

PRENTISS RESIDENCE • PROPOSED ADDITION & DECK
40 PENNELL AVE. PORTLAND TAX MAP NO. 344-D-8-9-10 15,000 S.F.

MARCH 12, 2005

A-SITE PLAN
B-EXISTING FIRST FLOOR PLAN
C-ADDITION FOUNDATION PLAN
D-FIRST FLOOR ADDITION & DECK PLAN
E-SOUTH ELEVATION-EXISTING
F-SOUTH ELEVATION-ADDITION
G-WEST ELEVATION-EXISTING • WEST ELEVATION-ADDITION
H-NORTH ELEVATION-EXISTING • NORTH ELEVATION-ADDITION
I-FOUNDATION AND FRAMING SECTIONS
J-FLOOR AND ROOF FRAMING PLANS
K-ELECTRICAL PLAN - ADDITION
L-PLUMBING MECHANICAL - ADDITION
M-WINDOW AND DOOR SCHEDULES

NOTE: DRAWINGS FOR PERMIT AND
BIDDING PURPOSES. ADDITION
DETAIL DRAWINGS UPON REQUEST.

DRAWINGS BY OWNER

PRENTISS RESIDENCE
40 PENNEL AVE. PORTLAND
CITY OF PORTLAND TAX MAP NO.
344-D-8-9-10 15,000 S.F.

SITE PLAN - SCALE 3/32=1'
LOT SIZE = 100'D X 150'W

R5 Zone
Rear 20' Req 29' shown
Side 8' Req well over 8'

LOT 8

EXISTING GARAGE
19' X 20' 4"

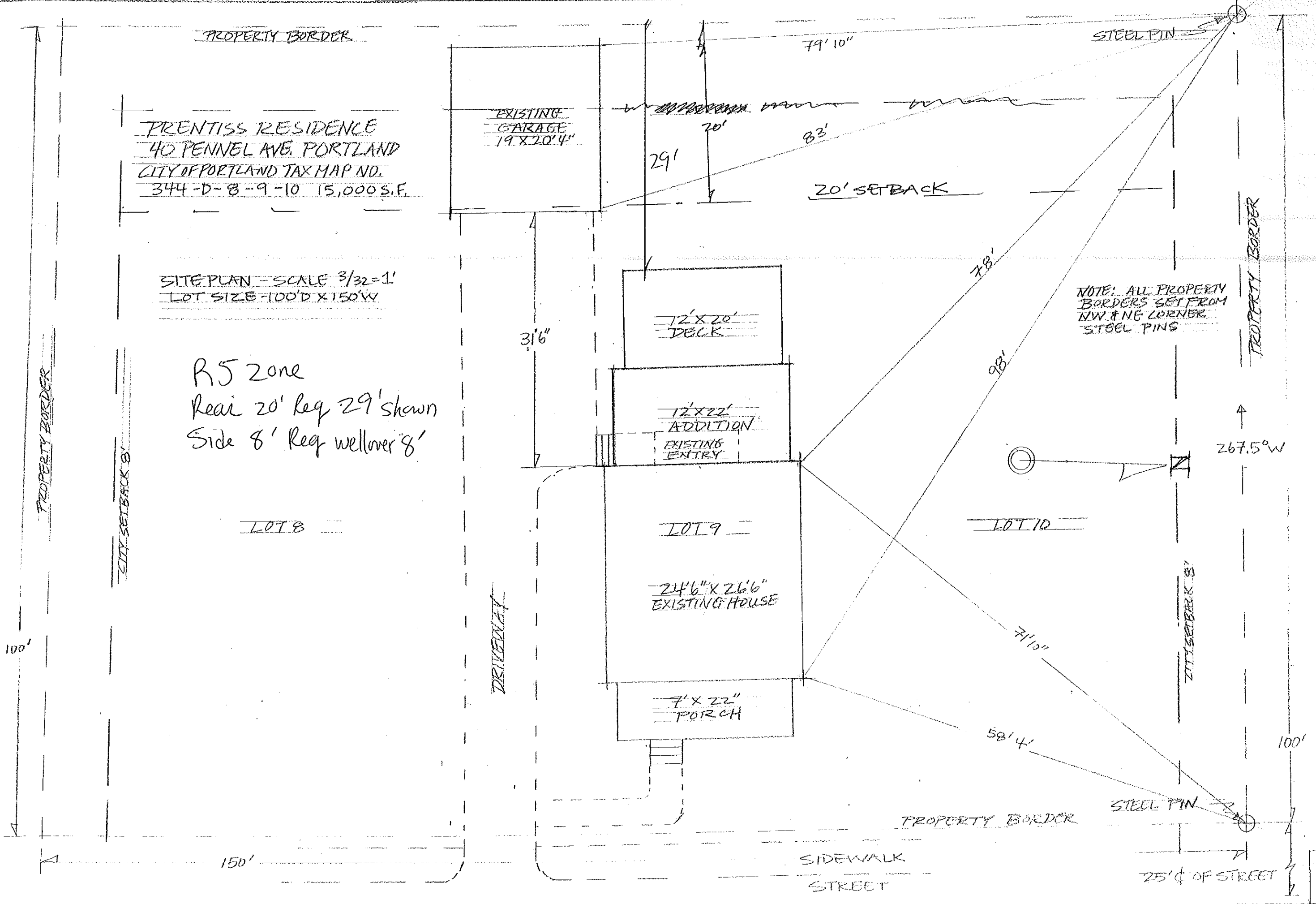
12' X 20'
DECK

12' X 22'
ADDITION
EXISTING ENTRY

24' 6" X 26' 6"
EXISTING HOUSE

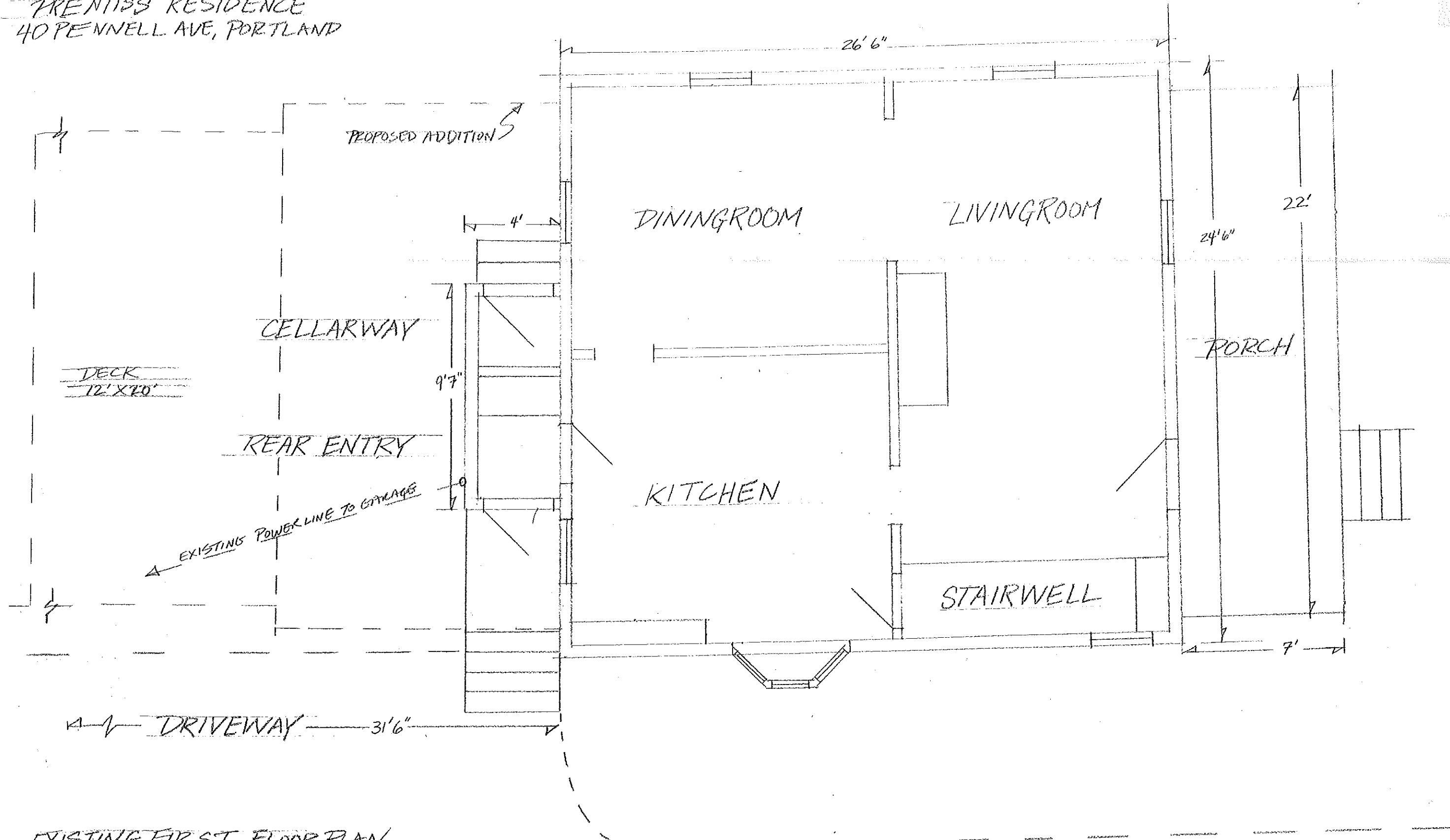
7' X 22"
PORCH

NOTE: ALL PROPERTY BORDERS SET FROM
NW & NE CORNER
STEEL PINS



A

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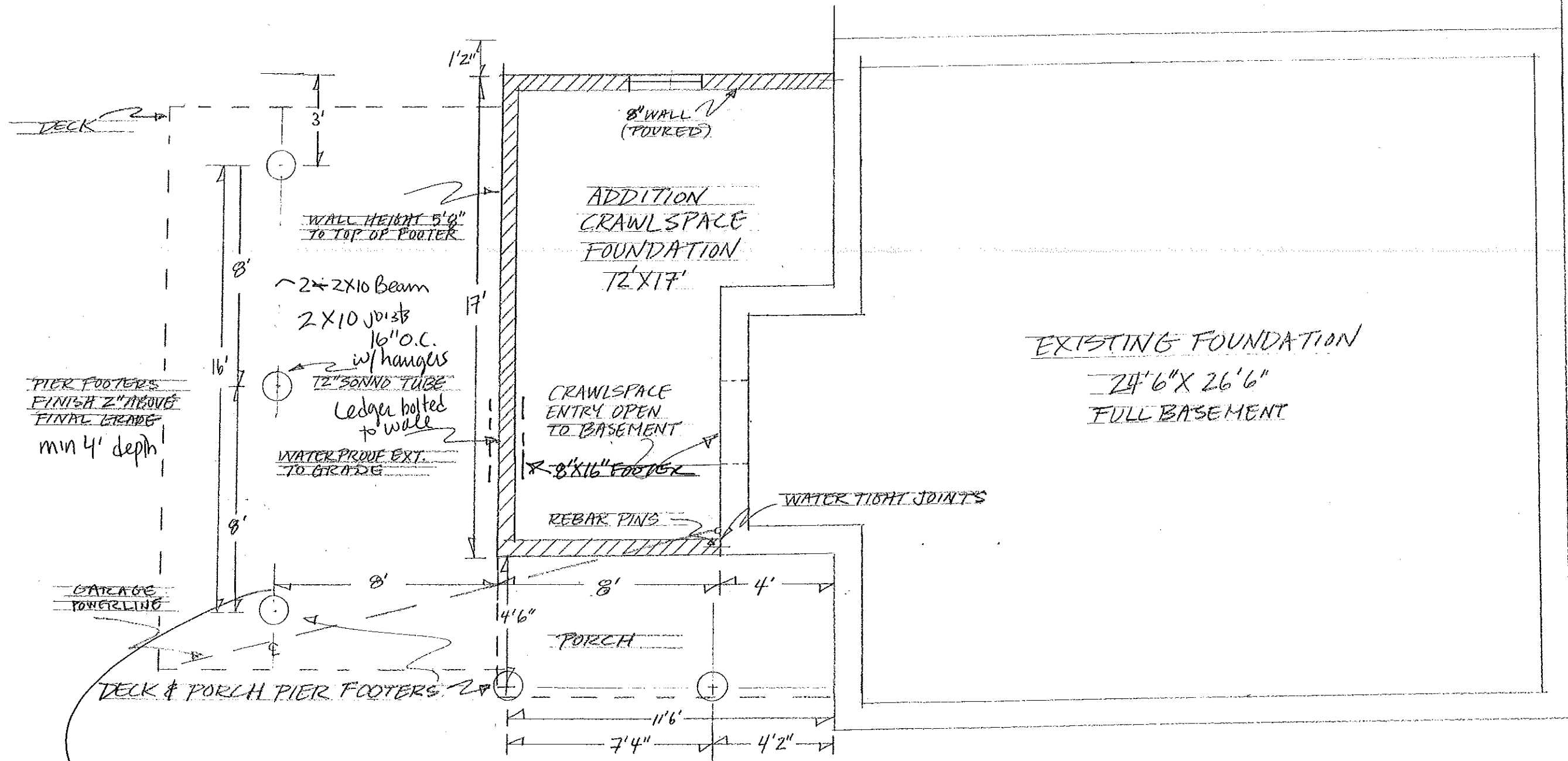


EXISTING FIRST FLOOR PLAN
SCALE 1/4"=1'
JSP 2/16/05

DRIVEWAY

B

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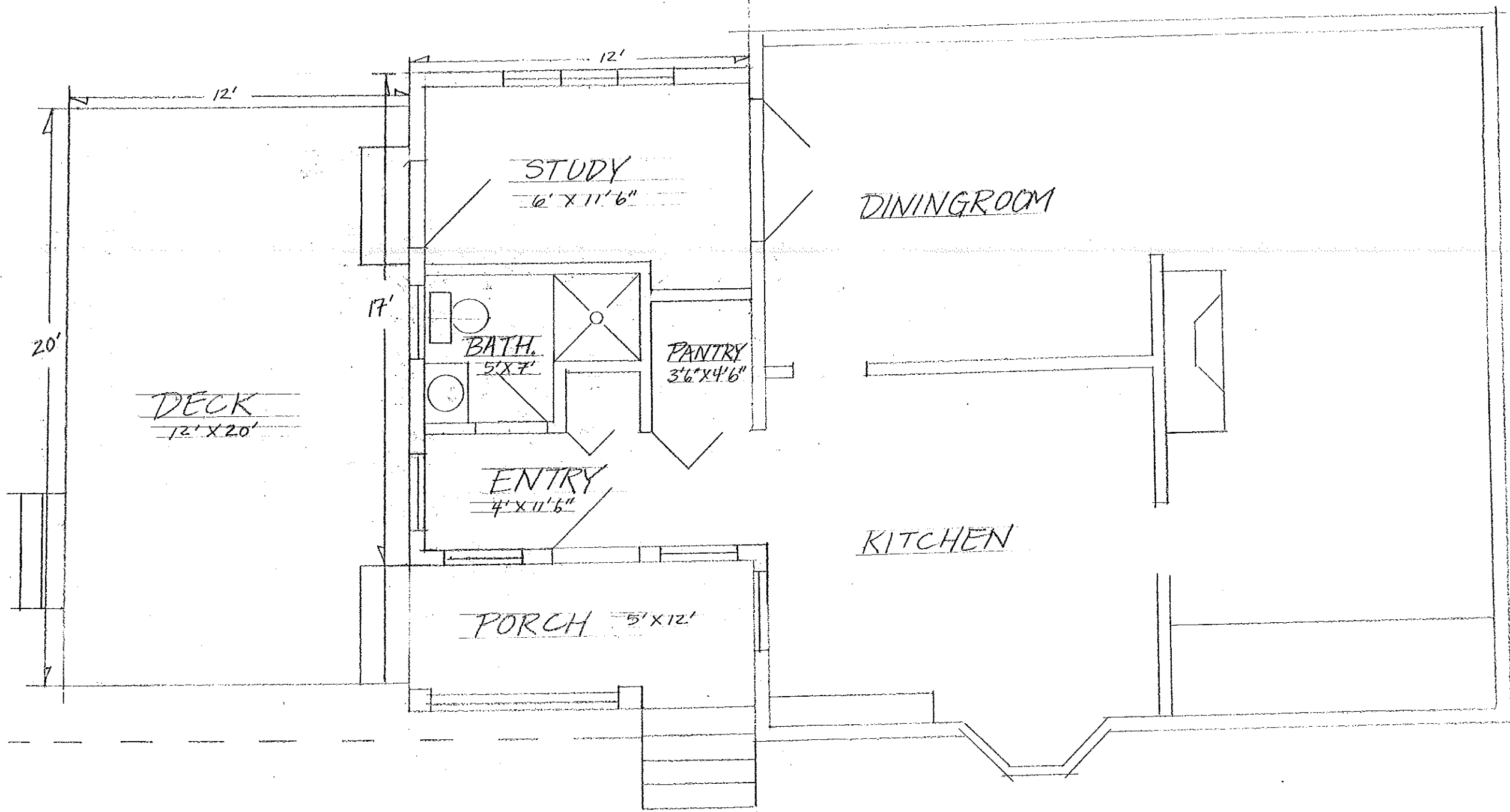
EXISTING FOUNDATION
24'6" X 26'6"
FULL BASEMENT

3' Cantilever of

NOTE: PRE-EXISTING UNDERGROUND
POWERLINE TO GARAGE MUST
BE EXCAVATED AND REROUTED
DURING FOUNDATION EXCAVATION

ADDITION FOUNDATION PLAN
SCALE 1/4" = 1'
JSP 2/20/05

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DRIVEWAY TO GARAGE 31'6"

FIRST FLOOR ADDITION & DECK PLAN
SCALE 1/4" = 1'
JSP 2/16/05

DRIVEWAY

D

EXTERIOR DETAILS:
- VINYL SIDING
- ASPHALT SHINGLES
- VINYL REPLACEMENT
WINDOWS

ENTRY TO BE REMOVED



4' 26' 6" 7'

SOUTH ELEVATION & EXISTING

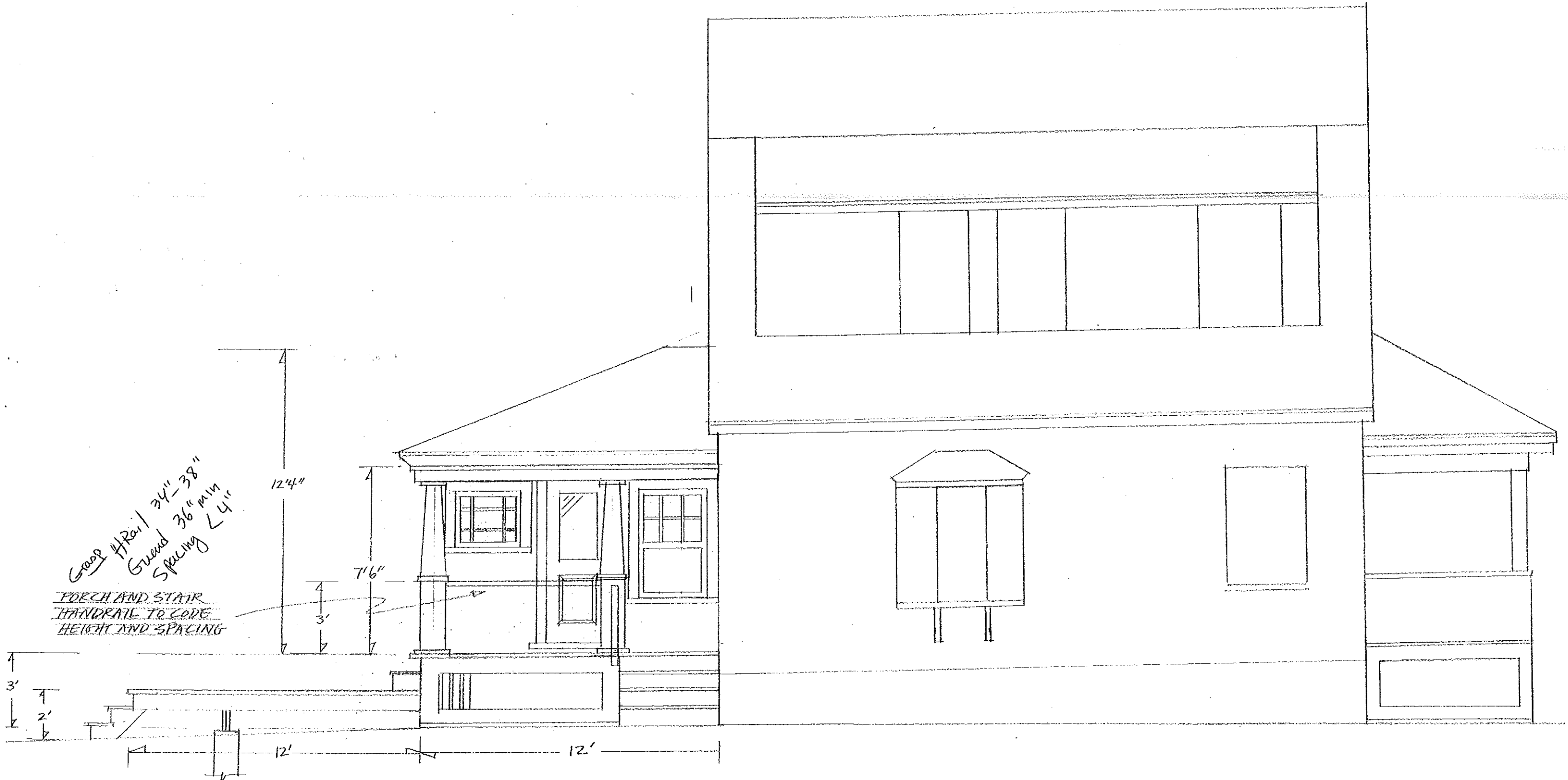
SCALE 1/4" = 1'

JSP 2/28/05

SLOPE - EAST 1/2" TO 1'

E

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GRASP 4 RAIL 34"-38"
GUARD 36" MIN
SPACING < 4"

PORCH AND STAIR
HANDRAIL TO CODE
HEIGHT AND SPACING

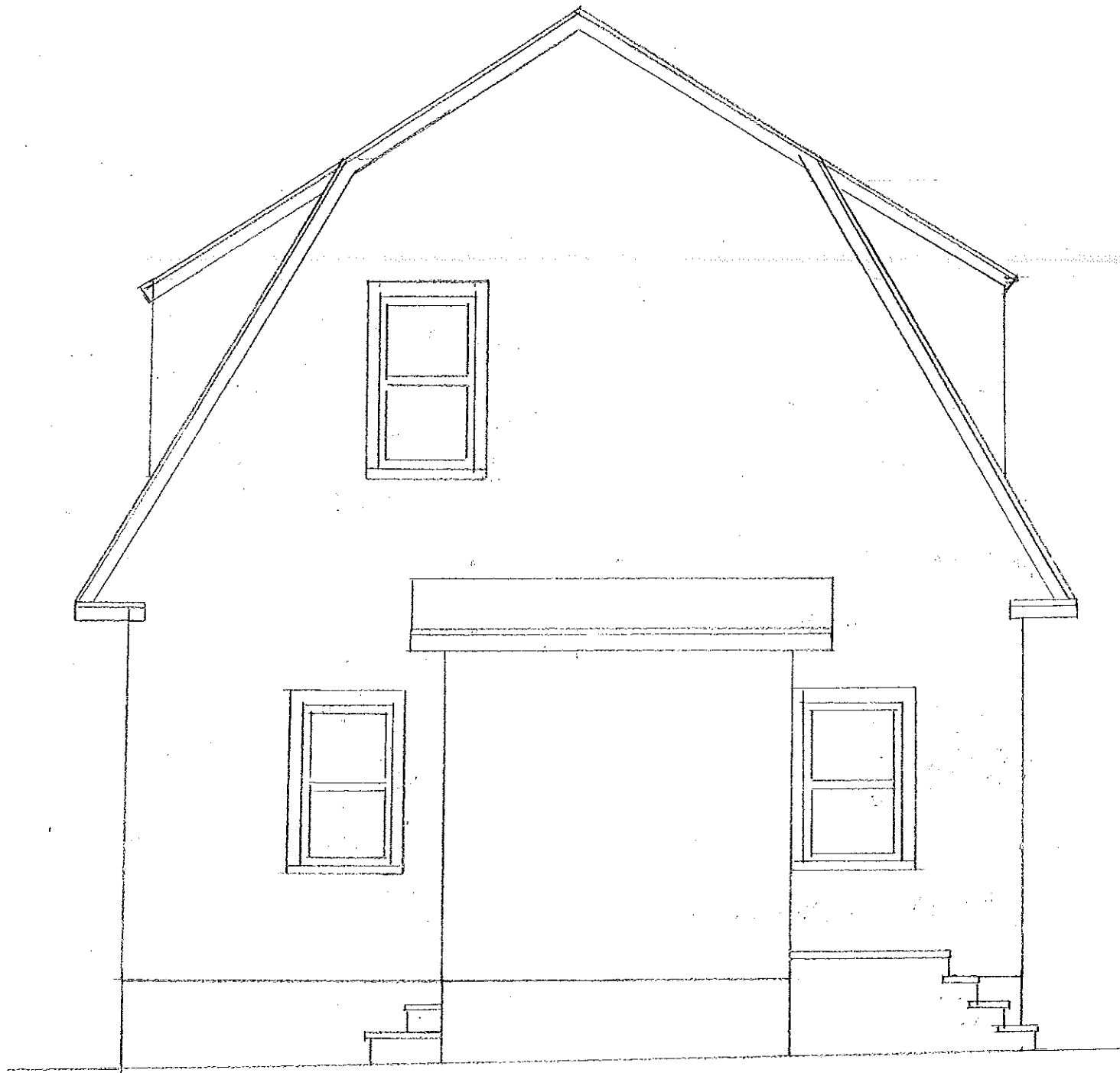
SOUTH ELEVATION - ADDITION

SCALE 1/4" = 1'

JSP 2/28/05

F

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WEST ELEVATION - EXISTING

SCALE 1/4" = 1'

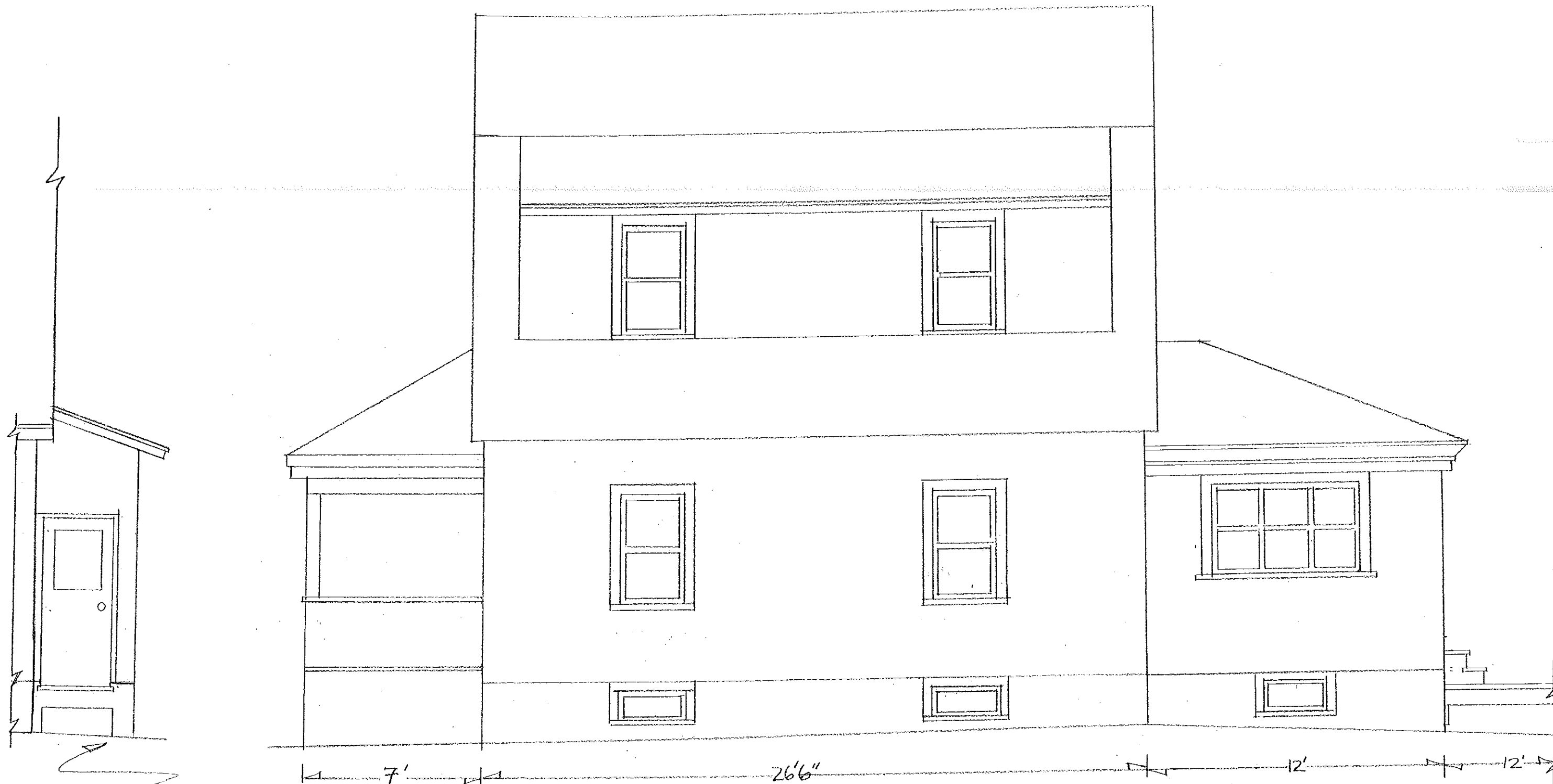
JCP 3/05/05



WEST ELEVATION - ADDITION

G

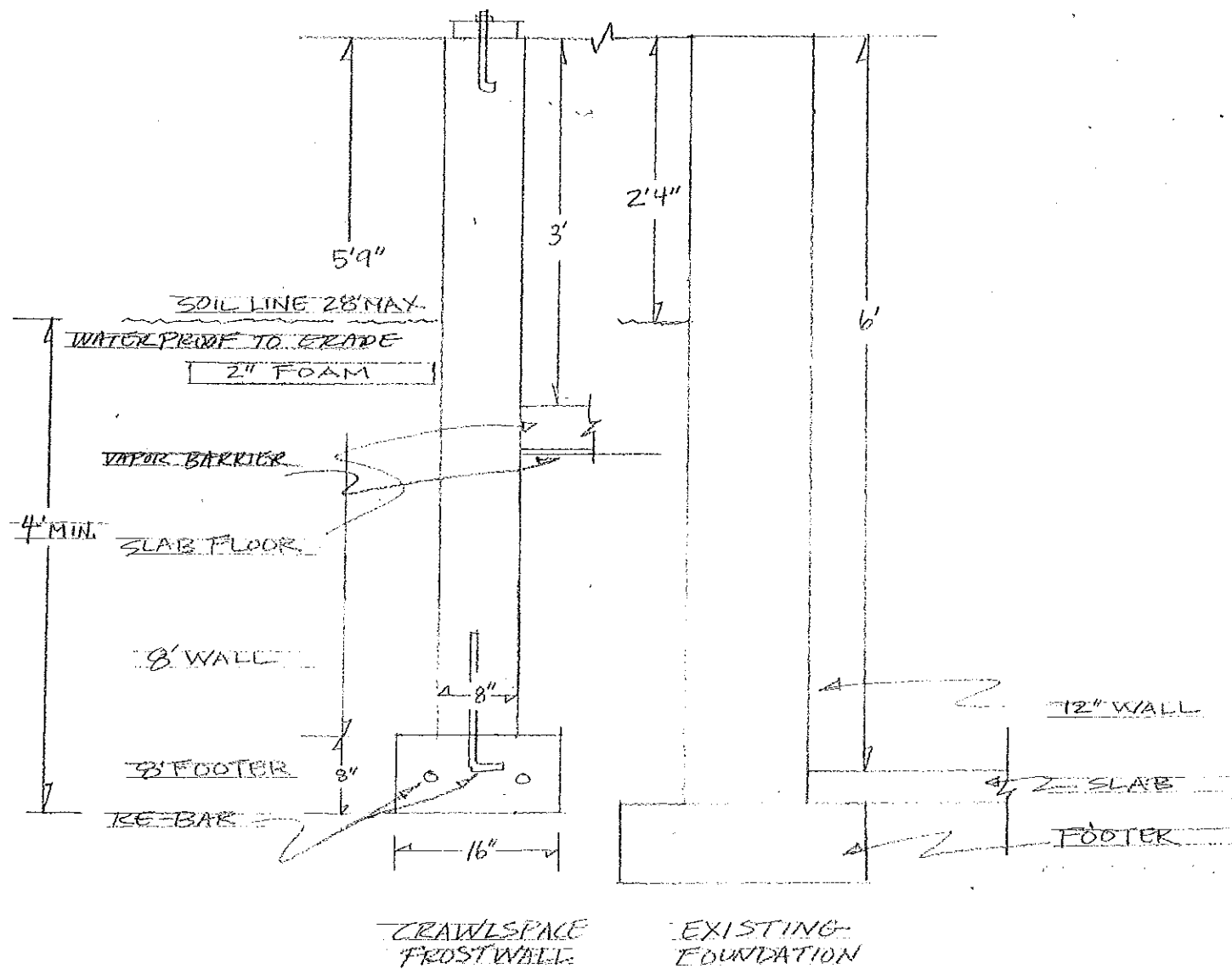
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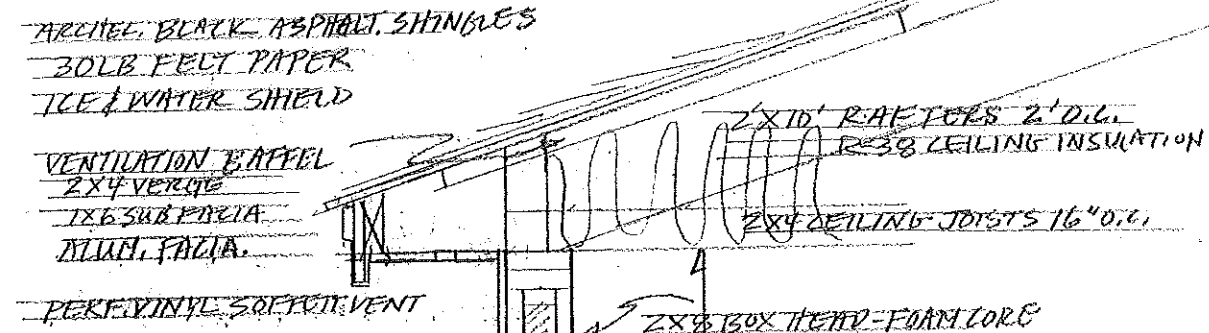
NORTH ELEVATION-EXISTING
ENTRY-CELLARWAY

NORTH ELEVATION-ADDITION
SCALE 1/4" = 1'
JSP 3/08/05

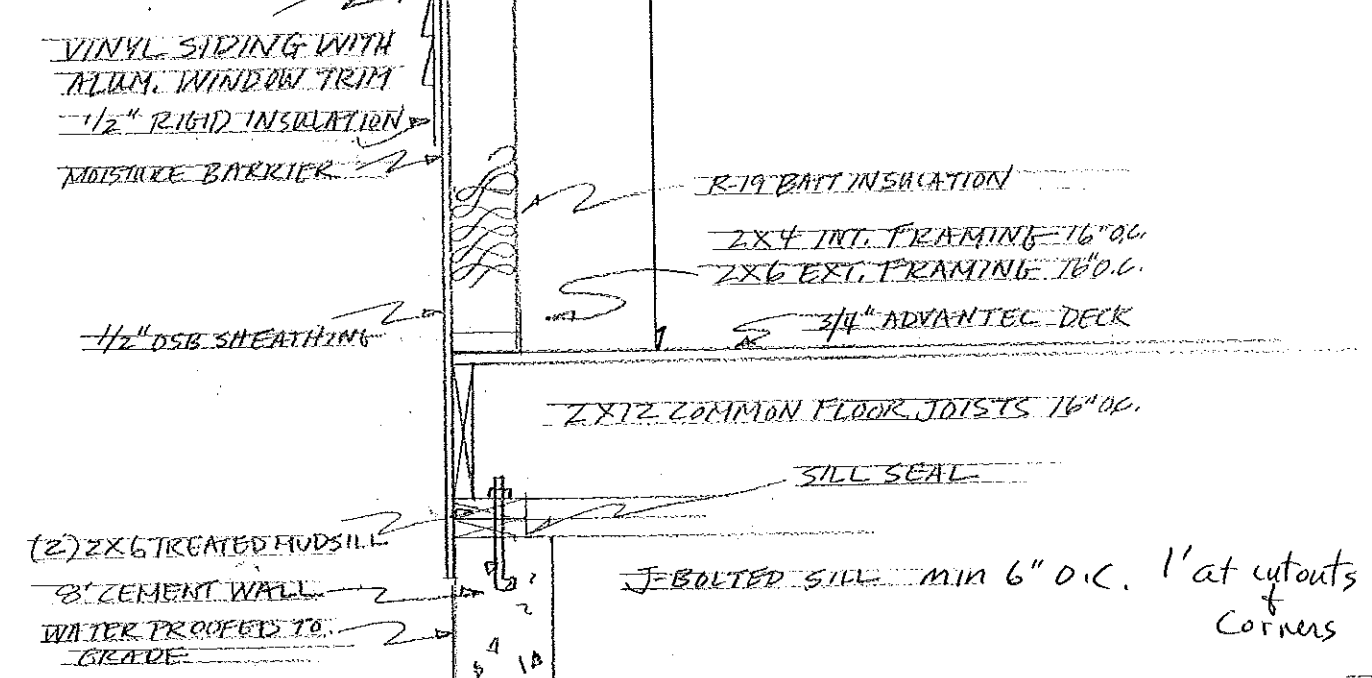
H



FOUNDATION SECTION
SCALE 3/4" = 1'



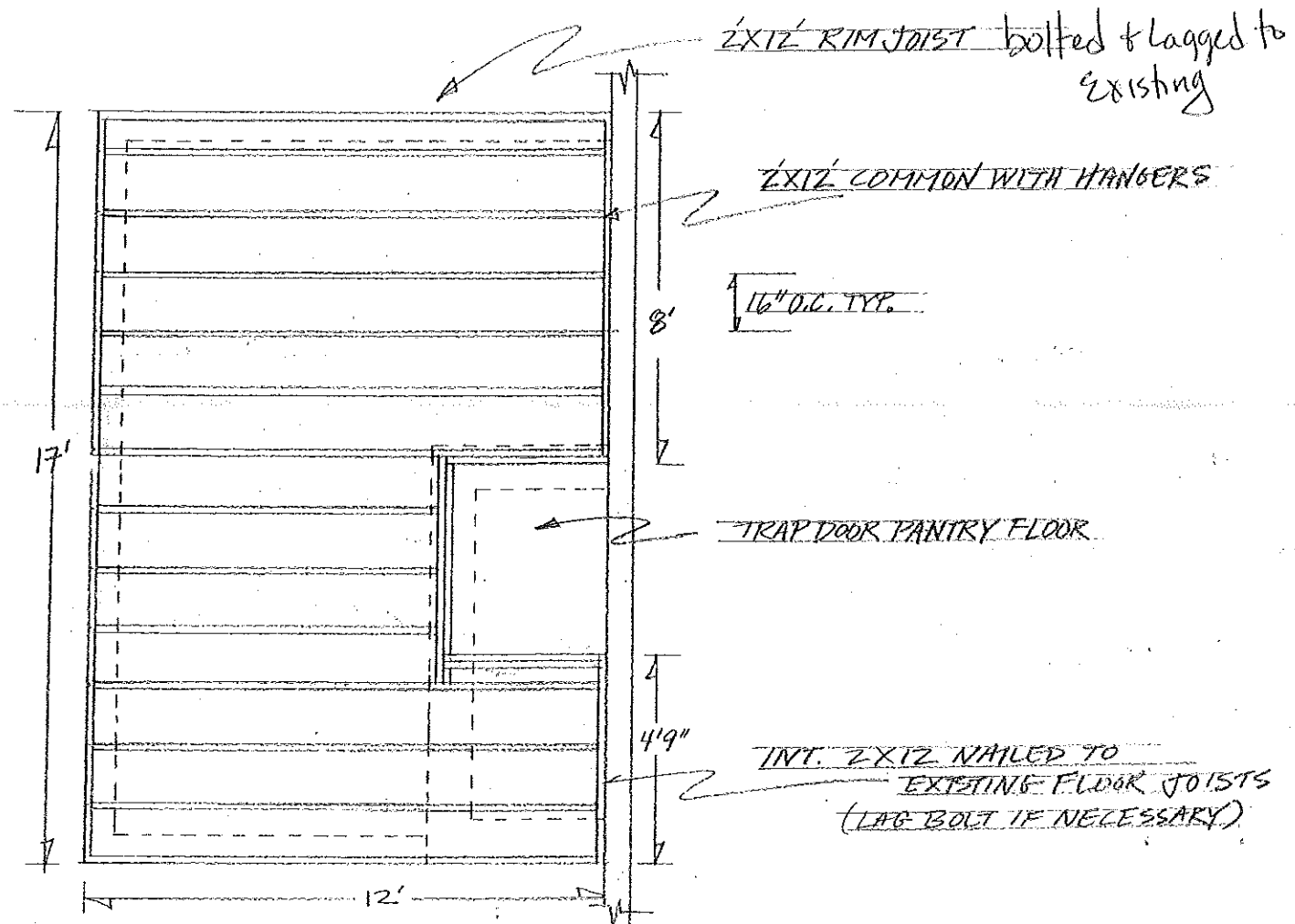
NOTE: ALL EXT. DETAILS
TO MATCH EXISTING IN
FINISH AND ELEVATION



TYPICAL FRAMING SECTION
SCALE 3/4" = 1'

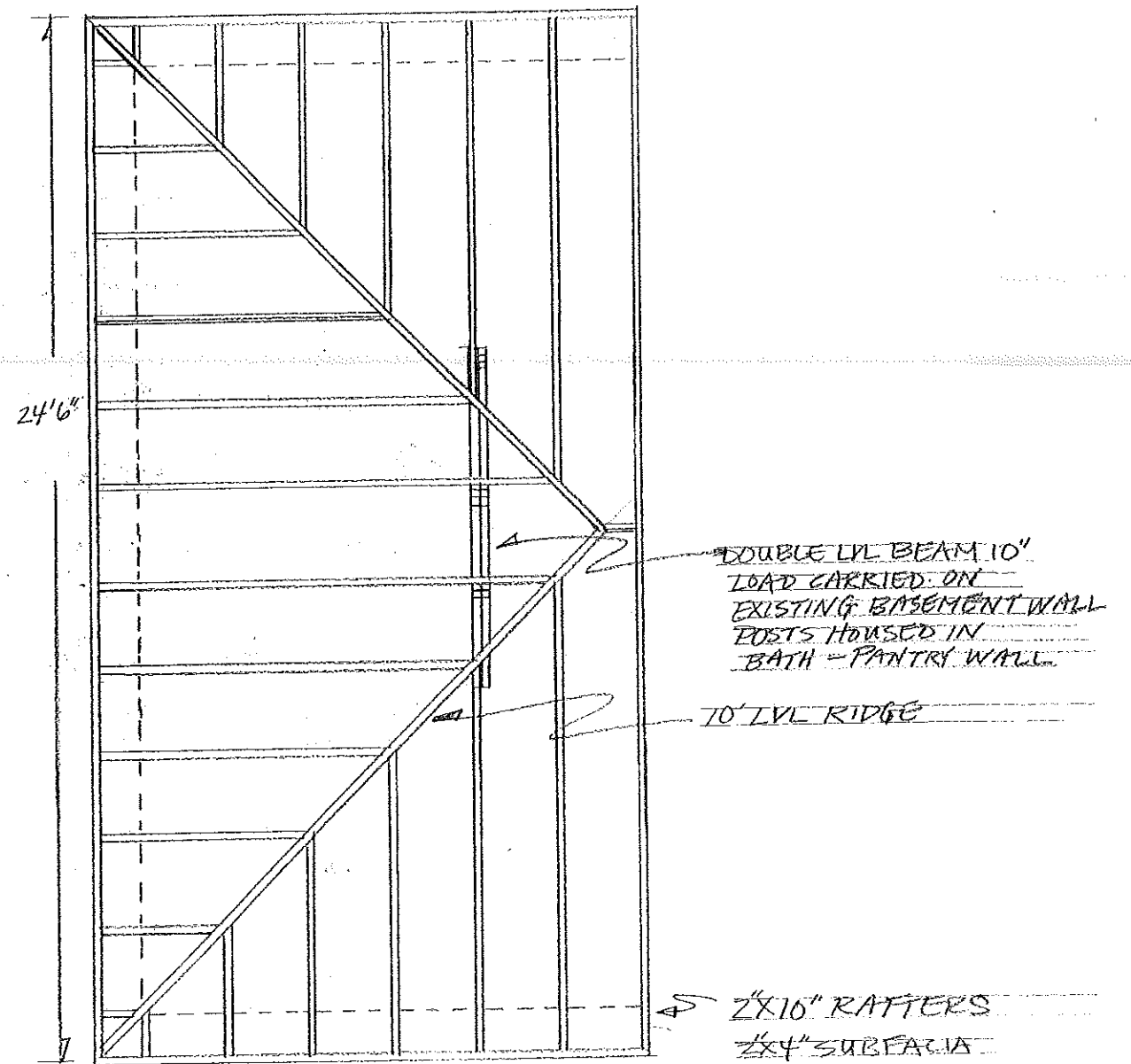
I

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FIRST FLOOR FRAMING PLAN

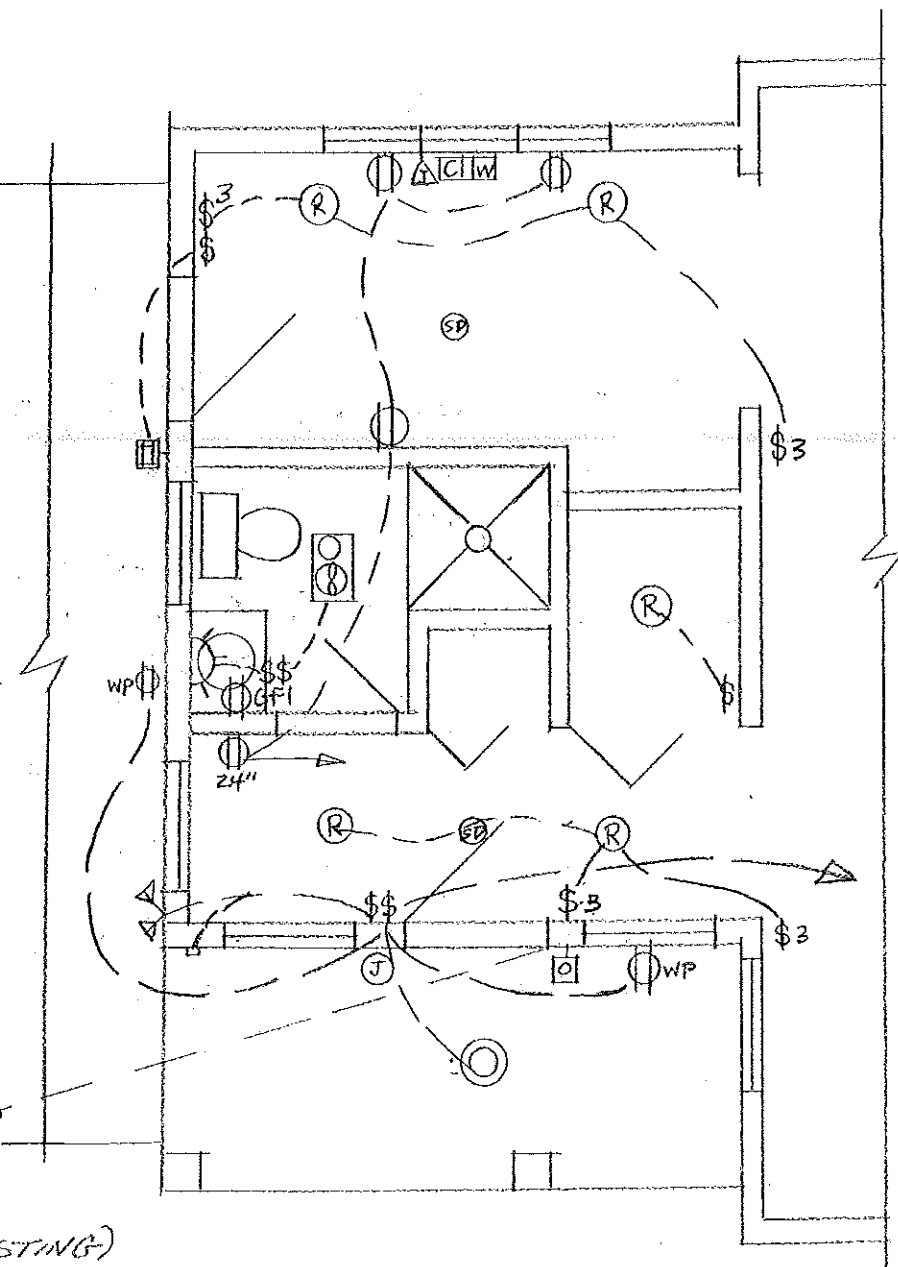
SCALE 1/4" = 1'
JSP 3/12/05



ROOF FRAMING PLAN

ELECTRICAL KEY

- ⊙ JUNCTION BOX
- \$ SINGLE POLE SWITCH
- \$3 3WAY SWITCH
- △ DUAL SPOTLIGHT
- ⌞ INT. WALL SCONCE
- ⊠ DOOR BELL
- ⌚ EXT. WALL SCONCE
- ⊣ MOTION DETECTOR
- ⊠ LIGHT & FAN
- PENDANT LIGHT
- ⊙ RECESSED LIGHT
- ⊖ DUPLEX OUTLET
- ⊖ GFI GROUND FAULT
- ⊖ WP WEATHER PROOF
- ⊠ C/W CABLE/INTERNET
- △ TELEPHONE
- ⊙ SMOKE DETECTOR

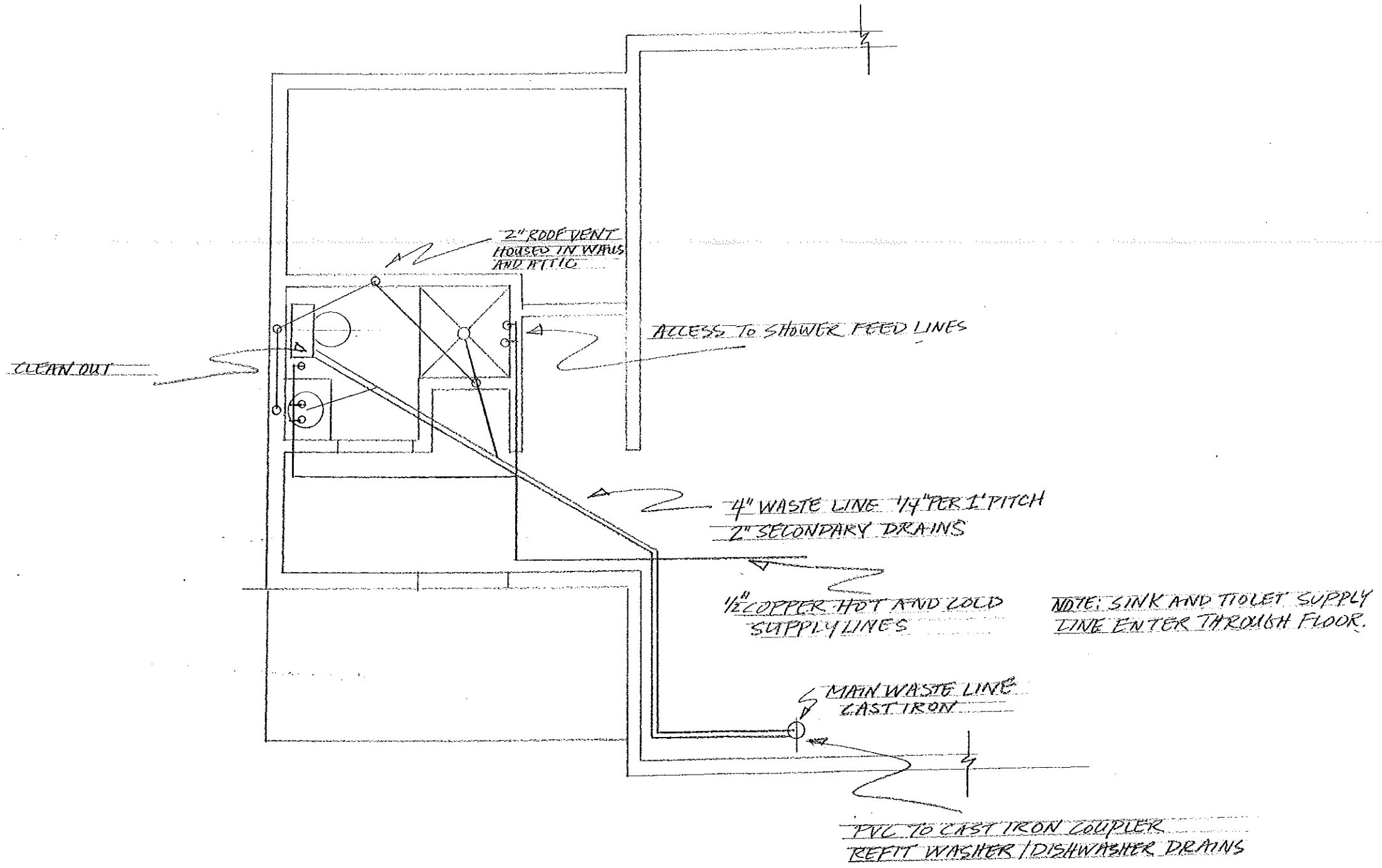


UNDERGROUND LING
TO GARAGE (PREEXISTING)

MAIN PANEL - SE BASEMENT WALL

ELECTRICAL PLAN
SCALE 1/4" = 1'

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PLUMBING MECHANICAL - ADDITION
SCALE 1/4" = 1'
JSP 2/30/05

L

