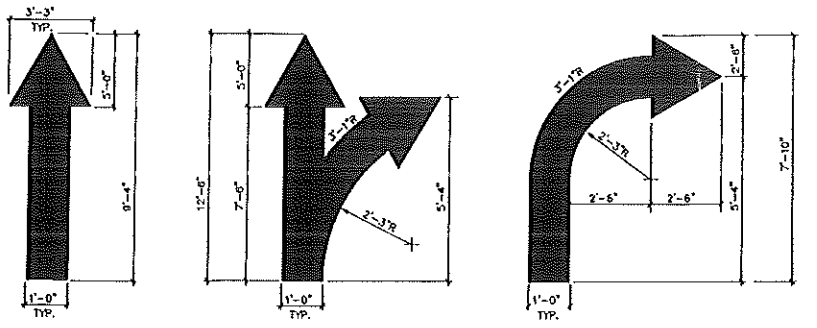


**SITE PLAN C-2A**

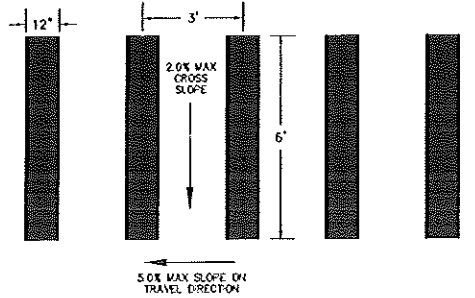


**NOTE:**  
 1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M249-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.  
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.  
 3. FINISH PAVEMENT GRADES AT ALL HANDICAP ACCESSIBLE STALLS AND PAINTED ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.

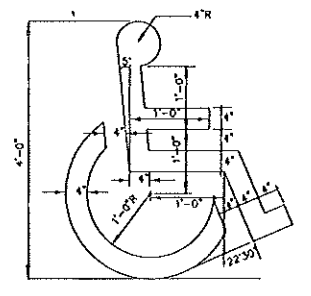
**STALL STRIPING  
DOUBLE STRIPE**  
NOT TO SCALE



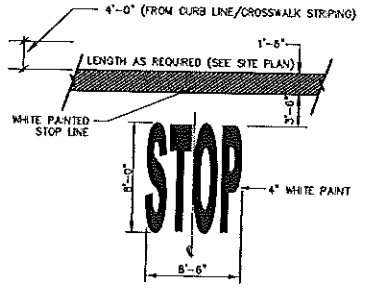
**PAINTED TRAFFIC ARROW**  
NOT TO SCALE



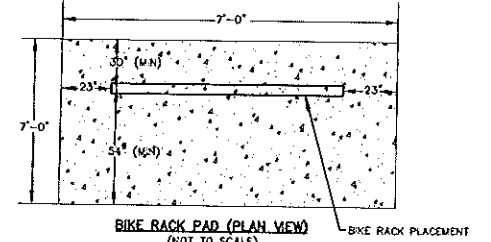
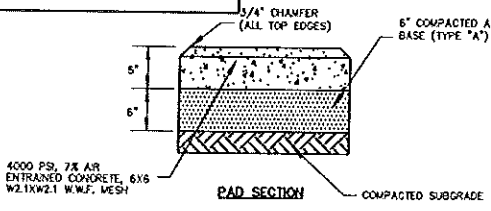
**CROSSWALK STRIPING**  
NOT TO SCALE



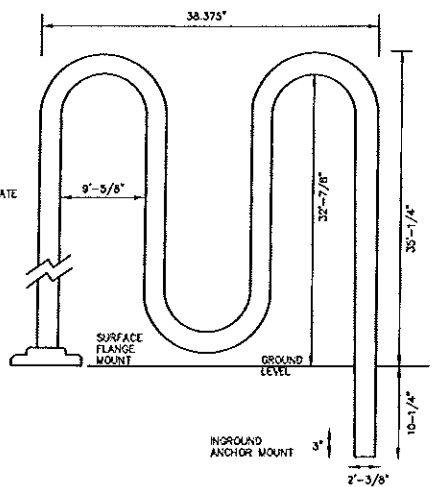
**ACCESSIBLE SYMBOL**  
NOT TO SCALE



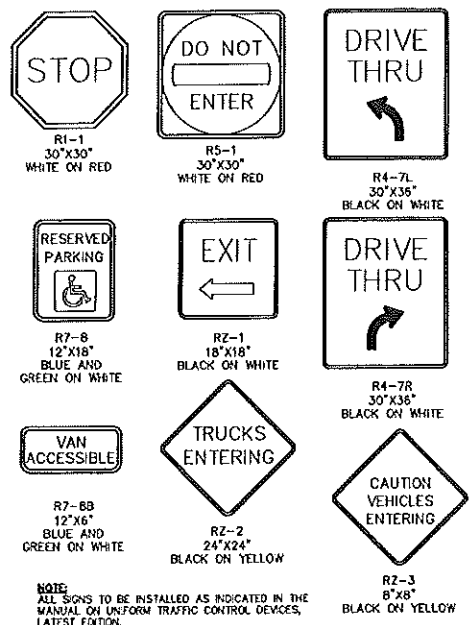
**STOP BAR AND LEGEND**  
NOT TO SCALE



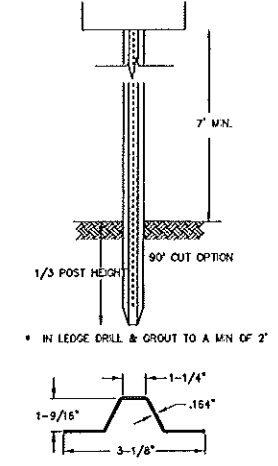
**BIKE RACK PAD (PLAN VIEW)**  
NOT TO SCALE



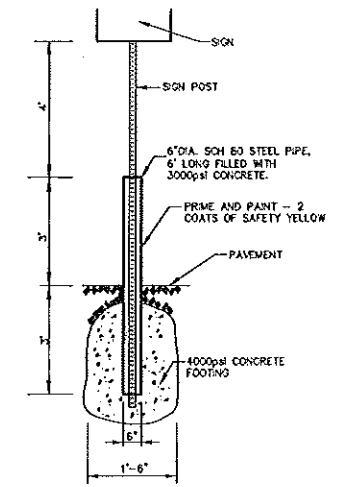
**BIKE RACK AND PAD DETAIL  
(MODEL RB 05)**  
NOT TO SCALE



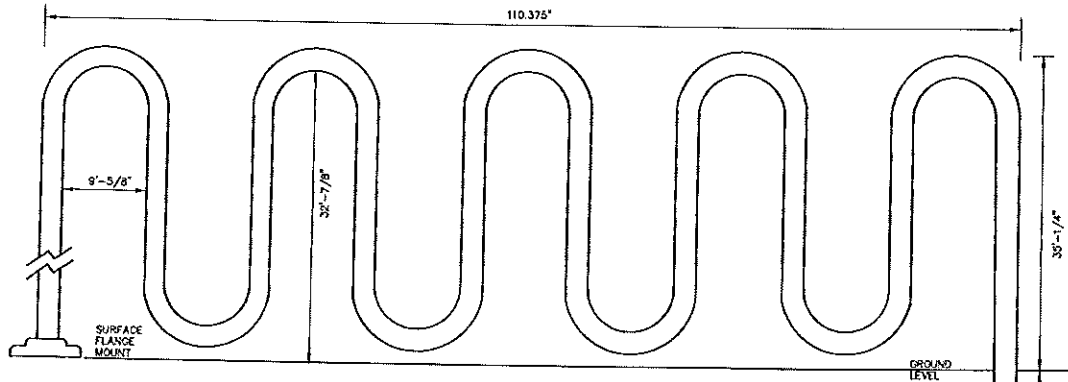
**SIGN LEGEND & SIGN POST**  
NOT TO SCALE



**LENGTHS:** AS REQUIRED  
**HEIGHT PER LINEAR FOOT:** 2.50 LBS (MIN)  
**HOLES:** 3/8\"/>

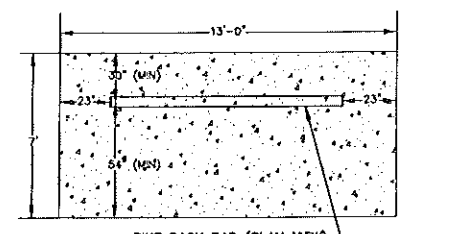


**SIGN BOLLARD**  
NOT TO SCALE

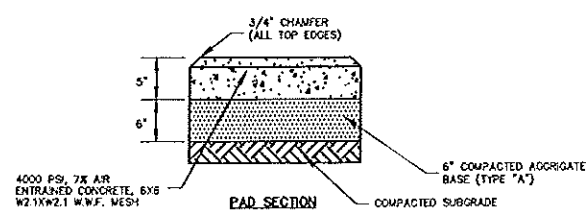


**NOTE:**  
 BIKE RACK TO BE GALVANIZED STEEL MODEL RB 11 (11 BICYCLES) AS MANUFACTURED BY AAA RIBBON RACK CO. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

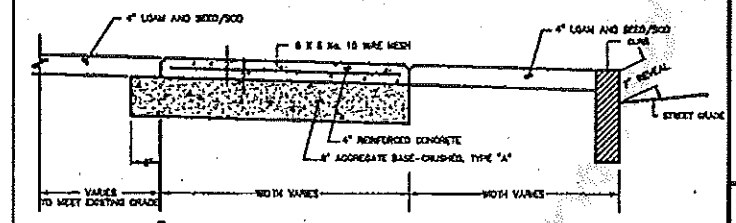
**BIKE RACK AND PAD DETAIL  
(MODEL RB 11)**  
NOT TO SCALE



**BIKE RACK PAD (PLAN VIEW)**  
NOT TO SCALE



**PAD SECTION**  
COMPACTED SUBGRADE



**SECTION AT SIDEWALK**  
NOT TO SCALE

**FIGURE I-13  
CONCRETE SIDEWALK AND DRIVEWAY CONSTRUCTION**

No.	Description	Appr.	Date



DATE: AUGUST 18, 2009  
 SCALE: AS SHOWN  
 DESIGNED BY: GY/BLM  
 DRAWN BY: GY  
 APPROVED BY: GY/BLM  
 PROJECT NO.: 2042B  
 FILE NO.: 2042C-CDETAILS.DWG

**NORTHGATE PLAZA  
AUBURN STREET  
PORTLAND, MAINE**

**APPLEDORE  
ENGINEERING**  
 177 CORPORATE DRIVE  
 PORTSMOUTH, NEW HAMPSHIRE 03801  
 (603) 433-8818  
 ae@appledoreeng.com