



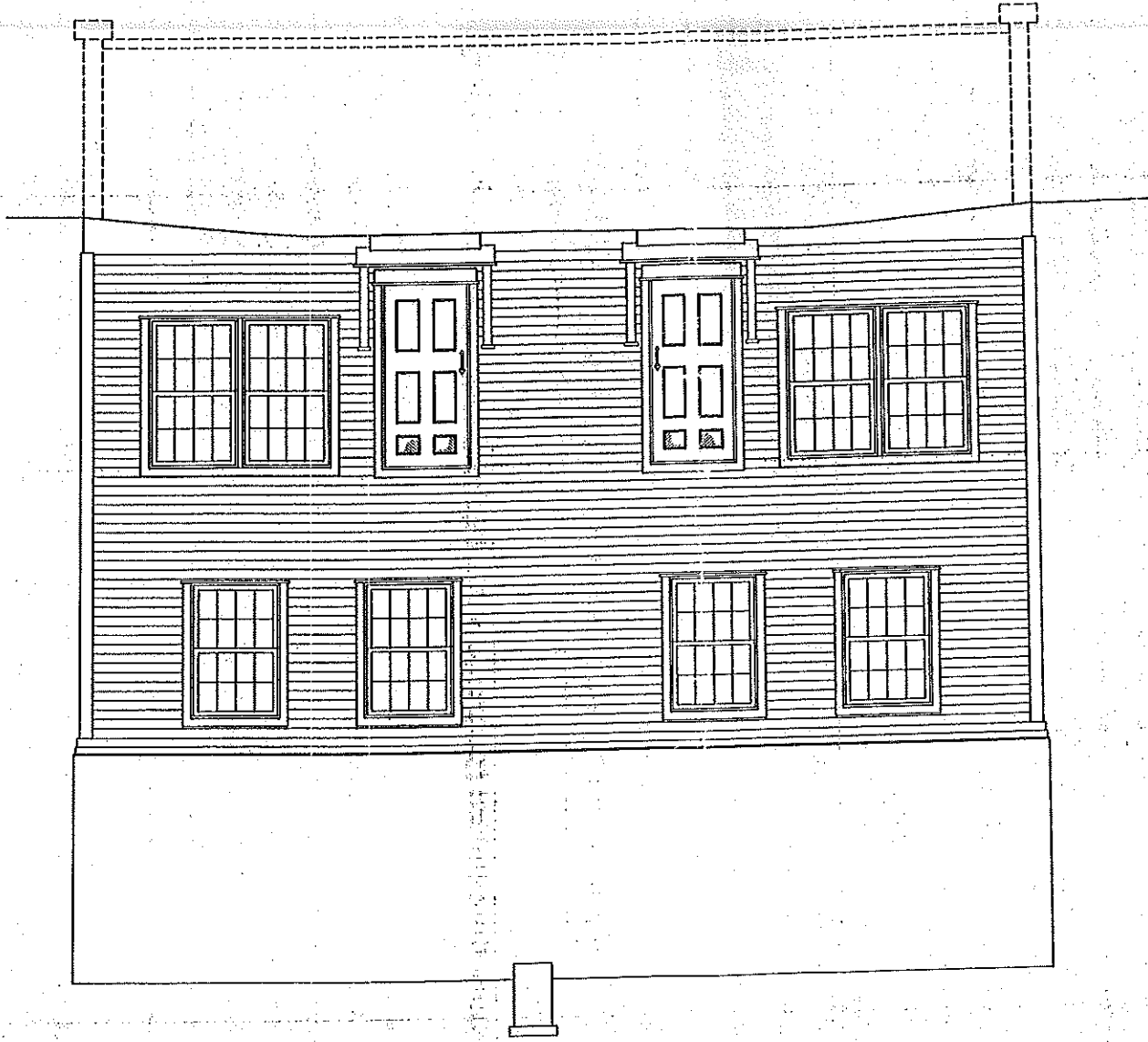
DATE: 07-11-03
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 DRAWN: J. MORIN

ELEVATION

MORIN DRAFTING CORP., INC. 893-2002
 PORTLAND, MAINE
 BOWEN DUPLEX

REVISED 01-14-04

FRONT ELEVATION



RECEIVED
 JAN 14 2004

New Building Plans

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JAN 16 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

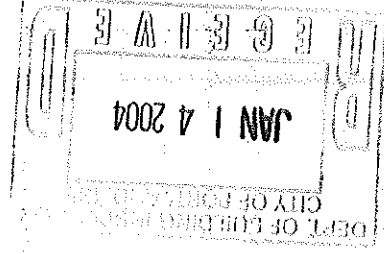
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DATE: 07-11-03
SCALE: 1/4"=1'-0"
DRAWN: J. MORIN

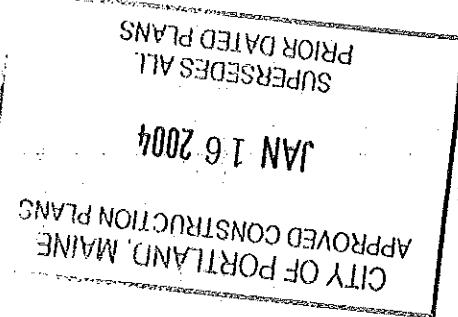
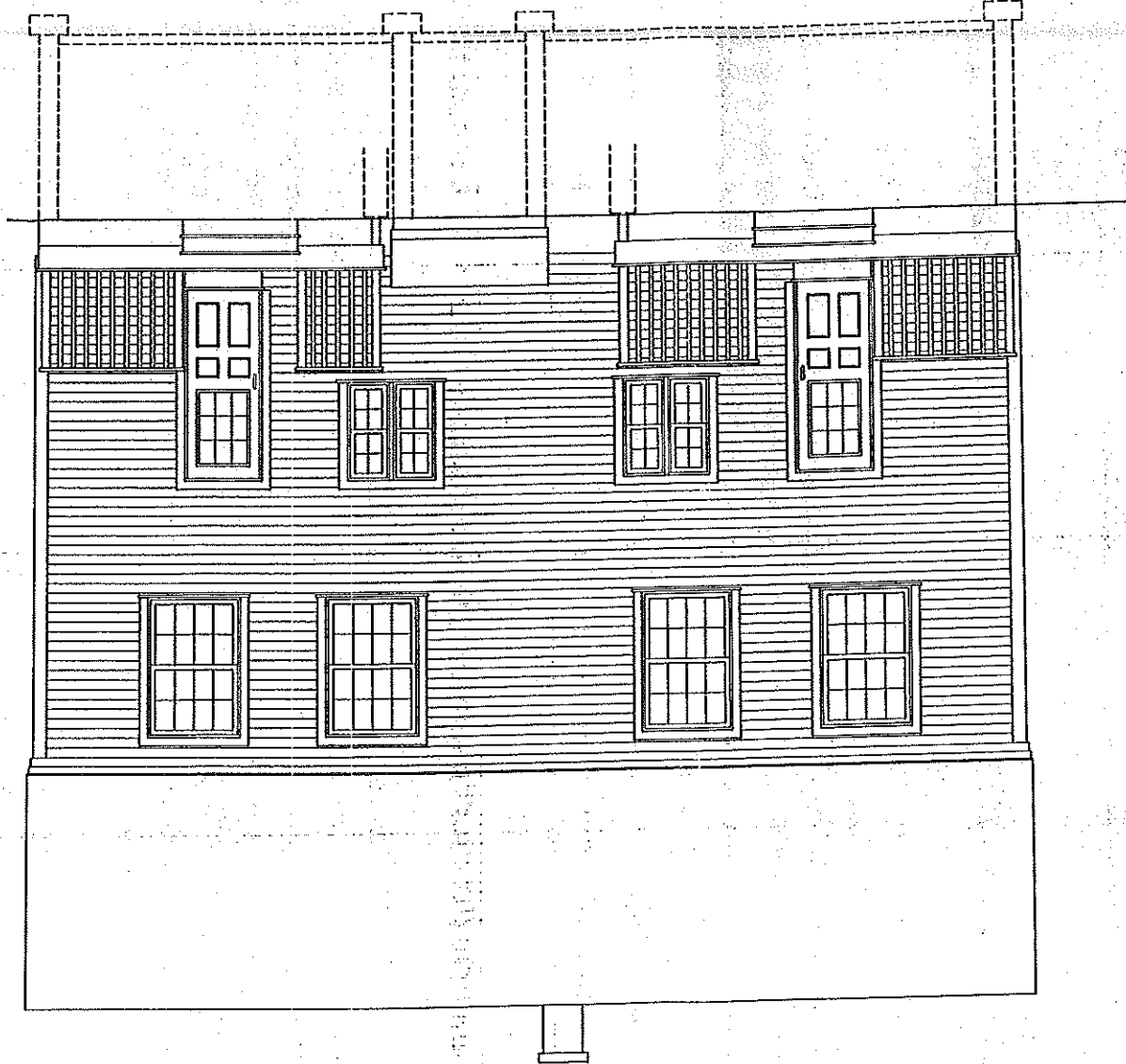
ELEVATION

BOWEN DUPLEX
PORTLAND, MAINE
MORIN DRAWING COMPANY, INC. 888-2402

REVISED 01-14-04



REAR ELEVATION



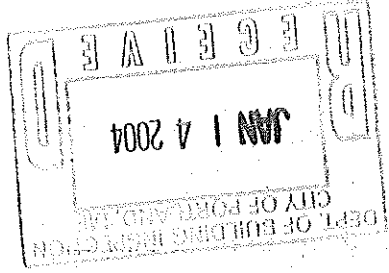
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DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 07-11-03

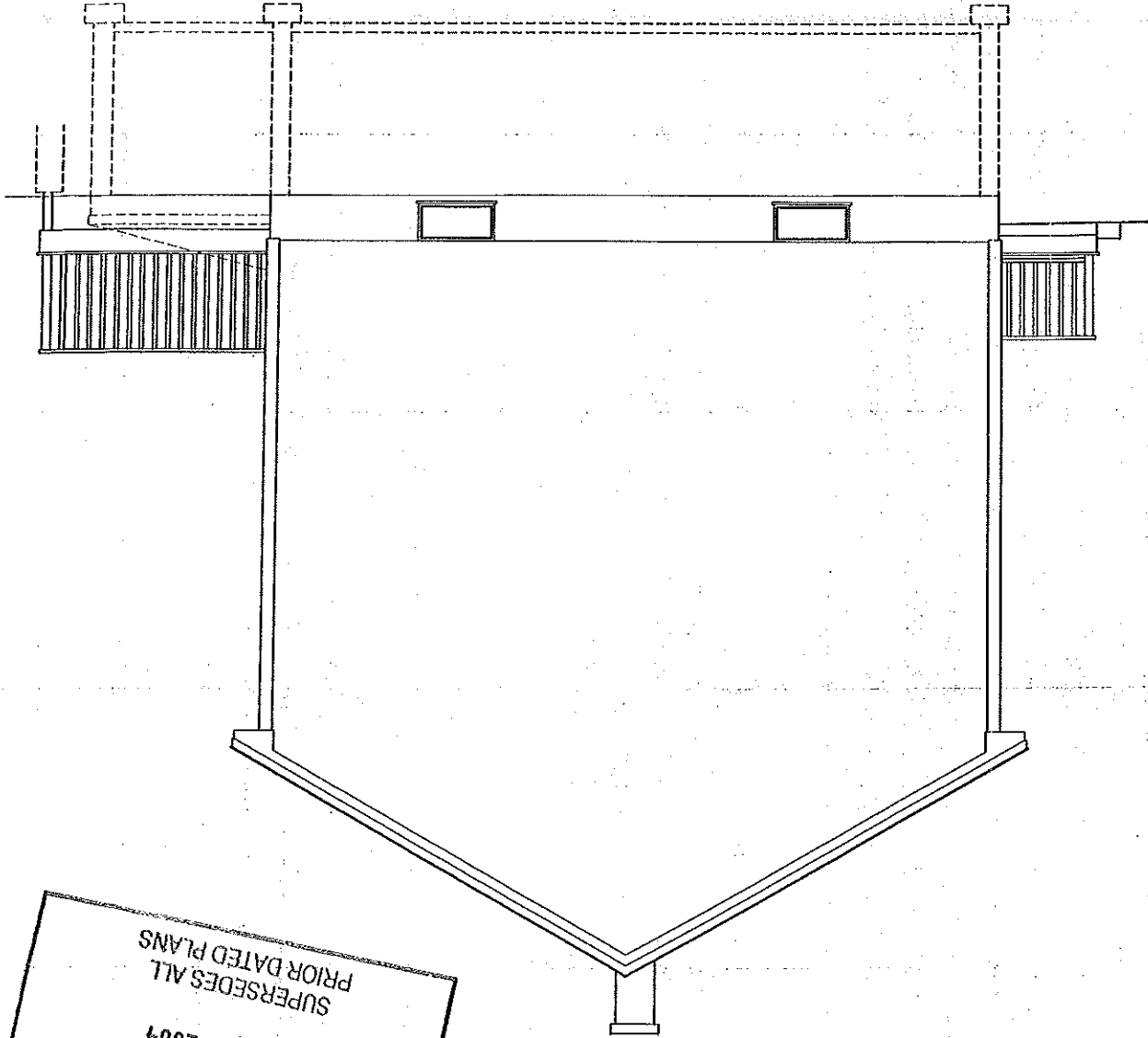
ELEVATION

BOWEN DUPLEX
PORTLAND, MAINE
MORIN DRAFTING CORP., INC. 893-2409

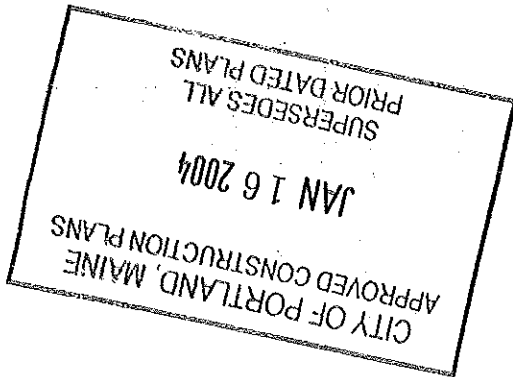
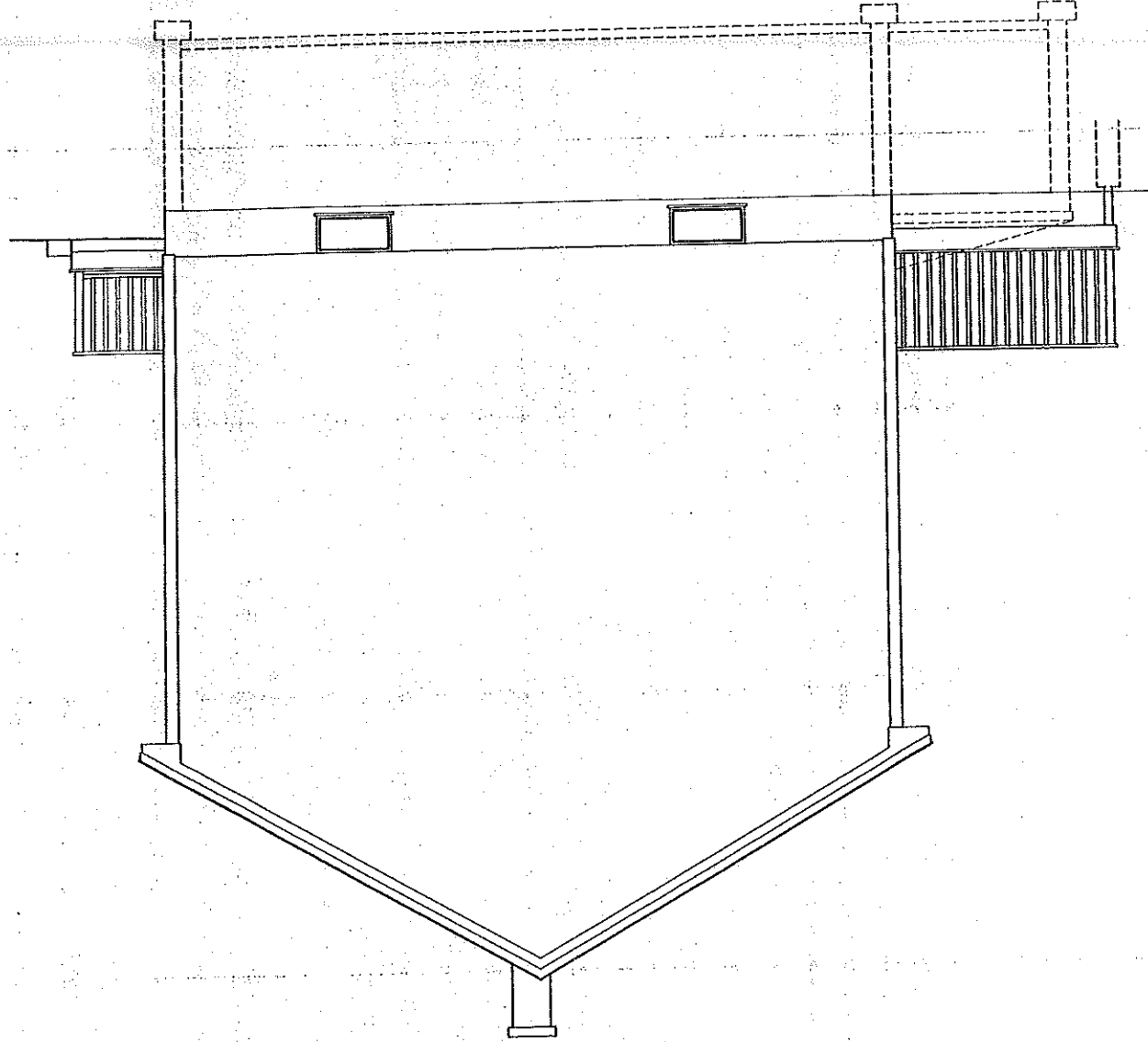
REVISED 01-14-04



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

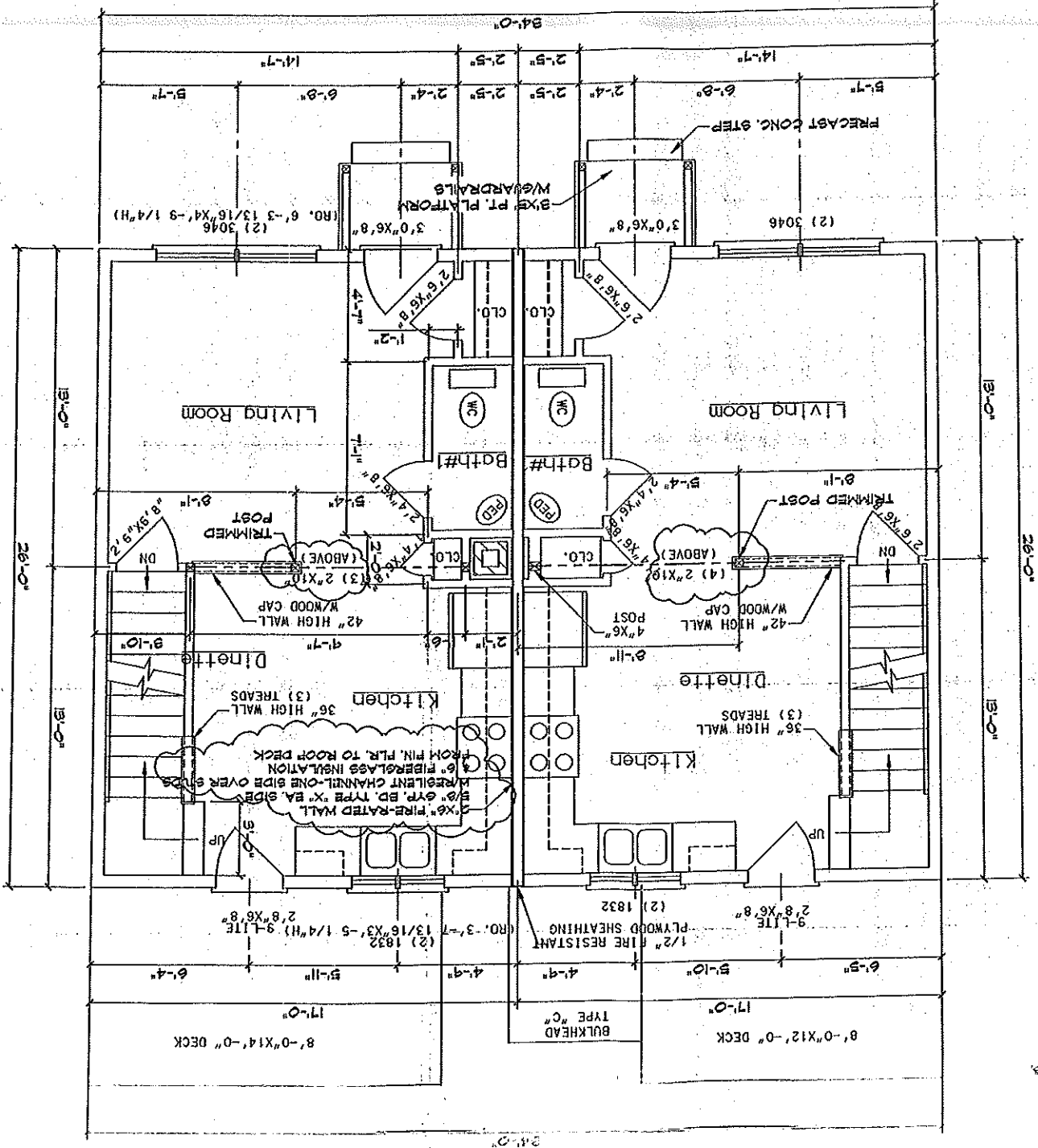


HEADER SHEET	
FIRST FLOOR (1800 PLF)	(A) 2'X10'
SECOND FLOOR (1000 PLF)	(B) 2'X10'
	(C) 2'X12'
	(D) 1 3/4"X1 1/2" LVL'S
	(E) 1 3/4"X1 1/2" LVL'S

INCLUDES DOUBLE D-0' MEMBERS

CITY OF PORTLAND MAINE
 APPROVED CONSTRUCTION PLANS
 JAN 16 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JAN 14 2004
 RECEIVED

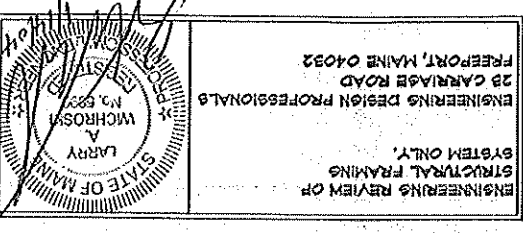


FLOOR PLAN-FIRST FLOOR

THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY THEY SHOULD NOT BE INTERPRETED AS CODE OR THE COMPLETE BOCA CODE. THE 1999 BOCA CODE SHALL BE REVIEWED & COMPLIED WITH BEFORE CONSTRUCTION BEGINS.

1. ALL PASTERED CONNECTIONS SHALL COMPLY WITH THE BOCA 1999 FASTERER SCHEDULE.
2. ALL STAIRS SHALL COMPLY WITH BOCA 1999 STAIR CODE.
3. SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE FLOOR OR GRADE.
4. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
5. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
6. ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.
7. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
8. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
9. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:
 - a. GLAZING IN BATHROOMS WHEN IT IS LOWER THAN 60" FROM ANY SURFACE.
 - b. GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
 - c. GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.

BOWEN DUPLEX PORTLAND, MAINE
MORIN DRAWING CORP., INC. 385-2482
FLOOR PLAN-1ST FLOOR
DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 01-11-03



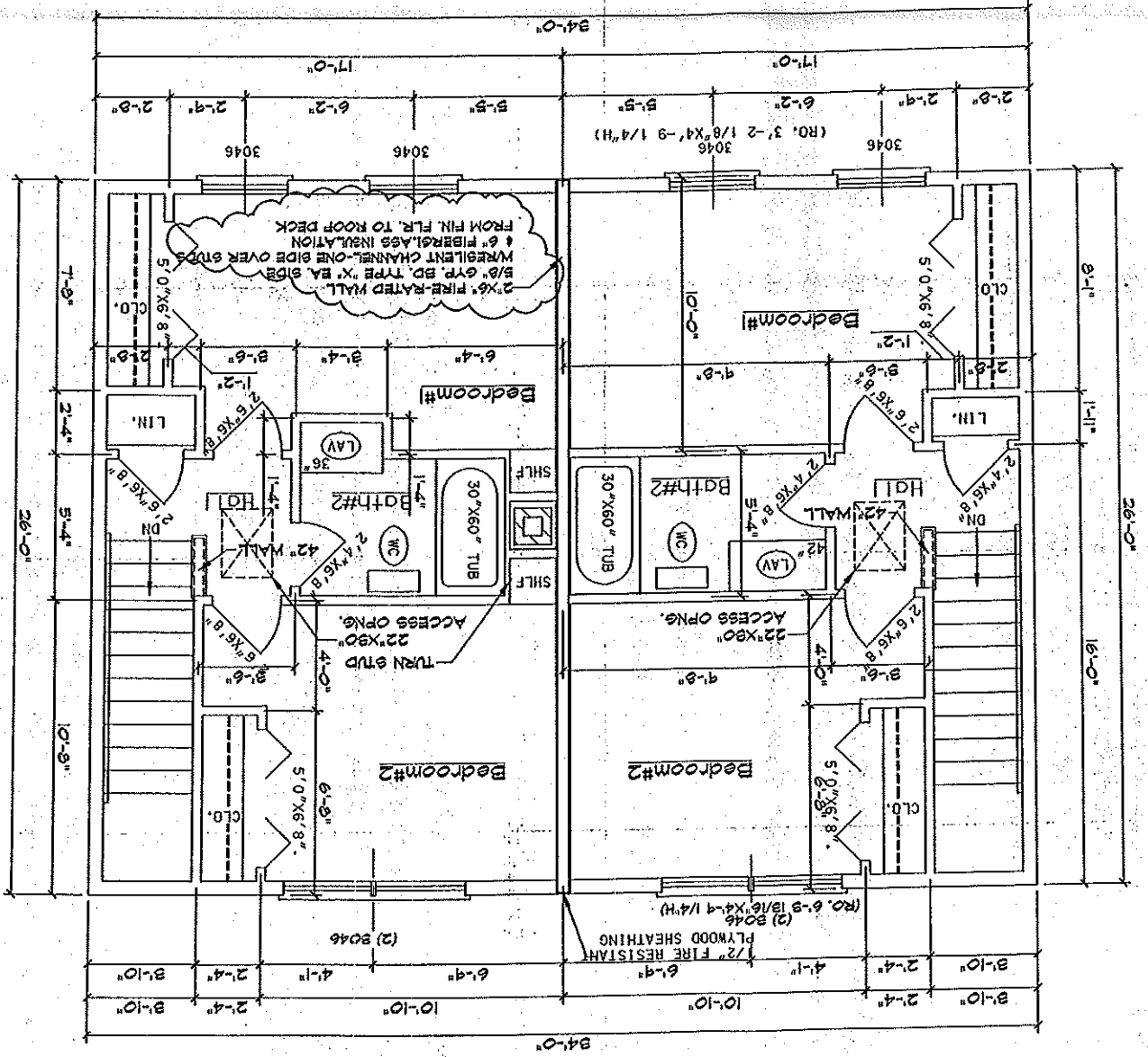
ENGINEERING REVIEW OF
 STRUCTURAL FRAMING
 SYSTEM ONLY.
 ENGINEERING DESIGN PROFESSIONALS
 23 CARRIAGE ROAD
 FREEPORT, MAINE 04032

DATE AND INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON DILIGENT PRACTICE.
 ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SPECIFICATIONS AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTRACTOR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS, MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.
 FIRE-RATED WALL SHALL APPROVED BY REGISTERED ARCHITECT BEFORE CONSTRUCTION BEGINS.

GENERAL CONSTRUCTION NOTES:
 (THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY, THEY SHOULD NOT BE INTERPRETED AS CODE OR THE COMPLETE BOCA CODE. THE 1999 BOCA CODE SHALL BE REVIEWED & COMPLIED WITH BEFORE CONSTRUCTION BEGINS.)

1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE BOCA 1999 FASTENER SCHEDULE.
2. ALL STAIRS SHALL COMPLY WITH BOCA 1999 STAIR CODE.
3. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 60" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREAD.
4. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS, (2) SHALL HAVE GUARDS NOT LESS THAN 36" ABOVE SURFACE OF TREAD, (3) OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
5. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
6. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM, AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
6. ONE SMOKE DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.
7. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
8. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
9. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:
 - GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY SURFACE.
 - GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
 - GLAZING BOTTOM LESS THAN 18" ABOVE THE FLOOR.

FLOOR PLAN-SECOND FLOOR



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 CITY OF PORTLAND, MAINE

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JAN 16 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

HEADLINE SCHEDULE

HEADLINE PLAN	0'-0" - 4'-0"	(B) 2" X 10"
FIRST FLOOR (1000 PLF)	4'-1" - 7'-0"	(B) 2" X 12"
SECOND FLOOR (1000 PLF)	7'-1" - 10'-0"	(B) 1 3/4" X 9 1/2" LVL'S **

** INCLUDES TRIPLE 2'-0" WIDING

REVISD 01-14-04

BOWEN DUPLEX
 PORTLAND, MAINE

MORIN DRAFTING CORPORATION, INC. 895-2403

FLOOR PLAN-2ND FLOOR

DRAWN: J. MORIN
 SCALE: 1/4"=1'-0"
 DATE: 07-11-03

AS

SECTION

MORIN DRAWING COMPANY, INC. 895-2442
 BOWEN RESIDENCE
 PORTLAND, MAINE

DATE: 07-08-03
 SCALE: 1/4"=1'-0"
 DRAWN: J. MORIN

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 28 CARRIAGE ROAD
 FREEPORT, MAINE 04032

STATE OF MAINE
 LARRY
 W. MORIN
 No. 6693

JAN 16 2004

CITY OF PORTLAND, MAINE

APPROVED CONSTRUCTION PLANS

SUPERSEDES ALL
 PRIOR DATED PLANS

HOUSE @ STAIRS

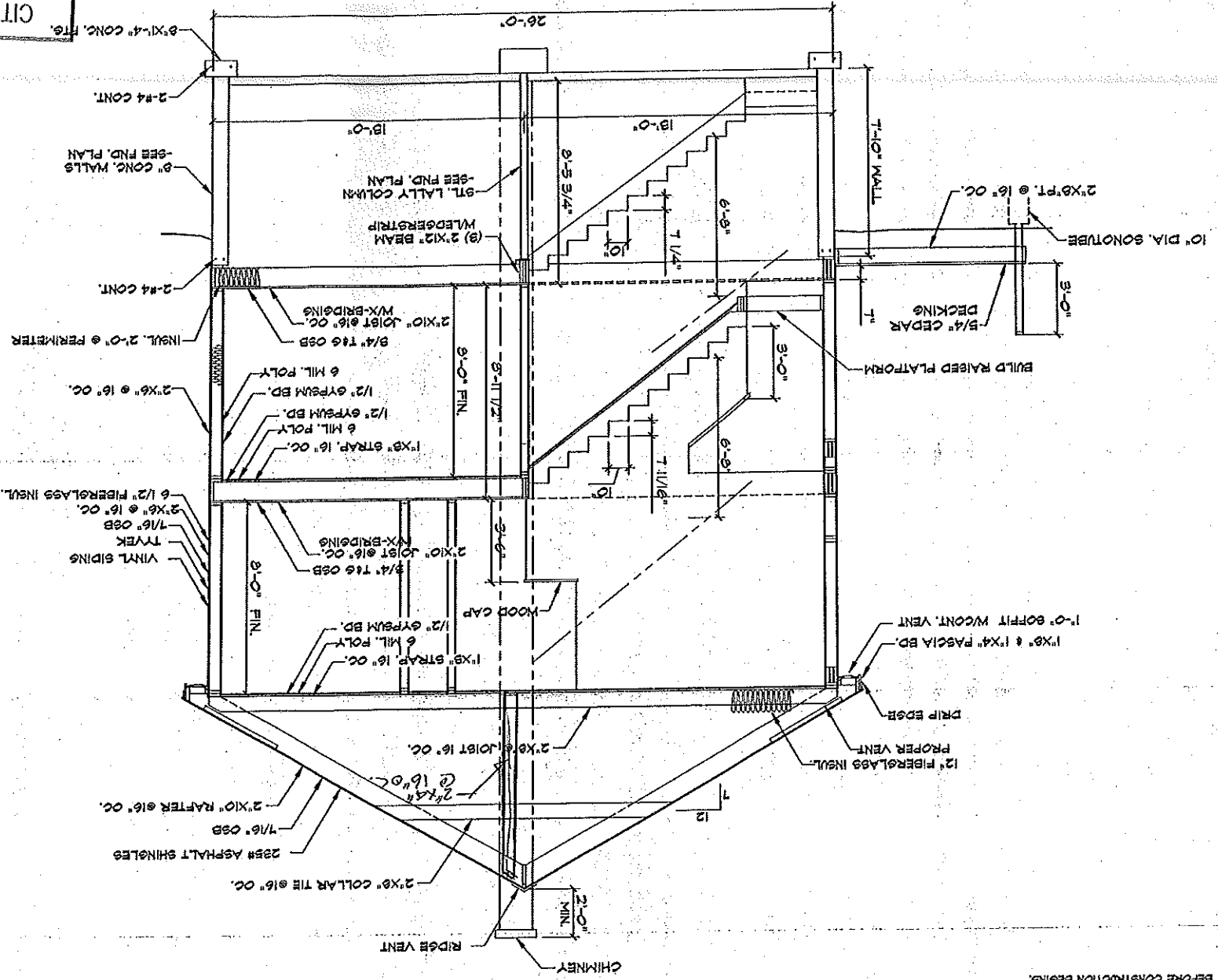
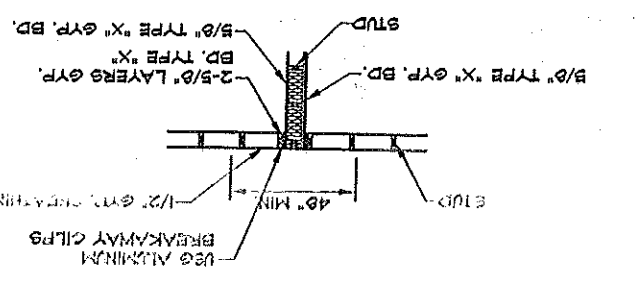
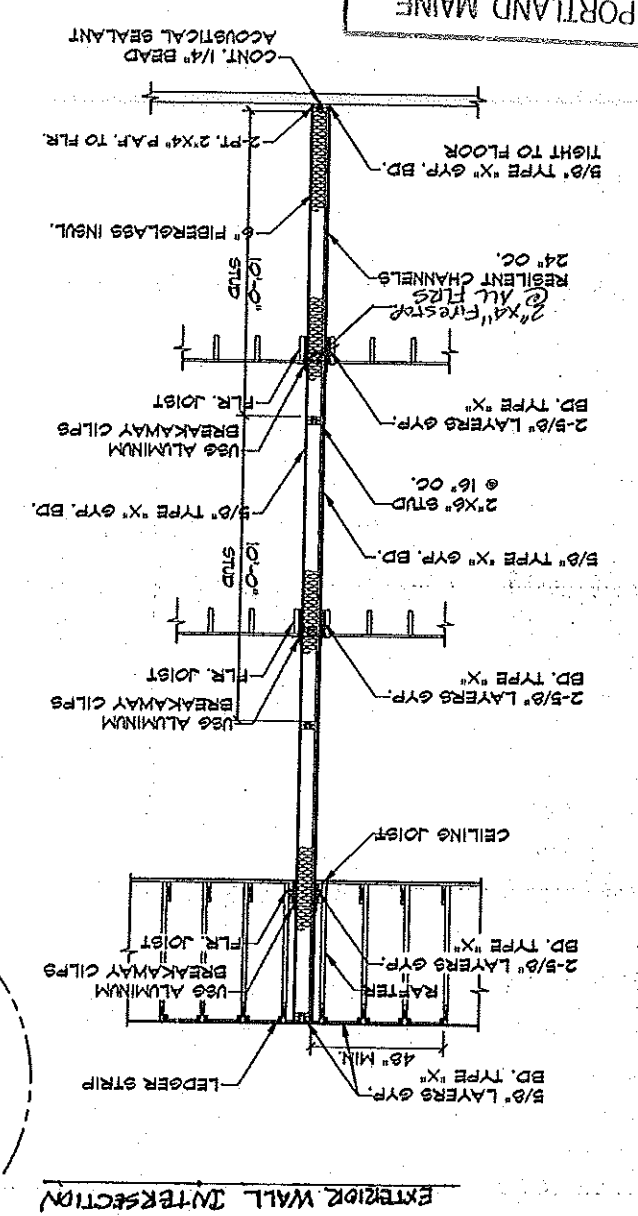
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REVISED 01-14-04

JAN 14 2004

CITY OF PORTLAND, MAINE

APPROVED CONSTRUCTION PLANS



NOTE: ALL CONSTRUCTION SHALL BE PERFORMED BY THE CONTRACTOR AND SHALL BE APPROVED BY THE CITY OF PORTLAND ARCHITECT.

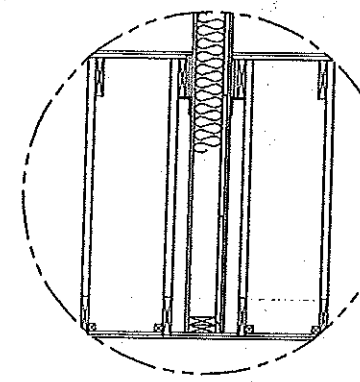
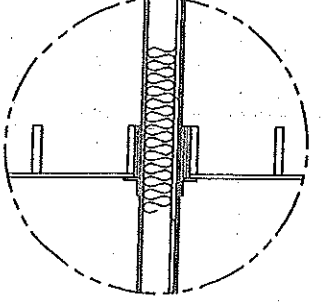
NOTE: THE ENGINEER OF LAND ENGINEERING AND REGISTERED ARCHITECT, MORIN DRAWING COMPANY, INC., IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PLANS OR FOR THE CONSTRUCTION OF THE STRUCTURE.

IF THERE ARE ANY CHANGES OR REVISIONS TO THE PLANS, THEY SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT.

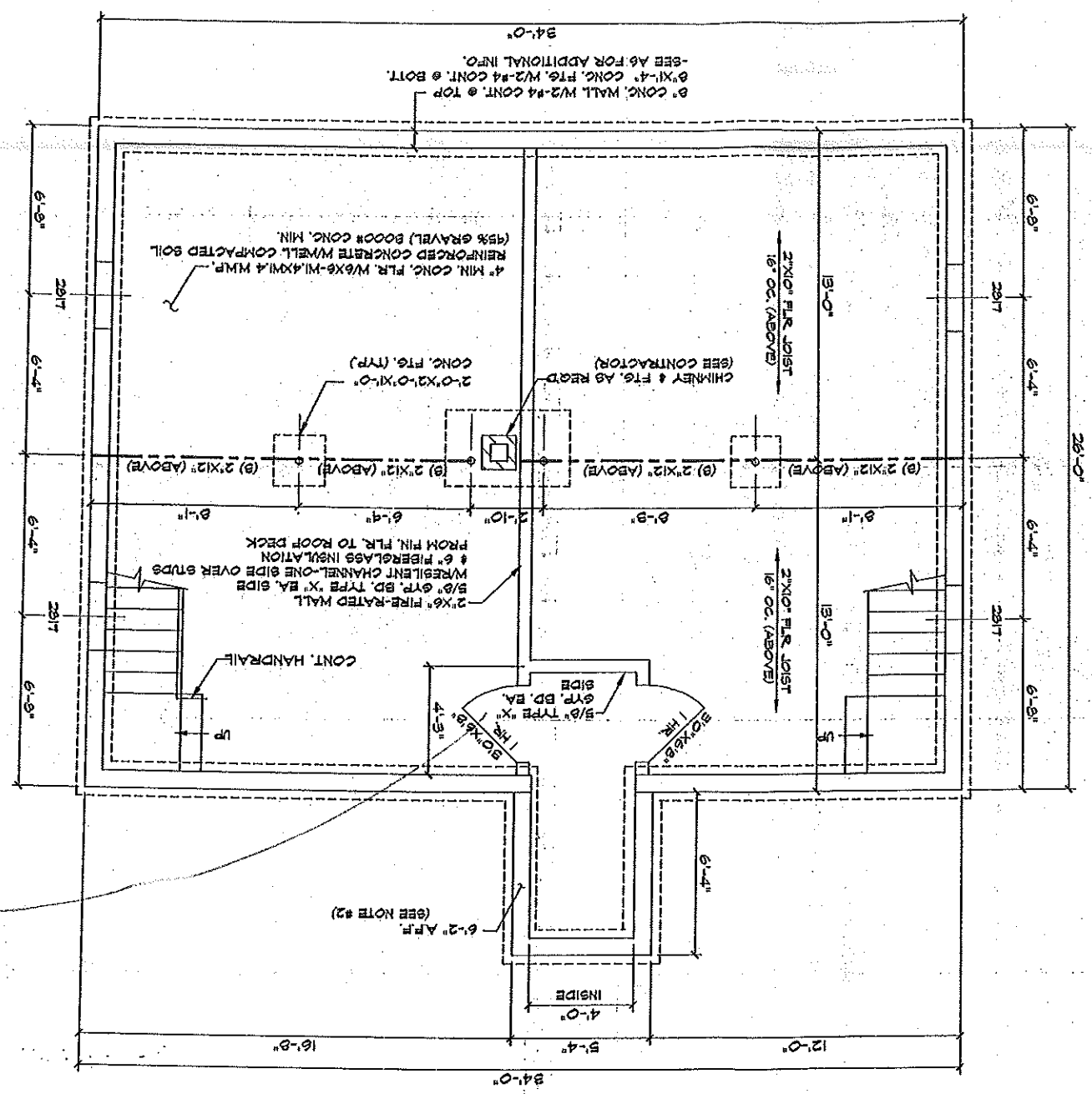
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING CODE AND ALL APPLICABLE REGULATIONS.

IF THERE ARE ANY CHANGES OR REVISIONS TO THE PLANS, THEY SHALL BE MADE BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING CODE AND ALL APPLICABLE REGULATIONS.



- FOUNDATION NOTES:
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
 2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPENS, SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
 3. ALL WINDOW BOLTS SHALL BE 1/2" X 1/2" HOOKED OR EQUIVALENT. 4'-0" MAX OC & 1'-0" MIN FROM ALL CORNERS.
 4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
 5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
 6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN & VERIFY PRODUCT (IE, BULKHEAD ETC) DIMENSIONS & SPECS. BEFORE FORMS ARE SET.
 8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS READ.
 9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING-JOIST & EMBLOOR IS COMPLETE.
 10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE NEEDED IN FILTER FABRIC.
 11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.



FOUNDATION PLAN

ENGINEERING REVIEW OF
STRUCTURAL FRAMING
SYSTEM ONLY.

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23 CARRIAGE ROAD
FREEPORT, MAINE 04032

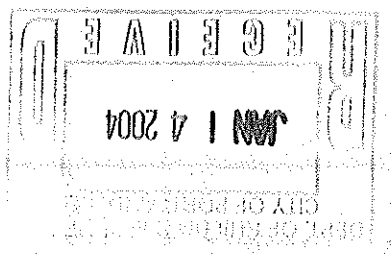
STATE OF MAINE
LARRY
WICHOSKI
No. 6334

REVISED 01-14-04

FOUNDATIONS PLAN

DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 07-11-03

MORIN DRAWING BOARD, INC. 885-2482
PORTLAND, MAINE



CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JAN 16 2004
SUPERSEDES ALL
PRIOR DATED PLANS

ACCEPTANCE FOR COMMON EARTH TREASURES.
NONE OF THE PROVISIONS OF MAINE PLANNING AND REGISTERED ARCHITECTS,
CONSTRUCTION REGULATIONS OR LAND EVALUATION, ALL LOAD BEARING REQUIREMENTS
AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MAINE PROFESSIONAL REGULATIONS.
IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS,
CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR.
IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE
CONSTRUCTION BEGINS MORIN DRAWING SHALL BE HELD
HARMLESS. MORIN DRAWING ASSUMES NO LIABILITY FOR
CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS
BY CLIENT AND/OR CONTRACTOR.
FIRE-RATED WALL SHALL APPROVED BY REGISTERED ARCHITECT BEFORE
BEFORE CONSTRUCTION BEGINS.

soft closing

Rev.	Date	Revision
1	12/09/03	ADDED DRIVEWAY EASEMENT

Design:	DER	Date:	9/03
Draft:	GIL	Job No.:	853
Checked:	AMP	Scale:	1"=20'
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GP
Gorill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

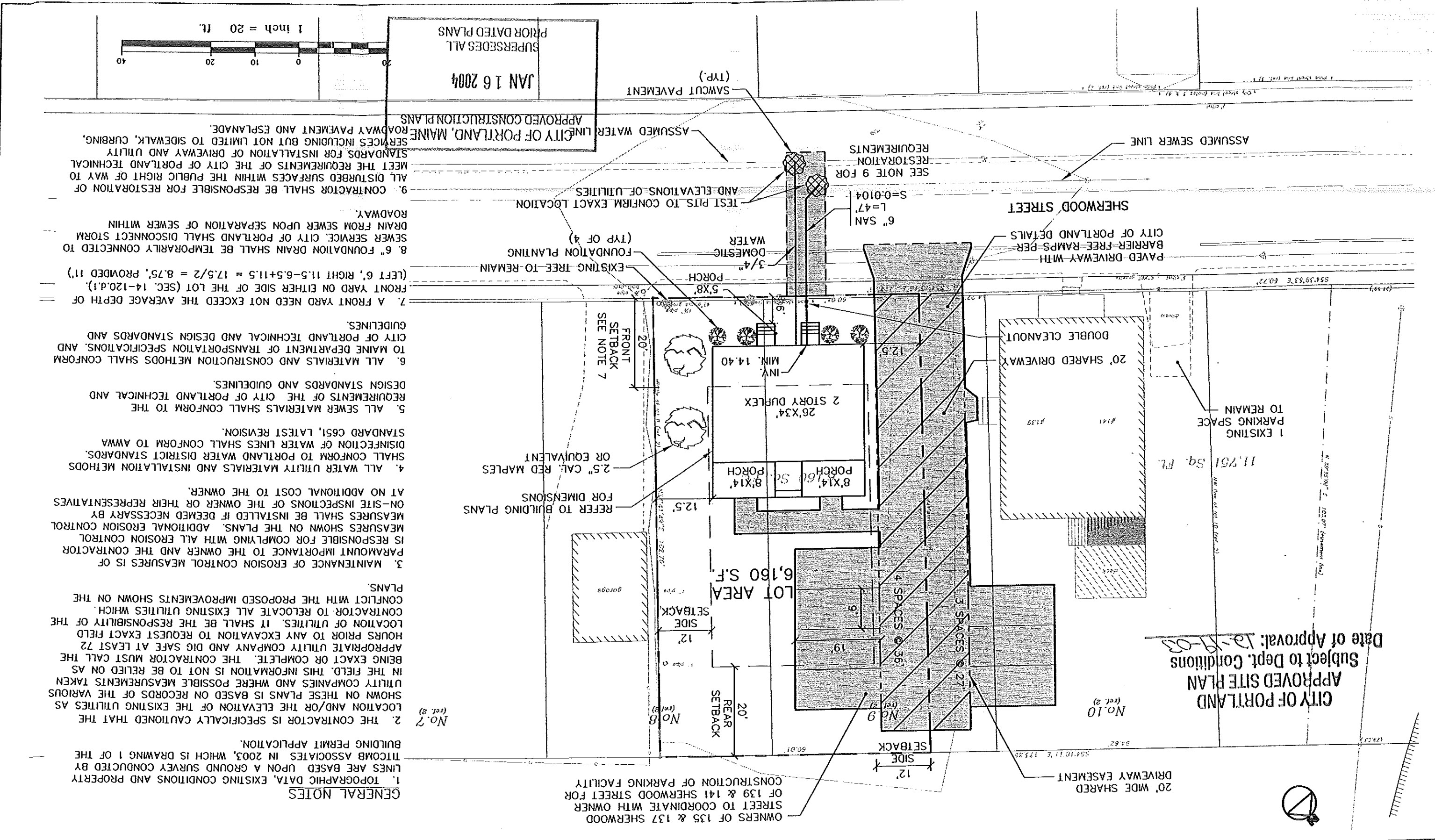
PO Box 1237
15 Shaker Road
Gray, ME 04039
FAX: 207-657-6910
207-657-6910
E-Mail: moib@gorillpalmer.com

Project: 135 & 137 SHERWOOD STREET
PORTLAND, MAINE

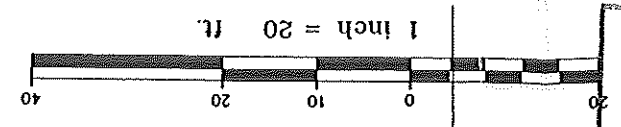
Site Layout Plan

Drawing Name:

Figure No. 2



- GENERAL NOTES**
1. TOPOGRAPHIC DATA, EXISTING CONDITIONS AND PROPERTY LINES ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003, WHICH IS DRAWING 1 OF THE BUILDING PERMIT APPLICATION.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
 4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
 5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 7. A FRONT YARD NEED NOT EXCEED THE AVERAGE DEPTH OF FRONT YARD ON EITHER SIDE OF THE LOT (SEC. 14-120.D.1). (LEFT 6', RIGHT 11.5'-6.5'+11.5' = 17.5'/2 = 8.75', PROVIDED 11')
 8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS FOR INSTALLATION OF DRIVEWAY AND UTILITY SERVICES INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.



JAN 16 2004
SUPERSEDES ALL
PRIOR DATED PLANS

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 12-19-03

Rev.	Date	Revision
1	12/09/03	APPROVED DRIVEWAY EASTWARD

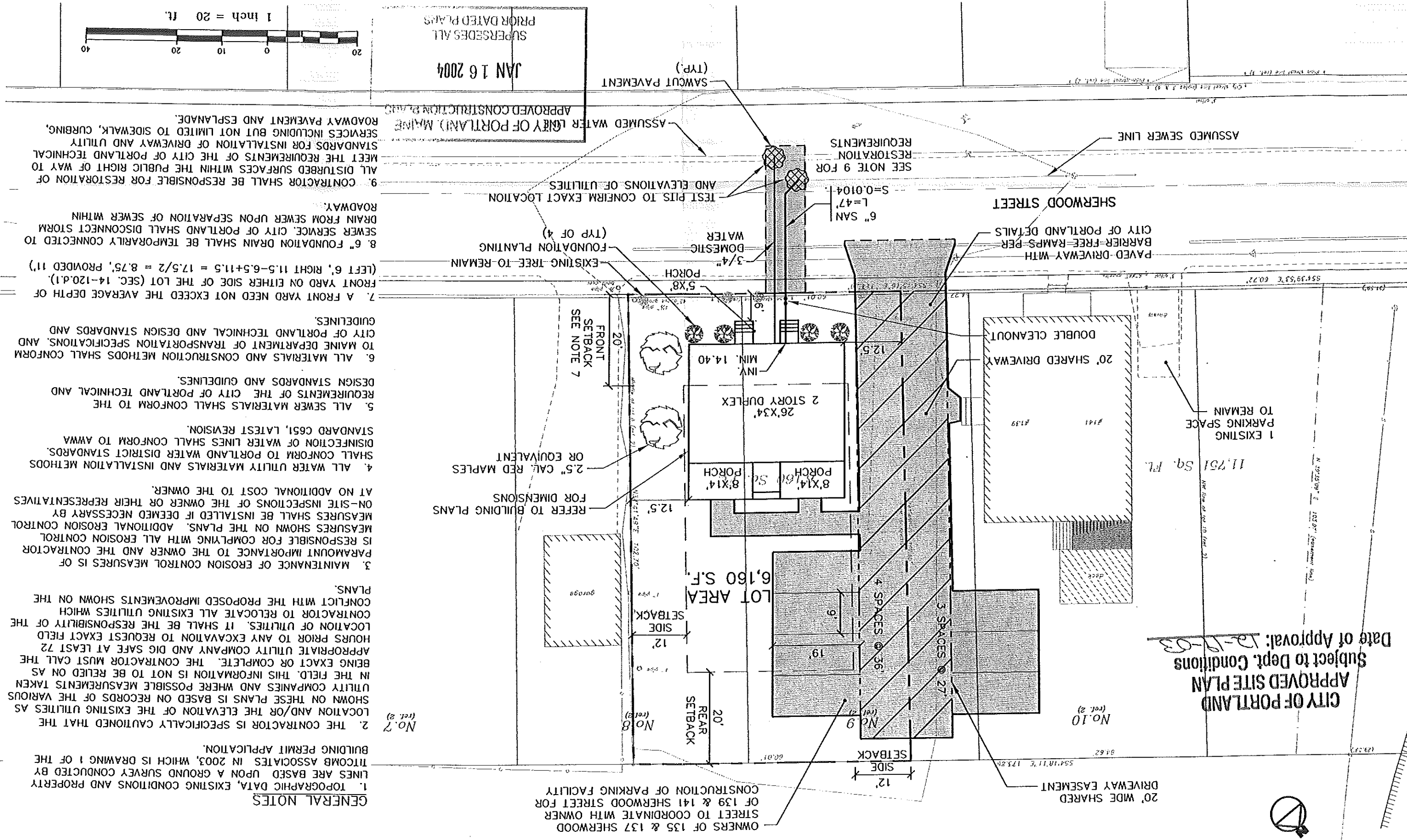
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GP
Gorill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
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FAX: 207-657-6912
E-Mail: mobbox@gorillpalmer.com

Drawing Name: **Site Layout Plan**
Project: **135 & 137 SHERWOOD STREET PORTLAND, MAINE**

Figure No. **2**



- GENERAL NOTES**
1. TOPOGRAPHIC DATA, EXISTING CONDITIONS AND PROPERTY LINES ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003, WHICH IS DRAWING 1 OF THE BUILDING PERMIT APPLICATION.
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 8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.

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9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.

SUPERSEDES ALL PRIOR DATED PLANS
JAN 16 2004

OWNERS OF 135 & 137 SHERWOOD STREET TO COORDINATE WITH OWNER OF 139 & 141 SHERWOOD STREET FOR CONSTRUCTION OF PARKING FACILITY

20' WIDE SHARED DRIVEWAY EASEMENT

12' SIDE SETBACK

20' REAR SETBACK

12' SIDE SETBACK

3 SPACES @ 27'

4 SPACES @ 36'

LOT AREA 6,160 S.F.

26'x34' 2 STORY DUPLEX

8'x14' PORCH

8'x14' PORCH

5'x8' PORCH

3/4" DOMESTIC WATER

6" SAN L=47' S=0.0104

TEST PITS TO CONFIRM EXACT LOCATION AND ELEVATIONS OF UTILITIES

SEE NOTE 9 FOR RESTORATION REQUIREMENTS

PAVED-DRIVEWAY WITH BARRIER-FREE RAMPS-PER CITY OF PORTLAND DETAILS

SHERWOOD STREET

ASSUMED SEWER LINE

APPROVED CONSTRUCTION PLANS

SAWCUT PAVEMENT (TYP.)

EXISTING TREE TO REMAIN

FOUNDATION PLANTING (TYP OF 4)

FRONT SETBACK SEE NOTE 7

20' FRONT SETBACK

11,751 Sq. Ft. 1 EXISTING PARKING SPACE TO REMAIN

20' SHARED DRIVEWAY

DOUBLE CLEANOUT

NO. 10

NO. 8

NO. 9

NO. 7

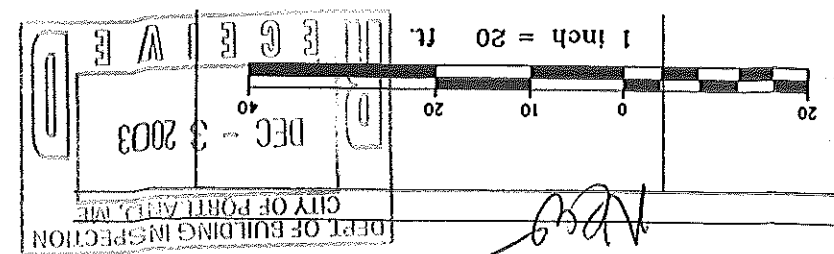
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Design:	DER	Date:	9/03	Job No.:	853
Drawn:	GL	Scale:	1"=20'	File Name:	853-PBASE.dwg

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Traffic and Civil Engineering Services

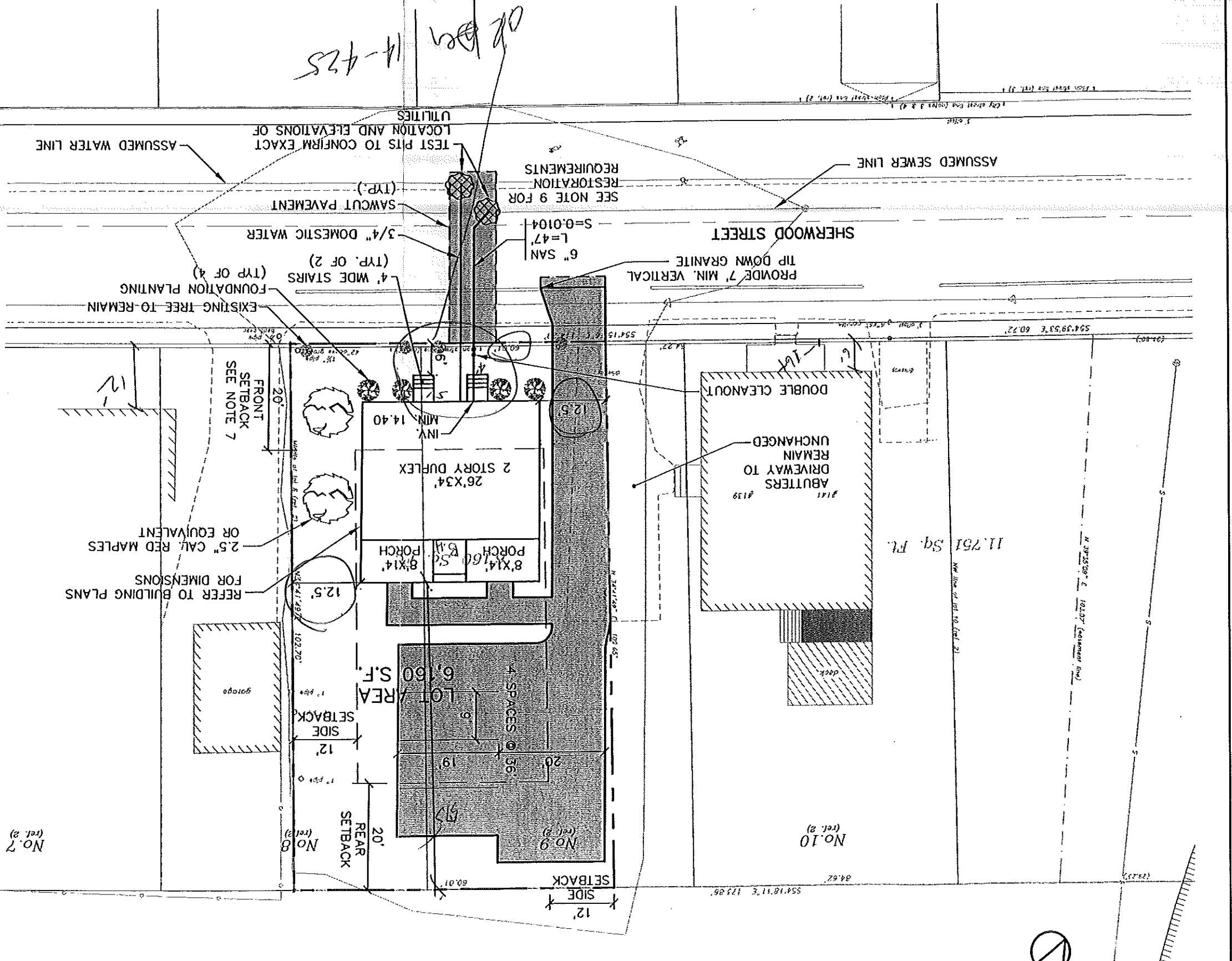
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 Project: 135 & 137 SHERWOOD STREET
 PORTLAND, MAINE

Figure No. 2



GENERAL NOTES

1. TOPOGRAPHIC DATA, EXISTING CONDITIONS AND PROPERTY LINES ARE BASED UPON A GROUND SURVEY CONDUCTED BY TICOMB ASSOCIATES IN 2003, WHICH IS DRAWING 1 OF THE BUILDING PERMIT APPLICATION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. A FRONT YARD NEED NOT EXCEED THE AVERAGE DEPTH OF FRONT YARD ON EITHER SIDE OF THE LOT (SEC. 14-120.D.1). (LEFT 6', RIGHT 11.5'-6.5+11.5' = 17.5/2 = 8.75', PROVIDED 11')
8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS FOR INSTALLATION OF DRIVEWAY AND UTILITY SERVICES INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPALMADE.



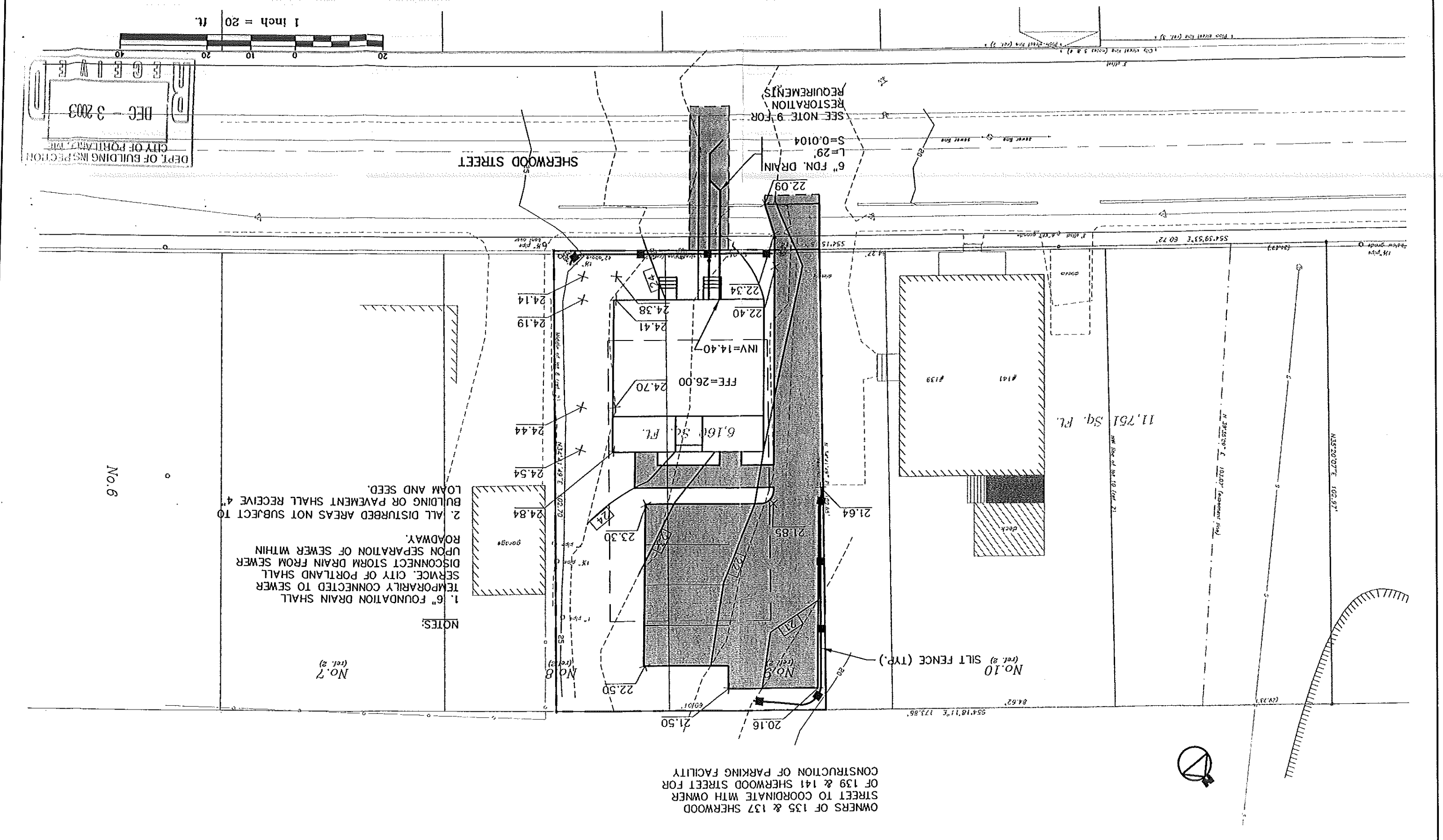
OK Ben 11-425

Rev.	Date	Revision
1	12/2/03	SEPARATE DRAINWAYS
Design: DER Date: 9/03		
Draft: G.L. Job No.: 853		
Checked: AMP Scale: 1"=20'		
File Name: 853-PBASE.dwg		

Drawing Name: Grading Plan
 Project: 135 & 137 SHERWOOD STREET LOT
 PORTLAND, MAINE

Figure No. 3

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No. 6

No. 7 (rel. 2)

No. 8 (rel. 2)

No. 9 (rel. 2)

