

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: ** 1 <sup>st</sup> Chapman Street 04103		Owner: Jeremy Cola ** Eric Martin		Phone: 797-3434	Permit No. <b>99052 5</b>
Owner Address: 1 <sup>st</sup> Chapman Street 04103		Lessee/Buyer's Name:		Phone:	
Contractor Name:		Address:		Phone:	Zoning Approval: <i>OK with conditions</i> <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm
Past Use: 1-Family	Proposed Use: Same	COST OF WORK: \$ 0		PERMIT FEE: \$ 25.00	
Proposed Project Description: In house office (Counseling) None Occupation		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____
Permit Taken By: <i>sp</i>		Date Applied For: 5-21-99		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: _____	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

5-21-99

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		PHONE:	

CEO DISTRICT 2

LAND USE - ZONING REPORT

ADDRESS: 14 Chapman St DATE: 5/21/99

REASON FOR PERMIT: change of use to add home occupation for Counselor

BUILDING OWNER: Teremy Cole Eric Matic-C.B.I. 344-N-11

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: \_\_\_\_\_  
#1, #2, #3, #8 CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
3. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
4. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment.
5. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the \_\_\_\_\_ in place and in phases. with a home occupation  
This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of \_\_\_\_\_ units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage, under home occupation guidelines
8. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
9. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
10. Other requirements of condition \_\_\_\_\_
11. \_\_\_\_\_

\_\_\_\_\_  
Marge Schmuuckal, Zoning Administrator

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 14 Chapman St Portland ME 04103

Tax Assessor's Chart, Block & Lot Number	Owner:	Telephone#:
Chart# <u>344</u> Block# <u>H</u> Lot# <u>011</u>	<u>SEERENY COLE</u> <u>ERIC MARTIN</u>	<u>797-3434</u>
Owner's Address: <u>14 Chapman St Portland 04103</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work:
		Fee
Proposed Project Description: (Please be as specific as possible) <u>In home office</u>	<u>Canceling</u>	<u>\$</u>
		<u>\$25</u>

Contractor's Name, Address & Telephone \_\_\_\_\_  
Rec'd By: SP

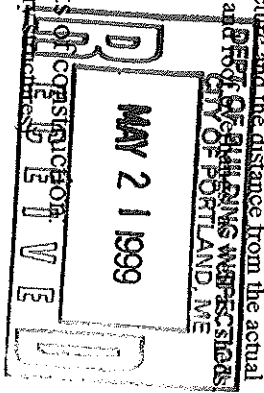
Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
  - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
  - HVAC/Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.
- You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure, and the distance from the actual property lines. Structures include decks, porches, a bow windows cantilever sections and pools, garages and any other accessory structures.
- Scale and required zoning district setbacks



**4) Building Plans (Sample Attached)**

- A complete set of construction drawings showing all of the following elements of construction:
  - Cross Sections w/Framing details (including porches, decks w/ railings, and accessories)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and dampproofing
  - Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Sereny Ross Cole Date: 5-21-99

Building Permit Fee: \$25.00 for the 1st \$1000 cost plus \$5.00 per \$1,000.00 construction cost thereafter.

ONSPPCORRESPONDENT\APADSPD.WPD

May 20, 1999  
Jeremy Rossa Cole  
14 Chapman Street  
Portland, ME 04103

Marge Schmuckal, Zoning Administrator  
City Hall, Room 315  
Portland, ME 04101

Re: REQUEST FOR PERMIT FOR HOME OCCUPATION


I am owner and resident of 14 Chapman Street, Portland, Maine. My primary employment is at Maine Medical Center in the Department of Psychiatry, as Psychiatric Social Worker.

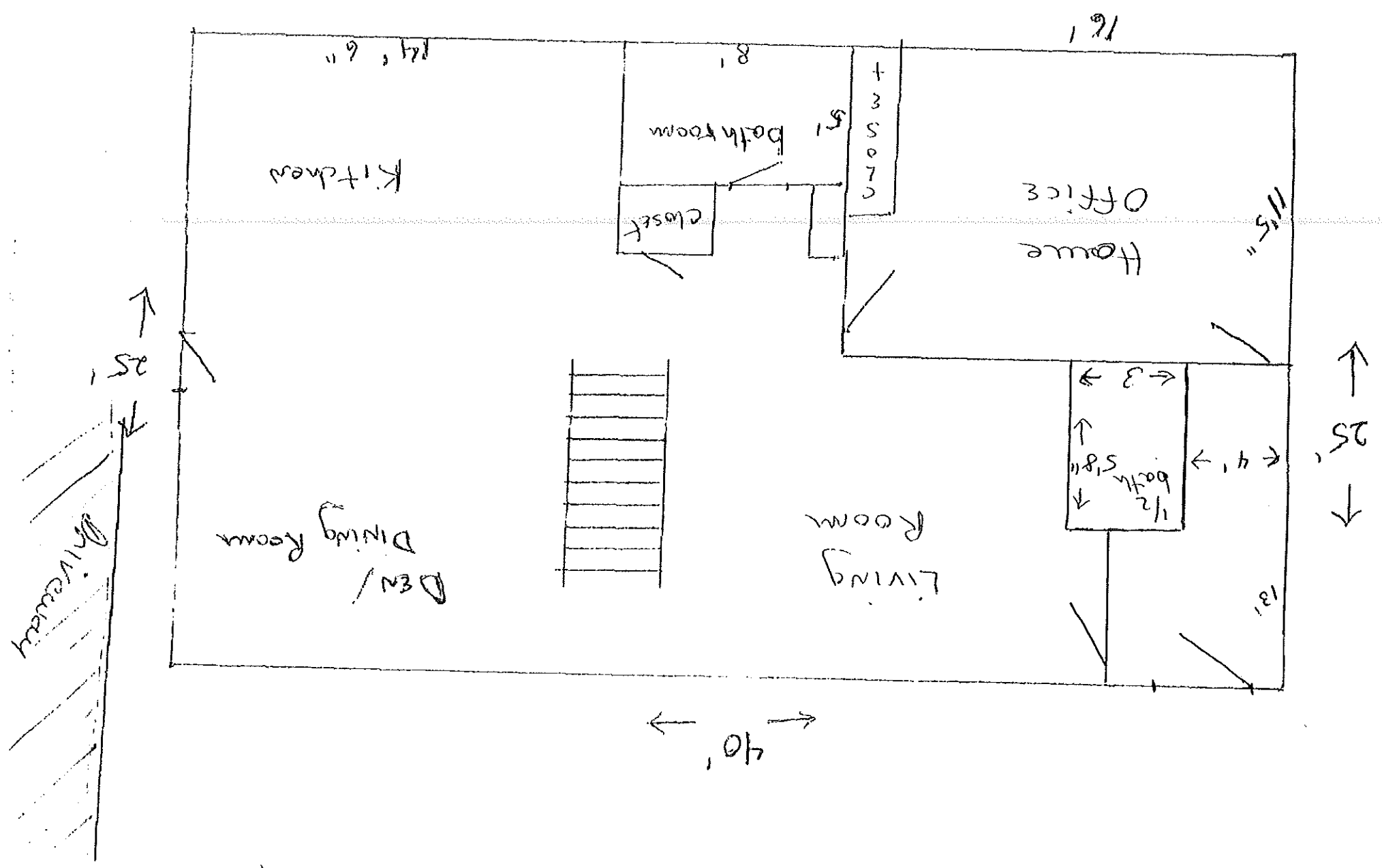
My secondary employment is as a Licensed Clinical Social Worker (LCSW, Maine State License #LC5735) offering therapy appointments two days per week to individuals and couples. I would like to move my counseling practice to my home. This letter explains how my home meets zoning criteria for home occupation. The attached floor plan shows proposed use.

**PORTLAND CODE**

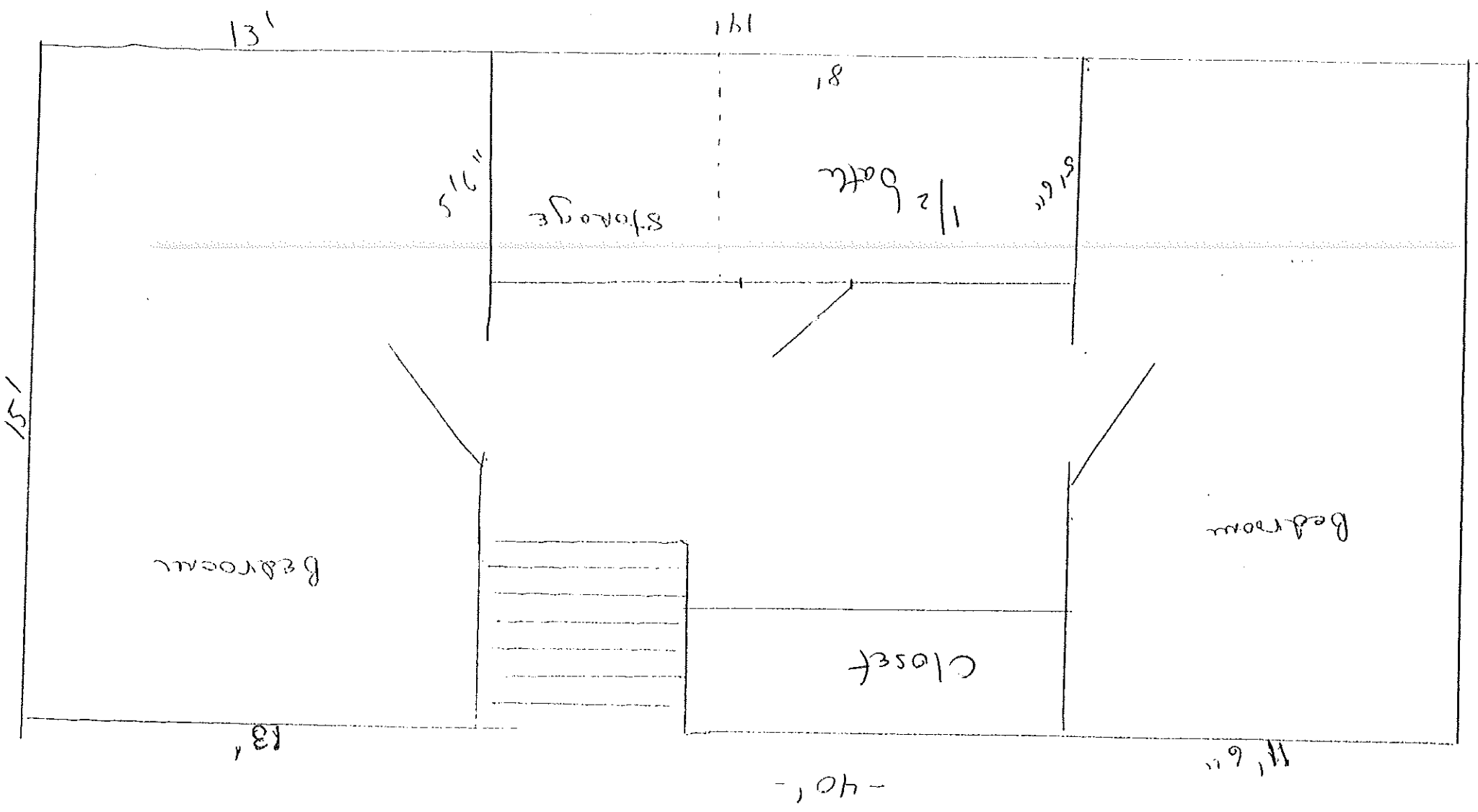
- 1a) As you will see in the floor plan (attached), the room is 11' 5" x 16', or 184 square feet. The home is 1,600 square feet. The in-home office meets requirements in that it does not occupy 25% of the total floor space of this dwelling.
- b & c) There are no goods requiring storage, since this is a service practice.
- d & e) There is no need for exterior signs, nor for any alteration of the dwelling.
- f) Parking will be by one car at a time in the driveway.
- g) My counseling practice does not generate any noise, dirt, etc.
- h) There are no employees.
- i) Traffic impact on the neighborhood would be both negligible and residential.
- j) No large vehicles are involved.
- 2) My occupation meets specification (i) "dentists, doctors, therapists, and health care practitioners" in that I practice psychotherapy, and (v) "Professional counseling and consulting services".

Thank you for your attention.

  
Jeremy Rossa Cole



1st Floor  
 14 Chapman St.  
 Seaside, CA  
 Eric Martin



2nd Floor  
 144 Chapman St. Portland  
 04103