

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	04-1569	Issue Date	DEC 29 2004	Issue Date	DEC 29 2004
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Location of Construction:	821 Ocean Ave	Owner Name:	Garand Susan E &	Owner Address:	821 Ocean Ave	Phone:	
Business Name:		Contractor Name:	Owner	Contractor Address:	Portland	Phone:	
Lessee/Buyer's Name		Phone:		Permit Type:		Zone:	2-3

Past Use:	Single Family	Proposed Use:	Single Family 26x36 2 story garage w/ second floor. 2 story deck to wrap garage.	Permit Fee:		Cost of Work:	\$0.00	CEO District:	4
Proposed Project Description:	build 26x36 interior non-bearing wall w/ a 8x36 & 16x34 two story deck to wrap the garage.			FIRE DEPT:	<input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION:	Use Group: 2-3 Type: SB		

Signature:	<i>[Signature]</i>	Signature:	<i>[Signature]</i>
Action:	<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:	<i>[Date]</i>

Permit Taken By: dmartin Date Applied For: 10/20/2004

Zoning Approval

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/28/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>12/28/04</i>
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- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE _____ DATE _____ PHONE _____

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your

inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.


A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

FD If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

	
Signature of Applicant/Designee	Date
<u>Donna Martin Adams</u>	<u>12 30 04</u>
Signature of Inspections Official	Date

CBL: 4223016 Building Permit #: 041569

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Garand Susan E & /Owner
has permission to build 26x36 interior non-bea
at 821 Ocean Ave

Garand Susan E & /Owner
build 26x36 interior non-bea
at 821 Ocean Ave
422 B016001

PERMIT ISSUED
Permit Number: DEC-041569
2004
CITY OF PORTLAND

provided that the person or persons, of the provisions of the Statutes of the construction, maintenance and u this department.

Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

Fire Dept _____
Health Dept _____
Appeal Board _____
Other _____

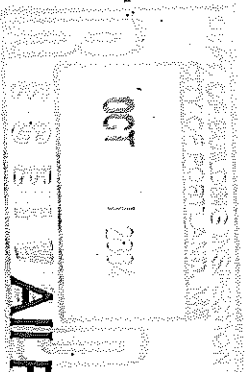
Notification inspection must be provided or closed-in. R NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Department Name

[Signature]
12/28/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

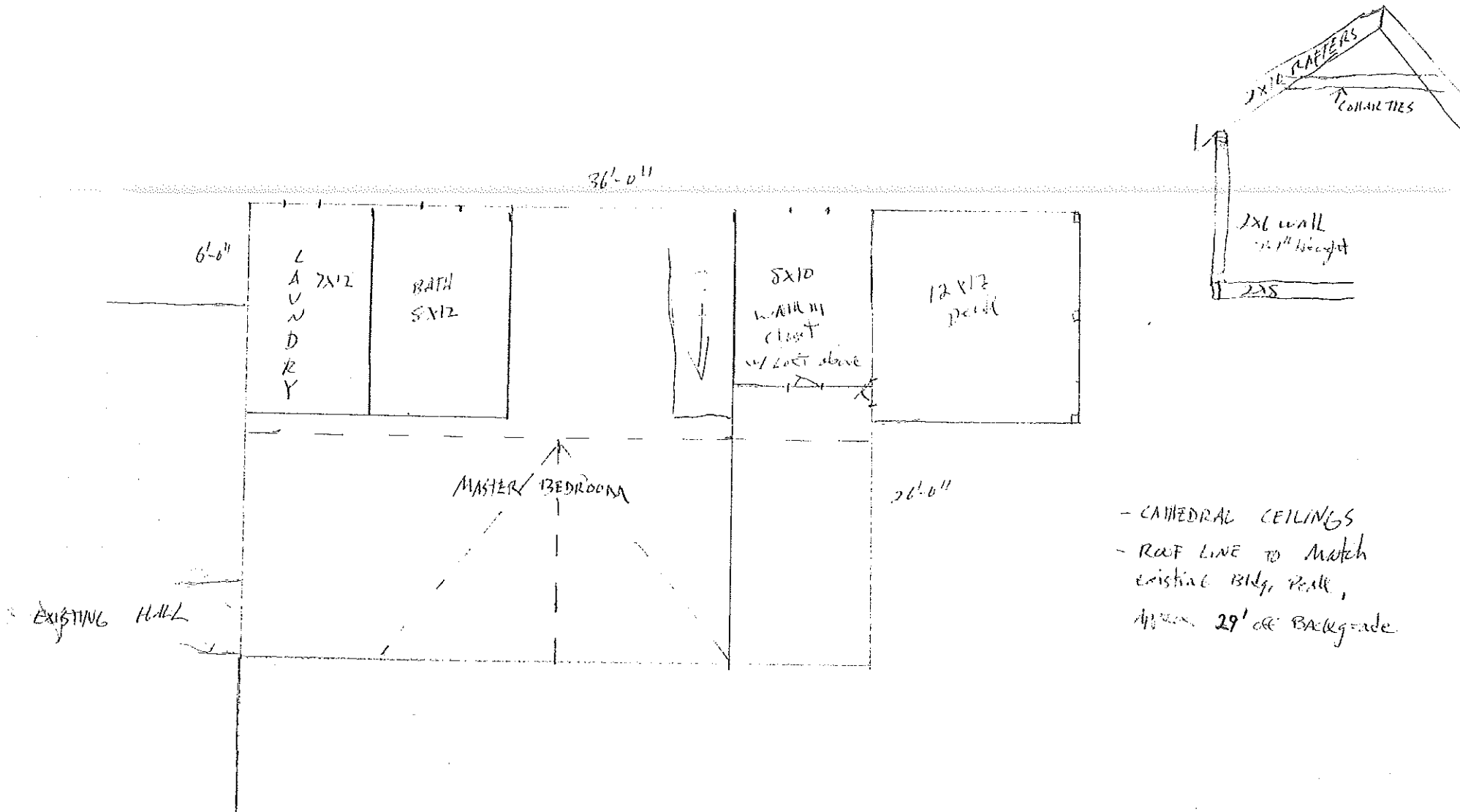
Location/Address of Construction: <u>821 Ocean Ave</u>		Square Footage of Lot: <u>1.8 acres</u>	
Total Square Footage of Proposed Structure: <u>936</u>		Square Footage of Lot: <u>79,000 ± sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>422</u> Block# <u>8</u> Lot# <u>1/6 26</u>	Owner: <u>Paul + Susan Garand</u>	Telephone: <u>828-3901</u>	
Lessee/Buyer's Name (if Applicable)		Applicant name, address & telephone: <u>Paul + Susan Garand</u> <u>821 Ocean Ave Portland ME 04103</u> <u>(207)828-3901</u>	
Current use: <u>2 Family</u>		Cost Of Work: <u>\$65,000</u> Fee: <u>\$ 400.00</u>	
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____ <u>(8' x 22.3')</u>			
Proposed use: <u>36 x 26 2 Story Garage (3 Car) + Farmers porch</u>			
Project description: <u>Garage to be wood wrapped by 1" deck 8' x 3 1/2' + 16 x 34 wood ^{ply} siding only.</u>			
Contractor's name, address & telephone: _____ <u>owner</u>			
Who should we contact when the permit is ready: <u>Paul Garand</u> <u>749-8961</u>			
Mailing address: <u>821 Ocean Ave Portland ME 04103</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>828-3901</u>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

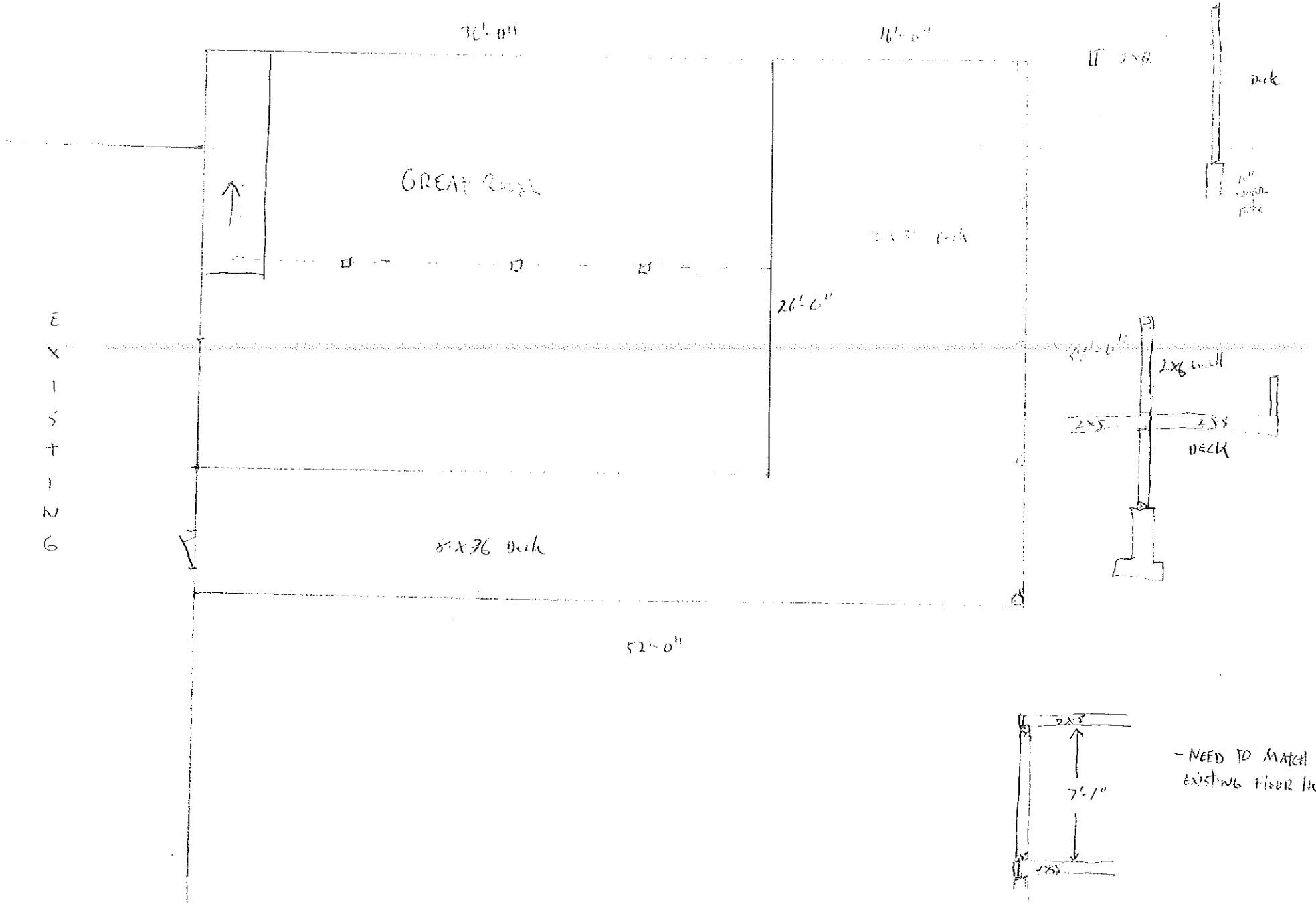
Signature of applicant: Paul A. Garand Date: 10/1/04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



- CATHEDRAL CEILING
- ROOF LINE TO MATCH existing BLDG, PERK, APPROX 29' OFF BACKSIDE

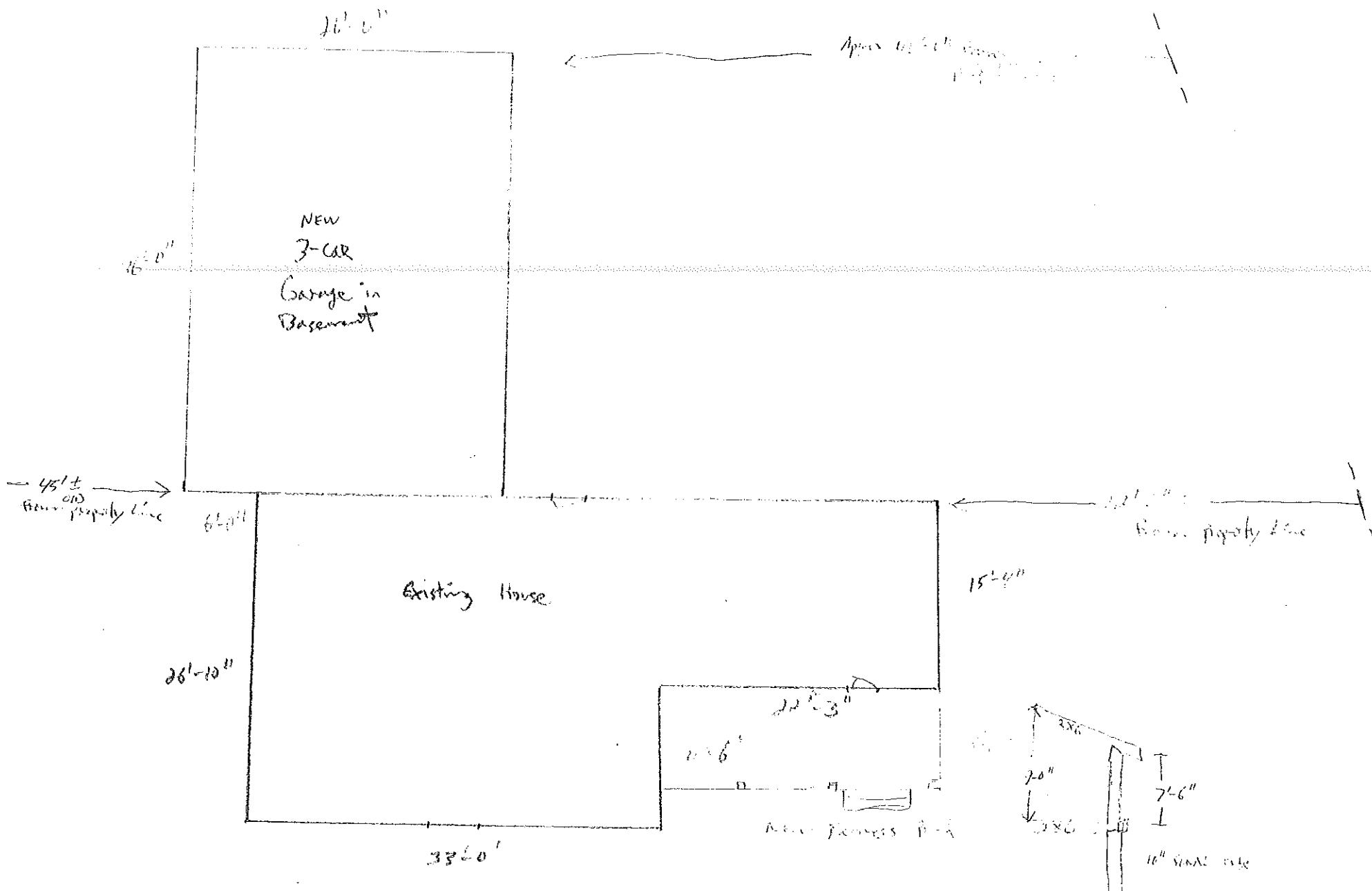
1/8" scale 2nd floor Plan



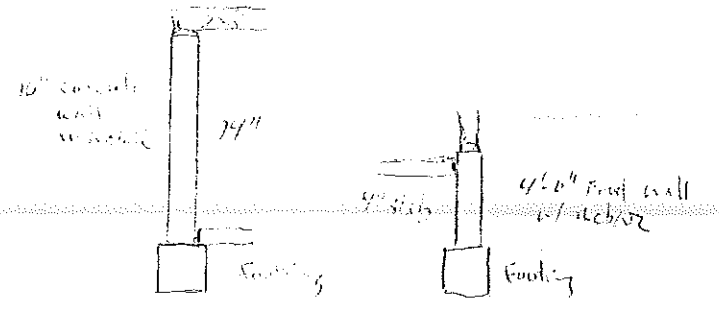
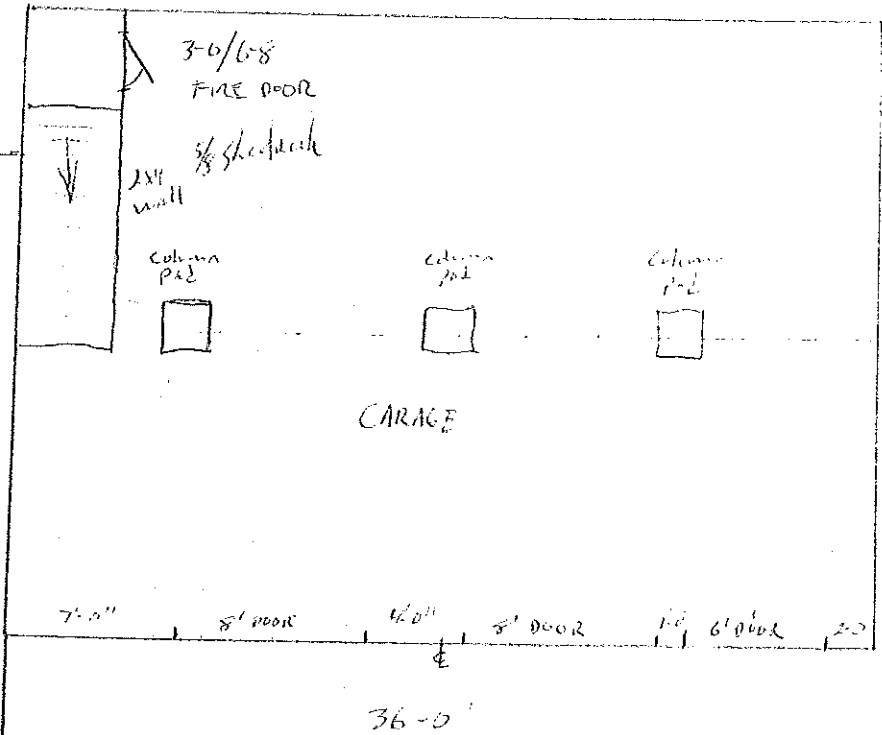
1/8" scale 1st Floor Plan

finement





3/32 scale



→ 2x8 Floor Joists 12" o.c.

26'-0"

1/8" scale Basement Plan

Delete Schedule Add Find Print Permit Print C of O Print Insp Invoicing Taxes

Pmt Text193 42820 Constr Type Num1 2

Permit Nbr 04-1569 Location of Construction 821 Ocean Ave Appl. Date

Status Hold Permit Type

CBL 422 8016001 District Nbr 4 Estimated Cost \$0.00 Issue Date

Date Closed

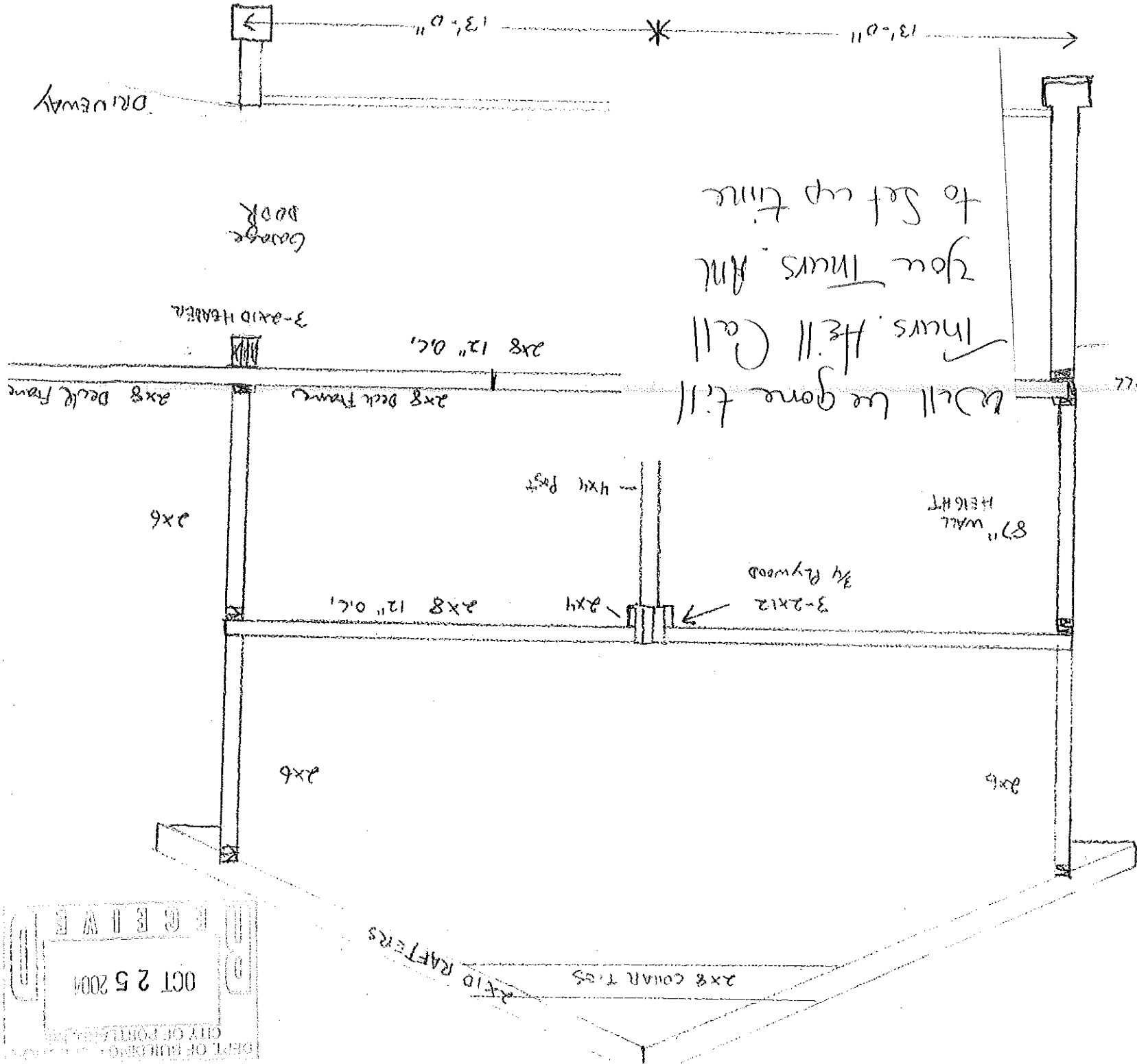
Comment Date Comment Add Delete Save

10/20/2004

called owner - drawings very inadequate. Need full set of plans.

Name Follow Up Date Completed

CreatedBy dmartin CreateDate 10/20/2004 ModBy hnm ModDate 10/20/2004



Well we gone fill
 Inurs. He'll call
 you Inurs. And
 to set up time

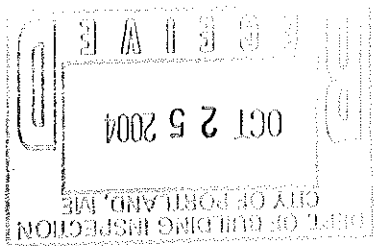
Rail Guard
 8 x 1 Ocean Ave

- Framing to Match
 Existing Floor Heights
 Determined in Field

- 2x8x8 Deck
 Cantilevered into
 Floor Framing

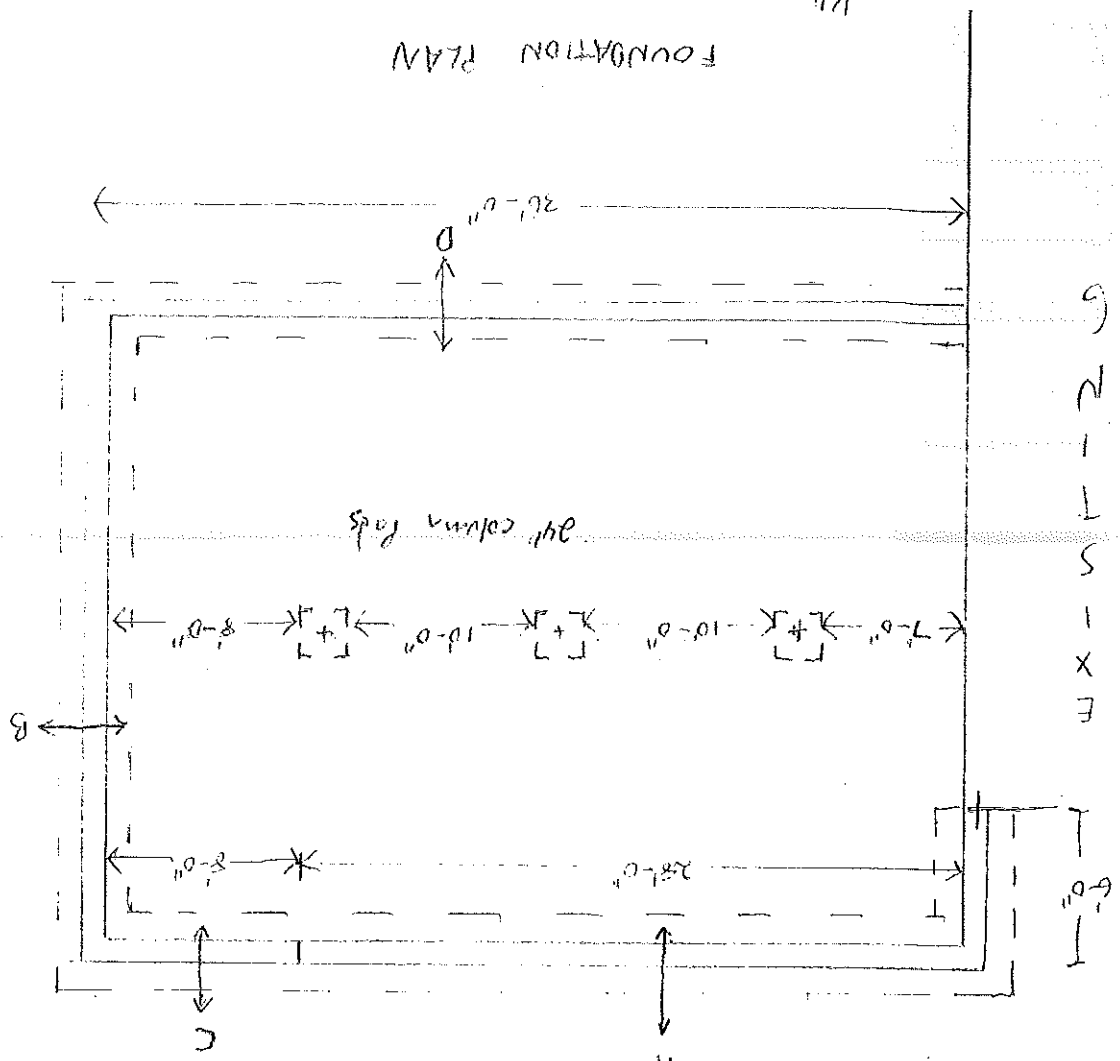
Notes

DEPT. OF BUILDINGS
 CITY OF PORTLAND
 OCT 25 2004
 REVIEW

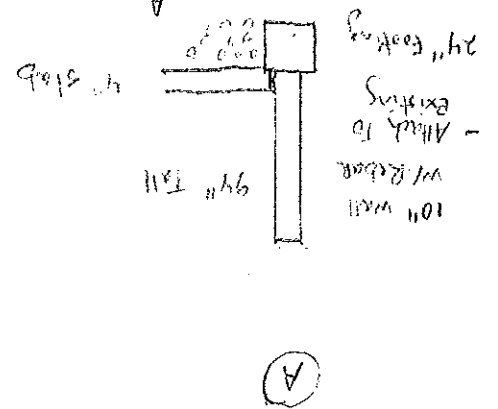
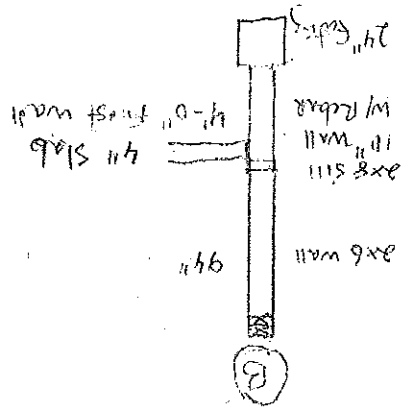
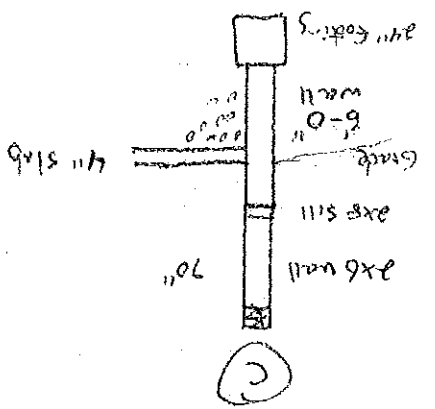
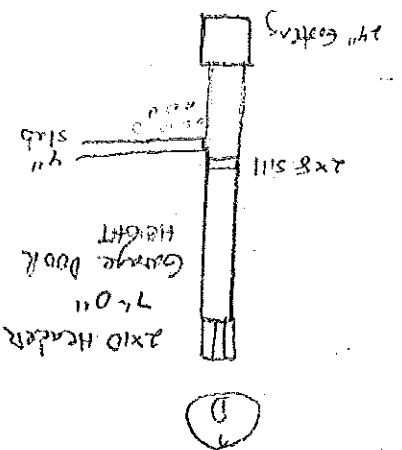


Fault Garand Ave
821 Ocean Ave

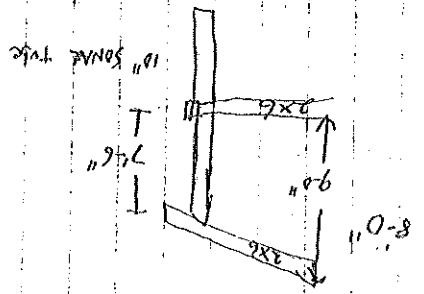
FOUNDATION PLAN
1/8" scale



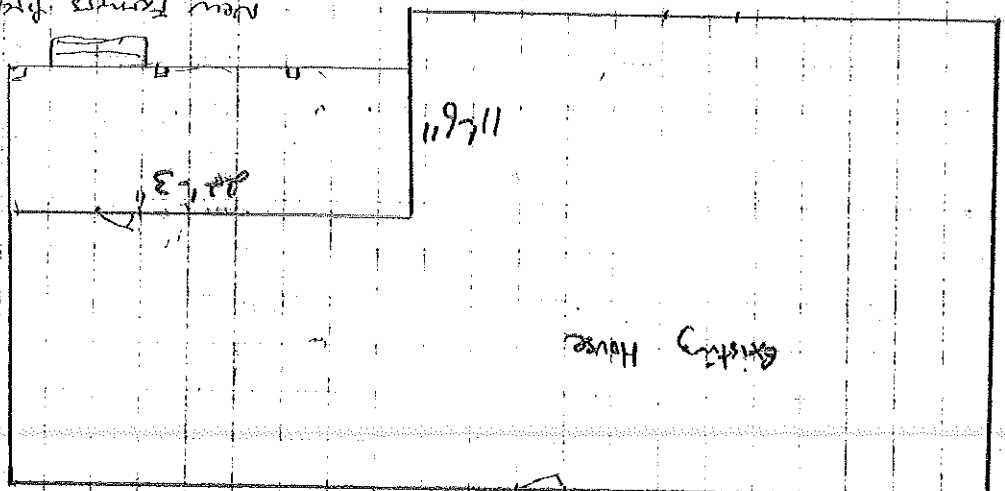
* Notes *
- Elevations to Match Existing Bldg.



3/32 scale



New front porch



Existing House

36'-0"

From Property Line
33'-0"

From Property Line
6'-0"
48' F 010

New
3-car
Garage in
Basement

36'-0"

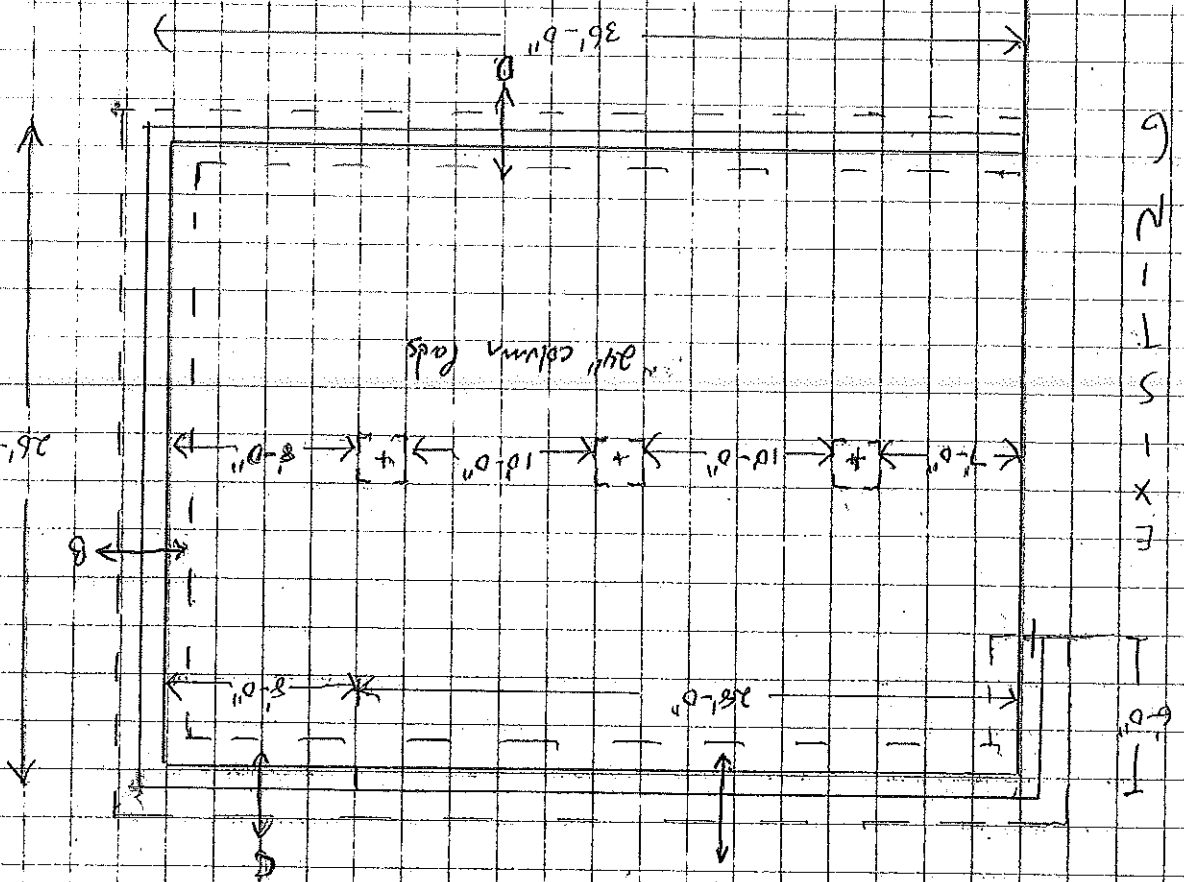
Approx 40'-0" from
Property Line

36'-0"

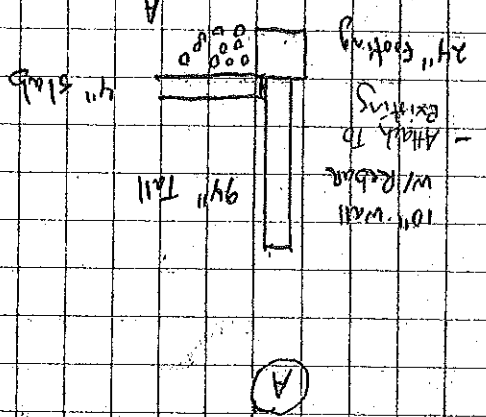
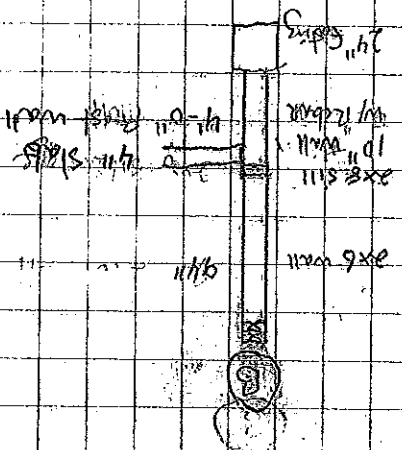
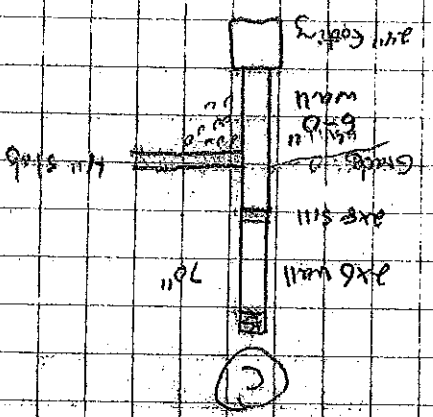
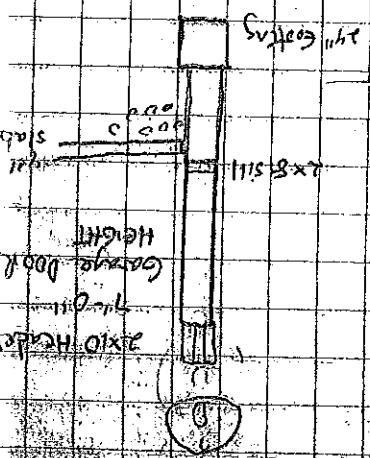
PAUL GARLAND
881 DEAN AVE

FOUNDATION PLAN

1/8" scale

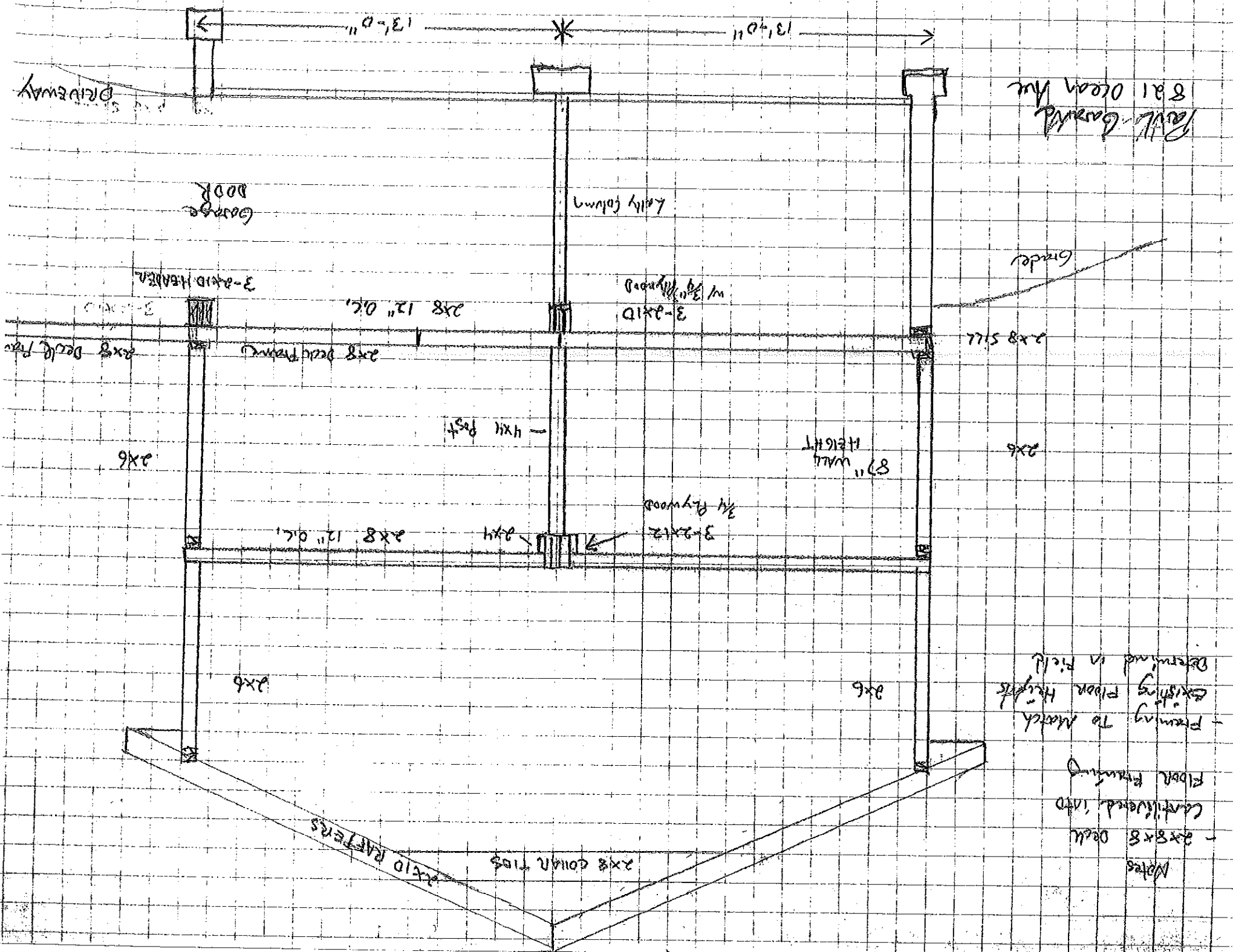


Notes #
- Elevations to Match Existing Bldg.



EXISTING

6'-0"



Notes
 - 2x8x8 Deck
 - Cantilevered into floor framing
 - Framing to match existing floor heights
 - Determine in field

1/8" scale 2nd floor plan

EXISTING WALL

MASTER BEDROOM

WALK IN CLOSET
w/ LOCK ABOVE

BATH
8'x12'

7'x12'

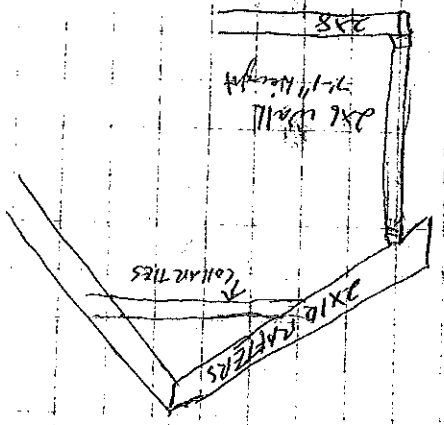
6'8"

8'6"

12'x12'
Deck

26'-0"

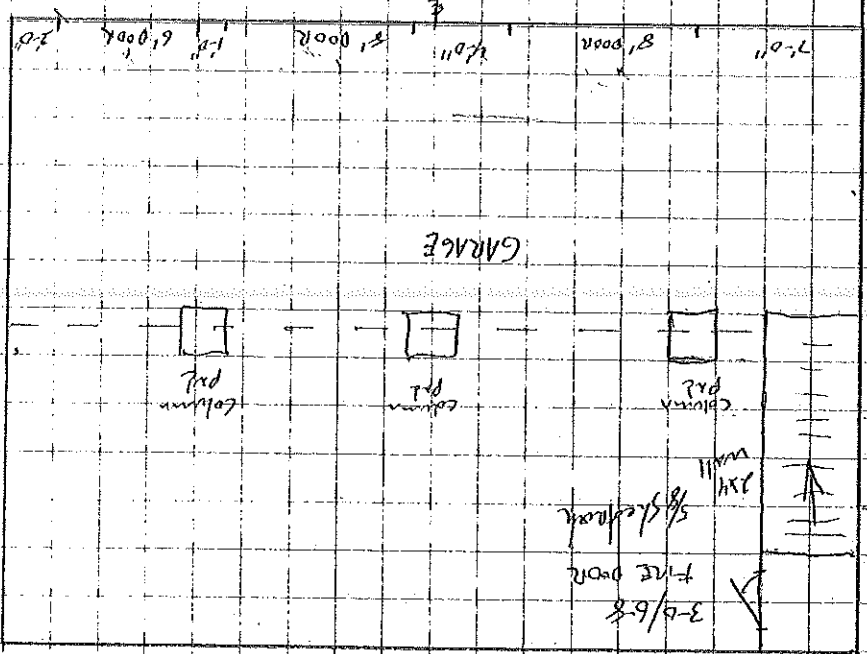
- CATHEDRAL CEILING
- ROOT LINE TO MATCH EXISTING BLDG. PERM.
- APPROX. 29' OCC. GRADE



Tanning & Furniture

1/8" Scale Basement Plan

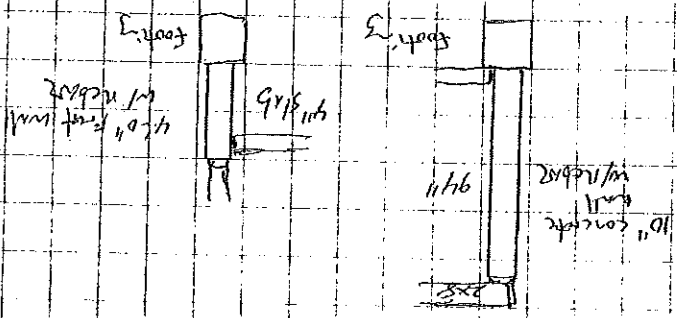
36'-0"



GARAGE

26'-0"

2x5 FLOOR JOISTS 12" o.c.



3'-0/6-8
FIRE DOOR
2X4
WALL
5/8\" steel mesh

Column
2nd

Column
1st

Column
2nd

Foot 3

Foot 3

9\" slab

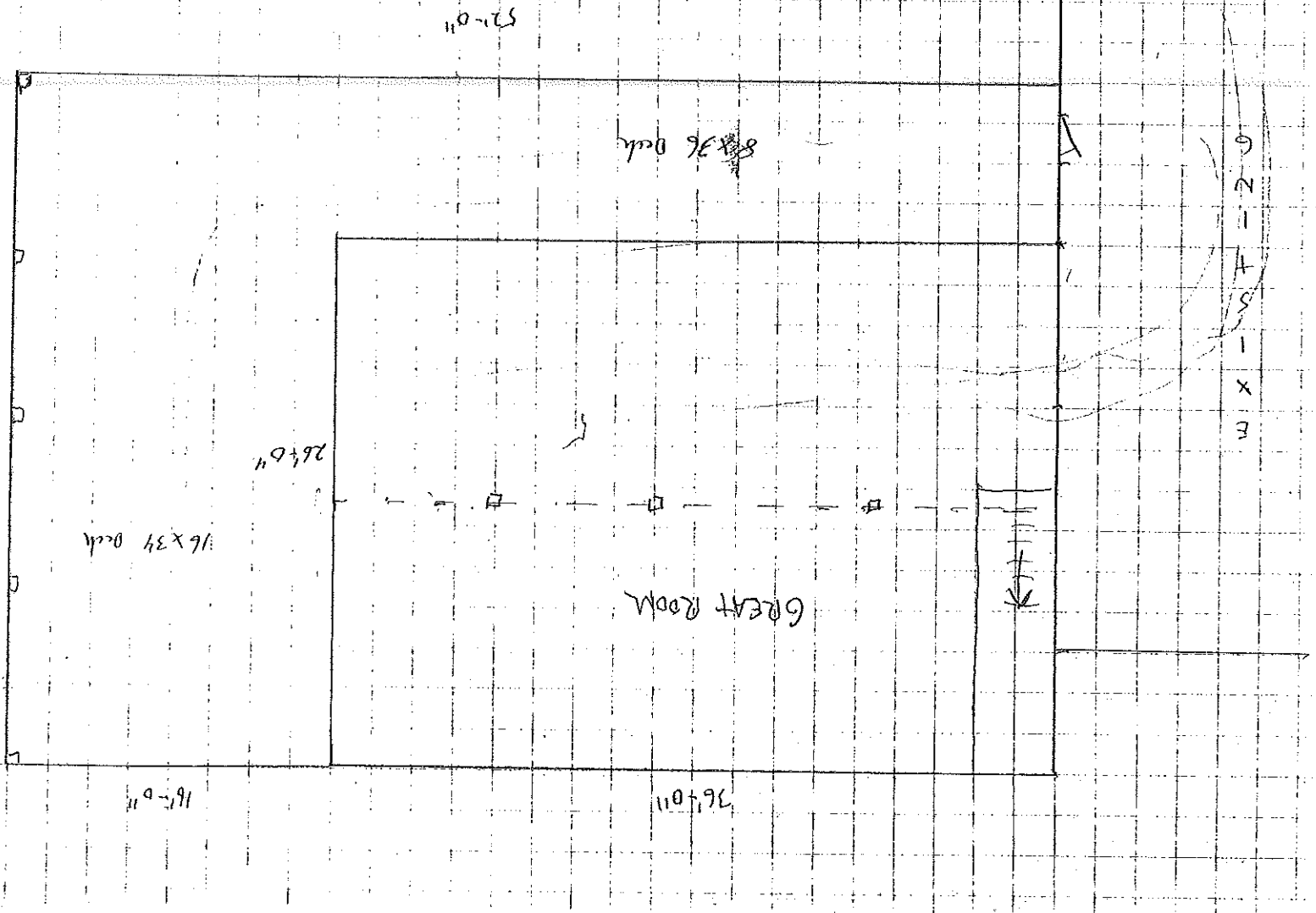
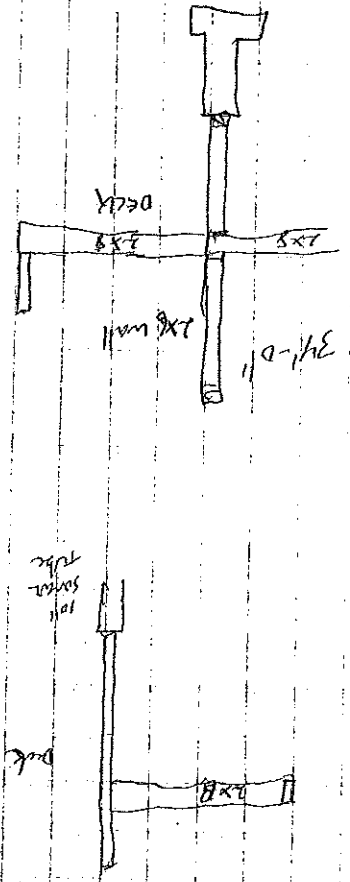
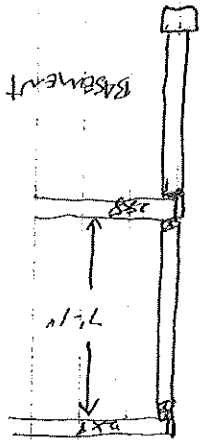
9\" slab

10\" concrete
wall
w/ rebar

4'-0\" foot wall
w/ mesh

1/8" Scale
1st Floor Plan

- NEED TO MATCH
EXISTING FLOOR HEIGHT.



821 Ocean Ave

Soil type/Presumptive Load Value (Table 401.4.1)		
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	B" x 16" - OK w/#4	
Foundation Drainage Damp proofing (Section 406)	N/A	
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
① Anchor Bolts/Straps (Section 403.1.4)	1/2" Max 6'-0" OC	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))		
② Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	Need engineering on steel + LVL'S	
Sill/Band Joist Type & Dimensions	2x6 PT shown - OK	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10'S - OK	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10'S - OK	

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8's - w/ Structural Ridge	
Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x10's - OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
③ Fastener Schedule (Table 602.3(1) & (2))	Not shown	
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside) YES		
④ Fire separation	Not noted	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	OK	
Egress Windows (Section 310)	Yes - door - OK	
Roof Covering (Chapter 9)	OK	
⑥ Safety Glazing (Section 308)	Need in 2 locations w/ 2' of doors	
⑦ Attic Access (BOCA 1211.1)	Not shown	
Draft Stopping around chimney	N/A	

①	Header Schedule	not shown	
	Type of Heating System	N/A	
	Stairs		
	Number of Stairways		
	Interior 1		
	Exterior 1		
⑨	Treads and Risers (Section 314)	Int - 10" Tr. - 7 3/8" Rise	Exterior stairs not noted
	Width	4' - OK	
	Headroom	15' - OK	
	Guardrails and Handrails (Section 315)	36" w/ balusters 4" - OK	
⑩	Smoke Detectors Location and type/Interconnected	Not shown	
	Plan Reviewer Signature		

See Chimney Summary Checklist

① Steel Beam engineered + must be posted all the way down to the foundation

② LVL sizes

③ 12" Tubes must be 48" below grade -

④ 3rd floor deck detail

<input type="button" value="Delete"/>	<input type="button" value="Schedule"/>	<input type="button" value="Add"/>	<input type="button" value="End"/>	<input type="button" value="Print Permit"/>	<input type="button" value="Print C of O"/>	<input type="button" value="Print Insp"/>	<input type="button" value="Invoicing"/>	<input type="button" value="Toes Due"/>	<input type="button" value="Close"/>									
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Permit Nbr	<input type="text" value="04-1569"/>	Location of Construction	<input type="text" value="821"/>	<input type="text" value="Ocean Ave"/>	Appl. Date	<input type="text" value="10/20/2004"/>	Status	<input type="text" value="Hold"/>	Permit Type	<input type="text" value="Alterations - Dwellings"/>	Estimated Cost	<input type="text" value="\$0.00"/>	Date Closed	<input type="text" value=""/>				
CBL	<input type="text" value="422 B016001"/>	District Nbr	<input type="text" value="4"/>															
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<input type="button" value="Add"/>	<input type="button" value="Del"/>	<input type="button" value="Save"/>	<input type="button" value="Print"/>															
Comment Date	<input type="text" value="10/28/2004"/>	Comment																
Name	<input type="text" value="lmm"/>	Follow Up Date	<input type="text" value=""/>	Completed	<input type="checkbox"/>													
		met w/owner at counter - did a prellimary review - and went over all required info.																
Name	<input type="text" value="lmm"/>	Follow Up Date	<input type="text" value=""/>	Completed	<input type="checkbox"/>													
		called owner - drawings very inadequate. Need full set of plans.																
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		called owner - drawings very inadequate. Need full set of plans.																

821 Ocean Ave

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(I)), Section 403.1.2)		8" x 16" - OK W/# 4	
Foundation Drainage Damp proofing (Section 406)		N/A	
Ventilation (Section 409.1) Crawls Space ONLY		N/A	
Anchor Bolts/Straps (Section 403.1.4)		1/2" Max 6'-0" OC N/A	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))			
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))			Need engineering on steel & LVL'S - plans
Sill/Band Joist Type & Dimensions First Floor Joist Species Dimensions and Spacing (Table 503.3.1(I) & Table 503.3.2(I))			2x6 RT shown - OK
Second Floor Joist Species Dimensions and Spacing (Table 503.3.1(I) & Table 503.3.2(I))			2x10'S - OK
Second Floor Joist Species Dimensions and Spacing (Table 503.3.1(I) & Table 503.3.2(I))			2x10'S - OK

438

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8's - w/ Structural Ridge	
Roof Rafter Pitch, Span, Spacing & Dimensions (Table 802.3.2(7))	2x10's - OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	Not shown - OK garage copy	
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside) Fire separation Fire rating of doors to living space	Not noted	to be 5/8" F.C. on all walls & ceilings
Door Sill elevation (407.5 BOCA) Egress Windows (Section 310)	OK	
Roof Covering (Chapter 9)	Yes - door - OK	
Safety Glazing (Section 308)	OK	
Attic Access (BOCA 1211.1)	Not shown	None - All open
Draft Stopping around chimney	N/A	Need 2 locations w/ 2' of doors a.k.a. otherwise more windows

See Chimney Summary Checklist

Header Schedule	Type of Heating System	Stairs Number of Stairways Interior / Exterior	Treads and Risers (Section 314) Width Headroom	Guadrails and Handrails (Section 315)	Smoke Detectors Location and type/interconnected	Plan Reviewer Signature
not shown	n/a	Interior / Exterior Number of Stairways	10" Tr. - Int - 7 3/8" Rise 4'-0" W 15'-0"	3" w/ ballusters OK	Not shown	Plan Reviewer Signature
triple 2x10s or 2x12s as shown - on stamped plans					one on each floor - OK with a 10' of entry - interconnected Mect's code	

Exterior stairs -
Not noted
Same as interior
Will meet code -
OK

Steel Beam engineered + must be posted all the way down to the stamped plans foundation

2nd floor deck detail
same as 1st floor

12" tubes must be 48" below grade -
OK

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	04-1569	Date Applied For:	10/20/2004	CBL:	422 B016001
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Location of Construction:	821 Ocean Ave	Owner Name:	Garand Susan E &	Owner Address:	821 Ocean Ave	Phone:	
Business Name:		Contractor Name:	Owner	Contractor Address:	Portland	Phone:	
Lessee/Buyer's Name:		Phone:		Permit Type:	Alterations - Dwellings		

Proposed Use:	Single Family 26x36 2 story garage w/ second floor. 2 story deck to wrap garage.	Proposed Project Description:	build 26x36 interior non-bearing wall w/ a 8x36 & 16x34 two story deck to wrap the garage.
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Dept: Zoning Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 12/28/2004

Note: Ok to Issue:

1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 12/28/2004

Note: Ok to Issue:

1) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.

2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

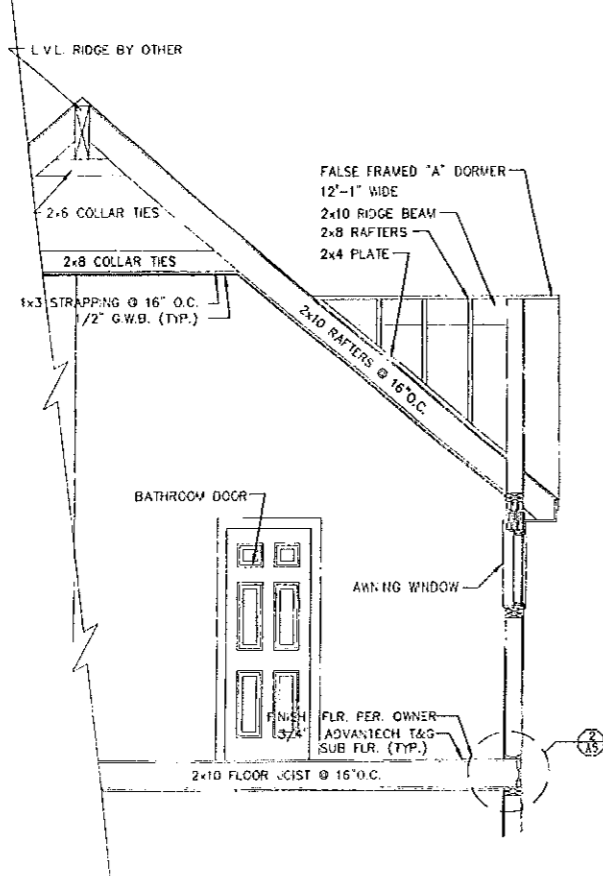
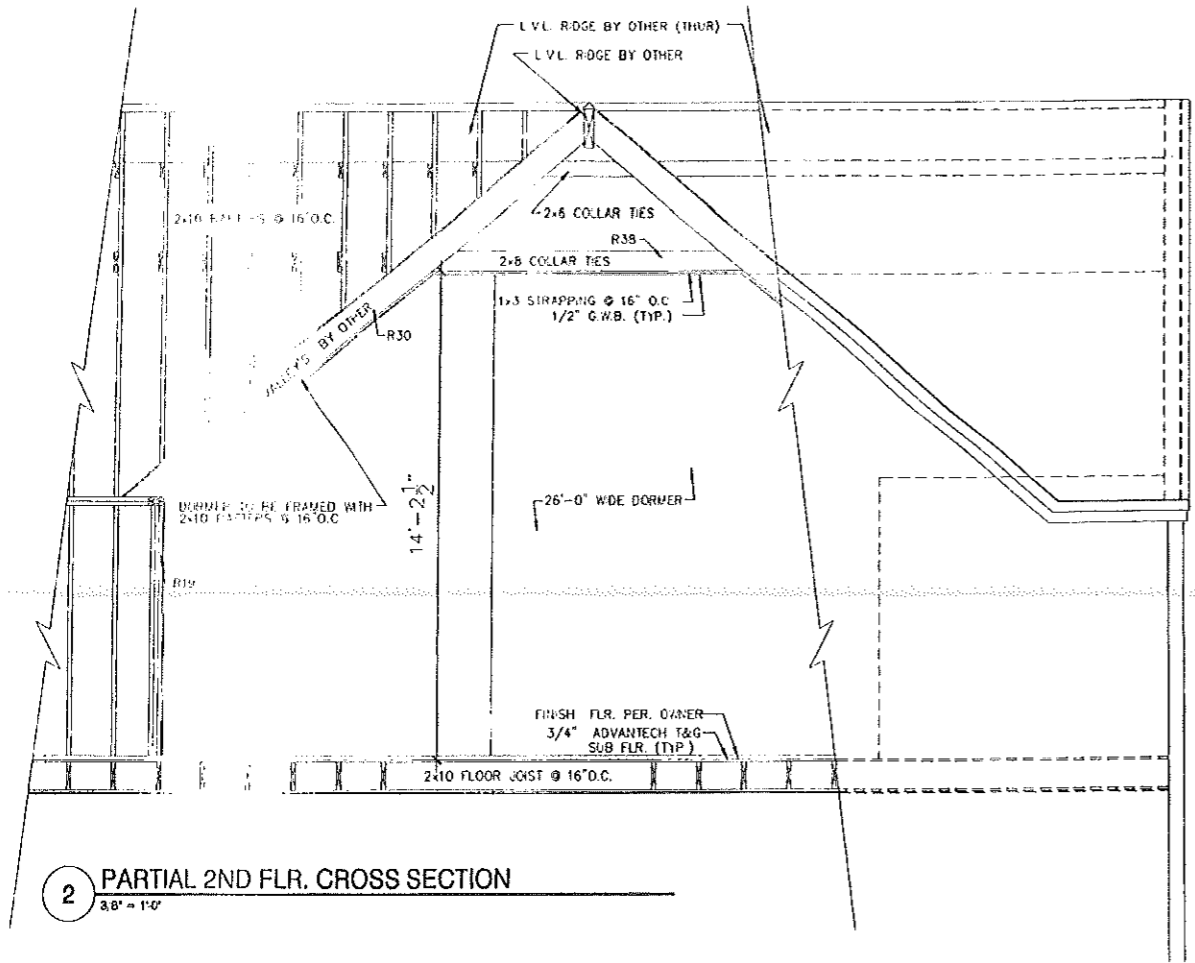
3) Separate permits are required for any electrical, plumbing, or heating.

Comments:

12/28/04-tmm: rec'd all req. info - ok to issue.

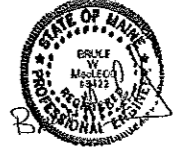
10/20/04-tmm: called owner - drawings very inadequate. Need full set of plans.

10/28/04-tmm: met w/owner at counter - did a preliminary review and went over all required info.

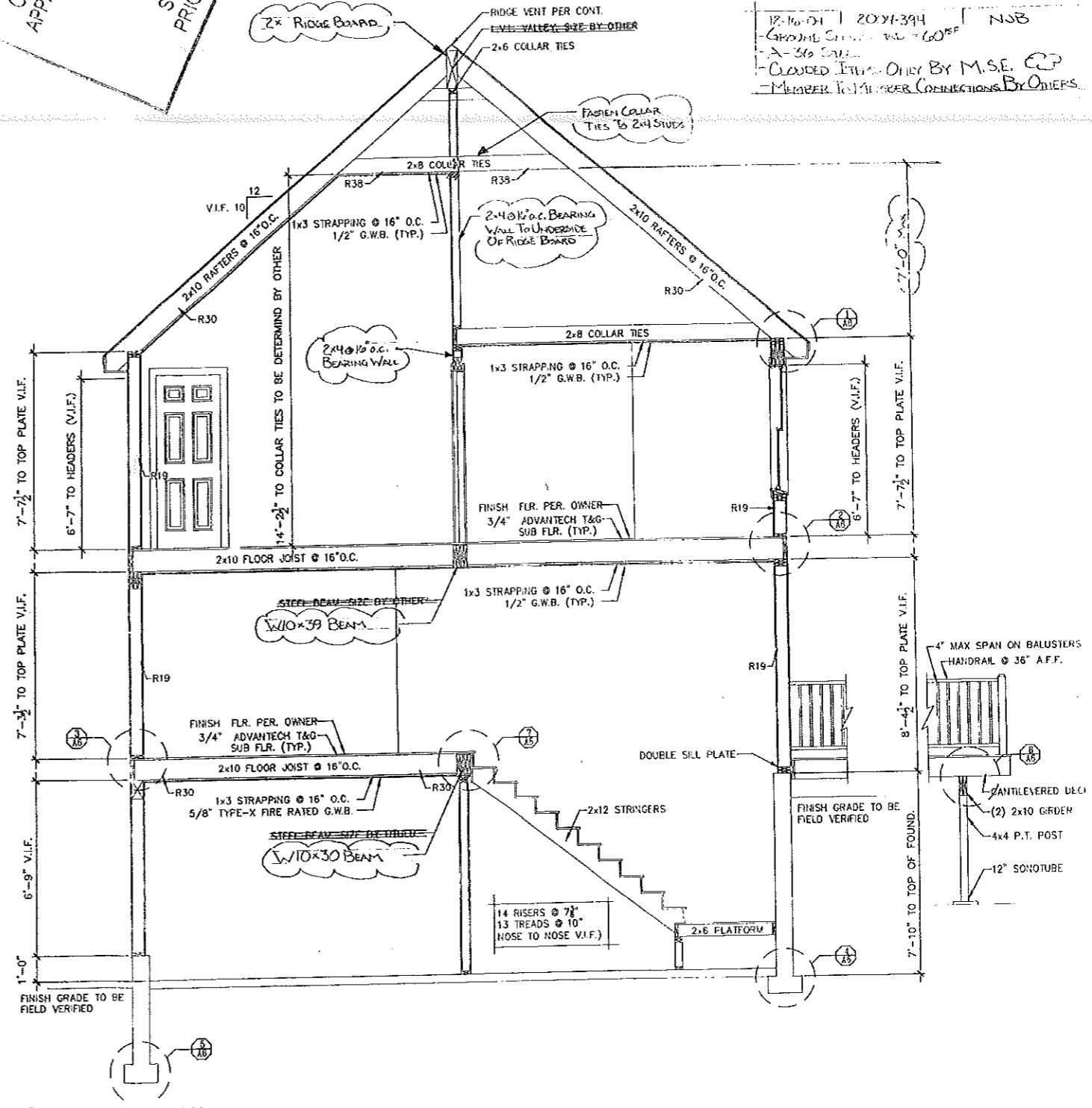


CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
DEC 20 2004
SUPERSEDES ALL
PRIOR DATED PLANS

RECEIVED
DEC 23 2004
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME



12-16-04 | 2004-394 | NSB
GROUND SURFACE = 60'±
2-36 SILL
CLOUDED ITEMS ONLY BY M.S.E. CP
MEMBER FOR MEMBER CONNECTIONS BY OTHERS.



NOTE:
THESE DRAWINGS ARE PROVIDED FOR INFORMATION ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR LOCAL CITY, STATE AND FEDERAL REGULATIONS, PERMITS, FEES, CHARGES, ETC. AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



MAINE HOME
DRAFTING SERVICE
INC.
P.O. BOX 4512
PORTLAND, MAINE 040
(207) 831-1844 Tel

PROJECT NAME
GARAND
RESIDENCE

PROJECT LOCATION
821 OCEAN AVE
PORTLAND, ME.

BUILT BY

SHEET NAME
CROSS
SECTION

ALL RIGHTS RESERVED
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THE PROPERTY OF MAINE HOME
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AND PLANS SHALL BE USED BY ANYONE
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PERMISSION OF MAINE HOME DRAFTING.

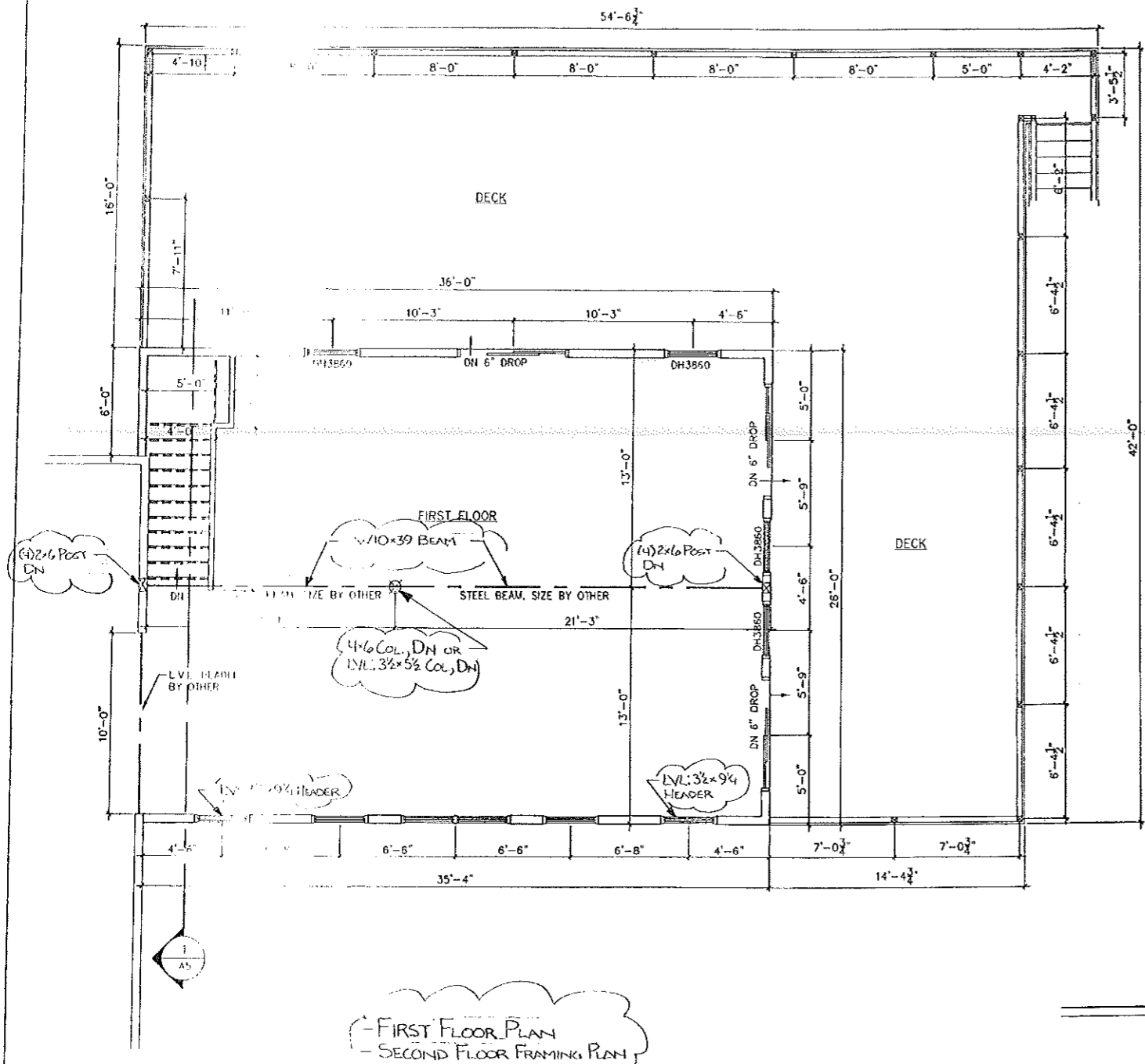
DRAWN BY: M
CHECKED BY: M
SCALE: AS-
DATE: 11/30
FILE NUMBER 04-
REVISIONS:

A-5

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
DEC 28 2004
SUPERSEDES ALL
PRIOR DATED PLANS

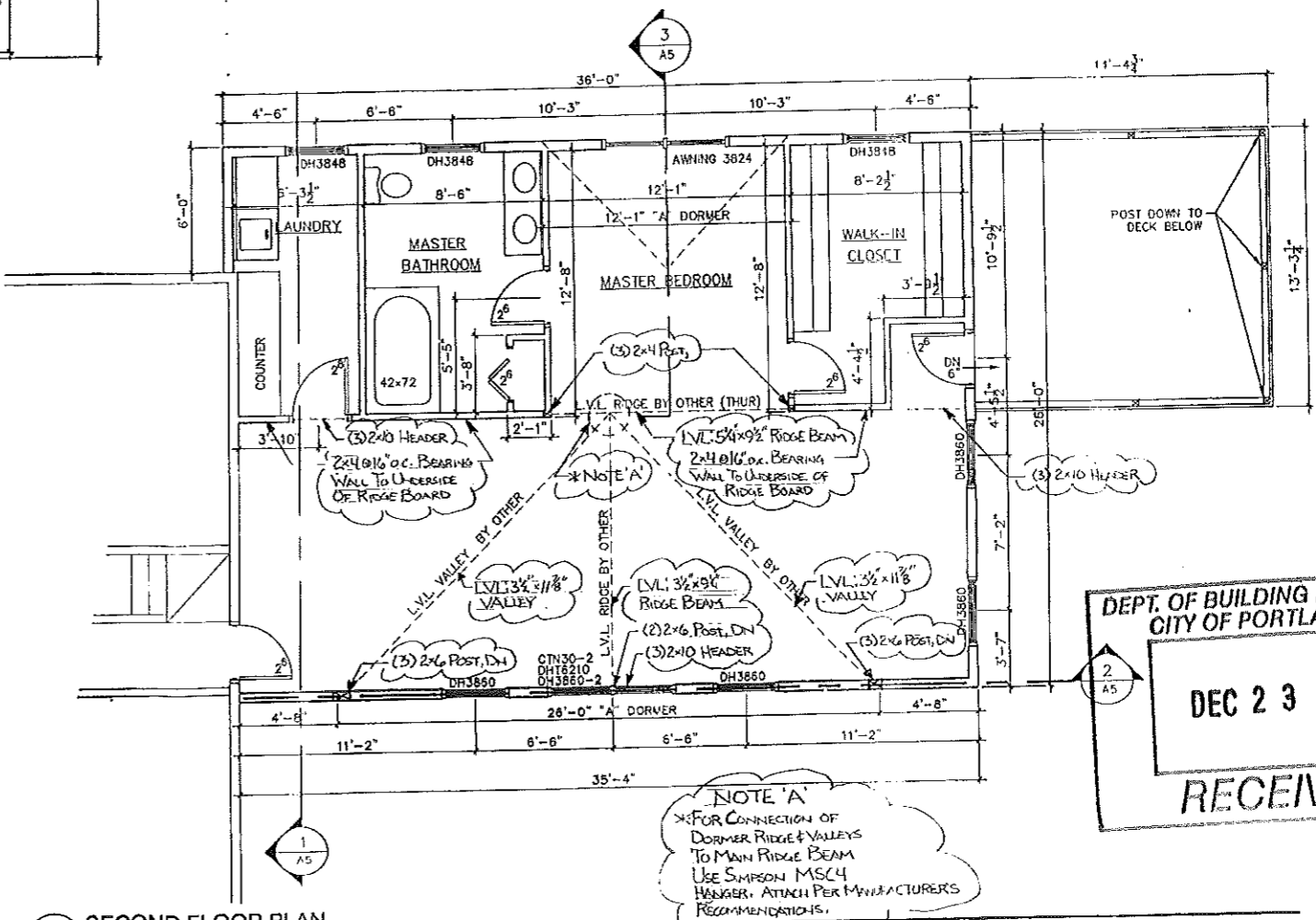


12/16/04 2004-394 NSB
- Ground Snow Load = 60 psf
- A-36 Steel
- Clouded Items Only By M.S.E.
- Member To Member Connections By Others



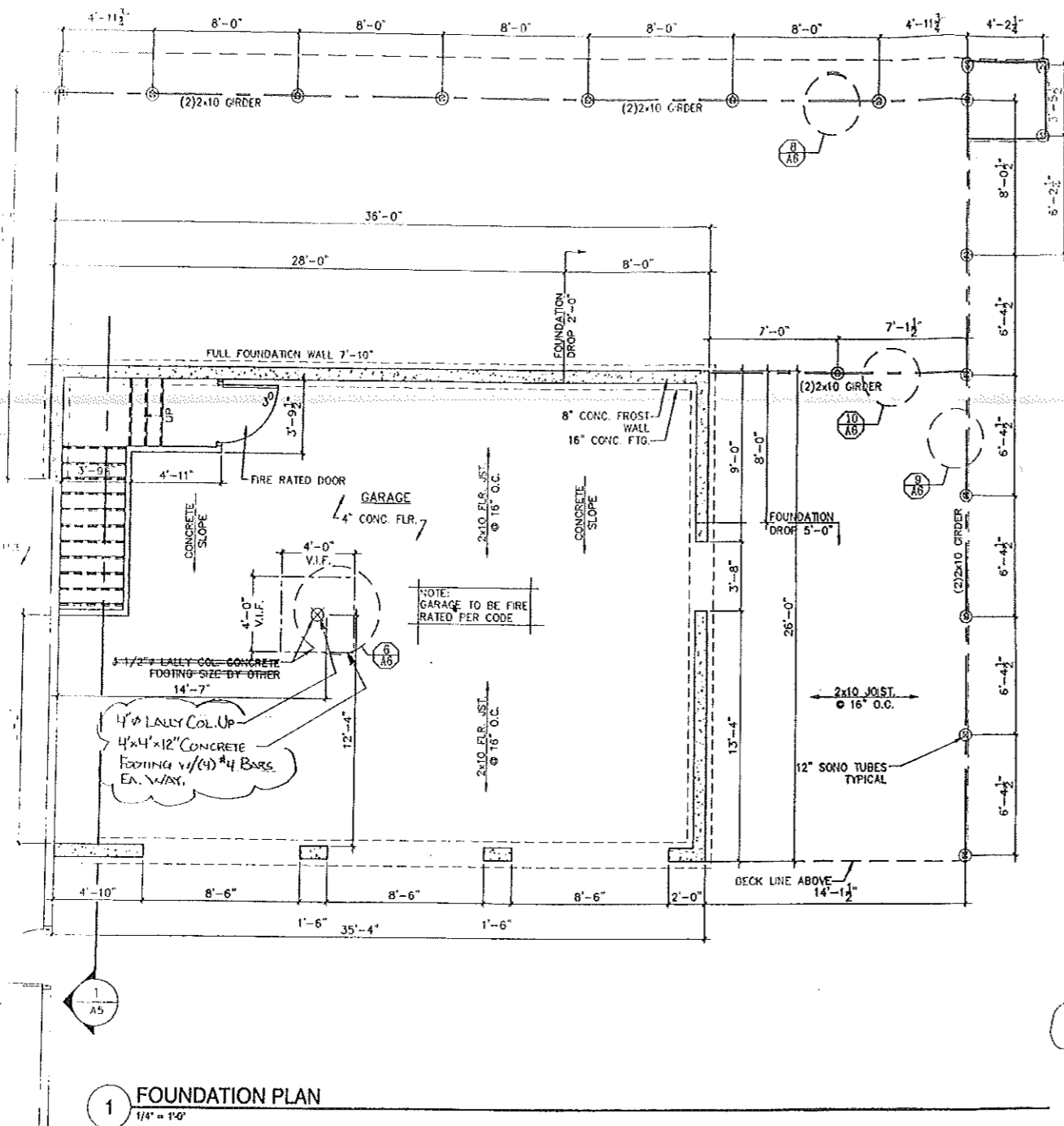
1 FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:
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HELD LIABLE FOR ANY ERRORS TO THE DRAWINGS AND/OR FOR ANY CONSTRUCTION.



2 SECOND FLOOR PLAN
1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 23 2004
RECEIVED



1 FOUNDATION PLAN
1/4" = 1'-0"

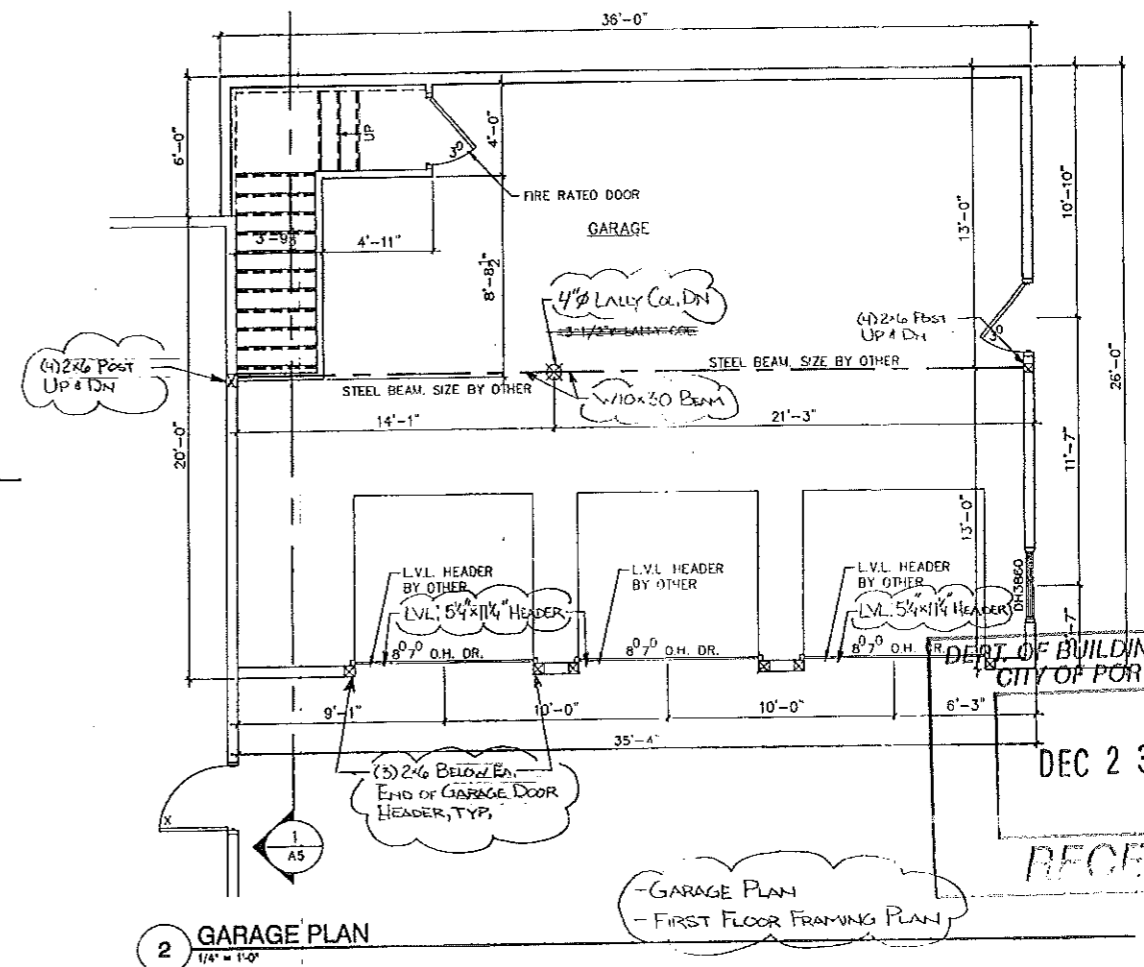
CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

DEC 28 2004

SUPERSEDES ALL
PRIOR DATED PLANS



12-16-04 | 2004-394 | NSB
GROUND SHOW LOAD = 60 PSF
A-36 STEEL
CLOUDED ITEMS ONLY BY M.S.E.
MEMBER TO MAJOR CONNECTIONS BY OTHERS.



2 GARAGE PLAN
1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

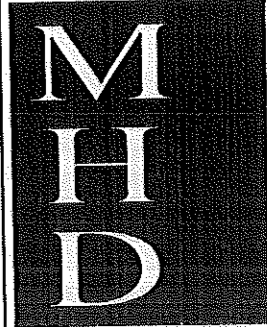
DEC 23 2004

RECEIVED

- GARAGE PLAN
- FIRST FLOOR FRAMING PLAN

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CLIENT _____
CLIENT _____



MAINE HOME
DRAFTING SERVICES
INC.
P.O. BOX 4512
PORTLAND, MAINE 04039
(207) 831-1844 Tel

PROJECT NAME

GARAND
RESIDENCE

PROJECT LOCATION

821 OCEAN AVE.
PORTLAND, ME.

BUILT BY

SHEET NAME

ELEVATIONS

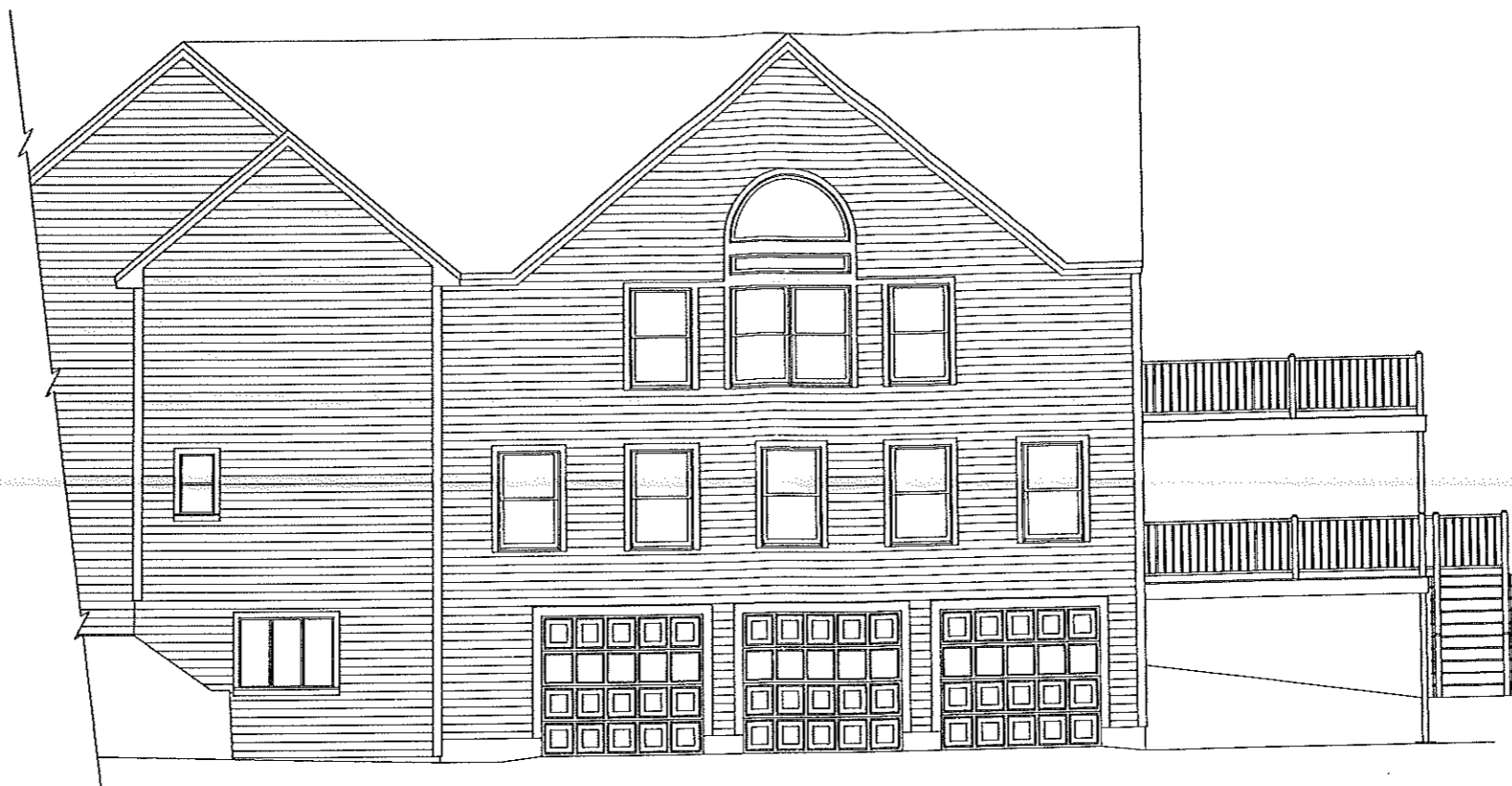
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DRAWN BY: M.P.C.
CHECKED BY: M.P.C.

SCALE: AS-NOTED
DATE: 11/30/2004
FILE NUMBER 04-0076
REVISIONS:



A-1

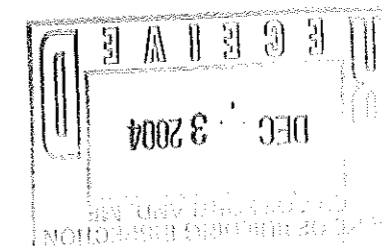


1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

NOTE:
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821 Ocean Ave

CLIENT _____

CLIENT _____



1 REAR ELEVATION
1/4" = 1'-0"

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MAINE HOME
 DRAFTING SERVICES
 INC.
 P.O. BOX 4512
 PORTLAND, MAINE 04039
 (207) 831-1844 Tel

PROJECT NAME

GARAND
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DRAWN BY: M.P.C.
 CHECKED BY: M.P.C.

SCALE: AS-NOTED
 DATE: 11/30/2004
 FILE NUMBER 04-0076
 REVISIONS:

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CLIENT _____
 CLIENT _____

A-2

PROJECT NAME

**GARAND
RESIDENCE**

PROJECT LOCATION

821 OCEAN AVE.
PORTLAND, ME.

BUILT BY

SHEET NAME

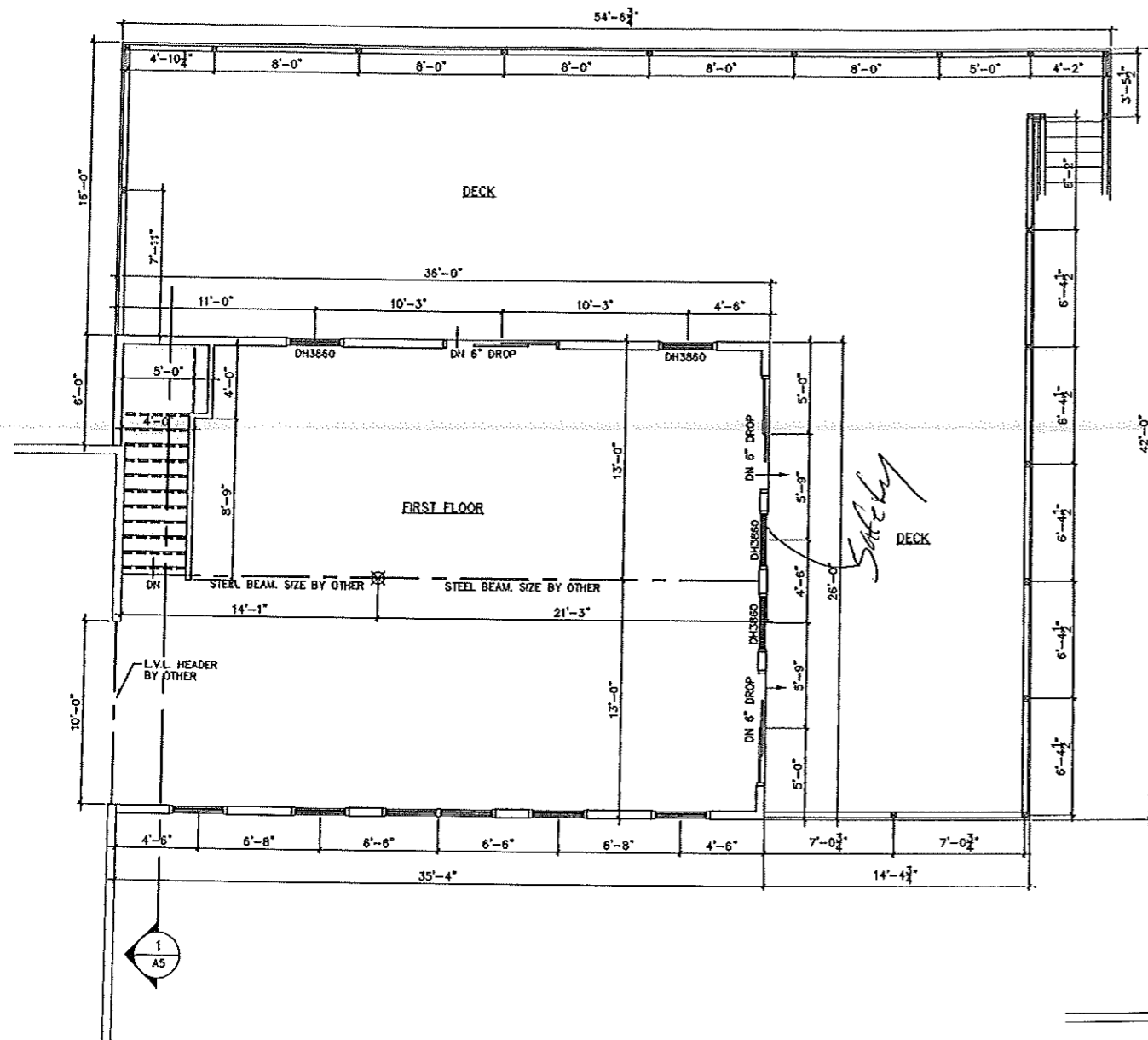
**FIRST &
SECOND
FLOOR PLAN**

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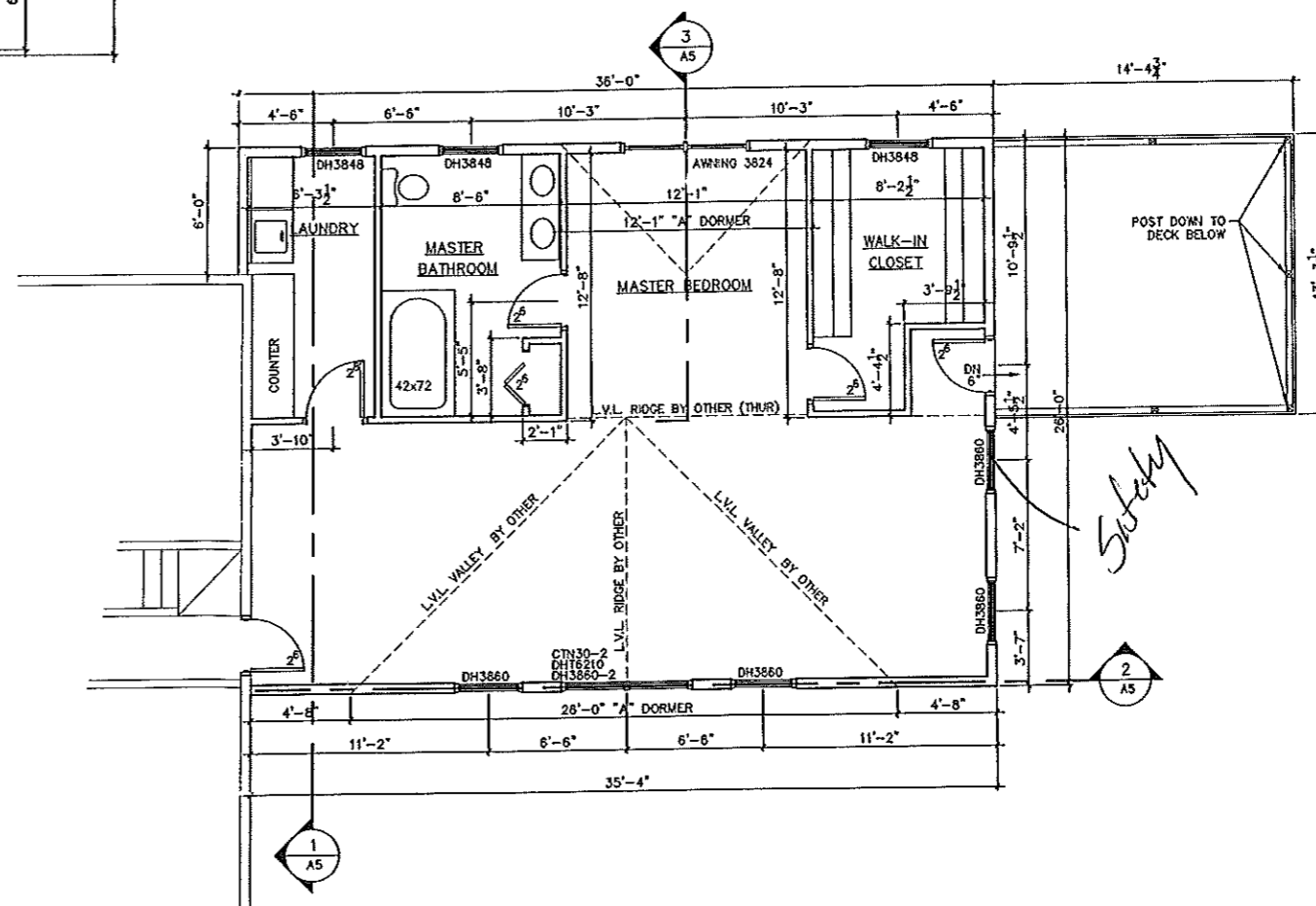
DRAWN BY: M.P.C.
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SCALE: AS-NOTED
DATE: 11/30/2004
FILE NUMBER 04-0076
REVISIONS:

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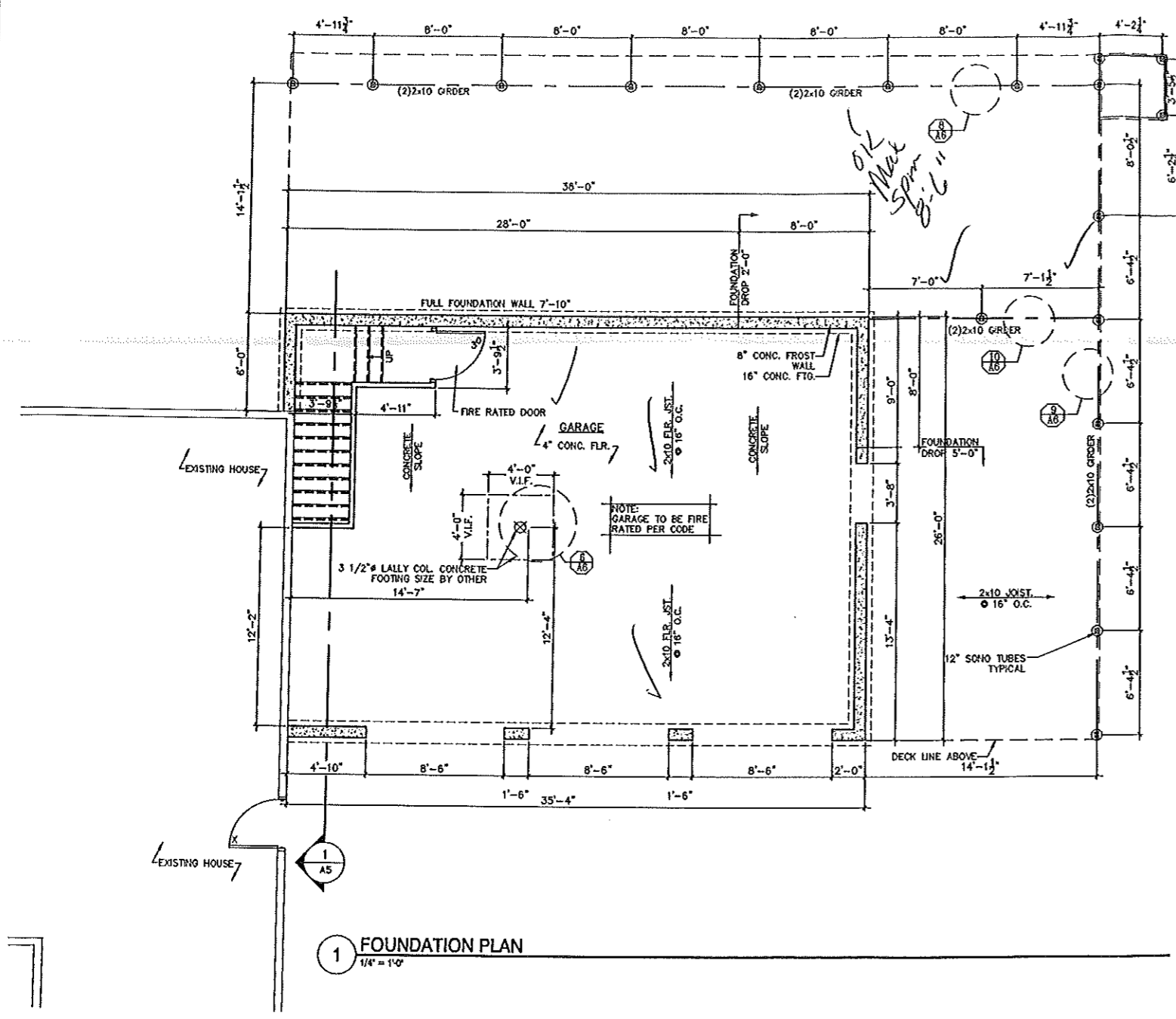


1 FIRST FLOOR PLAN
1/4" = 1'-0"

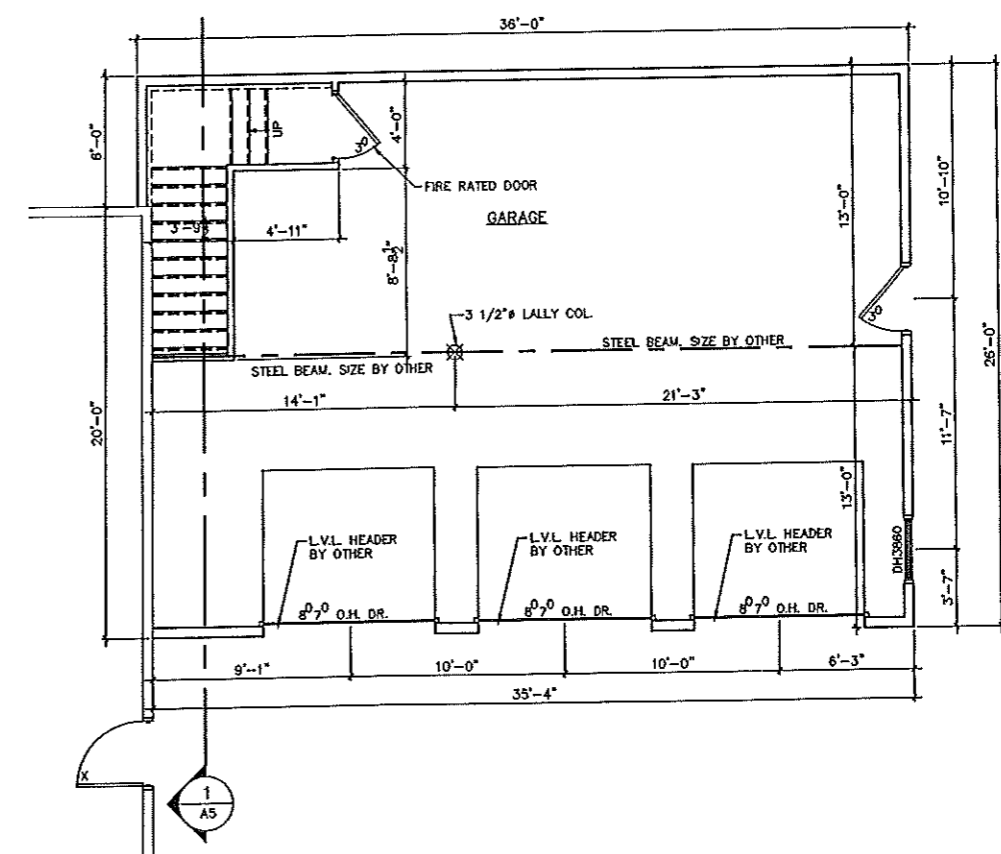


2 SECOND FLOOR PLAN
1/4" = 1'-0"

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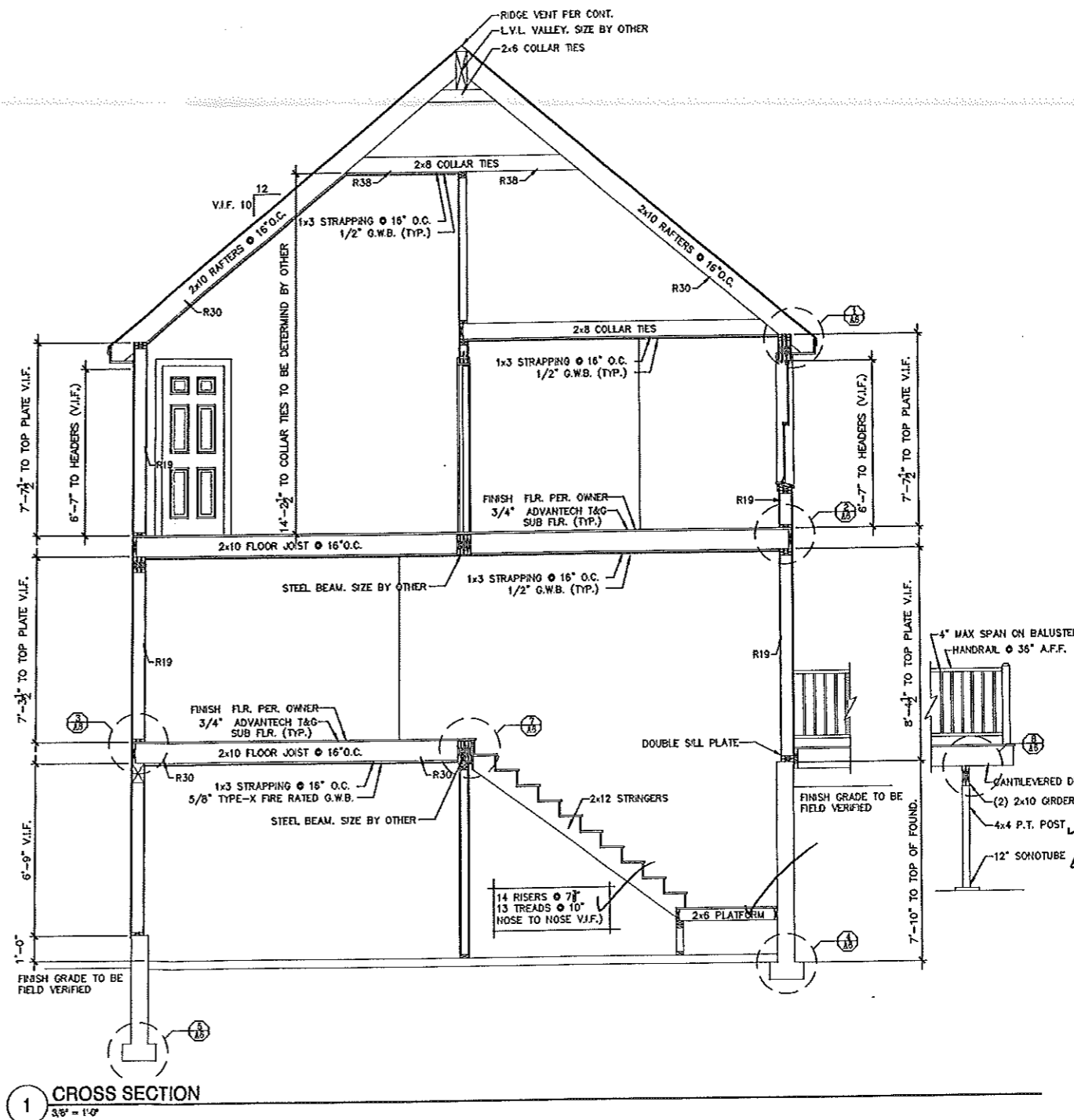
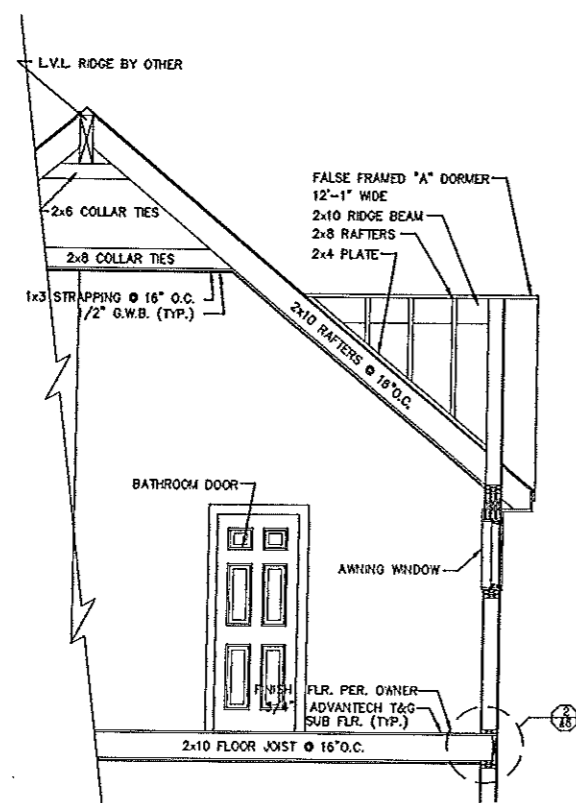
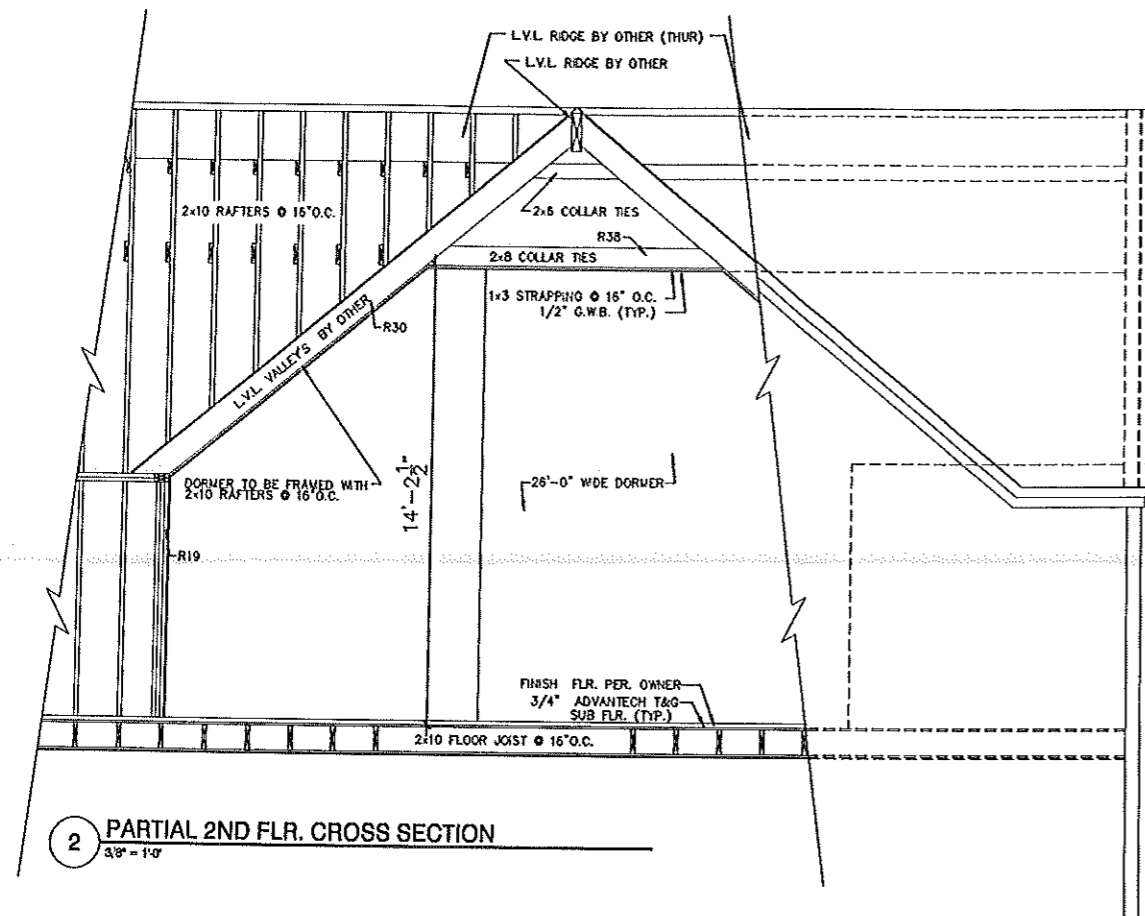
1 FOUNDATION PLAN
1/4" = 1'-0"



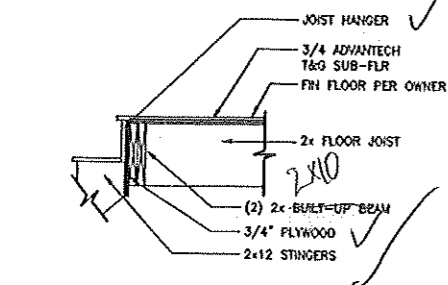
2 GARAGE PLAN
1/4" = 1'-0"

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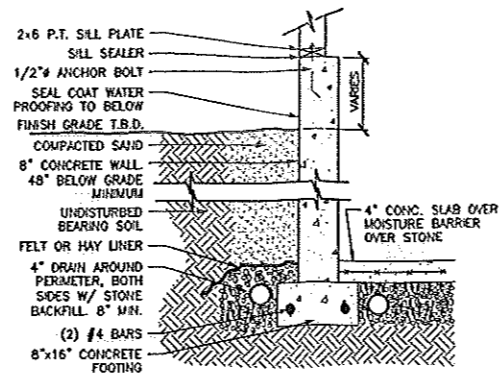
CLIENT _____
CLIENT _____



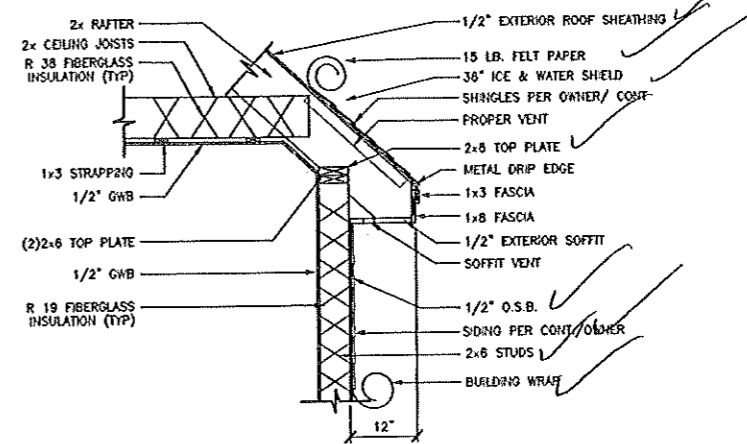
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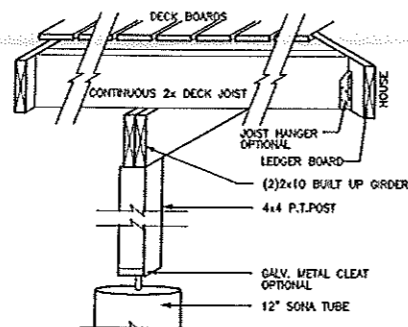
7 STAIR ATTACHMENT DETAIL
A8 3/4" = 1'-0"



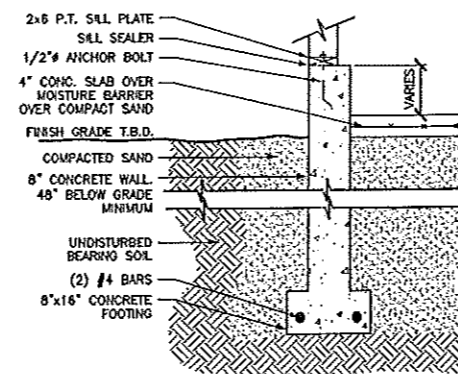
4 SLAB & FROST WALL DETAIL
A8 3/4" = 1'-0"



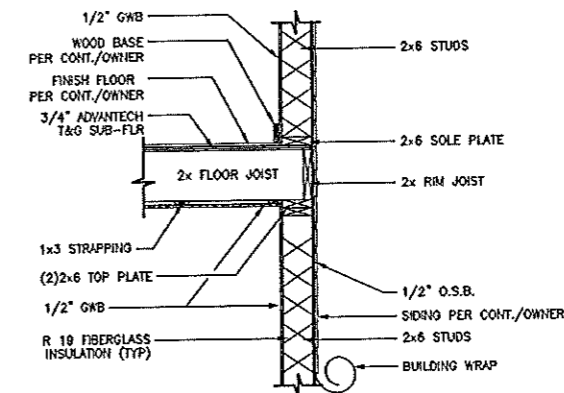
1 SOFFIT DETAIL
A8 3/4" = 1'-0"



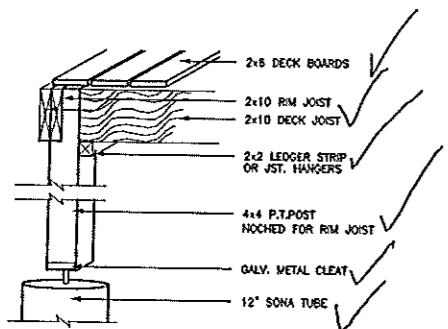
8 DECK DETAIL
A6 N.T.S.



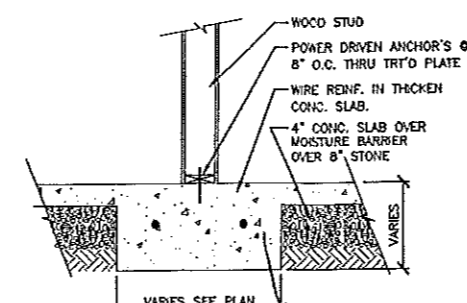
5 SLAB & FROST WALL @ GARAGE
A8 3/4" = 1'-0"



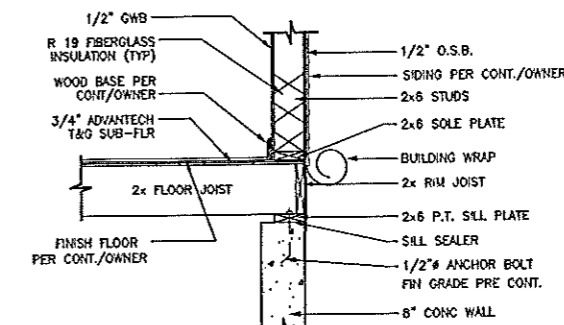
2 EXTERIOR WALL DETAIL
A8 3/4" = 1'-0"



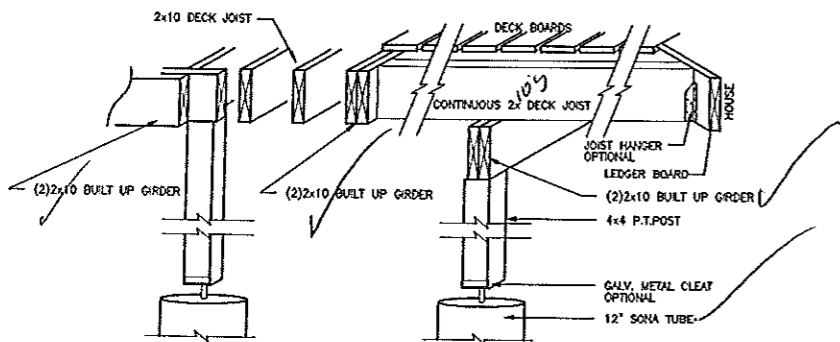
9 DECK/FARMER PORCH DETAIL
A6 N.T.S.



6 THICKEN SLAB DETAIL
A8 3/4" = 1'-0"



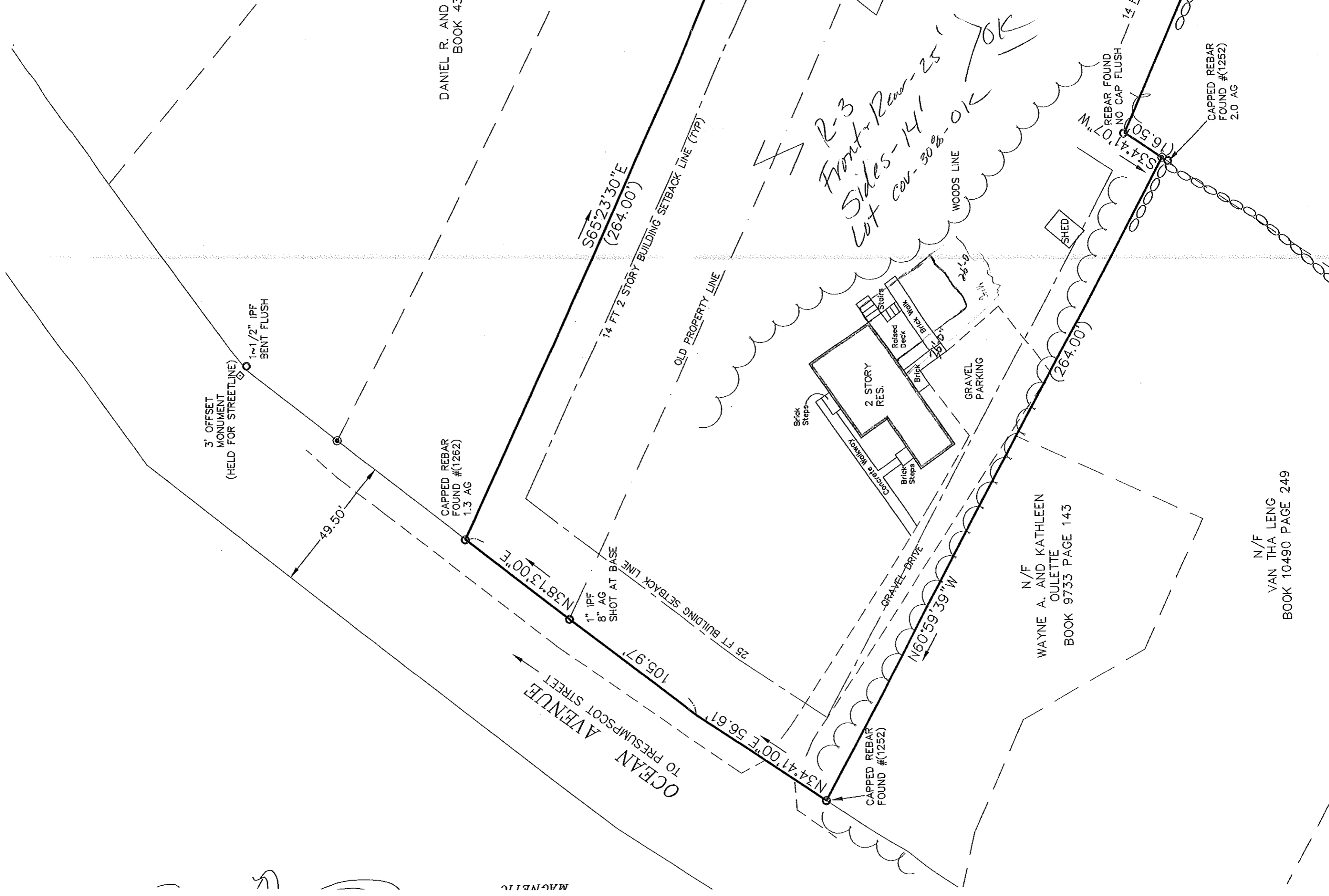
3 WALL BASE DETAIL
A8 3/4" = 1'-0"



10 DECK DETAIL
A6 N.T.S.

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27" x 27"



DANIEL R. AND I
BOOK 43

N/F
WAYNE A. AND KATHLEEN
OULETTE
BOOK 9733 PAGE 143

N/F
VAN THA LENG
BOOK 10490 PAGE 249

MAGNETIC