

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	02-0854	Issue Date:	PERMIT DENIED	CBL:	344 D014001
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Location of Construction:	60 Pennell Ave	Owner Name:	Rich Arthur F. Jr &	Owner Address:	60 Pennell Ave	Phone:	797-2951
Business Name:		Contractor Name:	Applicant	Contractor Address:	Portland	Phone:	
Lessee/Buyer's Name:		Phone:		Permit Type:	Alterations - Dwellings	Zone:	

Past Use:	Single Family	Proposed Use:	Single Family	Permit Fee:	\$121.00	Cost of Work:	\$13,850.00	CEO District:	2
				FIRE DEPT:	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION:	Use Group:	PERMIT DENIED	

Proposed Project Description:	Demo 20' x 20' Garage and Replace with 24 26' Garage/Detached		Signature:		Signature:	
	<i>BOXXO</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
			Action:	<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:	

Permit Taken By:	gad	Date Applied For:	07/26/2002	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input checked="" type="checkbox"/> PERMIT DENIED Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Inspection Services
Michael J. Nugent
Manager



Planning & Economic Development
Lee Urban
Director

CITY OF PORTLAND

August 1, 2002

Arthur Rich
60 Pennell Avenue
Portland, Maine 04103

RE: 60 Pennell Avenue
Permit: 02-0854
CBL: 344-D-014

Dear Mr. Rich;

Permit # 02-0854 is DENIED in accordance to section 14-385 (expansion of non-conforming structure) of the Portland Zoning Ordinance.

You may appeal this decision to the Zoning Board of Appeals with 30 days of this letter under a Practical Difficulty Variance.

Enclosed you will find your submissions.

The business hours are 8:00 a.m. to 4:00 p.m. weekdays.

Sincerely,

Jodine L. Adams
Office Manager

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 020854

This is to certify that Rich Arthur F Jr &/Applican

has permission to Demo 20' x 20' Garage and R

AT 60 Pennell Ave

344 D014001

provided that the person or persons,
of the provisions of the Statutes of M
the construction, maintenance and u
this department.

...cepting this permit shall comply with all
...ances of the City of Portland regulating
...of buildings and structures, and of the application on file in

Apply to Public Works for street line
and grade if nature of work requires
such information.

...m of operation...
...and of the...
...of buildings and structures, and of the application on file in
...inspection...
...and with...
...this...
...d or o...
...R NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PERMIT DENIED

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

Date

Signature of Inspections Official

Date

CBL: 344-D-14 Building Permit #: 02-0854

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0854	Issue Date: SEP 24 2002	CB#: D014001
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Location of Construction: 60 Pennell Ave	Owner Name: Rich Arthur F Jr &	Owner Address: 60 Pennell Ave	Phone: 2951
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$121.00	Cost of Work: \$13,850.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: SB	

Proposed Project Description:
Demo 20' x 20' Garage and Replace with 20' x 20' Garage/Detached

Signature: _____ Date: _____

Signature: *QA*

Signature: _____ Date: _____

Signature: _____ Date: _____

Permit Taken By: *gad* Date Applied For: 07/26/2002

Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
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Date: <i>9/24/02</i>	Date:	Date: <i>9/24/02</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Application ID Number: 2-0854

Delete Save Close

Department: Zoning

Status: Approved

Reviewer: Tammy Munson

Comments: Trying to expand a nonconforming garage. Went to board of appeals and was denied - permit approved to rebuild same size under section 14-385

Approval Date: 09/24/2002

Given On Date: 07/30/2002

OK to Issue Permit Name: Tammy Munson Date: 09/24/2002 Date 2: []

Create Date: 07/30/2002

By: gad

Update Date: 09/24/2002

By: lmm

Create Date: 07/30/2002 By: gad Update Date: 09/24/2002 By: lmm

OK to Issue Permit Name: Tammy Munson Date: 09/24/2002 Date 2: []

Given On Date: 07/30/2002

Comments: Owner went to Board of Appeals to expand a non-conforming structure and was denied - Owner is aware of non-conforming rights of rebuilding.

Approval Date: 09/24/2002

Department: Building Status: Approved Reviewer: Tammy Munson

Application ID Number: 2-0854

Delete Save Close

RECOMMENDED CONSTRUCTION METHODS AND DETAILS

UNHEATED BUILDINGS

Additional measures are required when using a FPSF on an unheated building. While a drainage layer is only recommended under wing insulation for heated buildings, a 6-inch drainage layer is always required under unheated FPSF designs. Additionally, the horizontal ground insulation extends not only as a wing beyond the perimeter of the building, but continues under the entire unheated portion of the building. This insulation layer can be installed either directly under the slab as shown in Figure 18, or entirely at one level as shown in Figure 19. In either case, the compressive load of the building on the insulation must be determined to compare to the compressive resistance of the foam (see design examples). The horizontal insulation must have a minimum of 10 inches of soil cover.

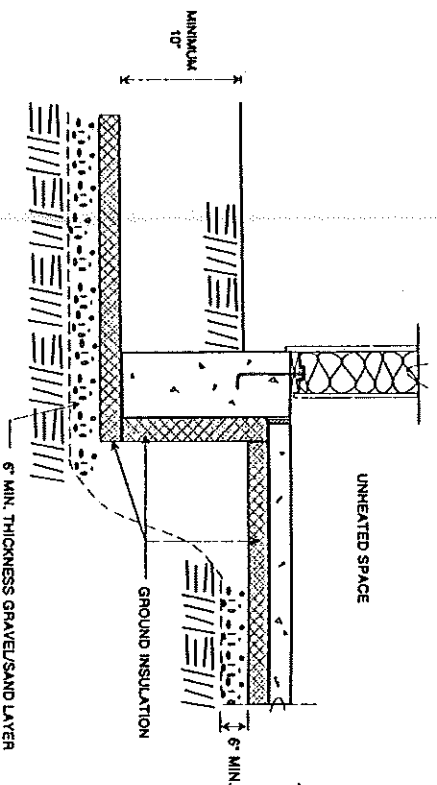


Figure 18. FPSF Design for Unheated Space with Independent Slab and Stem Wall.

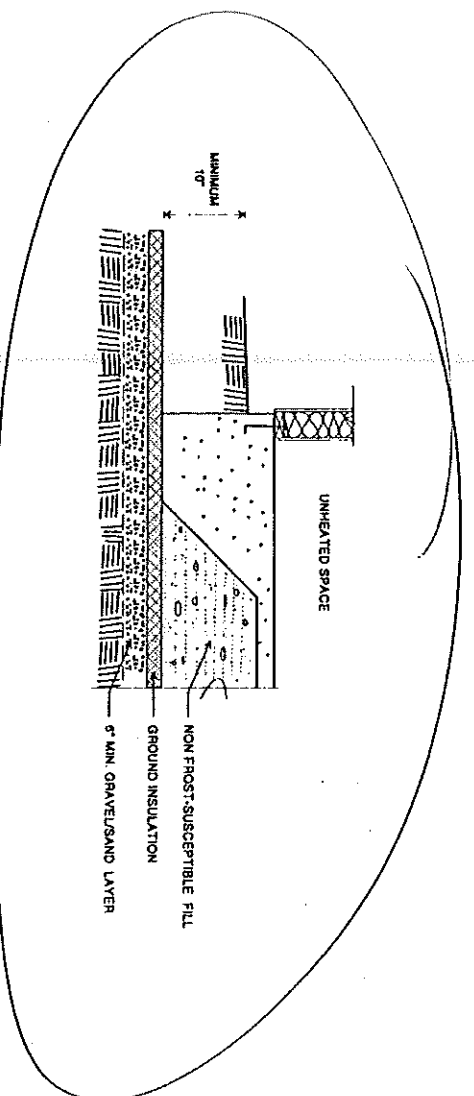
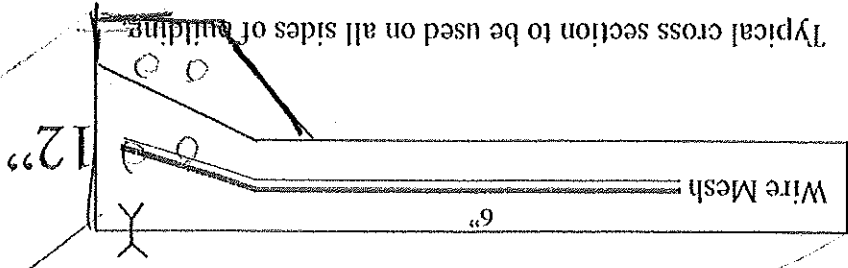
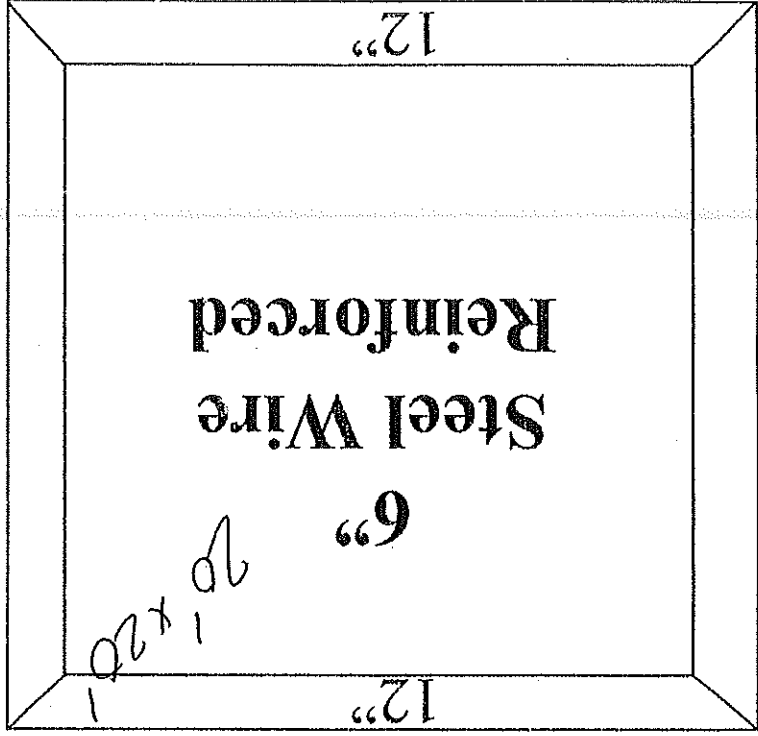


Figure 19. FPSF Design for Unheated Buildings with Insulation in Single Plane.

Concrete Slab Layout

6" Thick

12" Edges



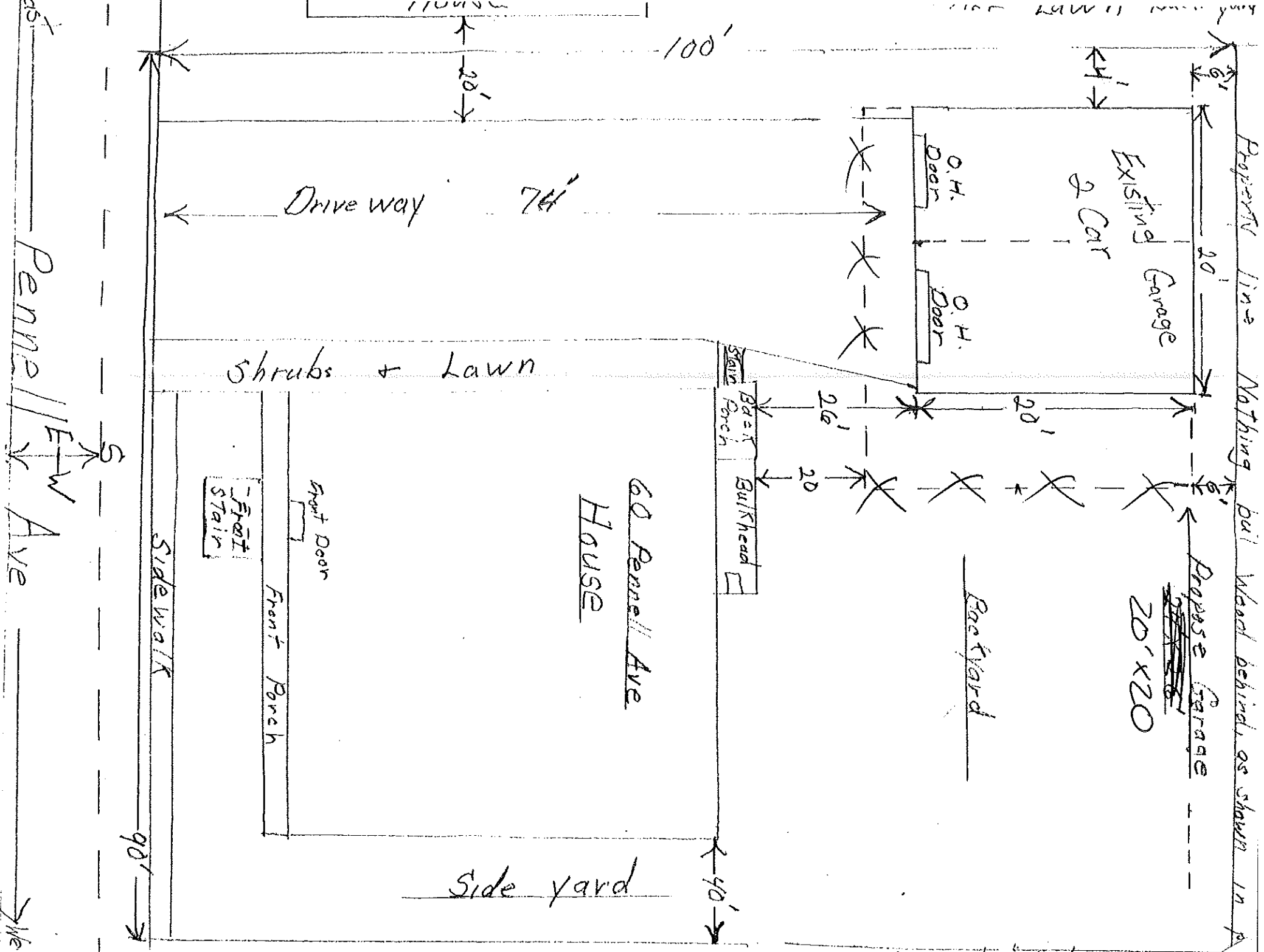
S. P. RANKIN
 PO Box 291, Westbrook, ME 04098
 Telephone {ME} # 1-800-794-9881
 Route 125 #252, Epping, NH 03042
 Telephone {NH} #1-800-473-9881

Spring 2002
 Prices may vary due to the fluctuation in the lumber market.

Garages with 2nd floor	Standard 1 Story Garages	Front & Reversed Gables	14' x 20'	\$ 5,700.00	16' x 20'	\$ 6,000.00	18' x 20'	\$ 6,400.00	18' x 24'	\$ 6,800.00	20' x 20'	\$ 7,500.00	20' x 24'	\$ 8,000.00	24' x 24'	\$ 8,900.00	24' x 26'	\$ 9,400.00	24' x 28'	\$ 9,800.00	20' x 20'	\$ 10,100.00	24' x 30'	\$ 10,750.00	24' x 32'	\$ 13,400.00	24' x 36'	Additional cost to garage				
20' x 20'	20' x 20'	20' x 20'	20' x 20'	\$ 10,200.00	20' x 24'	\$ 11,100.00	24' x 24'	\$ 12,800.00	24' x 28'	\$ 14,300.00	24' x 30'	\$ 15,300.00	24' x 32'	\$ 16,800.00	24' x 36'	\$ 18,400.00	24' x 26'	\$ 9,800.00	24' x 28'	\$ 9,800.00	20' x 20'	\$ 12,500.00	24' x 30'	\$ 12,500.00	24' x 32'	\$ 14,500.00	24' x 36'	\$ 16,000.00	24' x 24'	\$ 17,500.00	24' x 24'	\$ 19,000.00

Double Hung Window \$150.00
 Steel Insulated Service Door \$225.00
 Pine Loft Doors for 2nd floor \$250.00
 Loft beam \$ 75.00

These are our most popular models, if you are interested in a size not listed, please feel free to call for more information. Above prices include concrete slab & overhead garage doors only.



Property line Nothing but wood behind as shown in plan

Existing Garage

2 Car

O.H. Door

O.H. Door

Propose Garage
~~20' x 20'~~
20' x 20'

East yard

Back Porch

Bulkhead

60 Pennell Ave
House

Front Door

Front Porch

Front Stair

Side walk

Side yard

Drive way 74'

Shrubs + Lawn

Pennell Ave

100'

20'

74'

20'

20'

20'

20'

20'

20'

20'

40'

90'

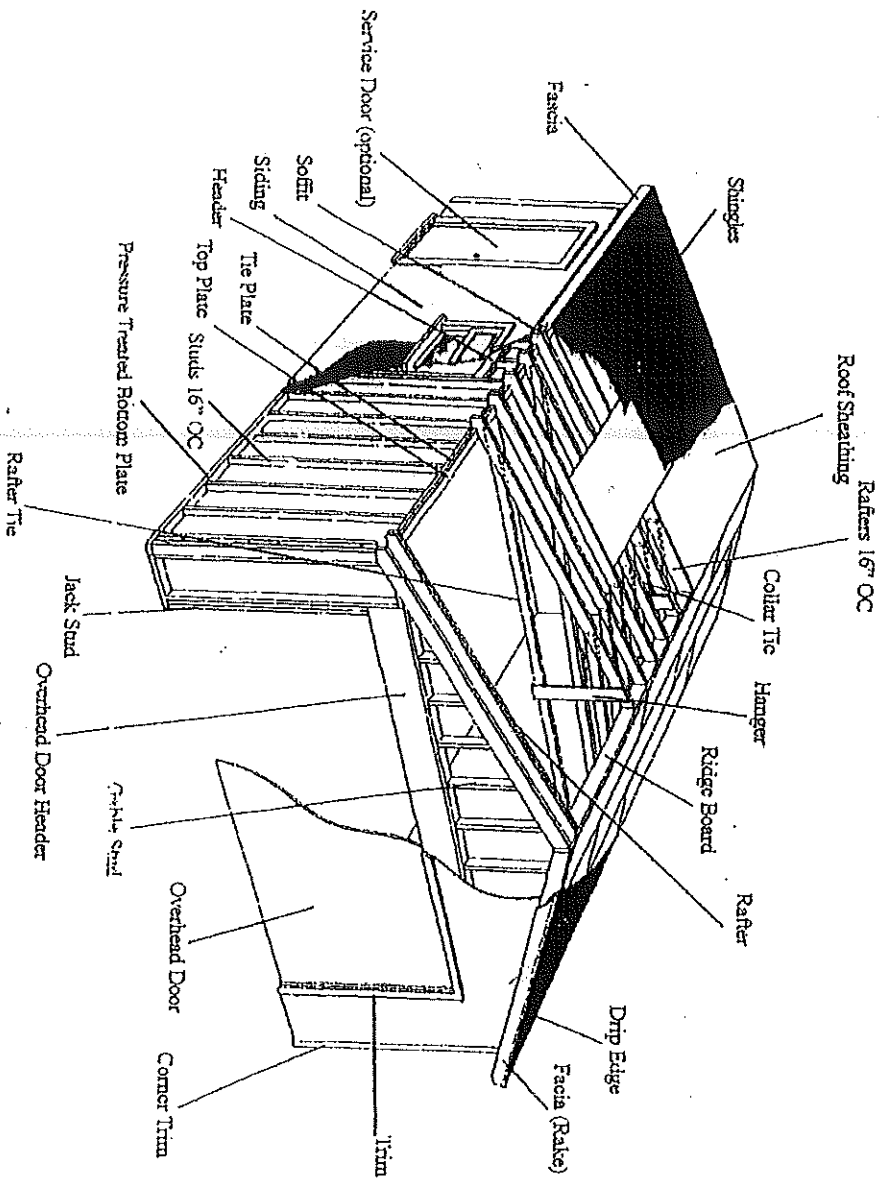
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20 x 20

- Roof Sheathing - 1/2" plywood
- Rafters - 2"x 8" 16" O.C.
- Collar Tie - 2"x 4"
- Hanger - 2"x 4"
- Ridge Board - 2"x 6"
- Drip Edge - Galvanized
- Facia - Pine
- Trim - Pine
- Gable Studs - 2"x 4"
- Garage Door Header - 2"x 8"
- Jack Stud - 2"x 4"
- Rafter Tie - 2"x 6" 48" O.C.

- Bottom Plate - 2"x 4" Pressure Treated
- Studs - 2"x 4" 16" O.C.
- Tie Plate - 2"x 4"
- Top Plate - 2"x 4"
- Window & Service Door Headers - 2"x 6"
- Siding - T-111 5/8" Fir
- Soffit - AC 3/8" Pine
- Shingles - 20 year
- Roof Pitch - ~~5/12~~ *Don't know*
- Overhead Doors - Wood or Steel
- Windows - Double Hung 24" x 32" {optional}
- Service Door - Steel Insulated {optional}