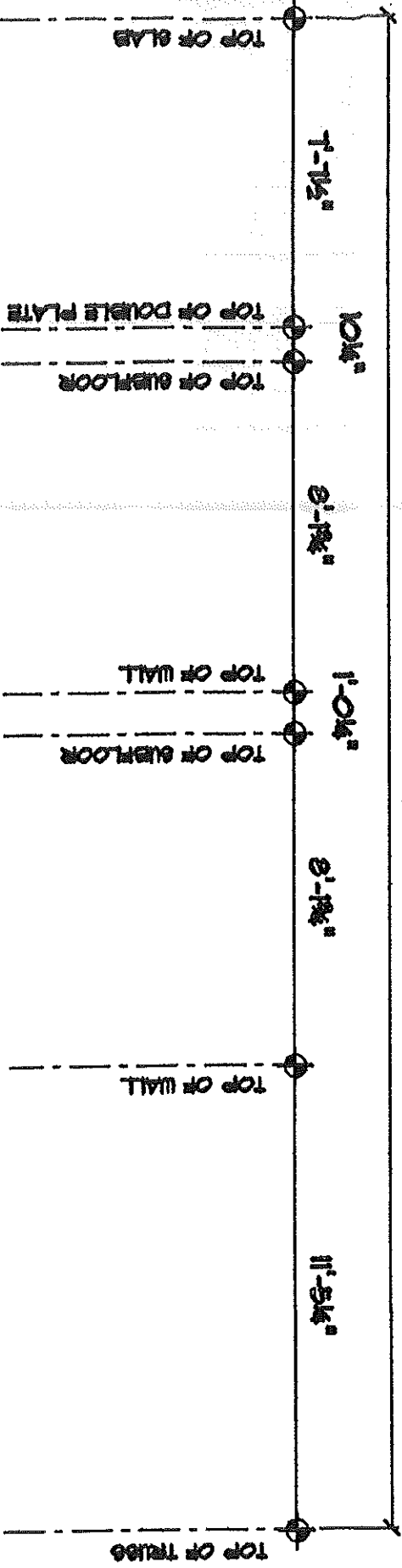
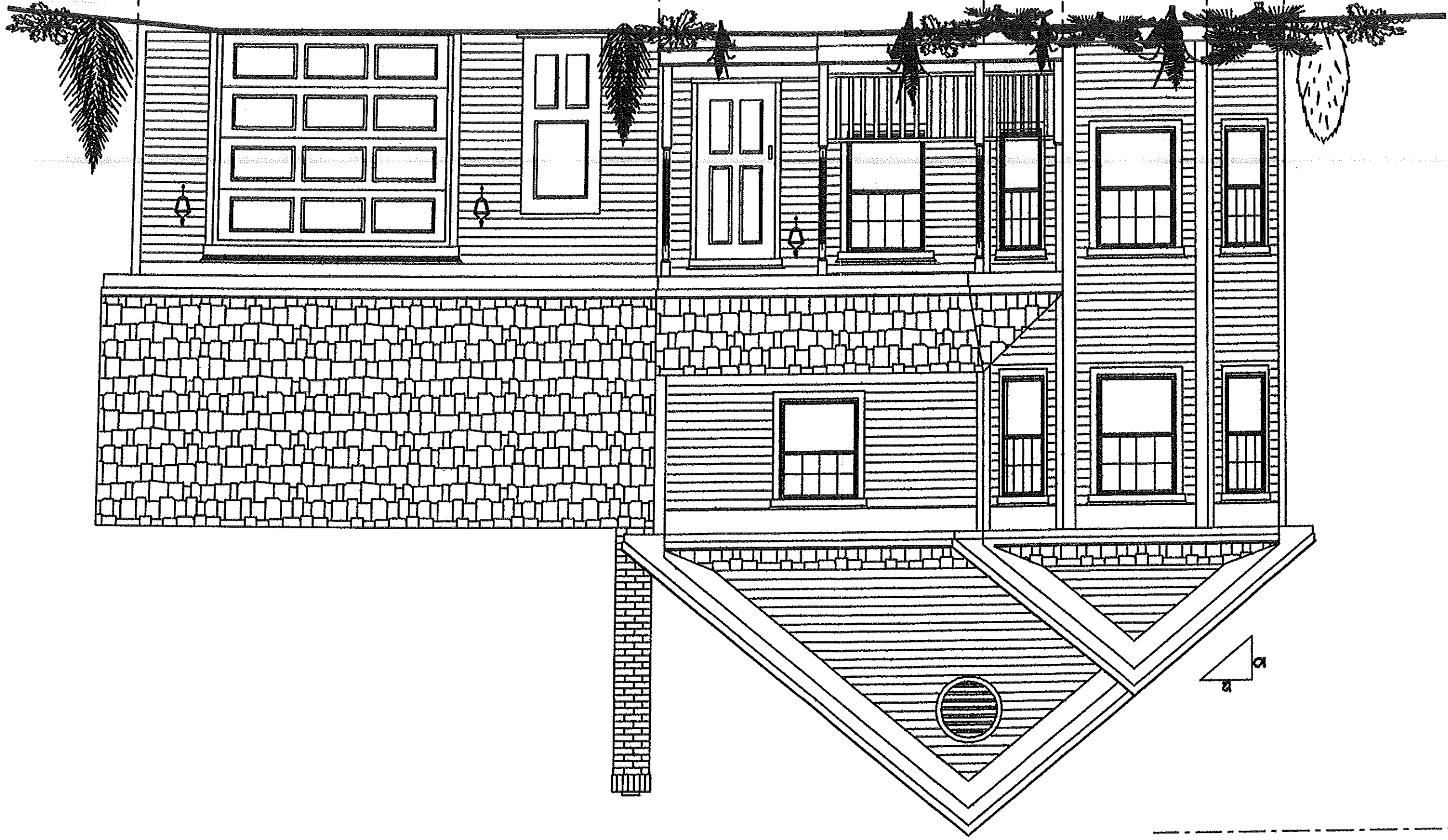
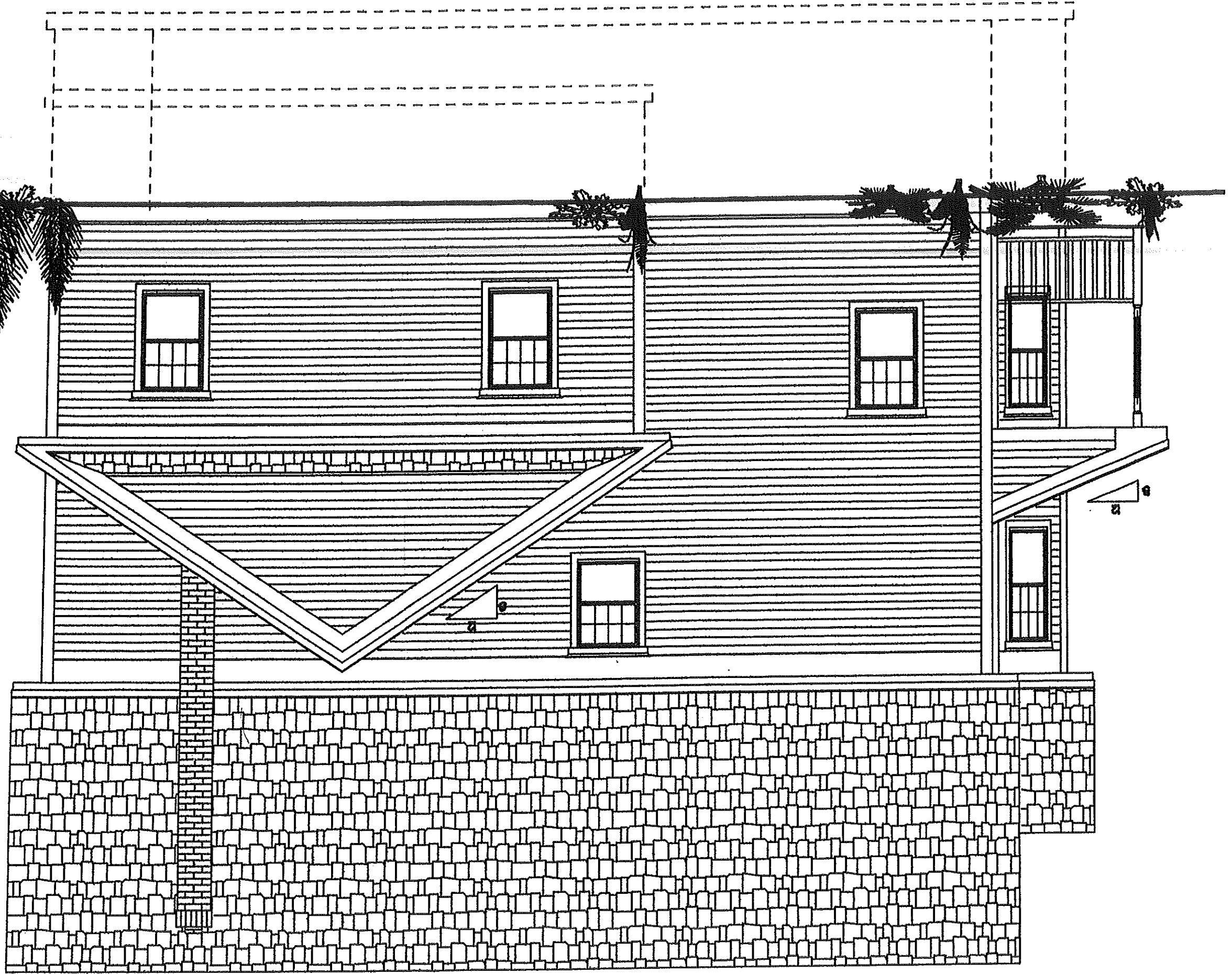


MAIN ELEVATION

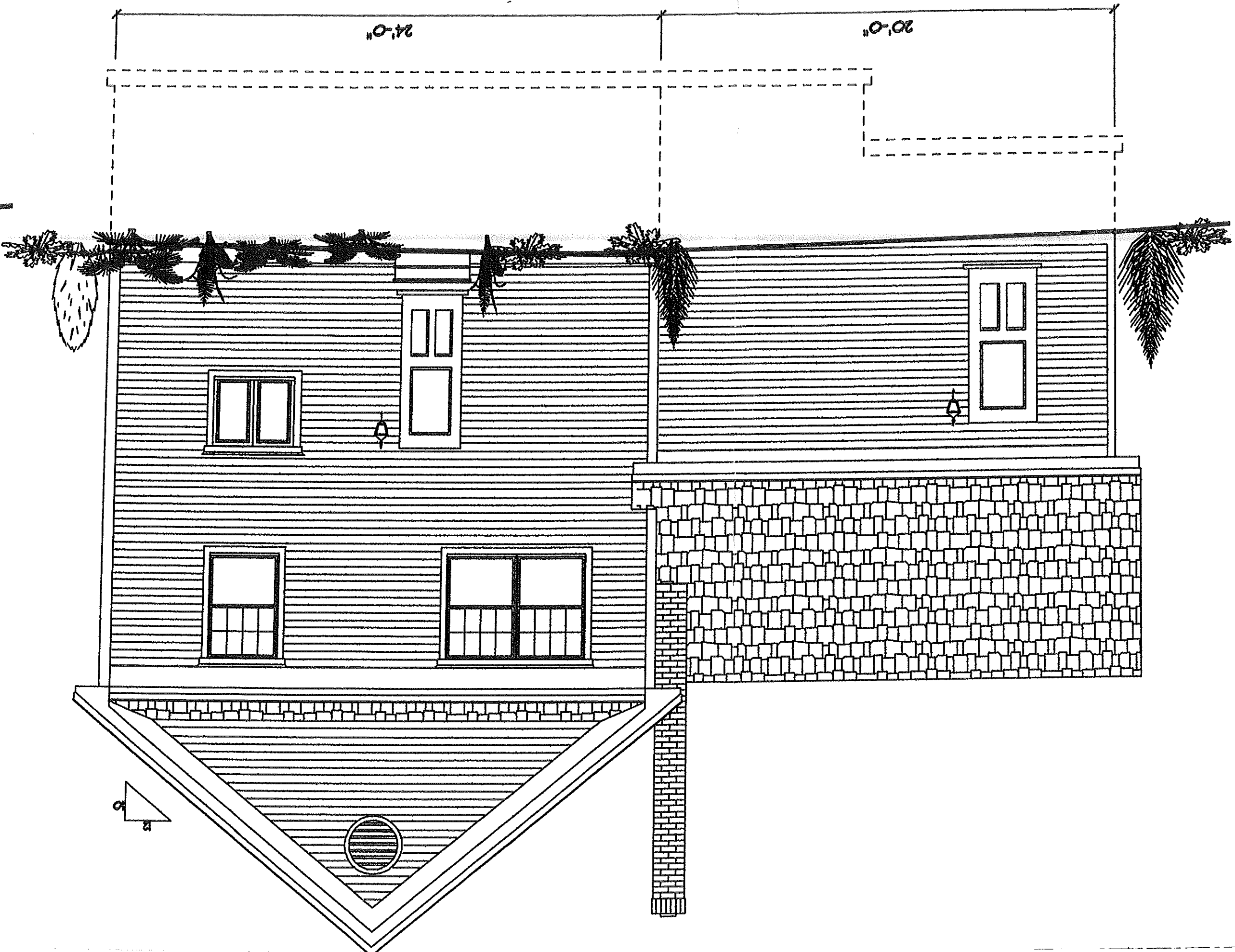


RIGHT ELEVATION



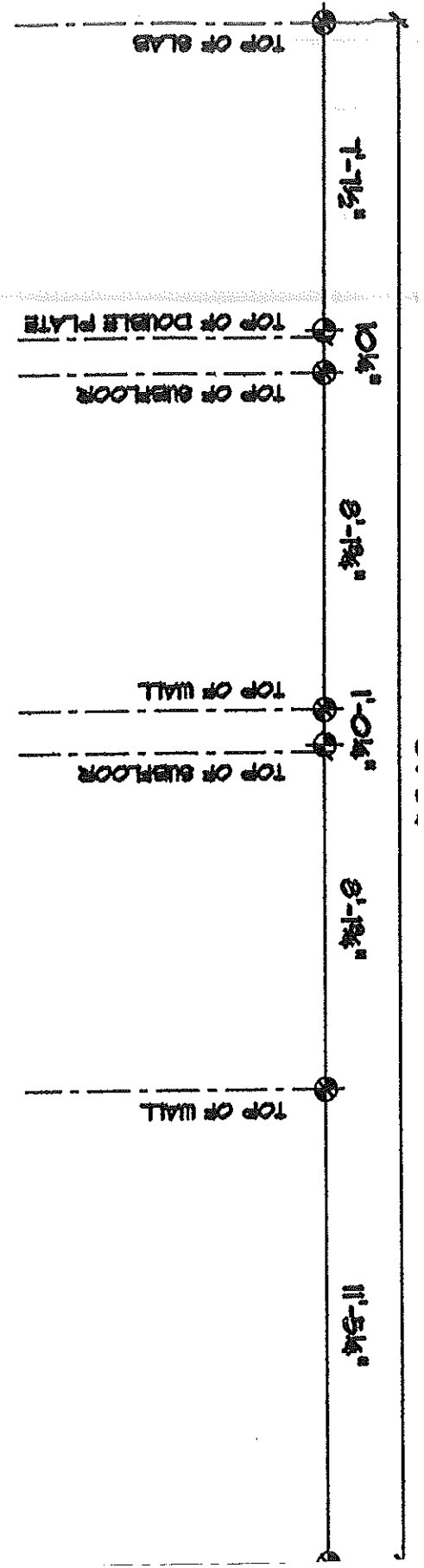
\* Only one window (3' x 4' 6") centered on wall (shown in floor plan) instead of two.  $\frac{8}{12}$  pitch on roof.

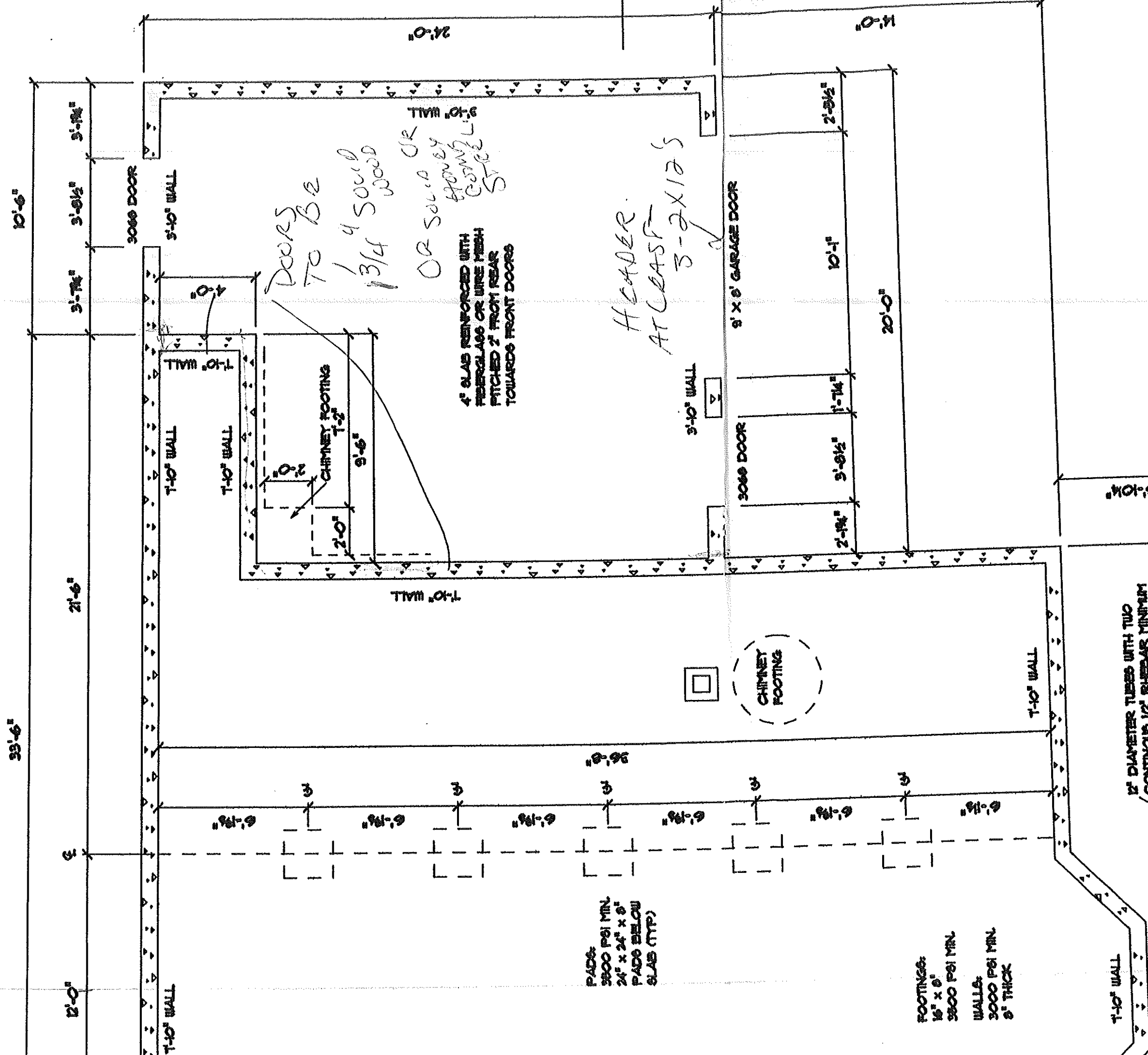
REAR ELEVATION



24'-0"

20'-0"





**FOUNDATION PLAN**

\* Put in when House was Built  
 3 years ago.  
 Also Inspected at that time.

PADS:  
 3000 PSI MIN.  
 24" x 24" x 8"  
 PADS BELOW  
 SLAB (TYP)

FOOTINGS:  
 16" x 8"  
 3000 PSI MIN.  
 WALLS:  
 3000 PSI MIN.  
 8" THICK

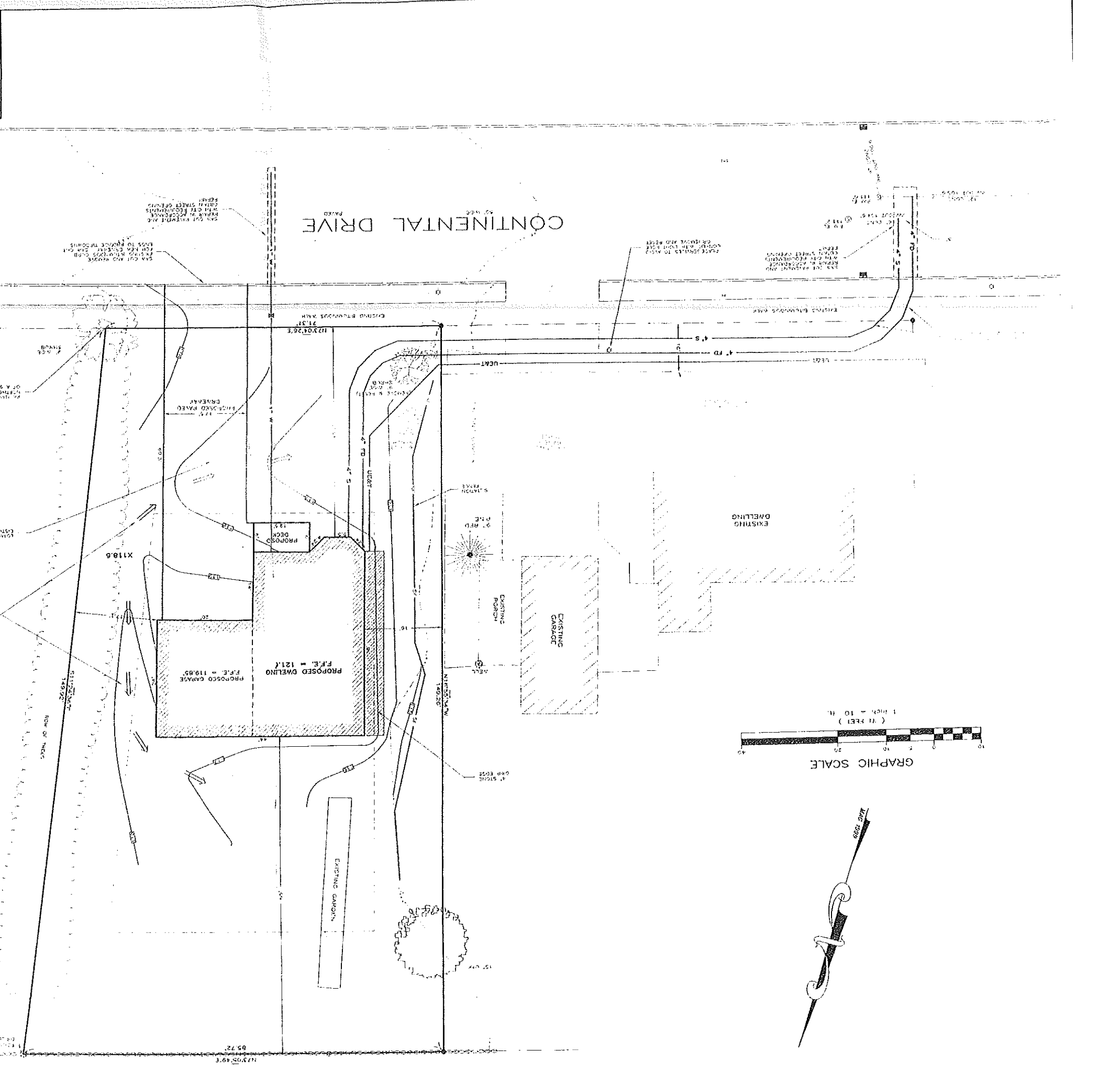
12" DIAMETER TUBES WITH TWO  
 CONTINUOUS 1/2" REBAR MINIMUM  
 OF 48" BELOW FINISHED GRADE

SHEET 1 OF 1 20 ANTHONY J. DIPIETRO CIVIL ENGINEER 20 CENTRAL DRIVE PORTLAND, ME 04103	SHEET 1 OF 1 20 ANTHONY J. DIPIETRO CIVIL ENGINEER 20 CENTRAL DRIVE PORTLAND, ME 04103
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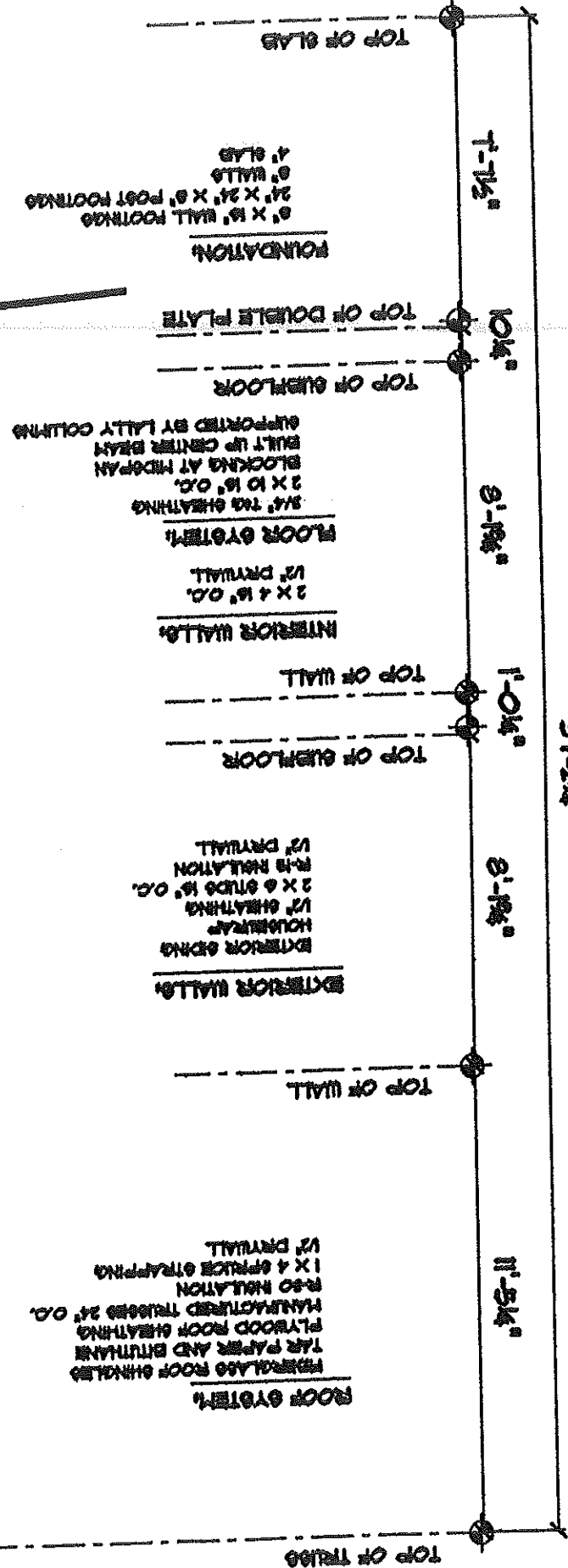
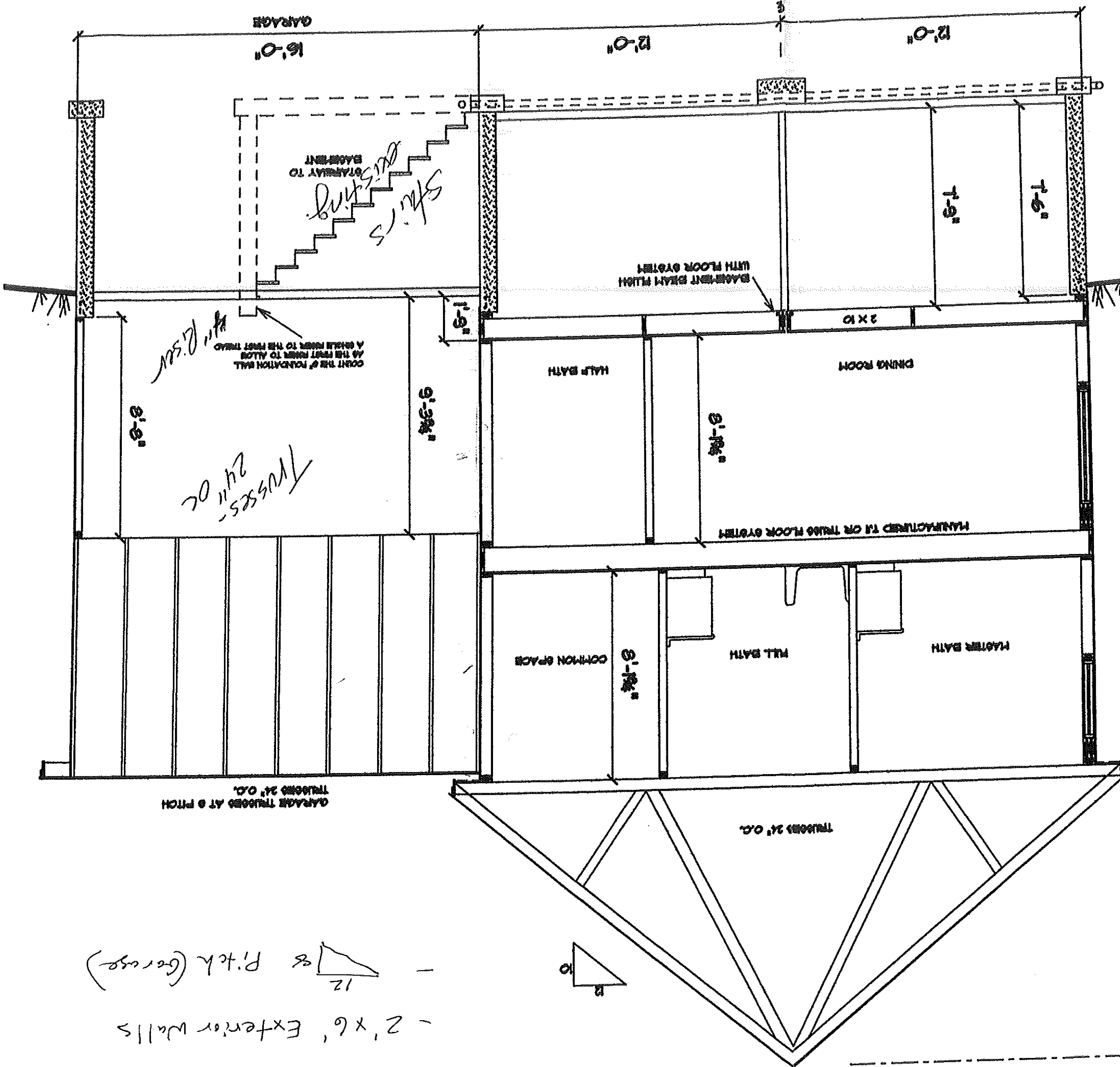
SHEET 1 OF 1 20 ANTHONY J. DIPIETRO CIVIL ENGINEER 20 CENTRAL DRIVE PORTLAND, ME 04103	SHEET 1 OF 1 20 ANTHONY J. DIPIETRO CIVIL ENGINEER 20 CENTRAL DRIVE PORTLAND, ME 04103
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EXISTING	DESCRIPTION	PROPOSED
---	UNDERGROUND TELEVISION	---
---	WATERLINE	---
---	FOUNDATION DRAIN	---
---	STORM DRAIN	---
---	SANITARY SEWER	---
---	UNDERGROUND ELECTRIC AND TELEPHONE	---
---	INTERMEDIATE CONTOURS	---
---	INDEX CONTOURS	---
---	SMALLER SEWER MANHOLE	---
---	STORM DRAIN MANHOLE	---
---	CURB INLET	---
---	WATER VALVE	---
---	SPOT ELEVATION	---
---	ADJUTER/RIGHT OF WAY LINE	---
---	SETBACK LINES	---
---	3/8" HIGH BEARING WITH ALUMINUM CAP STAMPED	---
---	LEWIS & WASSINA PLS 2288	---

*R-3  
proposed  
already existing*



1. RECORD OWNER OF THE PROPERTY IS ANTHONY DIPIETRO.
2. THE BASIS OF ELEVATION FOR THIS SURVEY IS A 3' OFFSET MONUMENT AT THE INTERSECTION OF WEST LYNN AVENUE AND PALVER AVENUE, AND ELEVATION IS 92.25 FEET, CITY OF PORTLAND DATUM.
3. THE PROPERTY IS LOCATED IN THE R-3 ZONE, MINIMUM LOT SIZE IS 6,000 S.F. AND THE MINIMUM ROAD FRONTAGE IS 25 FEET WITH 7.5 FEET OF LOT WIDTH REQUIRED. AT THE BUILDING SITE, SIDE SETBACKS ARE AS FOLLOWS:  
 1 STORY 12 FEET  
 1 1/2 STORY 12 FEET  
 2 STORY 12 FEET  
 2 1/4 STORY 16 FEET  
 3 STORY 16 FEET
4. BOUNDARY INFORMATION TAKEN FROM A STANDARD BOUNDARY SURVEY/LOT SPLIT FOR JAMES H. 088 BY LEWIS & WASSINA, INC., DATED APRIL 4, 1999, JOB #99018.
5. THE SITE CONTRACTOR IS GREEN BROS. (JOHN PAPER).  
 UNDERGROUND UTILITIES ARE SHOWN IN THEIR GENERAL LOCATIONS PER ABOVE GROUND SURVEY. ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
6. THE CONTRACTOR SHALL GRADY, APPLY 4" LOAM, SEED AND MULCH TO ALL DISTURBED AREAS AND COMPLY WITH BEST MANAGEMENT PRACTICES (BMPs) USE WATER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.
7. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND AND SHALL COORDINATE WORK WITH THE CITY DEVELOPMENT REVIEW DEPARTMENT AND INSPECTIONS DEPARTMENT.
8. CONTRACTOR SHALL CLEAR AND REMOVE ALL MATERIALS DEPOSITED ON STREETS, SIDEWALKS OR OTHER PUBLIC WAYS.
9. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN SUCH A MANNER THAT A SOIL EROSION IS KEPT TO A MINIMUM.
10. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING THE PROPERTY. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
11. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE PROPERTY. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING THE PROPERTY. NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
12. INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAINTAIN SLOPES AND RESET SLOPE BARRIERS AS SOON AS POSSIBLE, BUT NOT LONGER THAN 2 WEEKS. CLEAN AND RESET SLOPE BARRIERS AS SOON AS POSSIBLE, BUT NOT LONGER THAN 2 WEEKS. MAINTAIN SLOPES AND RESET SLOPE BARRIERS AS SOON AS POSSIBLE, BUT NOT LONGER THAN 2 WEEKS.



- 2' x 6' Exterior Walls  
 - 12/8 Pitch (Garage)