

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	02-0304	Issue Date:		CBL:	423 A002001
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Location of Construction:	787 Ocean Ave	Owner Name:	Adler, Nick	Owner Address:	787 Ocean Avenue	Phone:	773-1880
Business Name:		Contractor Name:	Christian, Dwane	Contractor Address:	10 A Thompson's Point Box 29 Portlan	Phone	2078719070
Lessee/Buyer's Name		Phone:		Permit Type:	Additions - Dwellings		
				Zone:	R-2 R-1D		

Part Use:	Single Family	Proposed Use:	Single Family	Permit Fee:	\$37.00	Cost of Work:	\$1,500.00	CEO District:	2
				FIRE DEPT:	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	INSPECTION: Use Group: Type:		

Proposed Project Description:
Construct 12'x12' Deck on slab/DEMO 4'x8' existing deck w/stairs

Signature:		Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:		Date:	

Permit Taken By: mjm Date Applied For: 04/03/2002

Zoning Approval

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews	Zoning Appeal	Historic Preservation
	<input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

02-0304

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>56 Ashley Lane (787 Ocean Ave) Unit 18</u>		Total Square Footage of Proposed Structure <u>144 sq ft</u>		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>403</u> Block# <u>A</u> Lot# <u>002</u>		Owner: <u>Nick Miller</u>		Telephone: <u>773 1886</u>	
Lessee/Buyer's Name (if Applicable)		Applicant name, address & telephone: <u>Diane Christian Portland</u> <u>Jeff Thompson's PT</u> <u>Portland 871 9070</u>		Cost of Work: \$ <u>1500</u> Fee: \$ <u>37.00</u>	
Current use: <u>Single Fam</u>		If the location is currently vacant, what was prior use: <u>condo</u>			
Approximately how long has it been vacant: _____		Proposed use: <u>12x12 deck above an existing 12x12 slab.</u>			
Project description: <u>cond existing yrs' deck with stairs</u>		Contractor's name, address & telephone: <u>Diane Christian Portland (303) 871 9070</u> <u>Jeff Thompson's PT</u>			
Who should we contact when the permit is ready: <u>same as above</u>		Mailing address: <u>DU107</u>			

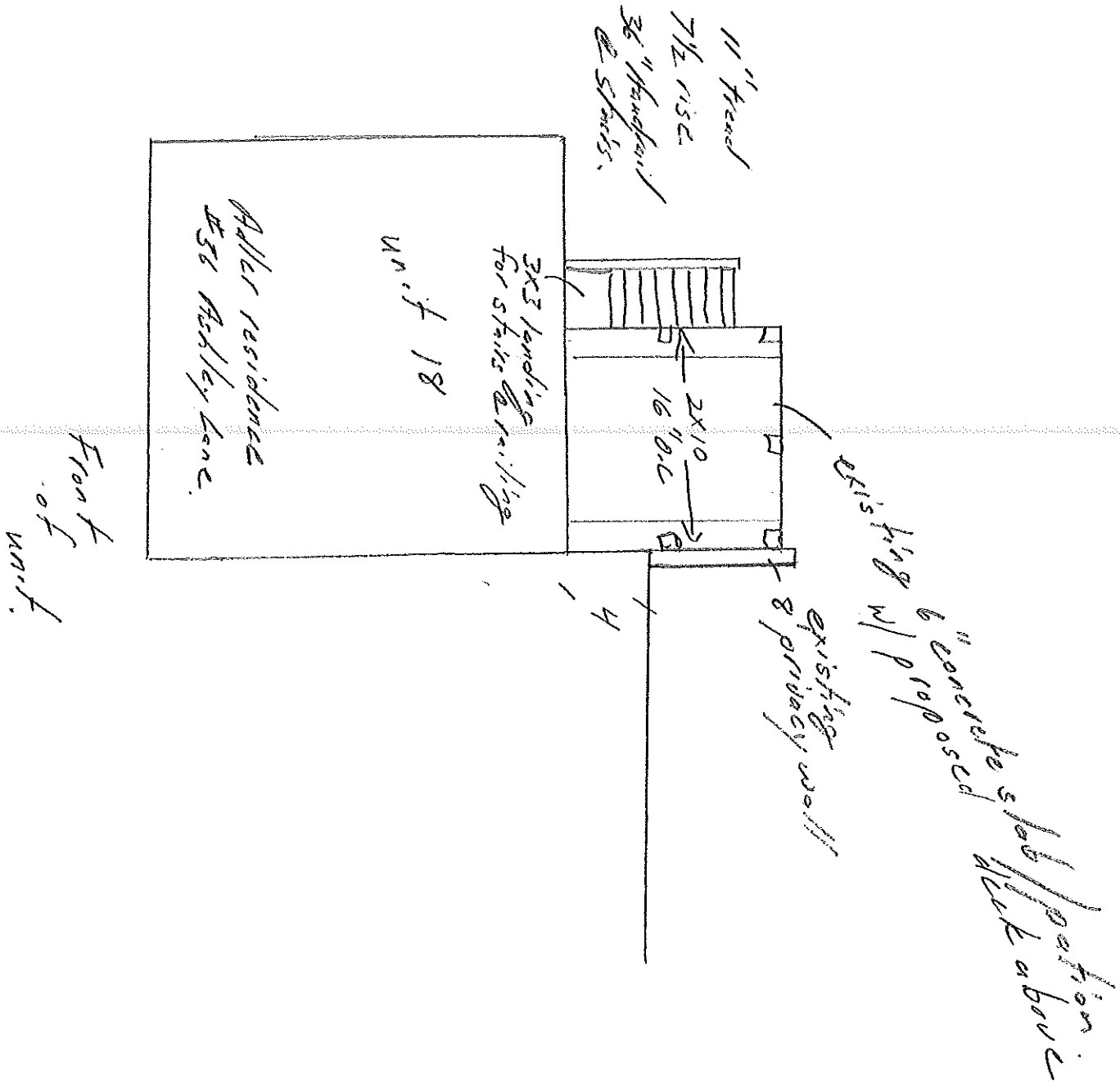
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 871 9070.

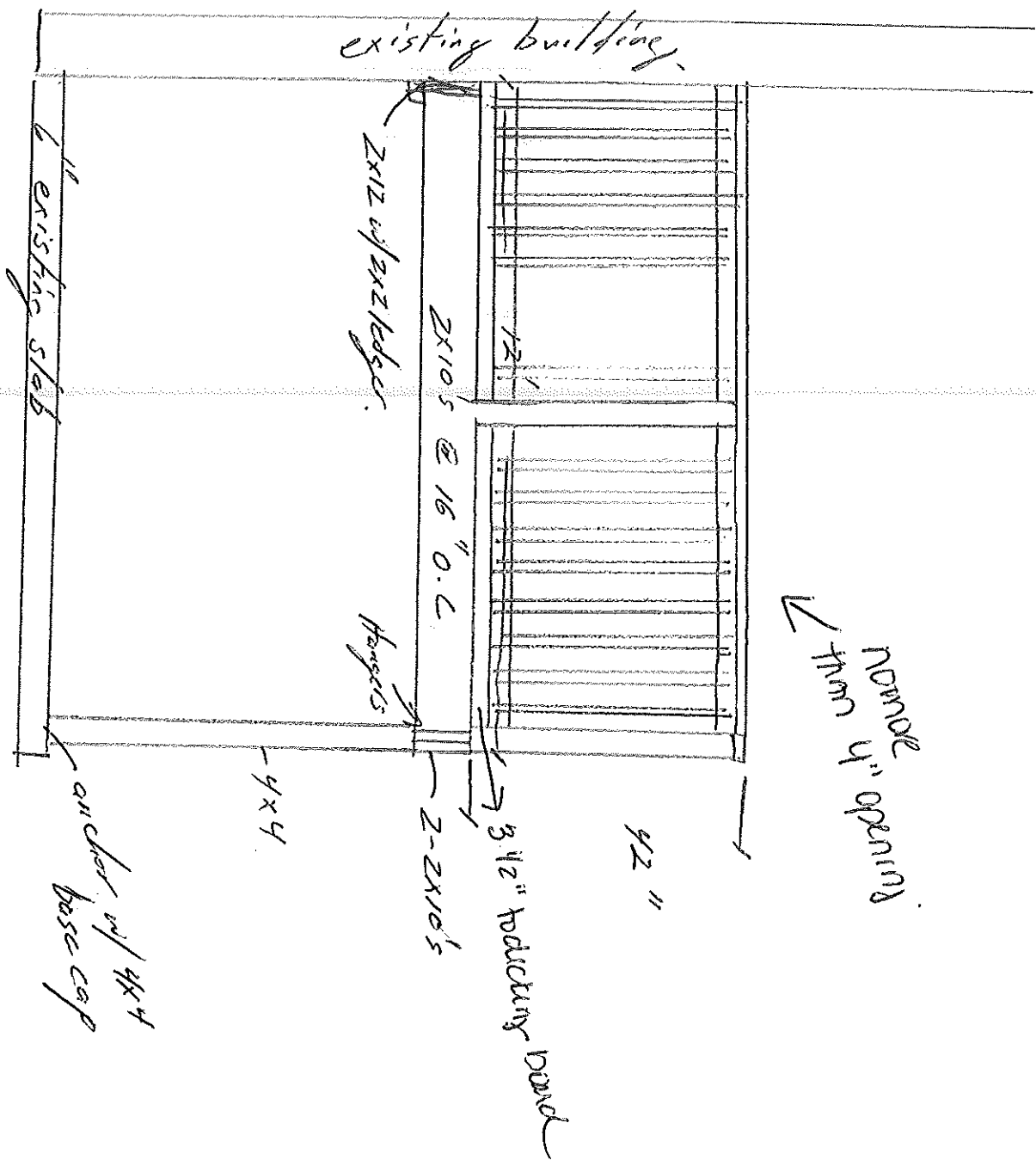
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: _____ Date: 4/3/02.

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





existing building

1" existing slab

2x12 w/ 2x2 ledgers

2x10's @ 16" O.C.

hangers

16" wide
 4" opening

42"

3 1/2" reducing board

2-2x10's

4x4

anchor w/ 4x4
 base cap

Zoning Division
Marge Schmuuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

February 14, 2003

Nick Adler
56 Ashley Lane
Portland, ME 04103

RE: 787 Ocean Ave. (56 Ashley Lane unit #18)-423-A-002 - R-3 PRUD (Planned Residential
Unit Development)

Dear Nick,

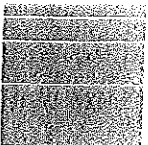
This letter is just to follow up on your old permit application to construct a 12' x 12' deck on the rear of this property.

This permit application has expired. Over six months has lapsed since your original application. On 4/12/02 I contacted your contractor with my concerns about the deck meeting the required 25 foot setback from the external property line. I also spoke to you on the phone relating these same regulations. I also met with your fiancé, Pam Murray on April 23, 2002 to go over the zoning requirements. I have heard, nor seen any revisions to your application. Your permit application to build this deck has never been issued and is now void. No new deck construction is valid without a valid building permit.

Very truly yours,

Marge Schmuuckal
Zoning Administrator

CC: Duane Christian, 10 A Thompson's Point, Portland, ME 04102



Sebago Technics

Engineering & Planning for the Future

October 21, 1998
86283

10/22/98

Richard Knowland, Senior Planner
Department of Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Ocean Woods Townhouses, Ocean Avenue - Royal River Development, Inc.

Dear Rick:

On behalf of Royal River Development, Inc., we are pleased to submit seven (7) copies of the enclosed plans for the Ocean Woods Townhouse development on Ocean Avenue. The entire parcel is located on approximately 6.8 acres and is situated in the Residential 3 District (R-3 Zone). As you may recall, this project was originally approved by the Portland Planning Board in late 1988. The majority of the infrastructure was constructed and twelve (12) of the units were built and sold in accordance with the enclosed as-built drawing. Subsequently, the original developer relinquished title to the bank and the project was never completed. Earlier this year, we submitted a similar plan, but now we mirrored the location of the first three buildings, added one building at the cul-de-sac, and provided a recreational area.

Royal River Development, Inc. has interest in completing the project very similar to the plan as originally approved. It is our understanding that the original site plan approval has lapsed and the PRUD requirements have since been revised. Under the revised standards and in accordance with the enclosed net residential land calculations, only 31 units could be constructed on the site rather than the original 33. Additionally, a recreation open space of 6,000 square feet and containing active recreational opportunities is required. The original plan contained no such amenity.

The applicant respectfully requests placement on the next available workshop agenda with the Planning Board to discuss the possible development options for this project. As stated, the applicant prefers to develop the project as similar to the originally approved plan to take advantage of the previously installed infrastructure. The enclosed sketch plan proposes an additional 19 condominium units with either private or shared garages, and wishes to save as many trees as possible for landscaping and buffers. Based upon discussions with the Planning Board and staff, the applicant will be able to determine the viability of progressing with the development.

Mr. Knowland

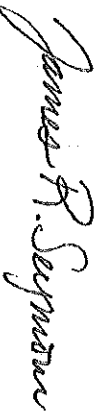
-2-

October 21, 1998

Upon your review of this letter and the enclosed sketch plans, please call with any questions or comments. We look forward to meeting with the Board and staff at their earliest convenience to discuss this project in more detail. Thank you for your consideration.

Sincerely,

SEBAGO TECHNICS, INC.



James R. Seymour
Project Engineer

JRS:jc
Enc.

cc: Royal River Development, Inc.

Net Residential Land Calculation

Total Area	=	296,683 SF
- 25% Slopes	=	32,530 SF
- Watercourses	=	<u>9,475 SF</u>
Remainder	=	254,678 SF
- 20%	=	<u>50,936 SF</u>
Net Residential Area	=	203,742 SF
Allowable density @ 1 Unit Per 6,500 SF	=	31 Units
# of units previously constructed	=	12
Allowable # of additional units	=	19



CITY OF PORTLAND
Planning and Urban Development Department
MEMORANDUM

TO: Duane Kline, Finance Department

FROM: Alexander Jaegerman, Chief Planner

DATE: January 8, 2001

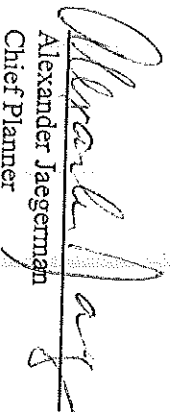
SUBJECT: Release of Performance Guarantees
Ocean Woods Townhouses, Phase I and Phase II
423-A-002

Please release the letters of credit for Royal River Development Company for the Ocean Woods Townhouses located at 791 Ocean Avenue. The letters of credit to be released are as follows:

Phase I: Irrevocable Letter of Credit No. 99-004 in the amount of \$ 76,765.00
Phase II: Irrevocable Letter of Credit No. 99-009 in the amount of \$106,965.00

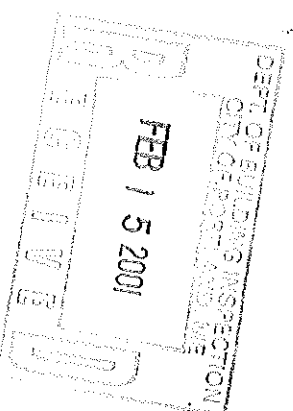
Please accept the attached Defect Bond Irrevocable Letter of Credit No. 00-011 in the amount of \$18,373.00 to be released in one year.

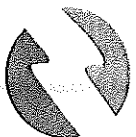
Approved:


Alexander Jaegerman
Chief Planner

cc: Kandi Talbot, Planner
Jay Reynolds, Development Review Coordinator
✓ Code Enforcement
Peer Review Engineer
Tony Lombardo, Project Engineer

O:\PLAN\CORRESP\DRCP\PERFORM\OCEAN WOODS DEFECT.DOC





Norway Savings Bank

Incorporated 1866 • Member FDIC

SITE PLANS/SUBDISIONS
DEFECT BOND:
IRREVOCABLE LETTER OF CREDIT
#00-011

December 6, 2000\

Joseph E. Gray, Jr., Director
Planning and Urban Development
City of Portland
Portland, Maine 04101

RE: Royal River Development Company, Ocean Woods Development Project

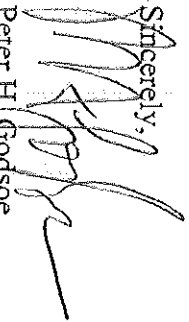
Norway Savings Bank hereby issues its Irrevocable Letter of Credit for the account of Royal River Development Company, 27 Main St., Windham, Maine as developer, hereinafter referred to as "The Developer", in favor of the City of Portland in the aggregate amount of \$18,373.00. The City of Portland may draw on the Letter of Credit by presentation of a sight draft in the event that the Developer, at the Developer's expense, fails to correct defects in the workmanship and durability of all materials used in the construction of the public improvements as set forth in the Schedule of Costs of Public Improvements for Phase I of the Ocean Woods Development Project dated May 5, 1999 and revised May 11, 1999 and for Phase II of the Ocean Woods Development Project dated September 30, 1999.

Drafts drawn upon this credit must be for this particular development and to correct and defect(s) as outlined above which was not corrected by the Developer on or before December 6, 2001. Drafts must be accompanied by a written statement that the Developer has failed to correct such defect(s) and shall be accompanied by itemized statements showing cost of work to be completed.

The City of Portland may draw on this Letter of Credit for a period not to exceed ninety (90) days after the expiration of this one year commitment, provided that Norway Savings Bank will give the City's Director of Planning and Urban Development written notice, by certified mail, of the expiration of this Letter of Credit at least ninety days prior thereto; otherwise drafts drawn on Norway Savings Bank may be submitted by the City of Portland no later than ninety (90) days following written notice whenever given thereafter.

We engage with you that drafts drawn under and in compliance with the terms of this credit will be duly honored. However, other than the payment of monies as authorized hereunder, Norway Savings Bank shall not guarantee the performance of the Developer to the City of Portland.


Sincerely,


Peter H. Godsoe
Vice President

PHG/tak


Seen and Agreed to:

Royal River Development Company

By: 
Ronald S. Smith, Jr., President

Date: 12-6-03

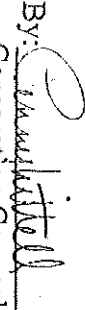
Approved pursuant to Sections 14-501 and 14-525 of the Portland City Code:

By: 
Director of Planning and Urban Development

Date: 02/12/01

By: _____
Director of Finance

Date: _____

By: 
Corporation Counsel

Date: 01-10-01

DECK INFORMATION

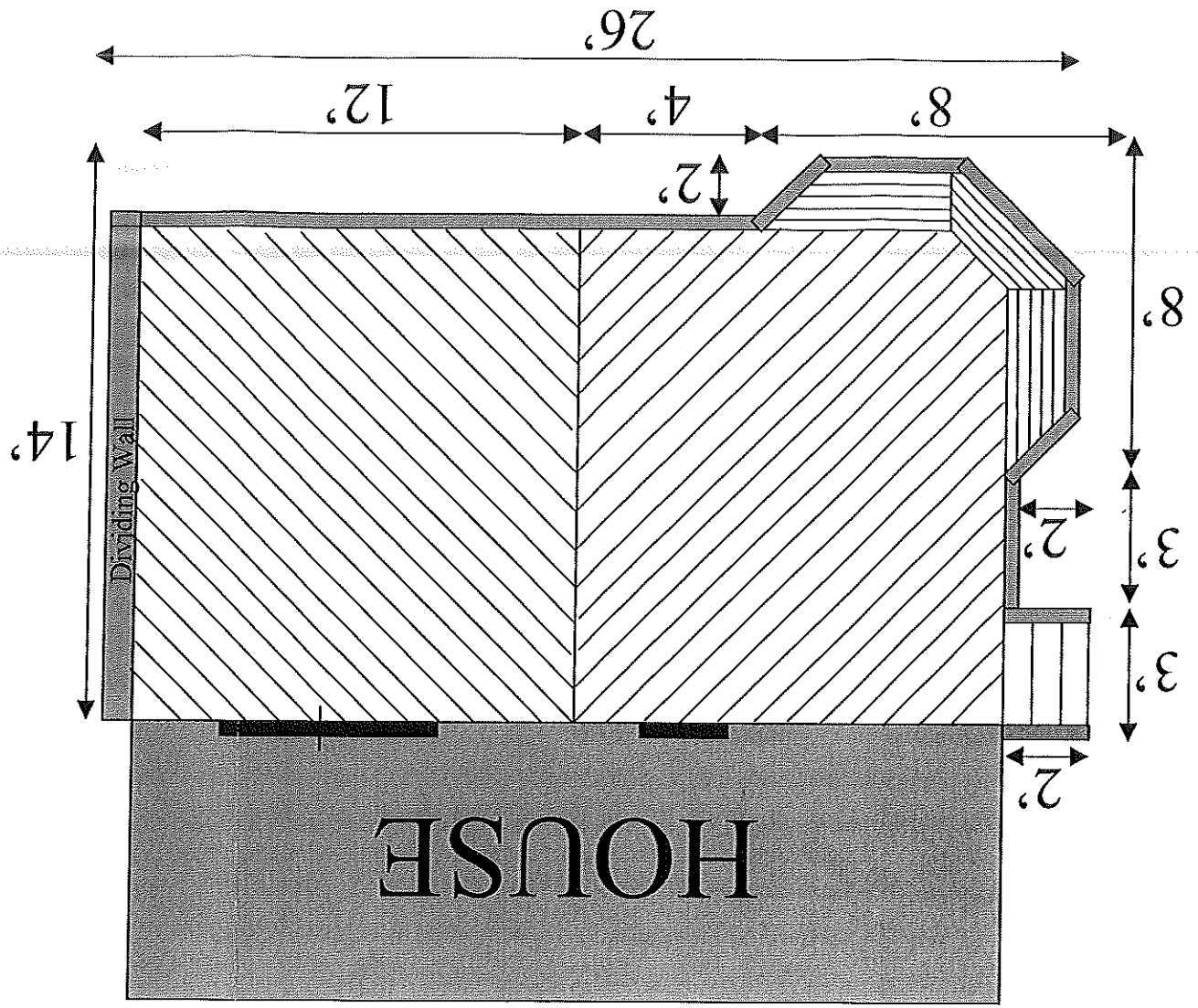
To apply for a deck permit, the following information shall be with your application.

1. Plot Plan showing distances to all lot lines from proposed deck.
2. Type of foundation.
 - a. Full foundation (concrete or other) 8" 4' below grade and on footing.
 - b. Frost wall (concrete or other) 8" 4' below grade on footing.
 - c. Piers (sono tube big foot etc.) 8" 10", 12" other.
 - d. Spacing of piers 4' 6', 8" 10".
 - e. Other _____.
3. Columns (material between foundation (piers) and framing).
 - a. Steel size 4" other 4"x6" other.
 - b. Wood size 4"x4" 4"x6" other.Fasteners shall be used between building element.
4. Framing members.
 - a. Ledger (attached to building) 2x6" 2x8" 2x10" 2x12".
 - b. Joist - span (carries decking) 6' 8' 10' 12' 14' X.
 - c. Joist - size 2x6" 2x8" 2x10" 2x12" other.
 - d. Spacing of joist 16" X 18" 24" or other.
5. Beam spacing (distance between supporting piers)
 - a. 6' 8' 10' 12'
 - b. Beam size 2-2x6 2-2x8 2-2x10 X 2-2x12 other.
 - c. Decking size _____.

All decks in Use Group R-3 over 15 1/2" above grade shall have a guard system.

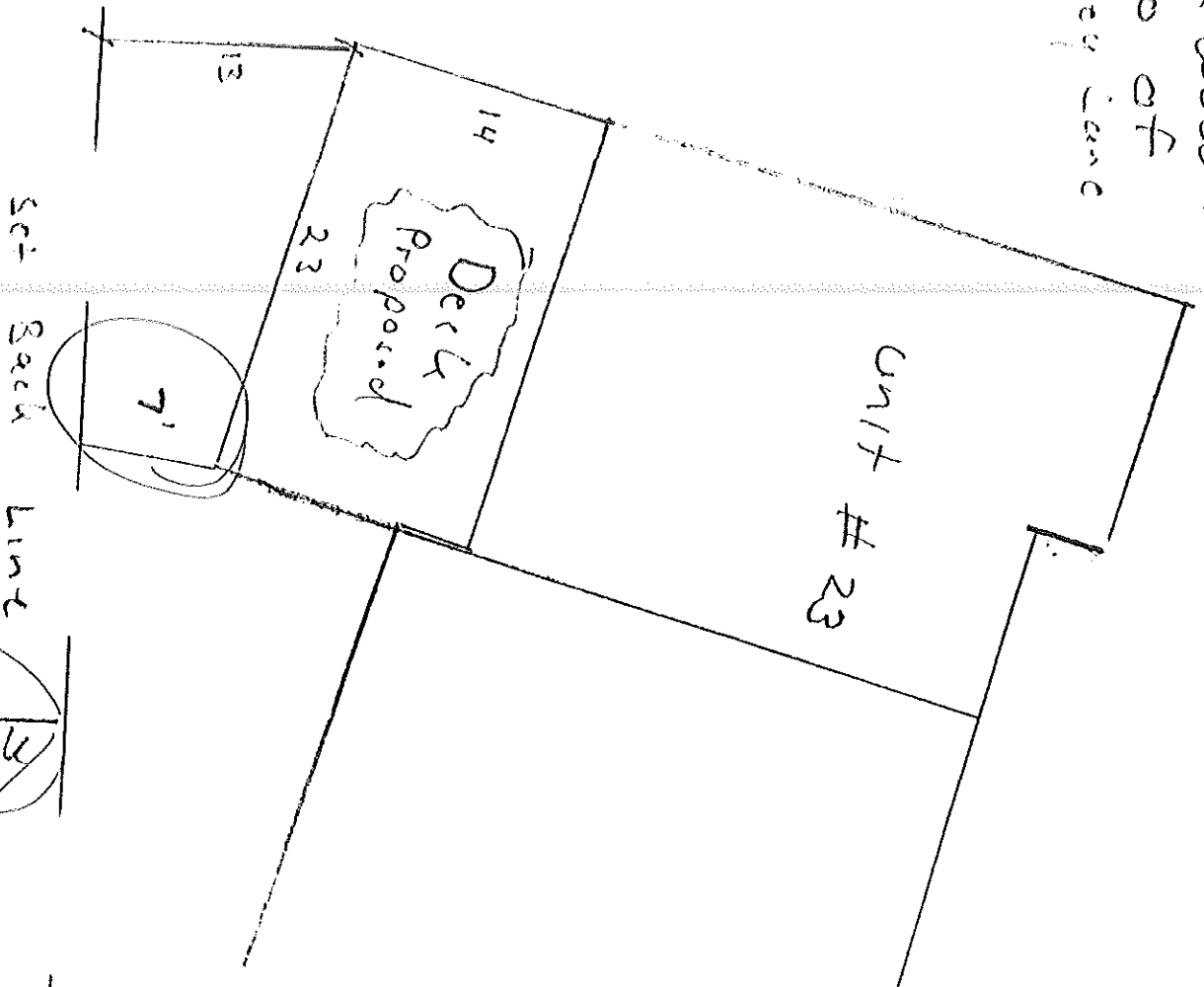
6. Guardrail heights (decks between 15 1/2" and 30" above grade can be 36" in height).
 - a. Over 36" above grade a 42" guardrail system shall be used.
36" X 42" X

Open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have ornamental pattern that would provide a ladder effect. If stairs are part of the deck system see attached requirements for stairs.



Darmin Reilstein
Ocean Woods
Condo of
Akeley Lane

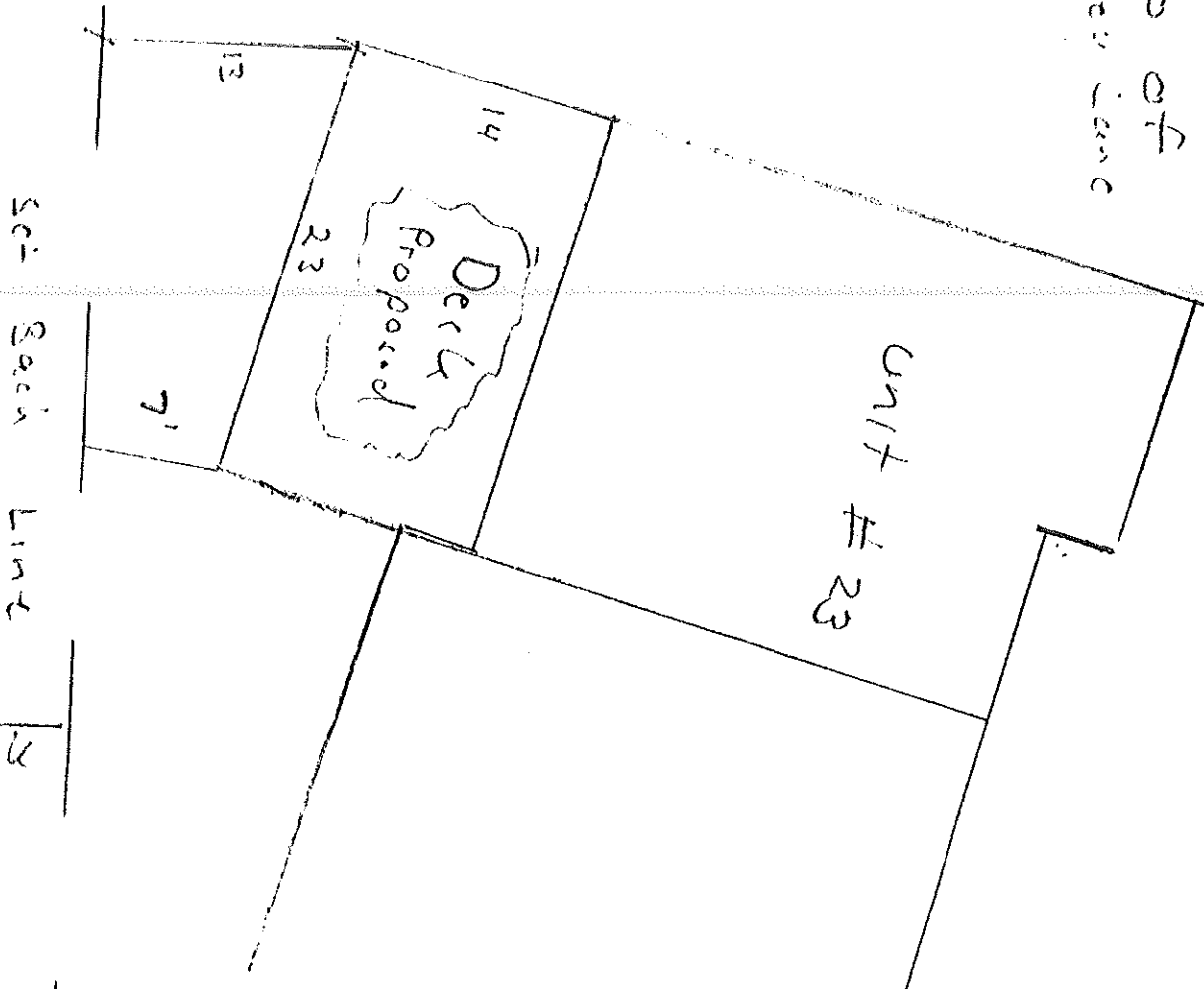
Scale
1" = 10'



10/17/03

Darwin Bailstein
Ocean Woods
Condo of
Aculeo Lane

Scale
1" = 10'



10/17/00