

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUES

Permit No: 03-0939 Issue Date: 8/13/03 CBL: 344 D021001

Location of Construction: 88 Pennell Ave
 Owner Name: Hunter Karen M
 Business Name: Contractor Name: Hamlin Home Improvements
 Lessee/Buyer's Name: Phone: _____
 Owner Address: 88 Pennell Ave Phone: 207-878-2417
 Contractor Address: 33 Sebago Lake Road Gorham
 Permit Type: Additions - Dwellings Zone: R-3

Past Use: single family
 Proposed Use: single family - add 8' x 27' rear addition
 Permit Fee: \$0.00 Cost of Work: \$0.00 CEO District: 2

FIRE DEPT: [] Approved [] Denied
 INSPECTION: Use Group: R-3 Type: SB
 Signature: [Signature] Date: 8/13/03

Signature: [Signature]
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: [] Approved [] Approved w/Conditions [] Denied
 Signature: [Signature] Date: _____

Permit Taken By: tmm Date Applied For: 08/05/2003

Zoning Approval

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/13/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: 8/13/03	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/13/03
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Permit Number: 030939

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION PERMIT

This is to certify that Hunter Karen M/Hamlin Home Improvements
has permission to add 8' x 27' rear addition
AT 88 Pennell Ave 344 D021001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

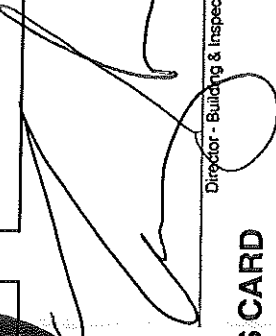
Notification of inspection must be given and work must be completed before this building or structure is occupied or otherwise used-in. NO OTHER APPROVALS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Business Name:	Contractor Name: Hamlin Home Improvements	Owner Address: 88 Pennell Ave	Phone: 207-878-2417	
Lessee/Buyer's Name	Phone:	Contractor Address: 33 Sebago Lake Road Gorham	Phone:	
Proposed Use: single family - add 8' x 27' rear addition	Proposed Project Description: add 8' x 27' rear addition	Permit Type: Additions - Dwellings		
Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/13/2003	Note: Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/13/2003	Note: Ok to Issue: <input checked="" type="checkbox"/>

All Purpose Building Permit Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Pennell Ave. Roxbury</u>		Square Footage of Lot
Total Square Footage of Proposed Structure <u>246 sq. ft.</u>		<u>50 x 100</u> 5000 sq. ft.
Tax Assessor's Chart, Block & Lot Chart# <u>244 D 021</u>	Owner: <u>Karew W. Hunter</u>	Telephone: <u>878-2417</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Karew Hunter</u> <u>88 Pennell Ave</u> <u>Roxbury, m.c.</u>	Cost Of Work: \$ <u>18,000-20,000</u> Fee: \$ <u>19,000</u>
Current use: <u>Private Residence</u>	<u>S/T</u>	<u># 192</u>
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Expansion of kitchen, bathroom & bedroom</u>		
Project description: _____		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>Joel Hamlin</u> <u>233 Sebago Lake Rd.</u> <u>Gorham, m.c. 04038</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>892-5218</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Joel Hamlin Date: 8/1/03

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

ATLANTIC TITLE COMPANY

76 Atlantic Place
South Portland, ME 04106
(207) 774-4400
Fax: (207) 774-5935

Facsimile Transmission Cover Sheet

Date: 8/5/03

To: Tammy Munson

Fax number: (207)874-8716

From: Patti McBreairty x 337

Re: Survey Copy for Karen Hunter

Number of pages (including cover sheet): 2

COMMENTS

sent over per Karen's request for her appointment today.

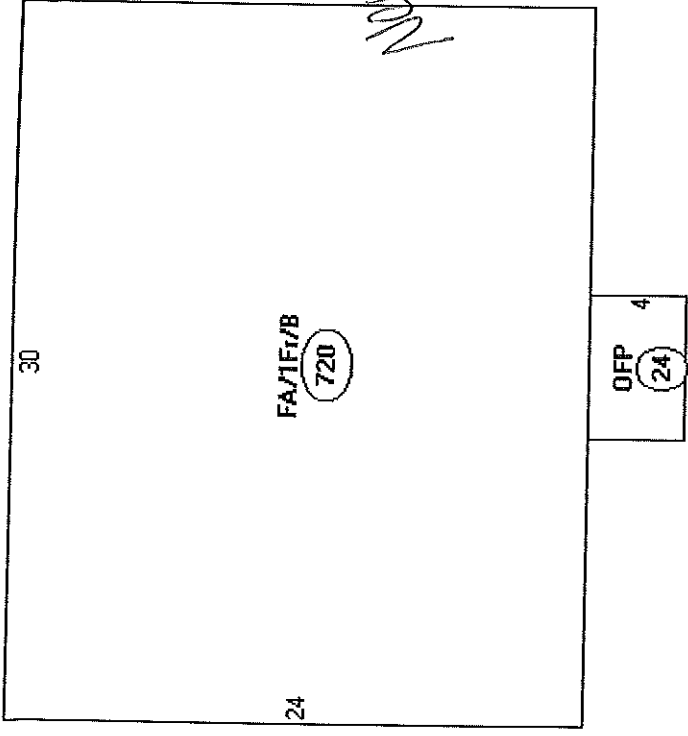
This message is intended only for the use of the individual or entity to which it is addressed, and may contain information that is privileged, confidential, and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone (collect) and return the original message to us at the address above via the U.S. Postal Service. Thank you.

If this transmission is incomplete, please call (207) 774-4400.

Descriptor/Area

A: FA/1F1/B
720 sqft

B: OFF
24 sqft



11th 2nd 3rd 4th 5th 6th
 12th 13th 14th 15th 16th
 17th 18th 19th 20th 21st 22nd 23rd 24th

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 344 D021001
 Location 88 PENNELL AVE
 Land Use SINGLE FAMILY
 Owner Address HUNTER KAREN M
 88 PENNELL AVE
 PORTLAND ME 04103
 Book/Page 13815/239
 Legal 344-D-21
 PENNELL AVE 88-90
 5000 SF

Valuation Information

Land \$30,770
 Building \$42,730
 Total \$73,500

Property Information

Year Built 1942
 Style Cape
 Story Height 1
 Sq. Ft. 900
 Total Acres 0.115
 Bedrooms 3
 Full Baths 1
 Half Baths 5
 Total Rooms 5
 Attic Part Finsh
 Basement Full

Outbuildings

Type SHED-FRAME
 Quantity 1
 Year Built 1970
 Size 8X6
 Grade D
 Condition F

Sales Information

Date 05/13/1998
 Type LAND + BLDING
 Price \$61,500
 Book/Page 13815-239

Picture and Sketch

[Picture](#) [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[New Search!](#)

FROM :

08-08-2003 16:39 FAX 207 324 1339

FAX NO. : 207 767 8179
LAVALLEY LBR.

Aug. 07 2003 06:51AM P1
001/004



**Lavalley
Lumber**

LAVALLEY LUMBER COMPANY, LLC
NEW DAM ROAD • PO BOX P • SANFORD, ME 04073 • TELEPHONE 207-324-3350
PLEASANT ST. • PO BOX 5 • SPRINGVALE, ME 04083 • TELEPHONE 207 324-3360
U.S. ROUTE 1 • PO BOX 275 • MOODY, ME 04654 • TELEPHONE 207 648-4535

DATE: 8-6-03

TO: ~~Bob~~ Tammy Mulvan

ATTENTION:

PHONE:
FAX: 874-8716

FROM: LAVALLEY LUMBER CO., LLC.
NEW DAM ROAD
SANFORD, ME 04073

CONTACT:

PHONE: (207)-324-3350
FAX: (207)-324-1339

PAGES: INCLUDING THIS COVER PAGE: 4

Karen Hunter-Jos
88 Pennedave
Portland
Contractor - Joel Hamlin

Py 1 = 2' - Span = LVC
P 2 = 13' Span = Steel
P 3 = 13' " = LVC

Choice 5-14x 9-1/2 2.0E BC Versa-Lam® DF Date: 8/06/03 BeamChk 2.2
Conditions

Date

Min Bearing Area	R1= 7.2 in	R2= 7.2 in	DL Defl	0.04 in	
Beam Span	8.0 ft	Reaction 1	6511 #	Reaction 1 LL	5300 #
Beam Wt per ft	12.81 #	Reaction 2	6511 #	Reaction 2 LL	5300 #
Beam Weight	103 #	Maximum V	6511 #		
Max Moment	13023 #	Max V (Reduced)	5223 #		
TL Max Defl	L / 240	TL Actual Defl	L / 481		
LL Max Defl	L / 360	LL Actual Defl	L / 551		

Attributes

Section (Dim)	Shear (in)	TL Defl (in)	LL Defl
78.87	49.88	0.20	0.16
48.44	27.49	0.40	0.27
OK	OK	OK	OK
Ratio	55%	50%	61%

Values

Base Values	Fy (ksi)	Fv (ksi)	E (ksi x mil)	Fc (lbs)
3080	285	285	2.0	900
Base Adjusted	3181	285	2.0	900

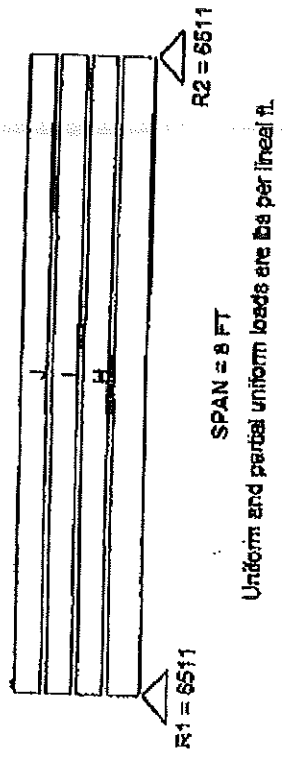
Adjustments

CF Size Factor	1.025
Cd Duration	1.00
Cr Repetitive	
Ch Shear Stress	
Cm Wet Use	

BeamChk has automatically added the beam self-weight into the calculations.

Loads

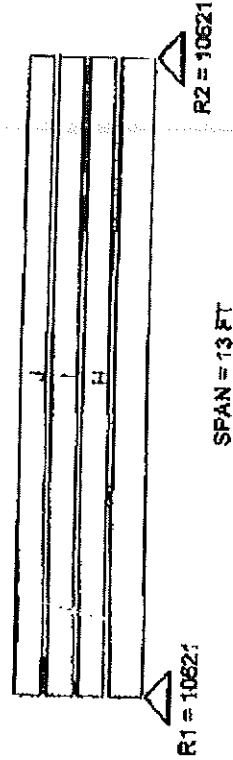
	Par Unif LL	Par Unif TL	Start	End
	500	H = 625	0	8.0
	825	I = 750	0	8.0
	200	J = 240	0	8.0



Choice	Date: 8/06/03		BeamChk 2.2
Conditions	Lateral Support at Lc = 4.2 ft max.		
Data	W 12x19 A36 Wide Flange Steel Actual Size is 4 x 12-1/8 in., Min. Bearing Length R1 = 0.6 in. R2 = 0.8 in. DL Defl 0.06 in. Suggested Camber 0.08 in.		
Attributes	Beam Span	13.0 ft	Reaction 1
Actual	Beam Wt per ft	19.0 #	Reaction 2
Critical	Beam Weight	247 #	Maximum V
Status	Max Moment	34516 #	Max V (Reduced)
Ratio	TL Max Defl	L / 240	TL Actual Defl
	LL Max Defl	L / 380	LL Actual Defl
	Section Mod	Shear (in ²)	TL Defl (in)
	21.30	2.86	0.28
	17.43	0.74	0.55
	OK	OK	OK
	82%	26%	43%
			52%
Values	Fy (ksi)	Fv (ksi)	F (psi x mil)
	Base Value Fy	36000	36000
Adjustments	Base Adjusted	23750	14400
	Yp Factor, Lc	0.66	0.40

BeamChk has automatically added the beam self-weight into the calculations.

Loads	Part	Unif	Par	Line	TL	Start	End
	500		H = 625			0	13.0
	625		I = 750			0	13.0
	200		J = 240			0	13.0



SPAN = 13 FT
Uniform and partial uniform loads are lbs per lineal ft.

*Not using
8/13/03
Per Steel
Per Franklin*

FROM :

06/06/2003 16:40 FAX 207 324 1338

FAX NO. : 207 767 8179
LAVALLEY LBR.

Aug. 07 2003 06:53AM P4
2004/004

Choice 7x14 2.0E BC Versa-Lam® DF Date: 8/06/03 BeamCheck 2.2

Conditions

Min Bearing Area R1= 11.8 in|R2= 11.3 in| D1 Defl 0.06 in

Beam Span	13.0 ft	Reaction 1	10661 #	Reaction 1 LL	8619 #
Beam Wt per ft	25.18 #	Reaction 2	10661 #	Reaction 2 LL	8613 #
Beam Weight	327 #	Maximum V	10661 #		
Max Moment	34649 #	Max V (Reduced)	8748 #		
TL Max Defl	L/240	TL Actual Defl	L/475		
LL Max Defl	L/360	LL Actual Defl	L/597		

Attributes

Section Area	Shear (in ²)	TL Defl (in)	LL Defl
228.67	98.00	0.93	0.27
Critical	48.04	0.55	0.43
Status	OK	OK	OK
Ratio	60%	51%	61%

Values

Base Value	3080	FV (psi)	E (psi x mil)	Fc L (psi)
Base Adjusted	3028	285	2.0	900
CF Size Factor	0.983	285	2.0	900

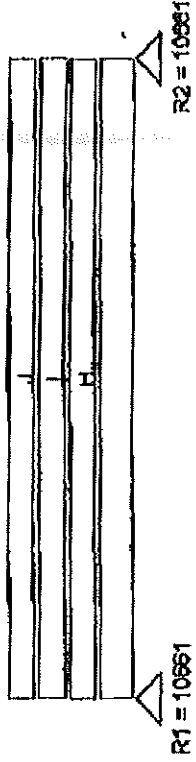
Adjustments

Cd Duration	1.00	1.00
Cr Repetitive		
Ch Shear Stress		
Cm Wet Use		

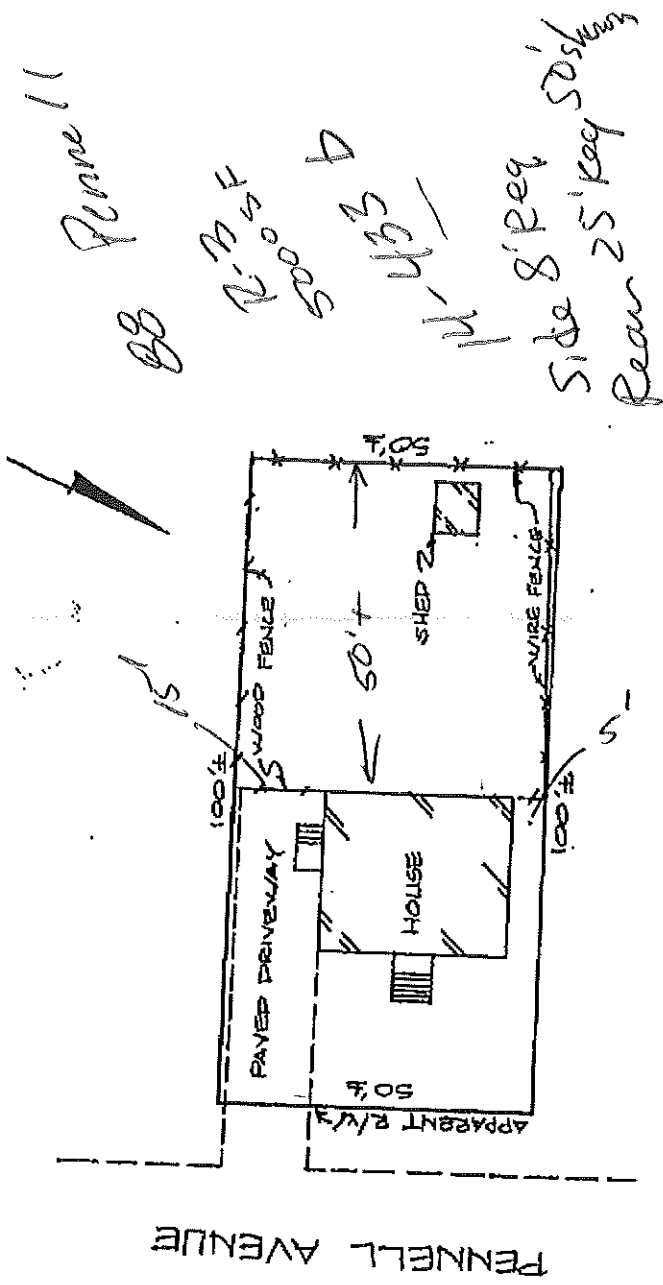
BeamCheck has automatically added the beam self-weight into the calculations.

Loads

Par. Unit LL	Par. Unit TL	Start	End
500	H = 625	0	13.0
625	I = 750	0	13.0
200	J = 240	0	13.0



Uniform and partial uniform loads are lbs per lineal ft



MORTGAGE LOAN INSPECTION PLAN

The dwelling does conform to local zoning building setbacks at the time of construction.

The dwelling is not in a special flood zone as defined by flood insurance rate map 230051-0007 dated 7-15-1992.

THIS IS NOT A STANDARD BOUNDARY SURVEY. Information shown on this plan is for mortgage purposes only. Property lines shown on this plan are based on current lines of occupation, current deed information (referenced below), and tax map information. A **STANDARD BOUNDARY SURVEY IS SUGGESTED TO CONFIRM ALL BOUNDARY LINES SHOWN ON THIS PLAN.** This plan may not be recorded or used for any land divisions. The property shown on this plan may be subject to easements, covenants, and restrictions of record which may not be shown on this plan.

This inspection conforms to the standards of the Maine Board of Licensure for Professional Land Surveyors, standards of practice for a Mortgage Loan Inspection.

PROPERTY INFORMATION

Street: 88 PENNELL AVENUE Town: PORTLAND County: CUMBERLAND , Maine
Owner: ROBERT & MAJORIE DRISCOLL
Buyer: KAREN HUNTER

Deed Reference: book 3163 page 417

Plan Reference: book page lot

Tax Map # 344 Lot 21 Block D

Lending Institution: PEOPLES HERITAGE BANK

Scale: 1 inch = 30 feet Date: APRIL 21, 1998

Atlantic Title Company
76 Atlantic Place
South Portland, Maine 04106
Telephone (207) 774-4400

WILLIAM G. AUSTIN
STATE OF MAINE
PROFESSIONAL LAND SURVEYOR # 2174



12/12

12/12

2x6 Rafters 16" o.c.

Knee wall

2x6 collar ties 16" o.c.

2 LVL'S
Cherry beam

Addition

EXISTING House

2x6 floor joists 16" o.c.

8' addition

4' Frostwall

Footing

2x6 wall studs 16" o.c.



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Aaron Shapiro- Director of Housing and Neighborhood Services
Michael J. Nugent- Director of Inspections*

CITY OF PORTLAND **NOTICE OF VIOLATION**

April 5, 2005

Phillip Cincotta
877 Oak Hill Road
North Yarmouth, Maine 04097-6242

RE: 88 Pennell Avenue
CBL: 344-D021

Certified Mail Receipt:

Dear Mr. Cincotta:

An evaluation of the property at 88 Pennell Avenue on March 24, 2005 revealed that the work completed under permit #03-0939 and 03-117 performed by you fails to comply with the 1999 BOCA Building Code of the Code of Ordinances of the City of Portland. The following is a list of the violations:

2305.6.2 Support and anchorage on walls or beams: First floor joists in basement are not properly supported on hangers or a ledger strip.

The inspection performed of the roof rafters and second floor joists was inconclusive. Please provide evidence of how these systems are properly supported by the LVL.

This is a notice of violation pursuant to Section 116.2 of the 1999 BOCA Building Code. All referenced violations shall be corrected within 60 days of the date of this notice. You must submit a set of plans showing building code compliance within 30 days of the date of this notice. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

This constitutes an appealable decision pursuant to Section 1-16(2) of the Code. Please feel free to contact me at 874-8706 if you wish to discuss the matter or have any questions.

Please be advised that the Portland City Council has amended the Building regulations to include a \$75.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections, however, the \$75.00 fee will be assessed for each inspection.

Sincerely,

Tammy Munson
Code Enforcement Officer/Plan Reviewer

April 13, 2005

Code Enforcement Office / Plan Reviewer

Tammy Munson

Michael Nugent

Karen Hunter

RE: 88 Pennel Avenue

Portland Maine

CBL: 344-D021

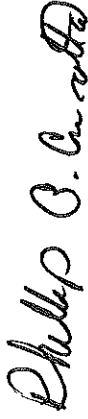
Dear Sir's & Madam's

Thank you for forwarding to me the evaluation of the property at 88 Pennel Avenue. And the list of over look joist hangers that myself and the Building inspector over looked when the final inspection was done. This is something that was OVER LOOKED and I, Phillip G Cincotta has said in the past and I am confirming again that this will be done. Again this was something that was over looked and not anything that was done incorrectly.

When Mrs. Hunter calls to confirm a date that will accommodate her schedule I will be more than happy to do this part of the necessary floor supports (code requirement). Regarding the rafter supports that are hung from the LVL beams. They are there and nailed onto the LVL. The type that was used is a SIMPSON STRONG-TIE double joist hanger(# LUS210-2 or ST18) were every floor joist and every rafter came together. This was inspected once already and given an OK .I was given the OK by the CITY CODE INSPECTOR to close the walls & ceiling in, which was done. The only proof that can be given to you is the inspection report, which the city of Portland already has. I feel if Mrs. Hunter wishes to confirm this she can open the ceiling up and patch the ceiling at her expense. I had this area inspected properly by the city of Portland if there is inconclusive information then their seams to be no need for correction.

Please feel free to contact me at any time concerning this matter Phone # 207-829-6806

Sincerely



Phillip G. Cincotta



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life - www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Aron Shapiro- Director of Housing and Neighborhood Services
Michael J. Nugent- Director of Inspections*

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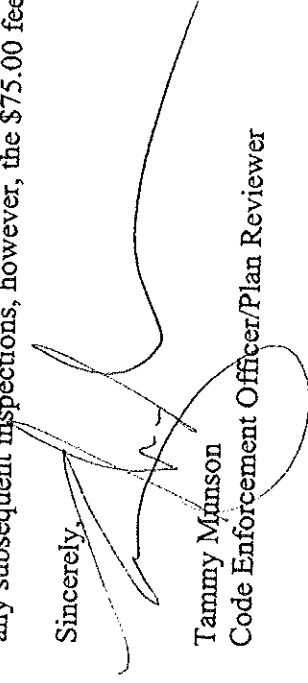
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Tammy Munson
Code Enforcement Officer/Plan Reviewer

April 13, 2005

Code Enforcement Office / Plan Reviewer

Tammy Munson

Michael Nugent

Karen Hunter

RE: 88 Pennel Avenue

Portland Maine

CBL: 344-D021

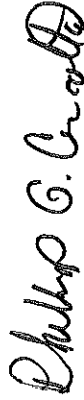
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