City of Portland, Mai	ne - Building or Use	Permit Application	n P	ermit No:	Issue Date	: ]	C8L;	146.
389 Congress Street, 041				09-0564			309 D0	15001
Location of Construction:	Owner Name:		Она	er Address:		· · · · · · · · · · · · · · · · · · ·	Phone:	
68 ALDWORTH ST		JZABETH A	68 ,	ALDWORTH	ST		207-212-9	115
Business Name:	Contractor Nam		1	ractor Address:			Phone	
I/Dt. bt	Butch Gagno	<u> </u>	-	Brydon Way V	Vestbrook		20767131	84
Lessee/Buyer's Name	Phone:		į.	sit Type: rages - Attach	ed			Zone: R-3
Past Use:	Proposed Use:		Pers	nit Fee:	Cost of Wor	k: CEC	District:	ا ، ح ، ۵ ا
Single Family Home	Single Family soft Attached	/ Home - Build 616 Garage	FIRE	\$370.00 E DEPT:	\$35,00	00.00	5	8670
			TIK	L	Approved Denied	Use Group:	13	Туро:51В
				_		TR	20 21	103
Proposed Project Description:	·		1			~~\\	01	_
Build 616 sqft Attached Ga	rage		Signa		Delec se-	Use Group: Jk Signature:	3m 6	116/09
			1	ESTRIAN ACTI Da: Approv	111163 631111	MICI (F.A.D	٠.)	
			Signs		∐ PA	Date	$\Box$	- viiko
Permit Takea By:	Date Applied For:		1	<del></del>	Approva			
lmd	06/03/2009	S. J. 12		<del></del>				
1. This permit application	does not preclude the ing applicable State and	Special Zone or Revie	WS	(	g Appeal	l	istoric Prese	
Federal Rules.	ing approxime state and	Shoreland		Variance		4 🔲	lot in District	or Landmark
2. Building permits do no septic or electrical work		☐ Wetland		Miscellar Miscellar	seous		loes Not Req	uire Review
3. Building permits are vowithin six (6) months o	id if work is not started f the date of issuance.	☐ Flood Zone		Condition	ial Use	□R	lequires Revi	evy
False information may permit and stop all wor	invalidate a building	Subdivision		[] Interpreta	tion		pproved	
		Site Plan		Approved			pproved w/C	enditions
		Mai Minor MM	Pa	Denied		□□	enied (	
		Date: e 1	gue oa	Date:		Date:		
			4	L	<del></del>	3 2 2 2 2 2	·	_ • `
1 19 - 19 - 19 - 19 - 19 - 19 - 19 - 19	~						<del></del>	
<b>5</b>								
L C i		CERTIFICATION	)N					
hereby certify that I am the	owner of record of the na			oosed work is	authorized i	ov the nume	r of record	and that
have been authorized by the	owner to make this appli	cation as his authorized	ageni	t and I agree to	conform to	all annlica	ble laws o	fthis
urisdiction. In addition, if a hall have the authority to ent	permit for work described	l in the application is is	sued.	I certify that th	e code offi	cial's author	ized renre	sentative
uch permit.	and access covered by su	on bound at ally teason	avic I	ioai to entotce	me provis	ion or the co	ouc(s) app:	icadio (o
SIGNATURE OF APPLICANT		(DDC 222						
SIGNATURE OF AFFRCANI		ADDRESS			DATE		PHON	В
RESPONSIBLE PERSON IN CHA	RGE OF WORK, TITLE				DATE		PHON	
					DATE		THOM:	i.

## **BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon Permits expire in 6 months, if the project is not started or ceases for 6 months.

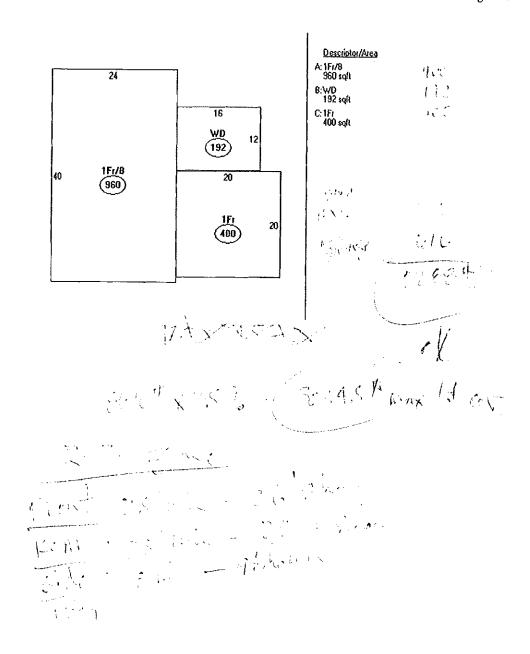
The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-co	onstruction Meeting will take place upon receipt	of your building permit.
<u> </u>	Footing/Building Location Inspection: Prior t precast piers	o pouring concrete or setting
<u> X</u>	Framing/Rough Plumbing/Electrical: Prior to	Any Insulating or drywalling
<u> </u>	Final inspection required at completion of wor	·k.
your proj If any of	te of Occupancy is not required for certain projects. ect requires a Certificate of Occupancy. All projec the inspections do not occur, the project cannot DLESS OF THE NOTICE OR CIRCUMSTAN	ts <u>DO r</u> equire a final inspection.
CERIFIC THE SPA	CATE OF OCCUPANICES MUST BE ISSUED ACE MAY BE OCCUPIED.	AND PAID FOR, BEFORE
XZ	about A Dans	6/17/09
Signature	of Applicant/Designee	Date
Tha	sh Malla	6/16/09
Signature	of Inspections Official	Date <sup>'</sup>

CBL: 309 D045001 Building Permit #: 09-0564

			f =		1
City of Portland, Maine	•		Permit No:	Date Applied For:	CBL:
389 Congress Street, 04101	Tel: (207) 874-8703, Fax: (	(207) 874-8	3716 09-0564	06/03/2009	309 D045001
Location of Construction:	Owner Name:		Owaer Address:		Phone:
68 ALDWORTH ST	DELANO ELIZABET	TH A	68 ALDWORTH	ST	207-212-9115
Business Name:	Contractor Name:		Contractor Address:	, m. ,,	Phone
	Butch Gagnor		84 Brydon Way V	Westbrook	(207) 671-3184
Lessee/Buyer's Name	Phone:		Permit Type:	<del></del>	
			Garages - Attach	æd	
Proposed Use:		Pro	posed Project Description	):	
Single Family Home - Build 6	16 sqft Attached Garage	1	uild 616 sqft Attached		
,				Circupo	
		ŀ			
Dont Zouine Ct.		CONTRACTOR DE LA CONTRA			
	tus: Approved with Condition	ns Revie	wer: Marge Schmuck	al Approval I	
Note:					Ok to Issue: 😾
1) Separate permits shall be re	equired for future decks, sheds,	, pools, and/	or garages.		
2) This is NOT an approval for not limited to items such as	or an additional dwelfing unit. s stoves, microwaves, refrigerat	You SHALI tors, or kitch	L NOT add any addition	onal kitchen equipme special approvals.	nt including, but
3) This property shall remain approval.					for review and
<ol> <li>This permit is being approved work.</li> </ol>	ved on the basis of plans submi	itted. Any de	eviations shall require	a separate approval t	pefore starting that
Dept: Building Sta	tus: Approved with Condition	ıs Revier	ver: Tom Markley	Approval D	Pate: 06/16/2009
Note:					Ok to Issue: 🗹
1) Frost protection must be in	stalled per the enclosed detail a	as discussed	w/owner/contractor.		
<ol> <li>Separate permits are requirement to be submitted for ap</li> </ol>	ed for any electrical, plumbing, proval as a part of this process	, sprinkler, f	ire alarm or HVAC or	exhaust systems. Sep	parate plans may
Application approval based and approrval prior to work	upon information provided by	/ applicant. /	Any deviation from app	proved plans requires	separate review



## General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

	Aldworth.	St. Pertland	
otal Square Pootage of Proposed Structure/	sq.ft		8730 q (t
'ax Assessor's Chart, Block & Lot 'hatt# Block# Lot#	1	must be owner, Lessee or Buyer zakelk A. Delane	Telephone: (20) 747-4339
509 D 45-47	· ·	8 Abbourt St eZip Porthed 116 orle3	217 - 9115
essee/DBA (If Applicable)	Owner (if d	ifferent from Applicant)	Cost Of Work: \$ 35,000 cc
n 2000	Address		C of O Fee: \$
nnh 8 xxx	City, State 8	c Zip	Total Fee: \$
vacant, what was the previous use?  roposed Specific use:  property part of a subdivision?  roject description:		f yes, please name	
ddress: St Liydon L	Jay		lephone: <u>671 - 3184</u>
Tho should we contact when the permit is re			
ailing address: That a color		16 176 BAC 16	ebuoue: <u>111, 1721</u>
lease submit all of the information	n outlined or	n the applicable Checklis denial of your permit.	t. Failure to

Division office, toom 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

	<u> </u>	1			. 1		
Signature:	1112	Ľ	× c~~	Date:	1.3	720	7
This is no	eta perm	it;	you may not con	mence ANY	work	until	the permit is issue

## BOLSE.

## Single 1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP

Roof Beam\RB01

BC CALCO 2.0 Design Report - US

1 span | No cantilevers | 0/12 slope

Friday, May 29, 2009 10:50

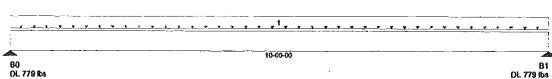
Job Name: Address: City, State, Zip:, Customer:

Code reports: ESR-1040

File Name: BC CALC Project Description: RB01 Specifier: Designer:

Company: Misc:

12



00-00-00 10-00-00

DL 779 lbs SL 3,000 lbs

Load Summary Tag Description
1 Standard Load SL 3,000 fbs

10

		gn Spans = 10				Managarata and the same of the	***************************************	Mary Mar
			Live	Dead	Snow	Wind	Roof Live	
Ref.	Start	Fnd	100%	90%	115%	133%	125%	Trib.

Controls Summary	Value	% Allowable	Duration	Case	Span
Pos. Moment	9,448 ft-lbs	77.2%	115%	3	1 - Internal
End Shear	2,976 lbs	65.5%	115%	3	1 - Left
Total Load Deff.	L/345 (0.348°)	52.2%		3	1
Live Load Deff.	L/434 (0.276°)	55.3%		3	1
Span / Depth	10.1	n/a		-	i

Left

Load Type

Unf. Area (psf)

#### Cautions

For roof members with slope (1/4)/12 or less final design must ensure that ponding instability will not occur.

For roof members with slope (1/2)/12 or tess final design must account for Rain-on-Snow surcharge load.

#### Notes

Design meets Code minimum (L/180) Total load deflection criteria. Design meets Code minimum (L/240) Live load deflection criteria. Minimum bearing length for 80 is 2-7/8".

Minimum bearing length for B1 is 2-7/8".

Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

## 40 Disclosure

Disclosure
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain installation Guide or ask questions, please call or ask questions, please call (800)232-0788 before installation.

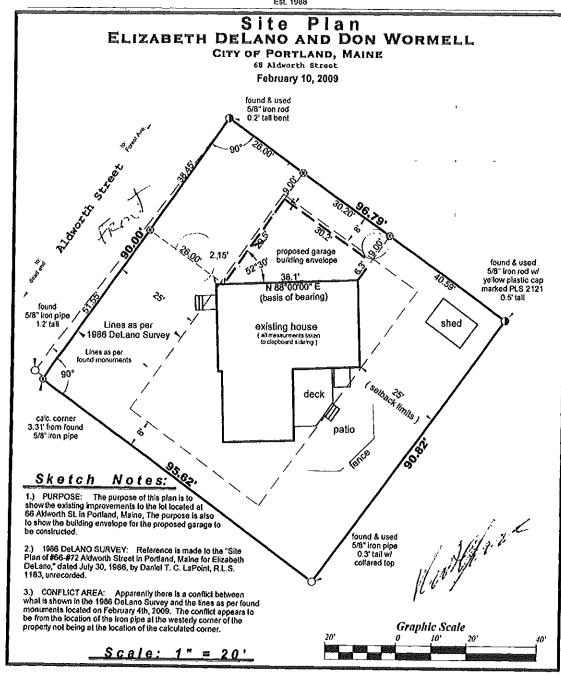
15-00-00

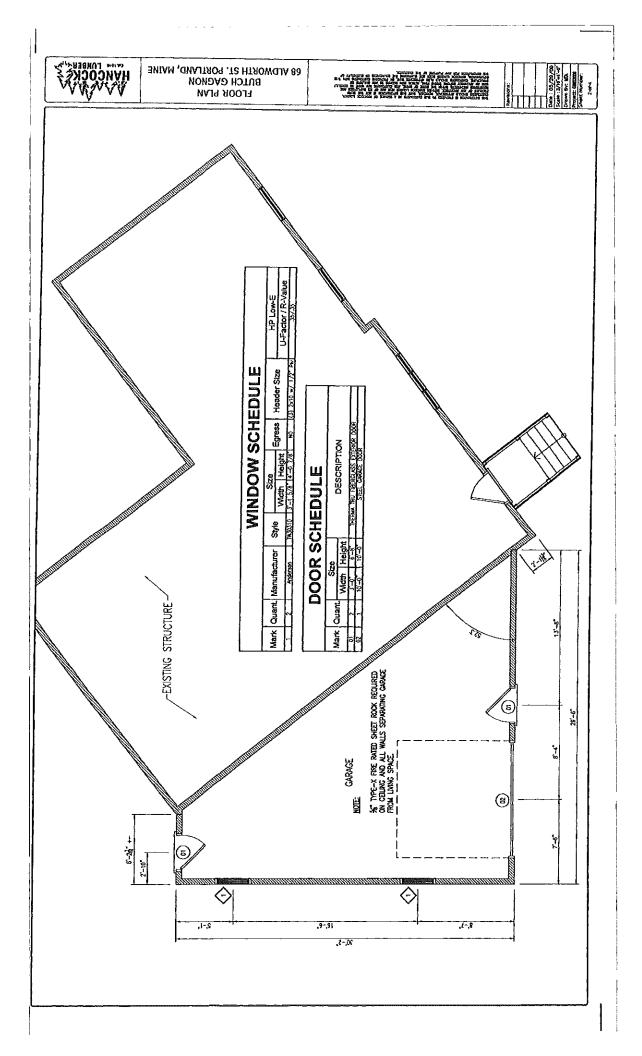
BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Wood Products, LLC

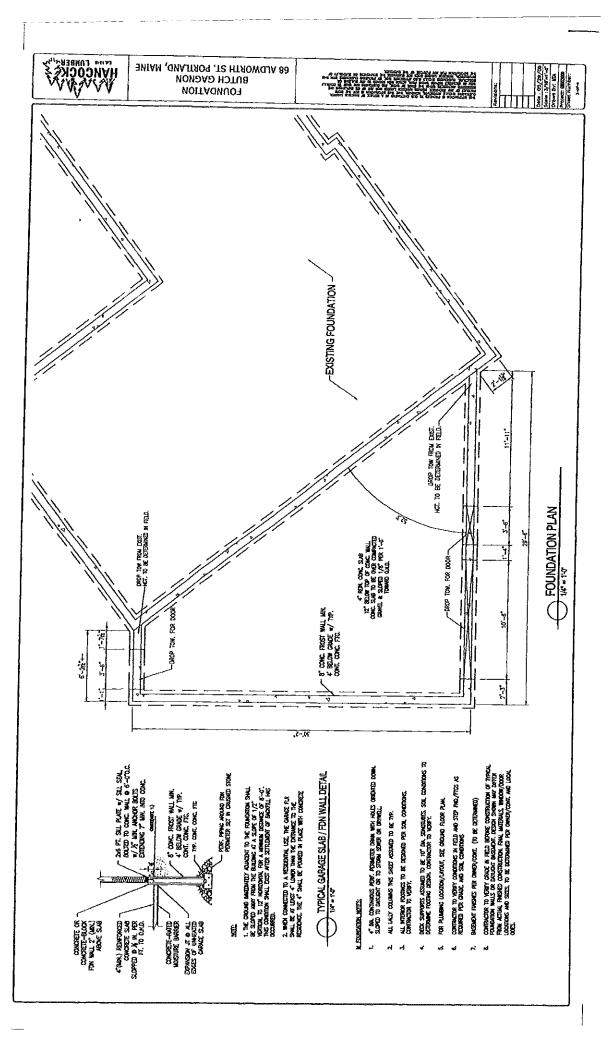
# R-3-2. ~

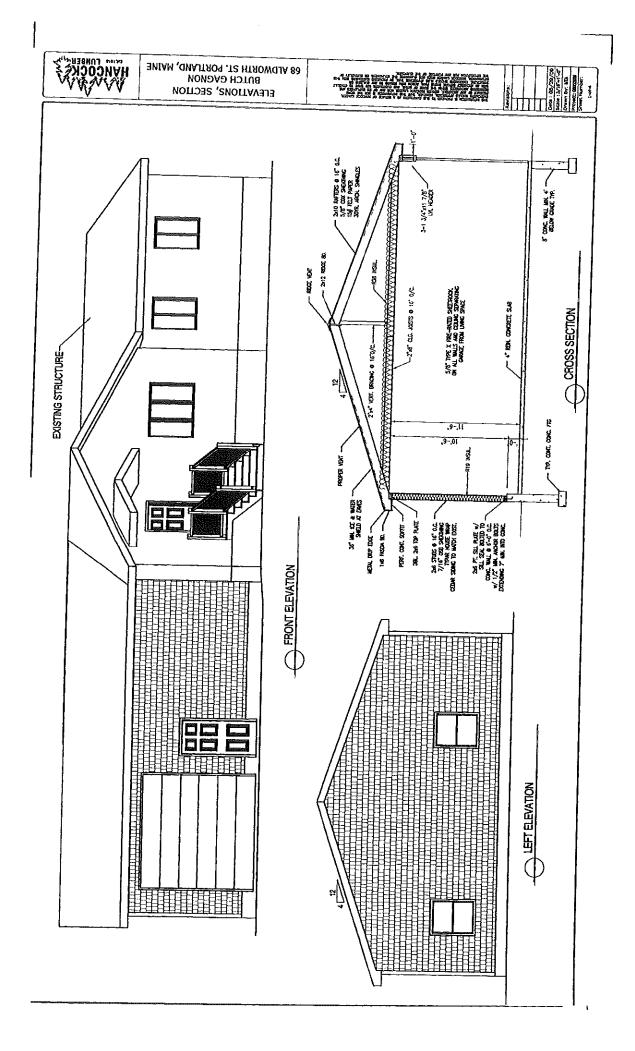
### MAINE BOUNDARY CONSULTANTS

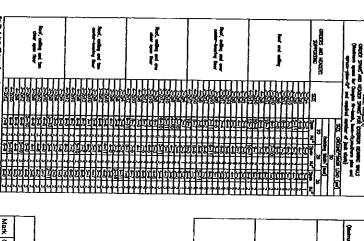
Robert A. Yarumian II, PLS Professional Land Surveyor Est. 1988











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1/2" Shens wrespill	1-1/2" primeral sailing sail of common and simple 10gs, 1-1/2" (see	*	٥
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you being such stat quant of 190mph or grader, lit deferred with stat be used for elimiting phreed and ward strategy passed real.

DOOR SCHEDULE

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DESCRIPTION

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Ode : 05/29/00 State : 3/95-47 Cream By: MR Priest: 08/309 Sheat : Mandage Sheat : Mandage

SCHEDULES BUTCH GAGNON 68 ALDWORTH ST. PORTLAND, MAINE





This is to certify thatDELANO-ELIZABETH A /Bt has permission toBuild 616 sqft Attached Garag  AT68 ALDWORTH ST	Please Read Application And	CARD ON PRINCIPAL FR	AND
AT _68_ALDWORTH_ST  provided that the person or persons, fi of the provisions of the Statutes of Ma the construction, maintenance and use this department.  Apply to Public Works for street line and grade if nature of work requires such information.  Not ation conspected must be procured by owner before this buildings and structure of work requires such information.  Not ation conspected must be procured by owner before this buildings are procured by owner before this building or out the sed-in, 2 NOTICE IS REQUIRED.  Other Department Name  Department Name  Department Name  Department Name  Other Department Name  Or co	Notes, If Any, Attached	PERMIT	
or comply with provided that the person or persons, file of the provisions of the Statutes of Mathe construction, maintenance and use this department.  Apply to Public Works for street line and grade if nature of work requires such information.  Not give and of the permit shall comply with the case of the City of Portland regulating this permit shall comply with the case of the City of Portland regulating the case of the City of Portland regulation on file the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the case of the City of Portland regulation of the ca	has permission toBuild 616 sqft Attack	hed Garag	300 0045001
Apply to Public Works for street line and grade if nature of work requires such information.    Give	of the provisions of the Statute the construction, maintenance	sons, file or common as possions of Marce and of the	ting this permit shall comply with a
OTHER REQUIRED APPROVALS  Fire Dept.  Health Dept.  Appeal Board  Other  Department Name  Other  Department Name  Other	and grade if nature of work requires	give nd writt bermissi brocure beld this but ng or pa mereof i tath or oth sed-in, 2	A certificate of occupancy must be procured by owner before this building or part thereof is occupied.
Other Department Name Department Name Department Name Department Name Department Name	Fire Dept.		
Other Department Name Department Name Of 150/05	Health Dept.		2
	Other Department Name	<u> </u>	hom h Marly 6/16/09
		ENALTY FOR REMOVING THIS C	ARD
			•

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Form#P01

## **ELECTRICAL PERMIT** City of Portland, Me.

clost 4-20-10 SMV S

To the Chief Electrical Inspector, Portland Maine: The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications: LOCATION: 68 Aldworth st METER MAKE & # CMP ACCOUNT # Work order # 30101506 OWNER Elizabeth Delano \_\_ PHONE # TENANT **TOTAL EACH FEE** OUTLETS Receptacles Switches Smoke Detector .20 **FIXTURES** Incandescent Fluorescent Strips .20 SERVICES Overhead TTL AMPS Underground <800 15.00 15.00 Overhead Underground >800 25.00 Temporary Service Overhead Underground TTL AMPS 25.00 25.00 **METERS** (number of) 1.00 1.011 **MOTORS** (number of) 2.00 RESID/COM Electric units 1.00 **HEATING** oil/gas units Interior Exterior 5.00 APPLIANCES Ranges Cook Tops Wall Ovens 2.00 Insta-Hot Water heaters Fans 2.00 Dryers Disposals Dishwasher 2.00 Compactors Spa Washing Machine 2.00 Others (denote) 2.00 MISC. (number of) Air Cond/win 3.00 Air Cond/cent Pools 10.00 **HVAC EMS** Thermostat 5.00 Signs 10.00 Alarms/res 5.00 Alarms/com 15.00 Heavy Duty(CRKT) 2.00 Circus/Carny 25.00 Alterations 5.00 Fire Repairs 15.00 E Lights 1.00 E Generators 20.00 **PANELS** Service Remote Main 4.00 TRANSFORMER 0-25 Kva 5.00 25-200 Kva 8.00 Over 200 Kva 10.00 **TOTAL AMOUNT DUE** MINIMUM FEE/COMMERCIAL 55.00 MINIMUM FEE 45.00 CONTRACTORS NAME Warren MacOonald MASTER LIC. # M5600140 59 ADDRESS 240 Libby Ave Gorham, me 04038 LIMITED LIC. # TELEPHONE 450-7888

SIGNATURE OF CONTRACTOR Waney Man Donald White Copy - Office

Yellow Copy - Applicant