

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-1158	Issue Date:	SEP - 6 2005	EBL:	344 B009001
PERMIT ISSUED					

Location of Construction:	295 Allen Ave	Owner Name:	Puglisi Marlon	Owner Address:	295 Allen Ave	Phone:		
Business Name:		Contractor Name:	M Brewer	Contractor Address:	91 Bell St Portland	Phone:	997-977534	
Lessee/Buyer's Name		Phone:		Permit Type:	CITY OF PORTLAND Alterations - Dwellings		Zone:	255

Past Use:	Multi-Residential	Proposed Use:	Multi-Residential	Permit Fee:	\$273.00	Cost of Work:	\$27,400.00	CEO District:	4
Renovations to 3rd floor bathroom and storage area		3rd floor bathroom and storage area		FIRE DEPT:	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	INSPECTION:	Use Group: R3	Type: SB
Proposed Project Description:		legaleuse (2) two residential ALD.U.		Signature:			Signature:	FRC-2003 XMB 9/6/05	

Permit Taken By:	dmartin	Date Applied For:	08/02/2005	Zoning Approval			
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.				Special Zone or Reviews	Zoning Appeal	Historic Preservation	

- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
us 2-14-136 (80% provisions exception) us 7-25-06 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 08/24/05	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK	TITLE	DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-1158	Date Applied For:	08/02/2005	CBL:	344 B009001
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Location of Construction:	295 Allen Ave	Owner Name:	Puglisi Marion	Owner Address:	295 Allen Ave	Phone:	
Business Name:		Contractor Name:	M Brewer	Contractor Address:	91 Bell St Portland	Phone	(207) 797-7534
Lessee/Buyer's Name		Phone:		Permit Type:	Alterations - Dwellings		

Proposed Use: Two family renovations to 3rd floor bathroom and storage area
 Proposed Project Description: Renovations to 3rd floor bathroom and storage area

Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schnuckal Approval Date: 08/26/2005

Note: using the expansion allowance under 14-436 - the 80% allowance (has the lot size but not the setbacks) - only **OK to Issue:** using 25% of the 80% allowance

- 1) The home office is understood to be used for personal home use and not a business use. Any changes to the office use would need to comply with 14-410 Home Occupations which requires a separate application and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 09/06/2005

Note: 8/31/05 spoke w/Matt B. About headroom space at bath fixtures, floor joists and rafter sizes. He will re-configure the bathroom. Also spoke w/Marton P. About use of space, egress & smokes. It is intended to be an office or work space, she will speak w/elec. Contractor about smokes, as advised. **OK to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) Any penetrations into the abutting unit or common space shall comply with Sec. R317.3 of the IRC 2003

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>295 Allen Ave. Portland, ME 04103</u>	
Total Square Footage of Proposed Structure <u>320</u>	Square Footage of Lot <u>13,890</u>
Tax Assessor's Chart, Block & Lot Chart# <u>344</u> Block# <u>5</u> Lot# <u>029</u>	Owner: <u>Miriam Puglisi</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>M. Puglisi</u> <u>295 Allen Ave. 04103</u> <u>W. 846-7111 ext. 2806</u> <u>cell 615-8373</u>
Current use: <u>Multi-unit house</u>	Cost Of Work: \$ <u>27,400.00</u> Fee: \$ <u>273.00</u>
If the location is currently vacant, what was prior use:	
Approximately how long has it been vacant:	
Proposed use: <u>bathrooms and work/storage</u>	Project description: <u>large master bath area</u>
Contractor's name, address & telephone:	<u>M. Brewer 91 Bell Portland, me 04103</u> <u>797-7534</u>
Who should we contact when the permit is ready:	<u>Miriam Puglisi</u> <u>295 Allen Ave</u> <u>Portland, me 04103</u>
Mailing address:	<u>new att. construction</u> <u>6 X201</u>
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>846-7111 ext. 2806 (work)</u> <u>cell 615-8373</u>	

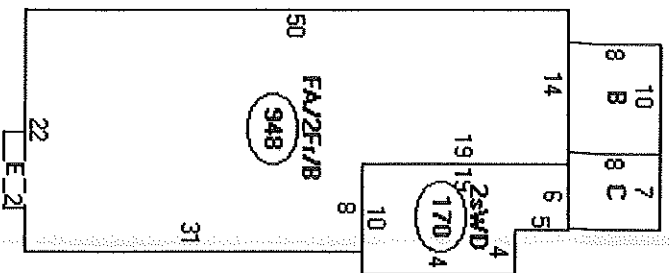
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit or any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 8/2/2005

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

14 230



Descriptor/Area
A:FA/2F/B 948 sqft
B:2F 80 sqft
C:EP 56 sqft
D:2SMD 170 sqft
E:2FBAY 14 sqft

2-5 Zone
3000[#] per D.U. for
2 D.U.
13,890
1st size is

14-436 - using 80%
Expansion Allowance

2'
948
80
56
170
14

1268[#] 1st Floor Footprint

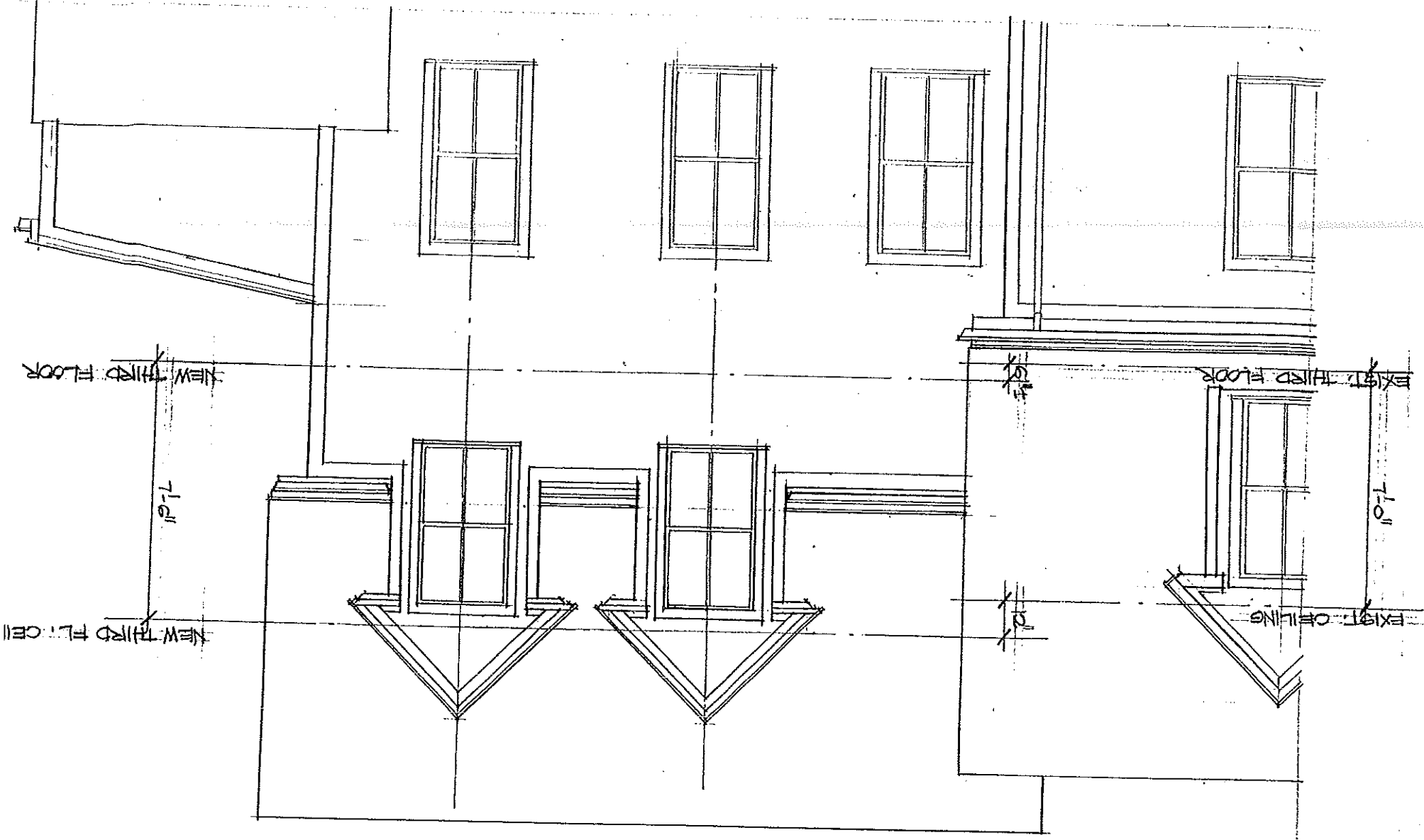
x 80% = 1014,4[#] Expansion Allowance

16x20 Addition = 320[#] on using 25%
Expansion
out of 80%

41

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



DIFF

0"

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Puglisi Marion /M Brewer
has permission to Renovations to 3rd floor bath
At 295 Allen Ave

PERMIT

Permit Number **PERMIT ISSUED**

SEP - 6 2005

CITY OF PORTLAND

provided that the person or persons,
of the provisions of the Statutes of
the construction, maintenance and u
this department:

... and s... ge are...
... or... cepting this permit shall comply with all
... ne and of the... ances of the City of Portland regulating
... of buildings and structures, and of the application on file in

Apply to Public Works for street line
and grade if nature of work requires
such information.

N... g... b... re this...
H... R NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name

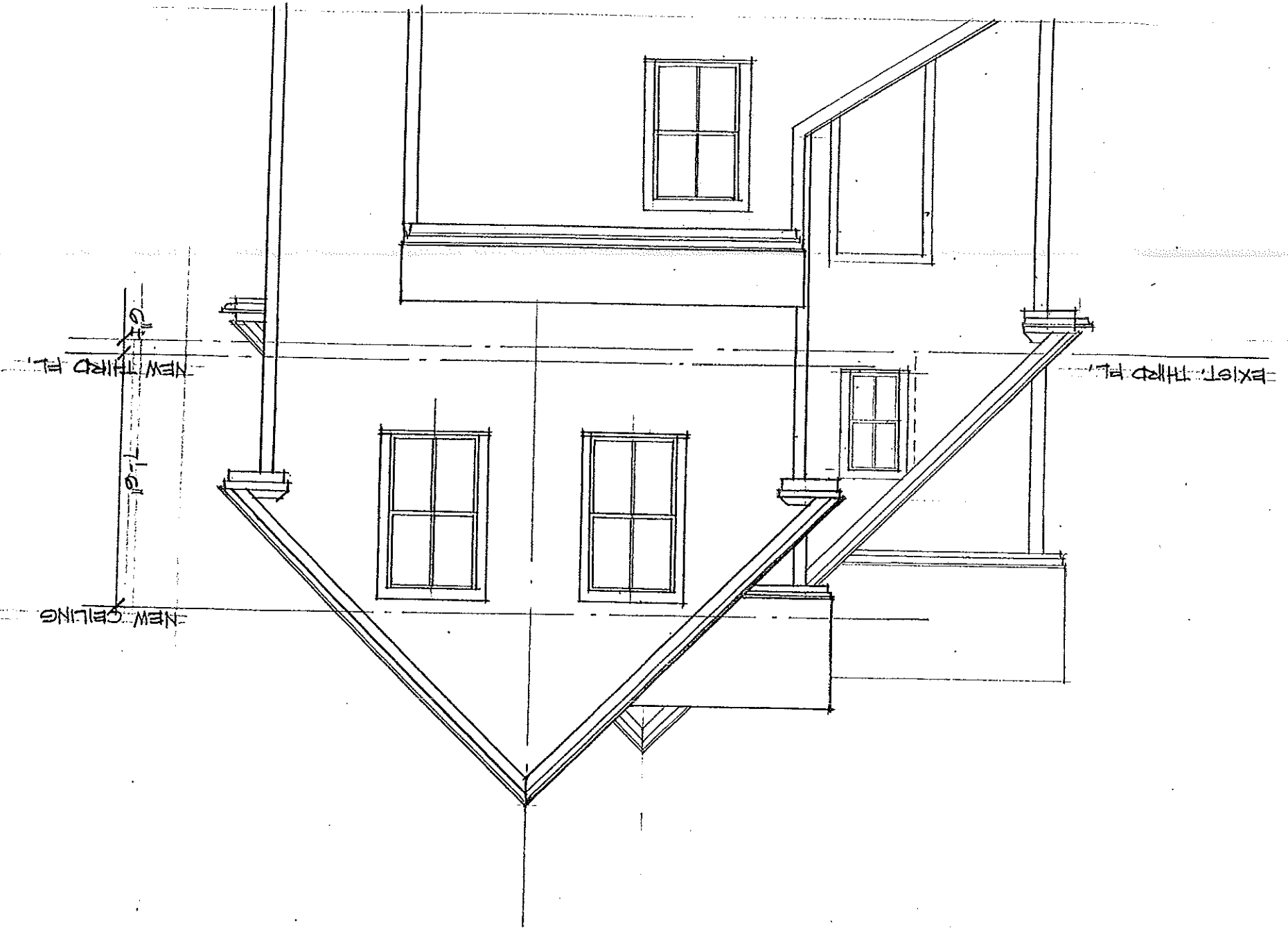
PENALTY FOR REMOVING THIS CARD

Darwin Beaulieu 9/6/05
Director - Building & Inspection Services

5.1

EAST ELEVATION

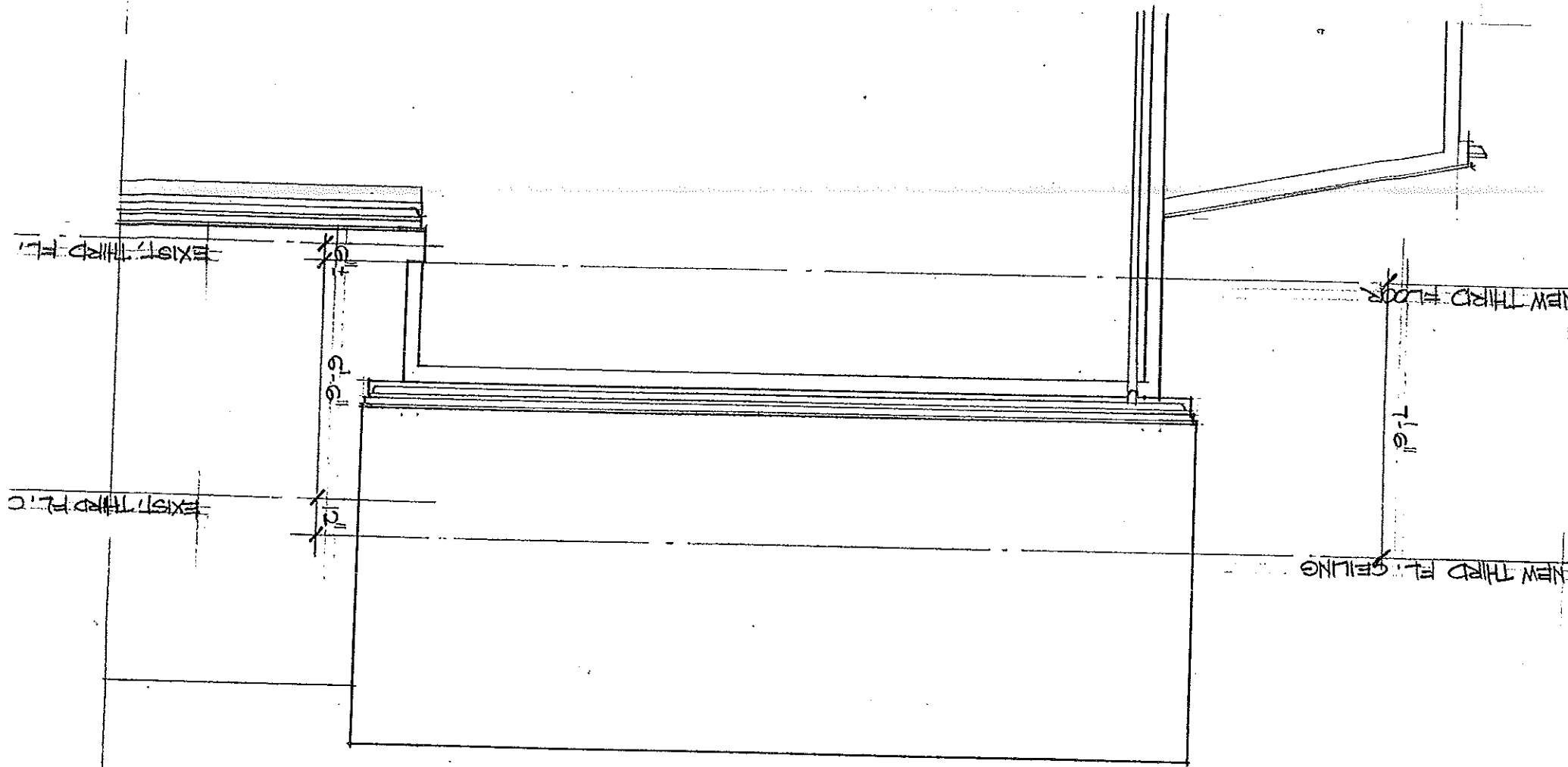
SCALE: 1/4" = 1'-0"



6.1

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



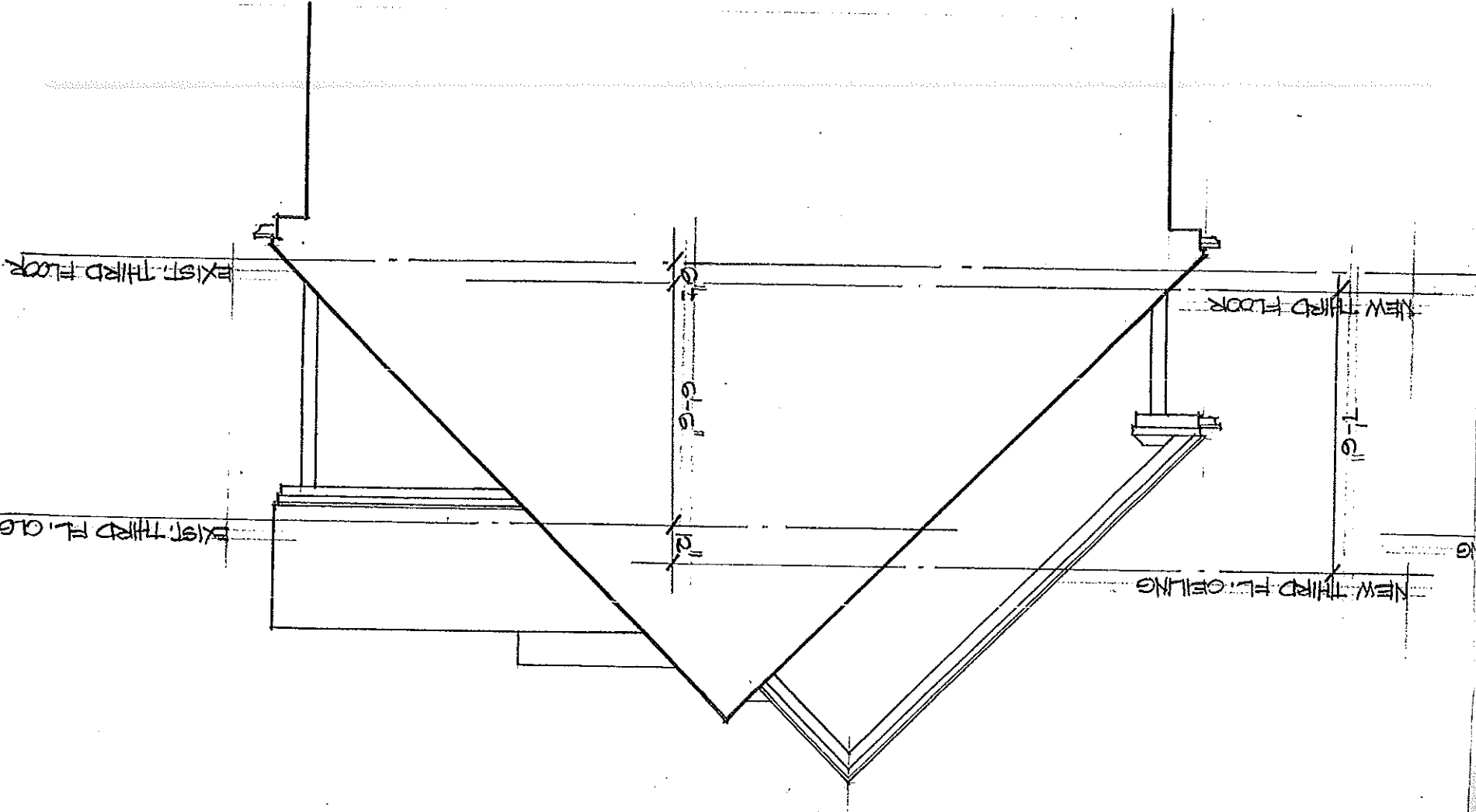
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

12

WEST ELEVATION

SCALE: 1/4" = 1'-0"

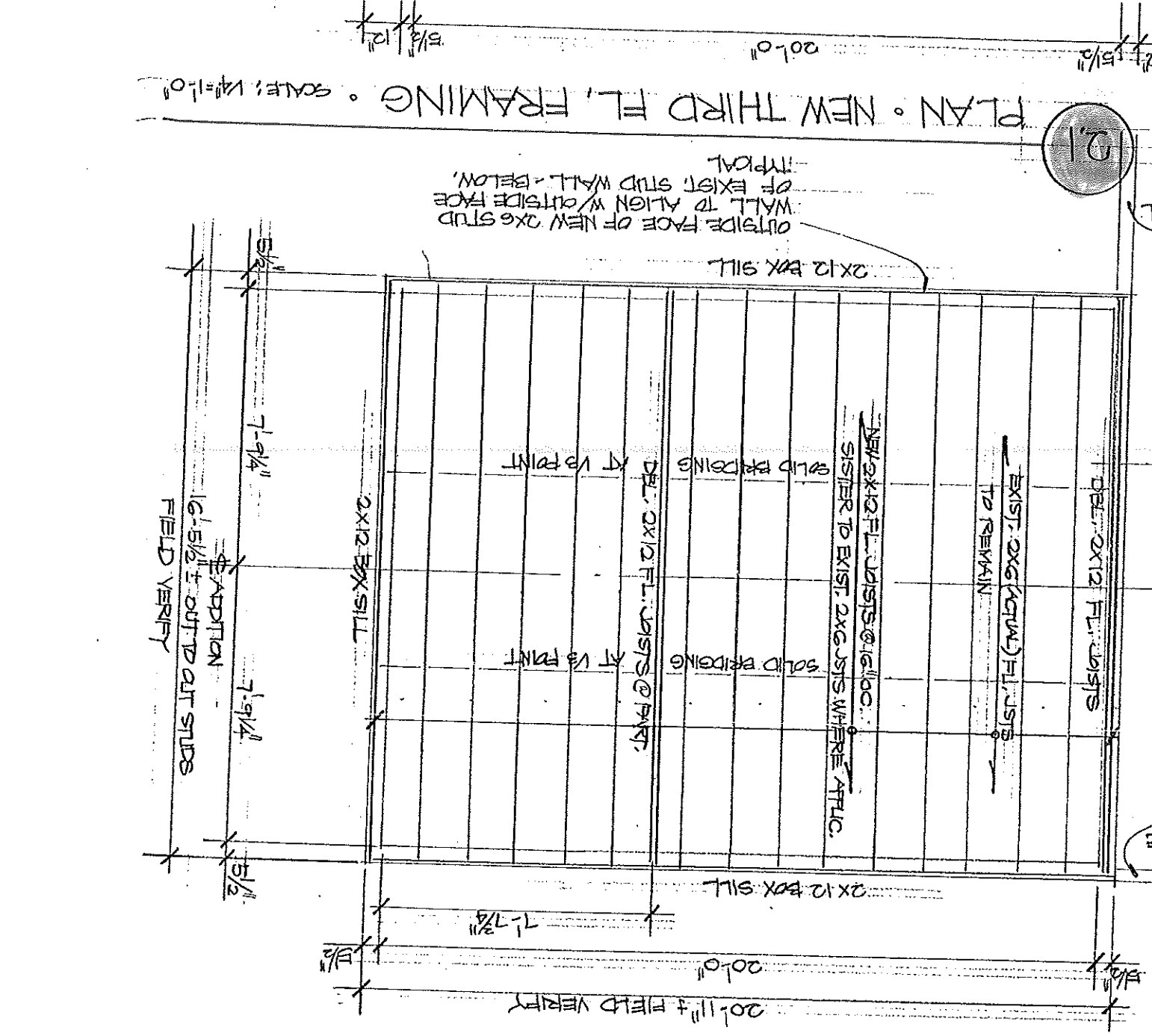


✓ RENOVATION

NO.	DATE	REVISION

REVISION

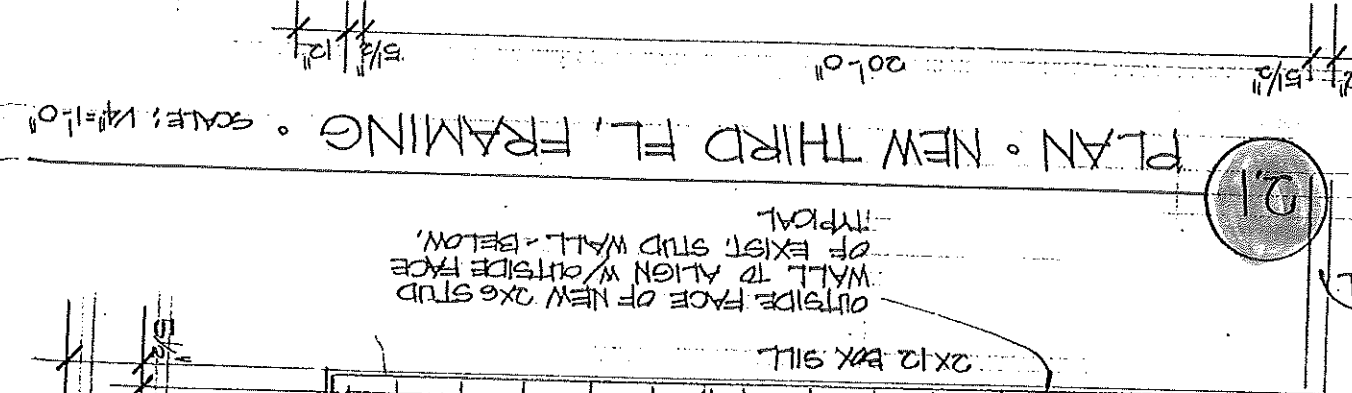
PLAN • THIRD FLOOR RENOVATION • SCALE: 1/4"=1'-0"



11

SCALE: 1/4"=1'-0"

PLAN • NEW THIRD FL. FRAMING • SCALE: 1/4"=1'-0"

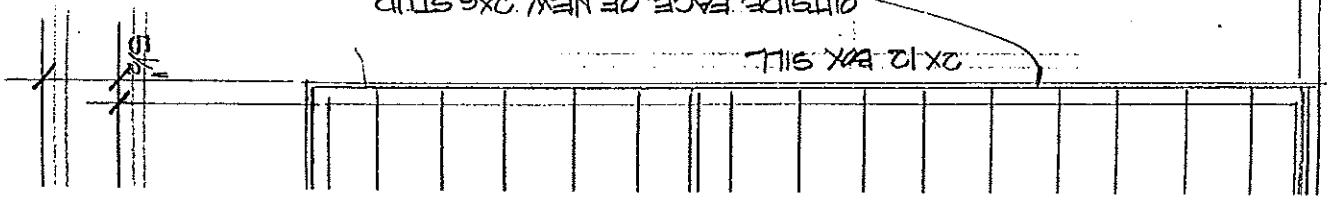


12

SCALE: 1/4"=1'-0"

2.1

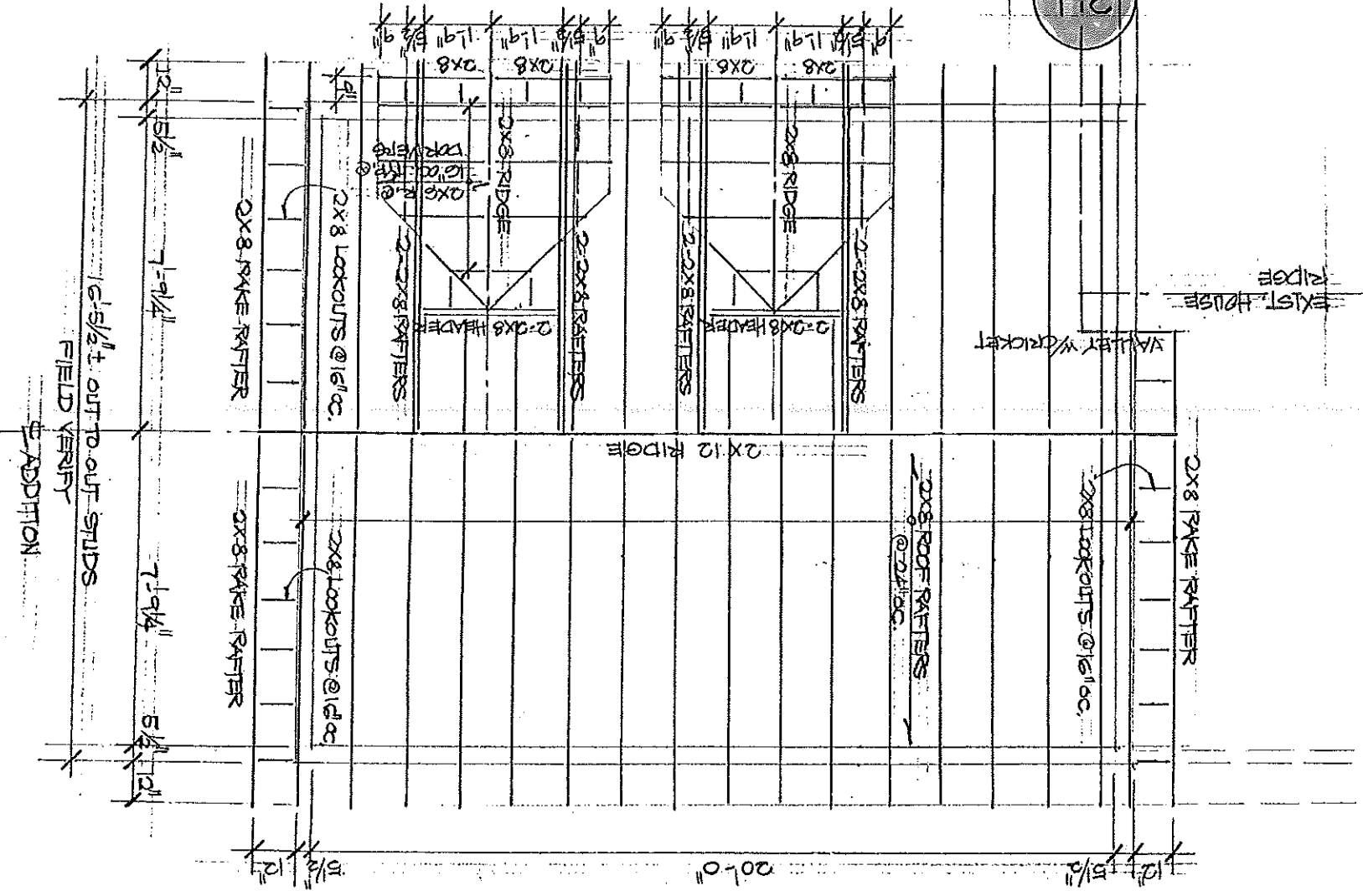
EXIST. HOUSE THIRD FL. WALL
OUTSIDE FACE OF NEW 2X6 STUD WALL TO ALIGN W/ OUTSIDE FACE OF EXIST STUD WALL - BELOW TYPICAL



PLAN • NEW THIRD FL. FRAMING • SCALE: 1/4" = 1'-0"

3.1

ROOF FRAMING PLAN • SCALE: 1/4" = 1'-0"



WEST

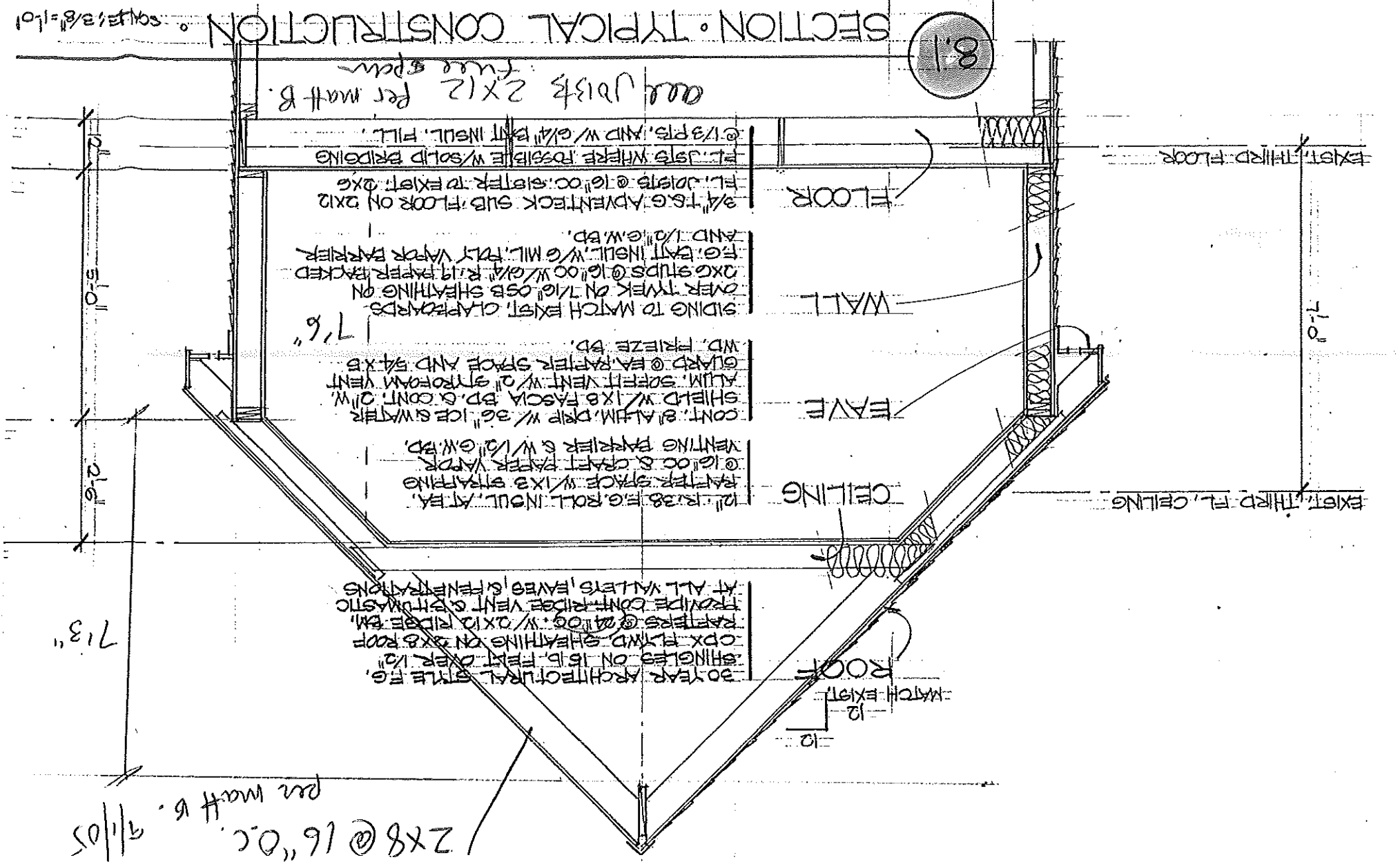
71

2x8 @ 16" O.C. per math B. 9/1/05

71.3"

26"

51.0"



ROOF

CEILING

EAVE

WALL

FLOOR

SECTION • TYPICAL CONSTRUCTION

8.1

all joists 2x12 per math B. true span

SCALE: 3/8" = 1'-0"

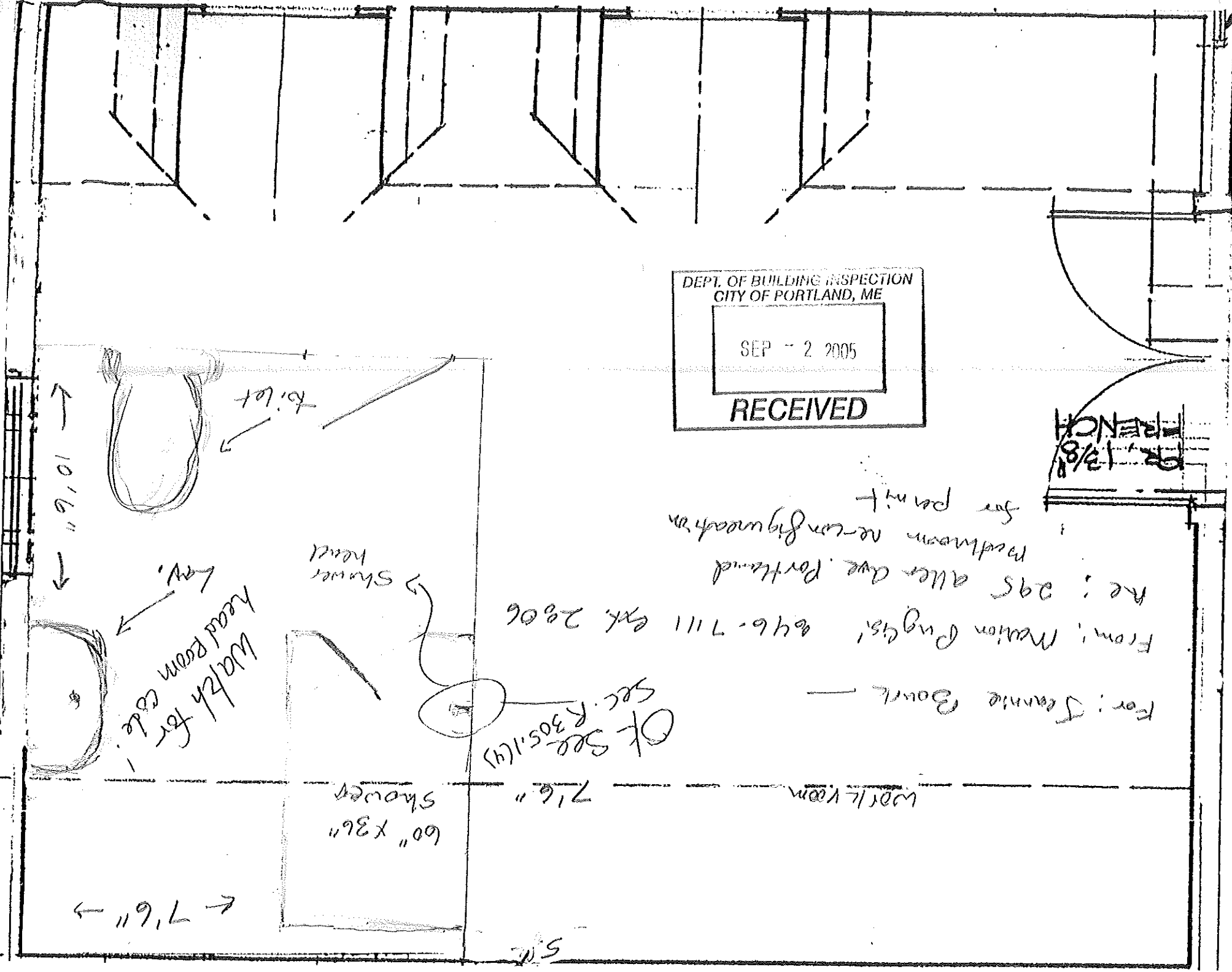
SCALE: 1/4" = 1'-0"

ION

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
SEP - 2 2005
RECEIVED

PR 12/8
FRENCH

For: Jeanne Bork
From: Weston Engle, 846-711 ext. 2806
Re: 295 Allen Ave. Portland
restroom renovation
for permit



← 10'6" →

toilet

Watch for
head room code

Shower
head

OK See
Sec. R 305.1(4)

60" x 36"
shower

7'6"

work room

← 7'6" →

5'6"

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	344 B009001
Location	295 ALLEN AVE
Land Use	TWO FAMILY
Owner Address	PUGLISI MARION 295 ALLEN AVE PORTLAND ME 04103

Book/Page
Legal

22176/060
344-B-9
ALLEN AVE 295
13890 SF

Current Assessed Valuation For Fiscal Year 2006

Land	\$56,090	Building	\$145,080	Total	\$201,170
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Estimated Assessed Valuation For Fiscal Year 2007*

Land	\$74,800	Building	\$188,300	Total	\$263,100
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* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built	1910	Style	Old Style	Story Height	2	Sq. Ft.	2321	Total Acres	0.319
Bedrooms	4	Full Baths	2	Half Baths		Total Rooms	9	Attic Part Finish	
								Basement	Full

Outbuildings

Type	GARAGE-WD/CB SHED-FRAME	Quantity	1	Year Built	1975 1975	Size	24X30 8X8	Grade	C C	Condition	A A
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Sales Information

Date	12/29/2004	Type	LAND + BLDING	Price	\$273,000	Book/Page	22176-60
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Picture and Sketch

[Picture](#)

[Sketch](#)

[Tax Map](#)

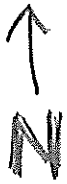
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-

http://www.portlandassessors.com/searchdetail.asp?Acct=344_B009001&Card=1

8/26/05

1500 = 484



61.87' Fence

74.25' Fence

tool shed.

GARAGE

13.5'

13,890 sq ft

ACESSONS lot open

Proposed addition @ 16x20'

13'

9'

house

Asphalt Drive way

18'

14'

Sidewalk

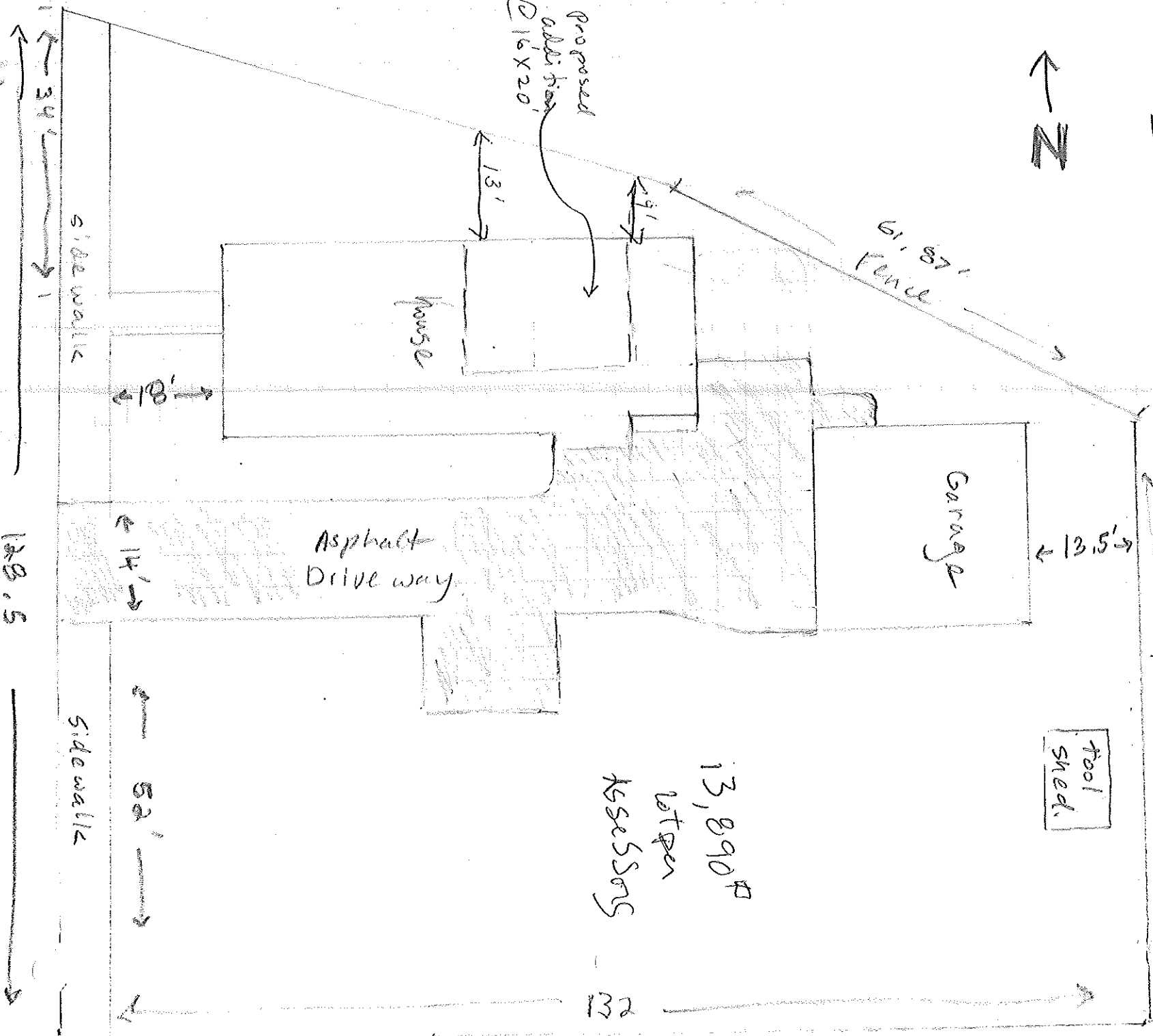
52'

Sidewalk

34'

128.5

295 Allen Ave





<http://www.portlandassessor.com/images/pictures/02104001.jpg>

8/26/05





ELECTRICAL PERMIT

City of Portland, Me.

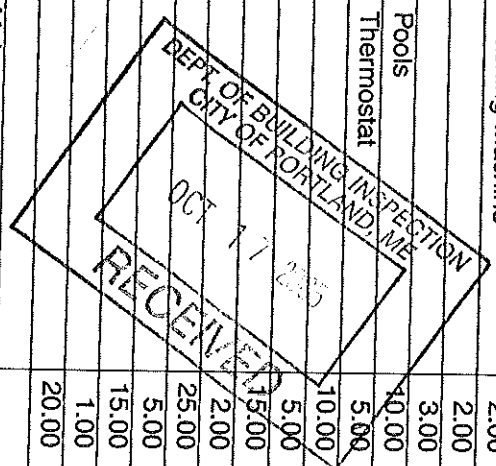


To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 10.17.05
 Permit # 2005-9570
 CBL# 344 BS

LOCATION: 295 Allen Ave Portland, Me METER MAKE & # _____
 CMP ACCOUNT # 441-001-7708-012 OWNER Maximo Progress
 TENANT Maximo Progress PHONE # 603 844-7119 ext 2800

OUTLETS	9	Receptacles	2	Switches	1	Smoke Detector	.20	TOTAL EACH FEE
FIXTURES	9	Incandescent		Fluorescent		Strips	.20	
SERVICES		Overhead		Underground		TTL AMPS	<800	15.00
		Overhead		Underground			>800	25.00
Temporary Service		Overhead		Underground		TTL AMPS		25.00
METERS		(number of)						25.00
MOTORS		(number of)						1.00
RESID/COM		Electric units		Interior		Exterior		2.00
HEATING		oil/gas units		Ranges		Wall Ovens		5.00
		Ranges		Insta-Hot		Fans		2.00
APPLIANCES		Dryers		Water heaters		Dishwasher		2.00
		Compactors		Disposals		Washing Machine		2.00
MISC. (number of)		Others (denote)		Spa				2.00
		Air Cond/win						2.00
	Air Cond/cent					Pools		3.00
	HVAC			EMS		Thermostat		10.00
	Signs							5.00
	Alarms/res							10.00
	Alarms/com							5.00
	Heavy Duty(CRKT)							15.00
	Circus/Carnv							2.00
	Alterations							25.00
	Fire Repairs							5.00
	E Lights							15.00
	E Generators							1.00
PANELS		Service		Remote		Main		20.00
TRANSFORMER		0-25 Kva						4.00
		25-200 Kva						5.00
		Over 200 Kva						8.00
		MINIMUM FEE/COMMERCIAL	45.00			TOTAL AMOUNT DUE		10.00
		MINIMUM FEE				MINIMUM FEE		35.00



CONTRACTORS NAME James R. Burridge MASTER LIC. # MS60007754
 ADDRESS Po Box 3151, Waverly ME 04881 LIMITED LIC. # _____
 TELEPHONE 207-293-2147

SIGNATURE OF CONTRACTOR James R. Burridge
 Write Copy - Office • Yellow Copy - Applicant CB

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Planitation: Portland
 Street: Portland Ave
 Subdivision Lot #: 295
PROPERTY OWNERS NAME
 Last: Andisi First: Marion
 Applicant Name: Donald J. Keller
 Mailing Address of Owner/Applicant (if Different): 821 South Elm Street, Portland, ME 04102

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 12-28-05

Local Plumbing Inspector Signature

Date Approved: _____

PORTLAND PERMIT # 9685 TOWN COPY
 Date Permit Issued: 12/28/05 \$ 124.00 Double Fee Charged
 Local Plumbing Inspector Signature: [Signature] L.P.I. # 017,449
344 15 009

Caution: Inspection Required
 I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

PERMIT INFORMATION

This Application is for:

1. NEW PLUMBING
 2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
 2. MODULAR OR MOBILE HOME
 3. MULTIPLE FAMILY DWELLING
 4. OTHER - SPECIFY _____

Plumbing To Be Installed By:

1. MASTER PLUMBER
 2. OIL BURNERMAN
 3. MFG'D. HOUSING DEALER/MECHANIC
 4. PUBLIC UTILITY EMPLOYEE
 5. PROPERTY OWNER

LICENSE # 9637

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

Description	Number	Column 2	Number	Column 1
		Type of Fixture		Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Silcock		Bathtub (and Shower)
OR		Floor Drain	1	Shower (Separate)
		Urinal		Sink
OR		Drinking Fountain	1	Wash Basin
		Indirect Waste		Water Closet (Toilet)
HOOK-UP: to an existing subsurface wastewater disposal system.		Water Treatment Softener, Filter, etc.		Clothes Washer
OR		Grease / Oil Separator		Dish Washer
		Roof Drain		Garbage Disposal
OR		Bidet		Laundry Tub
		Other: _____		Water Heater
TRANSFER FEE (\$6,001)		Fixtures (Subtotal) Column 2	3	Fixtures (Subtotal) Column 1
		SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		Fixtures (Subtotal) Column 2
		SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		Total Fixtures
		Fixture Fee		Fixture Fee
		Transfer Fee		Transfer Fee
		Hook-Up & Relocation Fee		Hook-Up & Relocation Fee
		Permit Fee (Total)		Permit Fee (Total)

TOWN COPY

PLUMBING APPLICATION

Department of Health and Human Services
Division of Health Engineering

PROPERTY ADDRESS

Town or Plantation: 295 Allen Ave
 Street: _____
 Subdivision Lot #: _____

PROPERTY OWNERS NAME

Last: _____ First: _____
 Applicant Name: R. Littleware Plumbing/Heating
 Mailing Address of Owner/Applicant: 140 WATSON VILL RD
 (If Different) UMOND ME 01862

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: Rose Littleware IT Date: 3/21/05

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

058-709

PERMIT # 9224 \$ 124.08 FEE FEE CHANGED COPY

Date Issued: 3/14/05 L.P.I. # 57726

Local Plumbing Inspector Signature: [Signature]

344

PERMIT INFORMATION

This Application is for: 1. <input type="checkbox"/> NEW PLUMBING 2. <input checked="" type="checkbox"/> RELOCATED PLUMBING <u>Relocate 3 Potable WC Drain to attic</u>	Type of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>12500009285</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture		Number	Column 1 Type of Fixture	
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Hosebibb / Silcock		Bathub (and Shower)		
		Floor Drain		Shower (Separate)		
		Urinal		Sink		
		Drinking Fountain		Wash Basin		
		Indirect Waste		Water Closet (Toilet)		
		Water Treatment Softener, Filter, etc.		Clothes Washer		
		Grease / Oil Separator		Dish Washer		
		Dental Cuspidor		Garbage Disposal		
		Bidet		Laundry Tub		
		Other: _____		Water Heater		
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1		
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1		
		Total Fixtures		Total Fixtures		
		Fixture Fee		Fixture Fee		
		Transfer Fee		Transfer Fee		
		Hook-Up & Relocation Fee		Hook-Up & Relocation Fee		
		Permit Fee		Permit Fee		
		(Total)		(Total)		

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TRANSFER FEE
\$6.00

OR

Fixture Fee	
Transfer Fee	
Hook-Up & Relocation Fee	
Permit Fee	
(Total)	<u>34.00</u>

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

NA Footing/Building Location Inspection: Prior to pouring concrete

NA Re-Bar Schedule Inspection: Prior to pouring concrete

NA Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: ~~Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~NOT CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Signature of Applicant/Designee _____ Date 9/7/05
Signature of Inspections Official _____ Date 9/7/05
CBL 344 B00 Building Permit #: 051158