

12/23/03 Detback / Form for slab insp. 2" + Rigid board
12" deep under form extended 4' beyond. Checked
Detback w/ Tim Mayo - located pin at Right rear
corner where property vops - Measured 65' to Fence at
left side - Form set 9' to line on side. Clear &
Front ok - ok to pour JB Homeowner not home

2/11/04 Jims - 2 2X12xw1/2" Plywood Center
used for 14' 3" Span - See Note #2 of Bill's approval
12' X 16' 3/4 plywood floor w/ drop down stain
has been placed ~~at~~ top of Truss

Needs Elec Permits

2/12/04 Called Mark wide re: Above - They will call back
2/12/04 Spoke w/ Judy @ ME wide about The span for the garage
header and condition for other than 2-2X12 to
be installed. She will talk w/ Tina and get back JB

2/19/04 Talked w/ Judy at Home wide again ~~about~~
they are in the process of having a design prepared
Review The job for code "intend" in Appliances - will
put permits to JB & D

3/4/04 - Judy from Main Hall called - they will
replace header, an order from Wood Structures - should
be in next week - they will call for JB & D

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	03-1124	Date Applied For:	09/15/2003	CBL:	347 B033001
------------	---------	-------------------	------------	------	-------------

Location of Construction:	116 Hennessy Dr	Owner Name:	Greenblatt Nancy L	Owner Address:	116 Hennessy Dr	Phone:	207-797-7711
Business Name:	n/a	Contractor Name:	Maine Wide	Contractor Address:	PO Box 2106 Augusta	Phone	(800) 452-1940
Lessee/Buyer's Name	n/a	Phone:	n/a	Permit Type:	Additions - Dwellings		

Proposed Use: Single Family / Build 16' x 24' detached garage.

Proposed Project Description:
Build 16' x 24' detached garage.

Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 09/25/2003

Note: 9/23/03 passed on from Tammy (vacation)
9/24/03 Spoke w/Tina (ME Wide) about discrepancies in the size of the structure, she verified 16x24'. Also
note that there are 2 lots totalling 11,000 SF. **Ok to Issue:**

1) It is the homeowners responsibility to string the property lines based on established pins for setback measurements. This setback is very close to the 8' requirement and may require a survey.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/25/2003

Note:

- 1) NO stairs are shown on the plans therefore none are allowed **Ok to Issue:**
- 2) Design load specs for the garage header beam must be submitted to this office, 2-2x12 are not allowed
- 3) Per Tina, the gable ends run along the length of the building.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

FR3

Current Owner Information

Card Number	1 of 1
Parcel ID	347 B033001
Location	116 HENNESSEY DR
Land Use	SINGLE FAMILY
Owner Address	GREENBLATT NANCY L 116 HENNESSEY DR PORTLAND ME 04103

Book/Page

1 of 1

Legal

347-B-33
HENNESSEY DR 114-116

Valuation Information

Land	\$31,710	Building	\$77,810	Total	\$109,520
------	----------	----------	----------	-------	-----------

6500 SF

Property Information

Year Built	1962	Style	Cape	Story Height	1	Sq. Ft.	1445	Total Acres	0.149
Bedrooms	3	Full Baths	1	Half Baths	1	Total Rooms	7	Attic	Full Finish
								Basement	Full

Outbuildings

Type	SHED-FRAME	Quantity	1	Year Built	1993	Size	8X10	Grade	C	Condition	A
------	------------	----------	---	------------	------	------	------	-------	---	-----------	---

Sales Information

Date	Type	Price	Book/Page
------	------	-------	-----------

Picture and Sketch

[Picture](#)

[Sketch](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here to view Tax Roll Information.](#)

New Search!

Property Search Detailed Results

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 347 8009001
 Location PENNELL AVE
 Land Use VACANT LAND

Owner Address

GREENBLATT NANCY L & GEORGE B WILMOT JR JTS
 116 HENNESSEY DR
 PORTLAND ME 04103

Book/Page 19078/043
 Legal 347-8-9

PENNELL AVE
 4500 SF

Valuation Information

Land \$1,580 Building \$ 0.00 Total \$1,580

Property Information

Year Built Style Story Height Sq. Ft. Total Acres
 0.103

Bedrooms Full Baths Half Baths Total Rooms Attic Basement

Outbuildings

Type Quantity Year Built Size Grade Condition

Sales Information

Date Type Price Book/Page
 03/01/2003 LAND + BLDING \$6,000 19078-43

Picture and Sketch

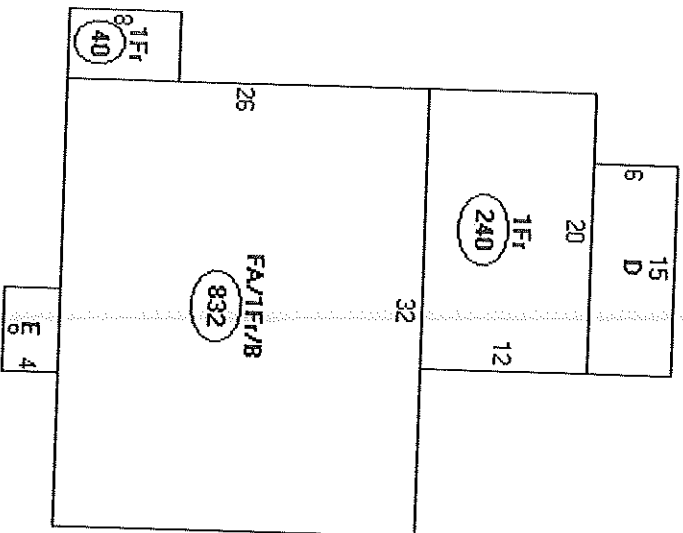
[Picture](#)

[Sketch](#)

[Click here to view Tax Roll Information.](#)
 Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-
[mailed.](#)

[New Search!](#)





Descriptor/Area
 A: FA/1F/B
 832 sqft
 B: 1F
 40 sqft
 C: 1F
 240 sqft
 D: W/D
 50 sqft
 E: DFP
 24 sqft

1,226
80 shed

1,306
384 garage

1,690

SW Lot \$500

~~1,625~~
~~x 25%~~

OK

Lot 6500

Lot 4500

11,000

x 25%

2,750 SF

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>116 Hennessee Street</u>		
Total Square Footage of Proposed Structure 336 SF <u>384</u>	Square Footage of Lot	<u>6500 & 4500</u>
Tax Assessor's Chart, Block & Lot Chart# <u>347</u> Block# <u>B</u> Lot# <u>33</u>	Owner: <u>George Wilmot</u>	Telephone: <u>797-7711</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>116 Hennessee Street Portland ME 04103</u>	Cost Of Work: \$ <u>10,026</u> Fee: \$ <u>100.00</u>
Current use: <u>Residential</u>	If the location is currently vacant, what was prior use: <u>N/A</u>	
Approximately how long has it been vacant: <u>N/A</u>	If the location is currently vacant, what was prior use: <u>N/A</u>	
Proposed use: <u>Residential Garage</u>	Total <u>90.00</u>	
Project description: <u>4x24 (336 SF) Garage as per plans & specs</u>	<u>20pd</u> <u>9/23/05</u>	
Contractor's name, address & telephone: <u>MARINE-WIDE Construction 8082106, AUGUSTA ME</u> <u>1-800-452-1940</u>		
Who should we contact when the permit is ready: <u>MARINE-WIDE Construction</u>		
Mailing address: <u>POB 2106, AUGUSTA ME 04338-2106</u>		
Phone: <u>800-452-1940</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: B. Wilmot/owner

DEPT. OF BUILDING INSPECTION
OFFICE OF THE PORTLAND REGISTER

9-10-03

RECEIVED
MYS
3/11/05

This is not a permit, you may not commence work until the permit is issued

Job Ticket ID Number: 1136

Page 1

September 10, 2003

Special Instructions: Building

Customer Information:

Job Number: 2003530
George Wilmot
116 Hennesey Drive
Portland, ME 04103
(207) 797-7711


SPECIAL INSTRUCTIONS:

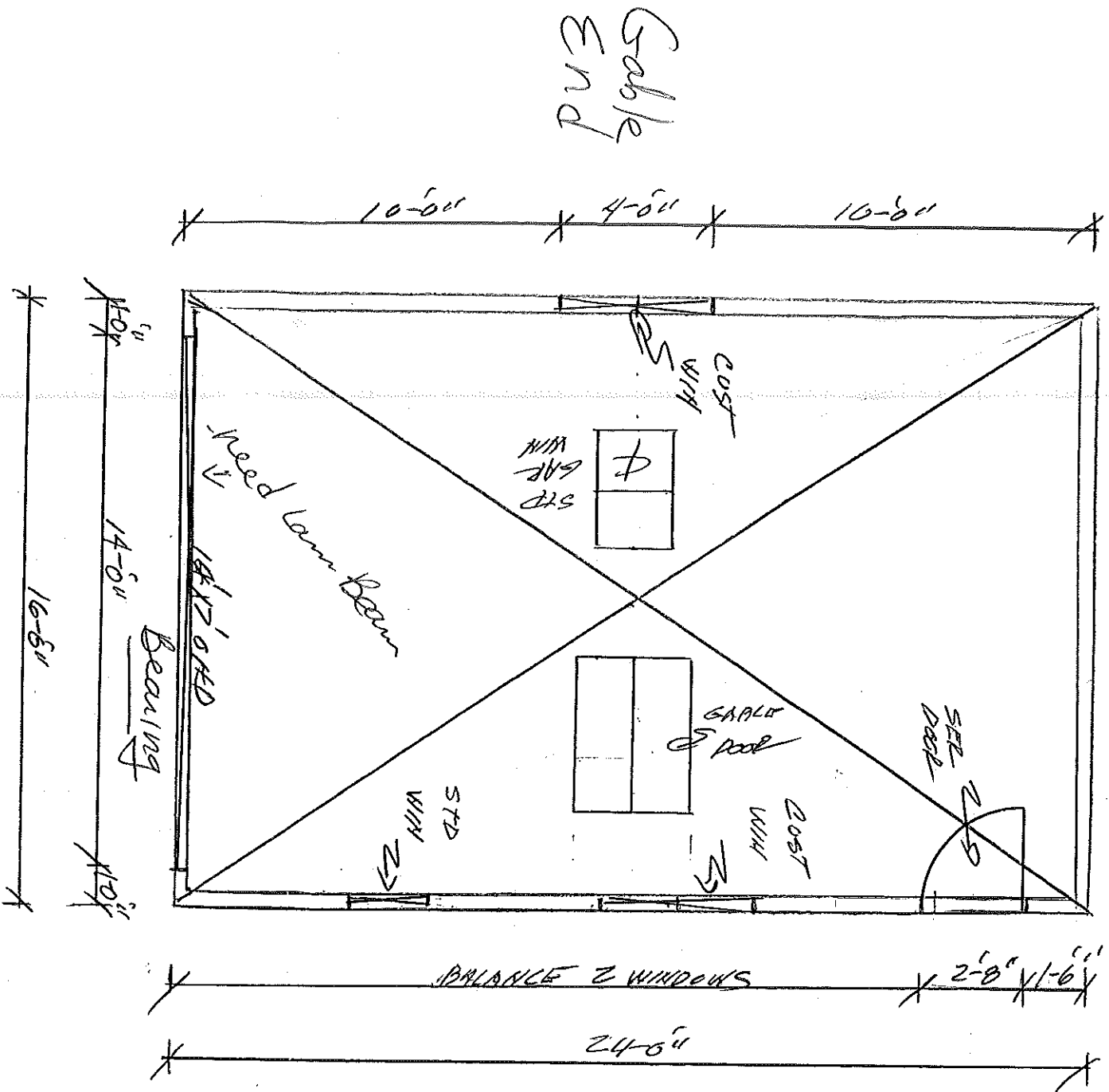
16x24 Garage w/ Slab

1. Strict codes
2. Anchor bolts
3. 2x12 header over OHD - double — *MAX SPAN 7'3"*
4. Form & final inspections - call for appointment
5. Be sure slab is ok before ordering trusses
6. Have building inspector inspect forms before pouring slab
7. Send site plan to site contractor
8. Note: Gable is 24' wide
9. Order (9) 8/12 attic trusses 24' wide setting on 2"x4" wall (stock)
10. Space all trusses at 24" OC
11. Do not install stairs
12. Install plywood floor
13. Frame gable door so bottom of door is flush w/ plywood on trusses
14. Frame gable door 4'x6' (+ or -)
15. Install (2) customer windows - frame R/O on site
16. Install (2) std garage windows
17. (1) 14x7-S-NI-NG OHD - Colonial Braces
18. Shingles: IKO Dual Black

UPON COMPLETION BEFORE LEAVING SITE:

- Collect \$10,016.00
- Have customer sign MW Completion Certificate

		RAINF-WIDE CONSTRUCTION, INC.	
Scale	3/16"=1'-0"	Approved By	HC
Date	9-20-03	Drawn By	WLM
Drawn For	WILMOT	Revised	
Location	PORTLAND ME	Drawing #	1

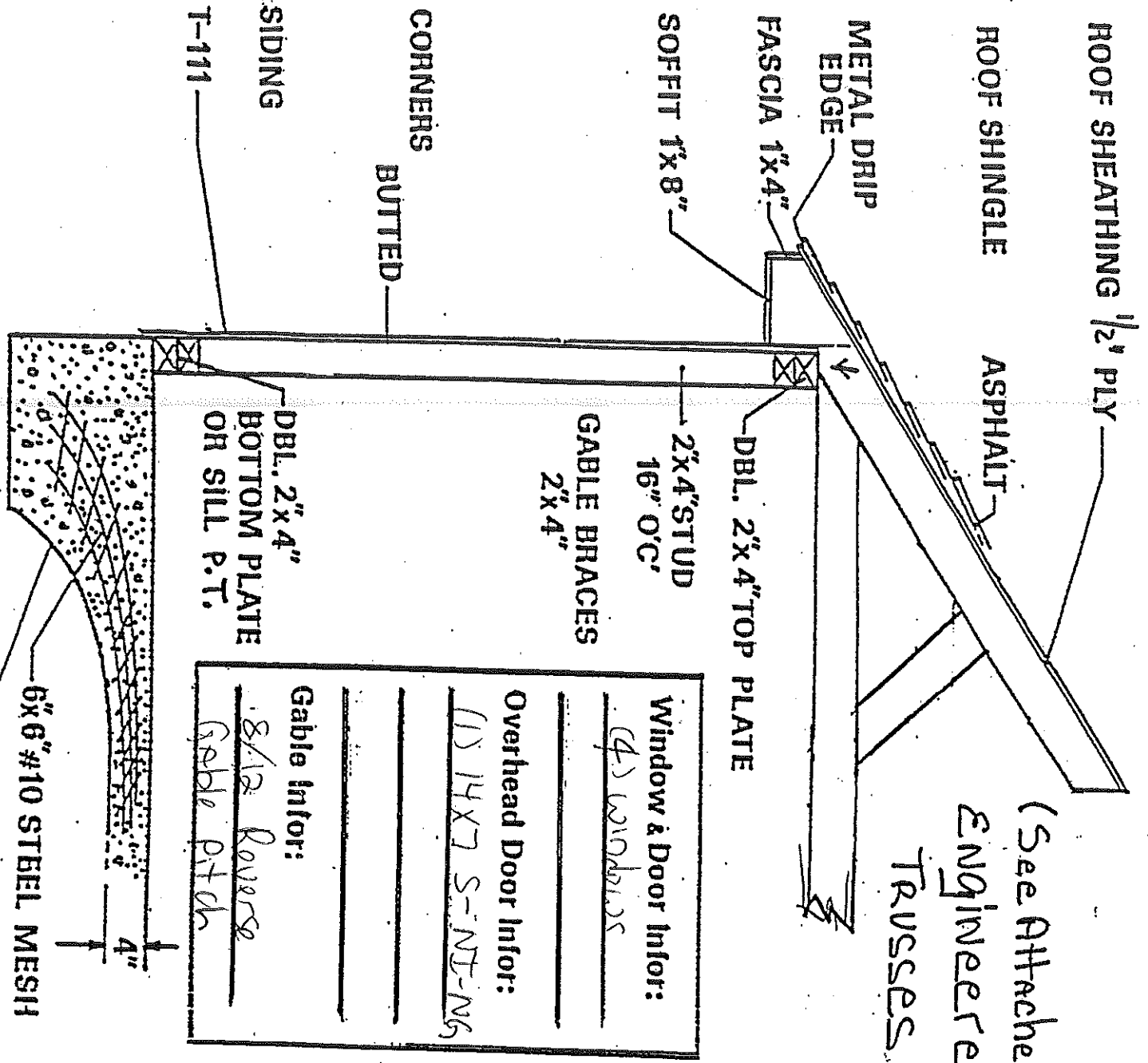


SP

CROSS SECTION

Maine-Wide Construction, Inc.
P.O. Box 2106 Augusta, ME 04338-2106
Ph. 1-800/452-1940

(See Attached)
Engineered
Trusses



Window & Door Infor:	<i>(4) Windows</i>
Overhead Door Infor:	<i>11' 14x7 S-N-T-N-S</i>
Gable Infor:	<i>8/12 Reverse Gable Pitch</i>

~~Dbl 2x12 Header over OHD~~
~~2x6 Header over Service Door & Window(s)~~
~~Anchor bolts in Slab~~
FOUNDATION
Per Attached

RIGHTFAX

R FAX
9/9/2003 3:16 PAGE 1/1 RIGHTFAX

JOB	Truss	Truss Type	Qty	Ply	42# snow 120 mph wind	14838405
WLSI STK	A824	A248	ATTIC	100		
Wood Structures, Biddford, ME 04005						
5,100 s Mar 25 2003 Mittek Industries, Inc. Fri May 30 11:16:43 2003 Page 1						
1-0-0	3-2-3	5-10-4	10-7-8	12-0-0	13-4-8	13-1-12
1-0-0	3-2-3	2-8-1	4-9-4	1-4-8	1-4-8	4-9-4
				6-6 =		20-8-13
						24-0-0
						2-0-0
						1-0-0

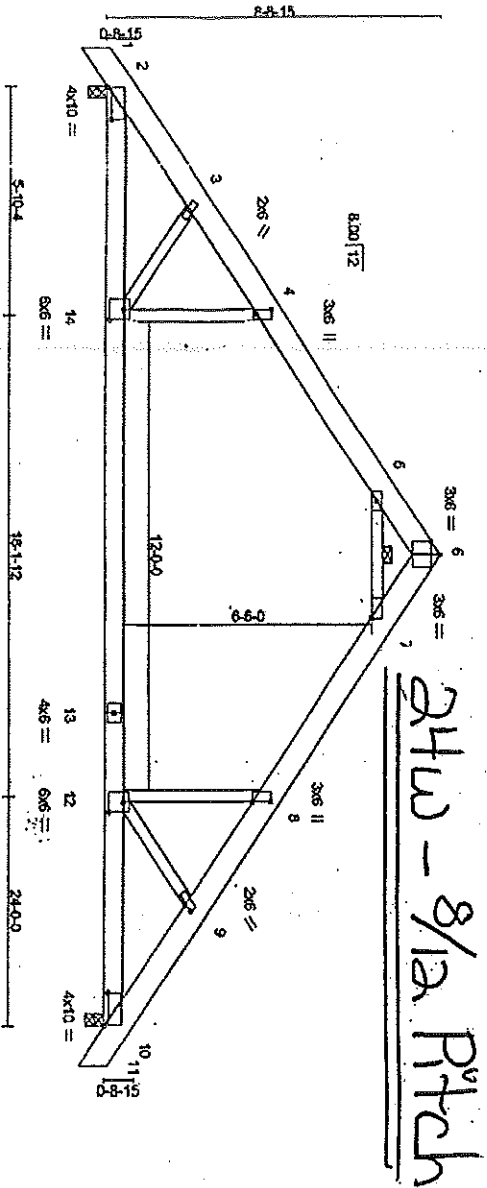


Plate Offset (X,Y):	210-10-30-01-21	14-04-12-0-1-8	7-0-0-6-0-0-4	8-0-5-15-0-0-4	9-0-2-4-0-0-12	10-0-10-3-0-1-2	12-0-3-0-0-4-4	14-0-3-0-0-4-4
LOADING (last)	SPACING	2-0-0	CS1	DEFL	in	(loc)	L/defl	PLATES
ICLL 42.0	Plate Increase	1.15	TC	Vert(U)	-0.67	12-14	>423	Mill20
TCOL 7.0	Lumber Increase	1.16	BC	Vert(D)	-0.89	12-14	>321	169/123
BCLL 0.0	Rap S/rise Incr	YES	WB	Horz(TL)	0.05	n/a	n/a	
BCDL 10.0	Code	BOCA/ANSI95	(Material)					
								Weight: 135 lb

LUMBER:
TOP CHORD 2 X 8 SPF 1950F 1.7E
BOT CHORD 2 X 6 SPF 1650F 1.5E
WEBS 2 X 4 SPFS Stud

BRACING
TOP CHORD Sheathed or 4-8-7 oc purlins.
BOT CHORD Rigid ceiling directly applied or 9-4-6 oc bracing.
WEBS 1 Row at midsp. 5-7

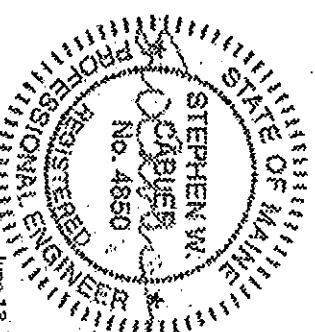
REACTIONS (lb/sca) 2-1942/0-3-8, 10-1942/0-3-8
Max Horiz 2 = 493(load case 5)
Max Uplift 2 = -706(load case 6), 10 = -705(load case 7)

THIS TRUSS IS DESIGNED FOR RESIDENTIAL USE ONLY.
30' LOAD IS ADEQUATE FOR ATTIC LIGHT STORAGE AREA AND/OR SLEEPING ROOMS ONLY.
(50 PSF IS NOT ADEQUATE FOR A WATERBED LOAD, CORRIDORS, OR BASIC FLOOR AREA)

FORCES (lb) - First Load Case Only
TOP CHORD 1-2 -46, 2-3--3007, 3-4--2624, 4-5--1876, 5-6--1033, 6-7--1033, 7-8--1876, 8-9--2624,
9-10--3007, 10-11--46
BOT CHORD 2-14--2304, 15-14--1811, 12-13--1811, 10-12--2304
WEBS 5-7--3064, 4-14--1070, 6-12--1070, 3-14--612, 9-12--612

- NOTES
- 1) Wind: ASCE 7-98; 12mph; h = 36ft; TCOL = 4.2psf; BCCL = 3.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL = 1.33 plate grip DOL = 1.33.
 - 2) Design load is based on 42.0 psf specified roof snow load.
 - 3) Unsheltered snow loads have been considered for this design.
 - 4) This truss has been designed for a live load of 20.0psf on the bottom chord and any other members.
 - 5) Ceiling dead load (5.0 psf) on member(s): 4-5, 7-8, 5-7
 - 6) Bottom chord live load (30.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room 12-14 to uplift at joint 10.
 - 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 705 lb uplift at joint 2 and 705 lb uplift at joint 10.

LOAD CASE(S) Standard
DESIGN LOADING:
TCOLLTOTAL (PSF)
42/59 @ 24' oc
53/74 @ 19.2' oc
63/79 @ 16' oc



June 13, 2003

Warning: Verify design assumptions and field notes. All dimensions, materials, and connections are as shown, and is for an individual building component to be installed and loaded vertically. Applicability of certain provisions and provisions of component responsibility of building designer - not truss designer. Standing shown is for lateral support of individual web members only. Additional bracing may be required to ensure the structural integrity of the erection. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general questions regarding information, quantity, erection, delivery, erection and bracing, contact QST-46 Quality Standard, DSP-46 Bracing Specification, and H&B-91. Bracing erection see Bracing Recommendation available from Truss Plate Institute, 555 Donnell Drive, Madison, VT 02715.





MAINE-WIDE CONSTRUCTION, INC.

Scale *3/16" = 1'*

Approved By

Date *9-2-03*

SITE PLAN

Drawn By

TC

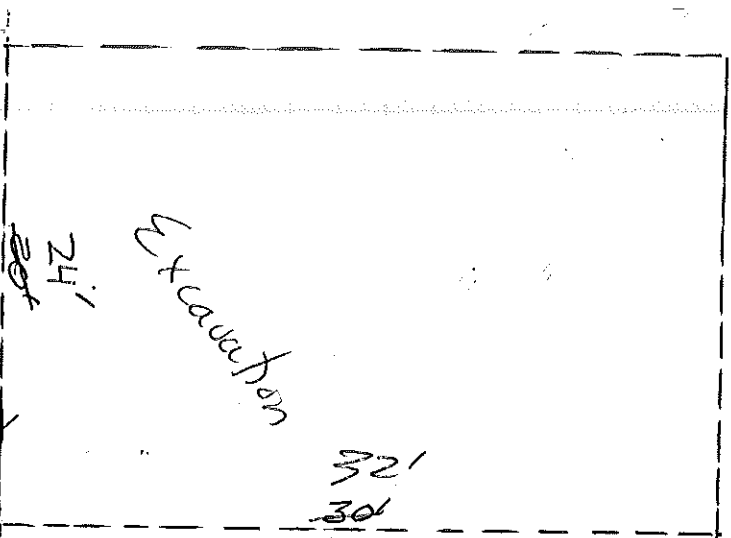
Revised

Drawn For *WILMOT*

Location *PORTLAND ME*

Drawing # *2*

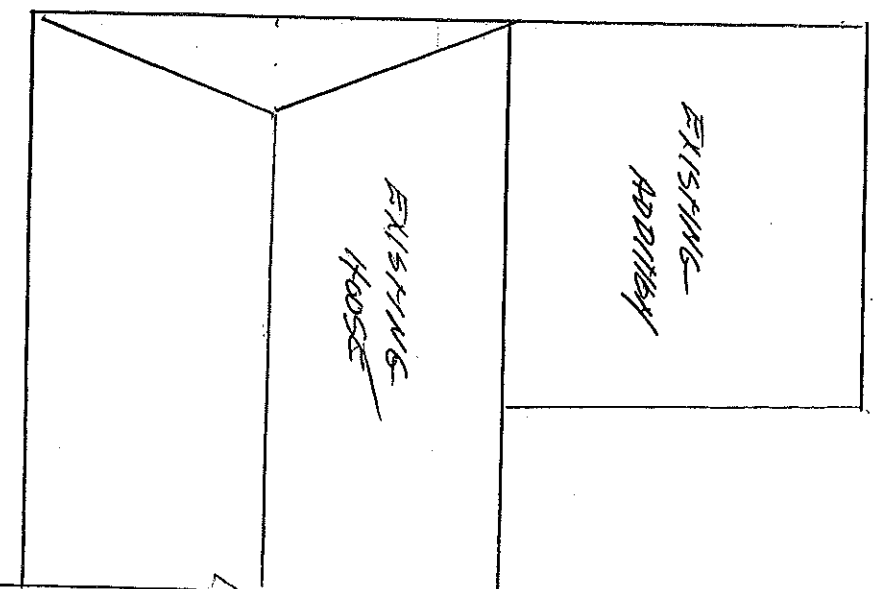
PROPERTY LINE



SPECIAL INSTRUCTIONS:

16 ~~14~~ x 24 garage w/ Slab

1. Start site even w/ edge of addition & 2'-0" behind addition
2. Excavate existing top soil
3. Place 2" foam under garage site & extend foam *4'* out beyond slab around entire perimeter *24'*
4. Slab is 16x28 (see drawing)
5. Place 12" gravel base
6. Place 6" of 1" minus or dead sand on top of gravel
7. Square & level pad
8. Finish grade to be set by site contractor & home owner
9. If you have any questions call Tim or Judy at 1-800-452-1940



RECOMMENDED CONSTRUCTION METHODS AND DETAILS

UNHEATED BUILDINGS

Additional measures are required when using a FPSF on an unheated building. While a drainage layer is only recommended under wing insulation for heated buildings, a 6-inch drainage layer is always required under unheated FPSF designs. Additionally, the horizontal ground insulation extends not only as a wing beyond the perimeter of the building, but continues under the entire unheated portion of the building. This insulation layer can be installed either directly under the slab as shown in Figure 18, or entirely at one level as shown in Figure 19. In either case, the compressive load of the building on the insulation must be determined to compare to the compressive resistance of the foam (see design examples). The horizontal insulation must have a minimum of 10 inches of soil cover.

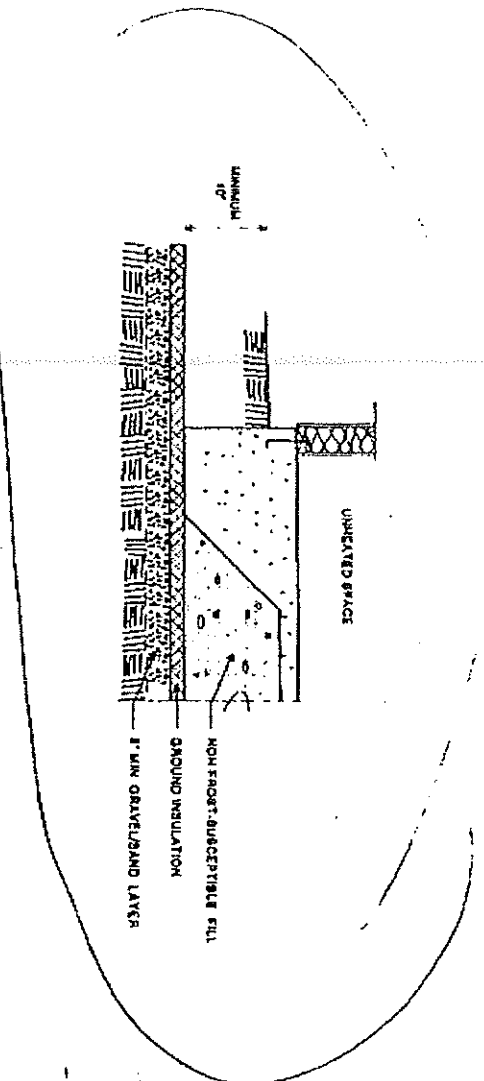


Figure 19. FPSF Design for Unheated Buildings with Insulation in Single Plane.

Maine-Wide Construction

1-800-452-1940

P.O. Box 2106, Augusta, ME 04338-2106

Fax: 207-622-7528

DATE: 09/10/03

TO: Mike Nugent - B.I.
City of Portland

FROM: Tinamarie McGillicuddy

RE: George Wilmot
116 Hennessey Street: Map 347 / Block B / Lot 33
BUILDING PERMIT APPLICATION

Attached please find the above referenced.

If this meets with your approval, please call us so we can have our customer stop into the Town Office and pick up the permit in person.

If you have any questions or need further information please feel free to call me at the above referenced number.

Thank you for your valuable time.

Tina

cc: File

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 031124
SEP 25 2003

CITY OF PORTLAND

This is to certify that Greenblatt Nancy L/Maine V

has permission to Build 14' x 24' detached gar

At 116 Hennessy Dr

347 B033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and or the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification and work to be done on this permit must be done in accordance with the rules and regulations of the City of Portland. A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

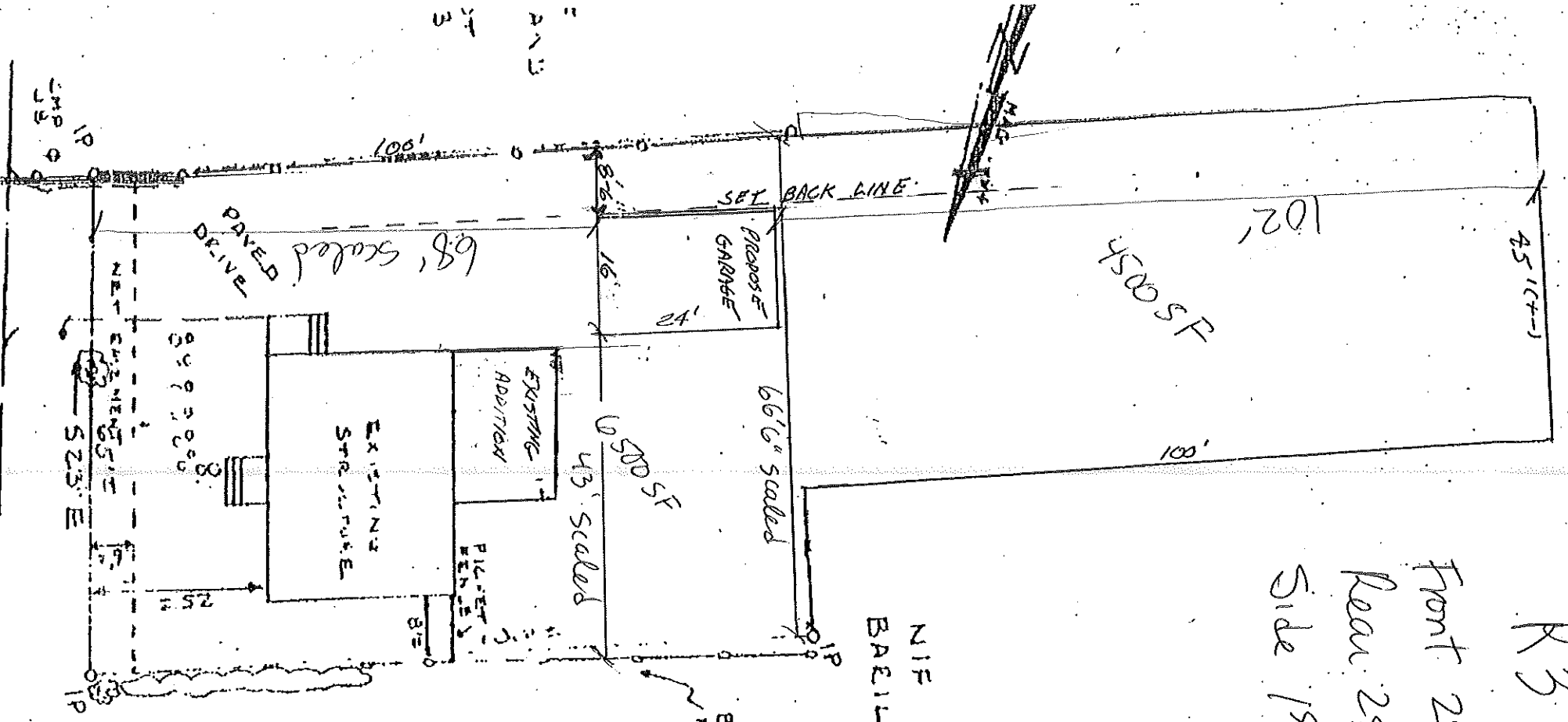
Other _____

Department Name

PENALTY FOR REMOVING THIS CARD

Jamie Bouke 9/25/03
Director - Building & Inspection Services

R3 Zone
 Front 25' Reg 68' Shown
 Rear 25' Reg 102' Shown
 Side 1st Reg 8'6" & 43' scaled



116 HENNESSY DRIVE

Nancy Grendel

George Wilms

1" = 20'

SKETCH PLAN ETC.

MADE FROM AN
 AND IS NOT FOR
 5 THE PLAN SHOWS
 AS OF THE DATE
 ELEVATION IS FOR

