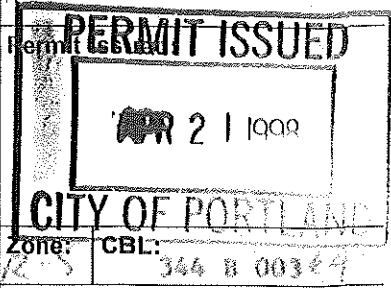


for 1334 Wash Av

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 41 Maplewood St. Portland		Owner: Bridges, Stanwood		Phone: 878-5374		Permit No: 980384	
Owner Address: 41 Maplewood St.		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Mark Manning		Address: 41 Maplewood		Phone: 878-5374		Permit Issued: APR 21 1998	
Past Use: 1-family		Proposed Use: -family		COST OF WORK: \$ 1,034.00		PERMIT FEE: \$ 25.00	
Proposed Project Description: 12x18 deck		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: <input checked="" type="checkbox"/> U.		Use Group: Type:	
				Signature:		Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied	
Permit Taken By: Judy Laplante		Date Applied For: 4/15/98		Signature:		Date:	



Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 4/15/98

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] ADDRESS: 41 Maplewood St. DATE: 4/15/98 PHONE: 878-5374

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT



Applicant: Mark Manning

Date: 4/17/98

Address: 41 Maplewood St

C-B-L: 344-B-3, 4

CHECK-LIST AGAINST ZONING ORDINANCE

Date - ~~EXISTING~~ - 1910 1 family

Zone Location - R-5

Interior of corner lot -

Proposed Use/Work - New 12' x 18' deck on rear

Sewage Disposal -

Lot Street Frontage - 50' reg

Front Yard - 20' reg - N/A

Rear Yard - 20' reg - 30' + shown at closest corner per Stan Bridges 4/17/98

Side Yard - ~~1 story 8' reg~~
2 story 12' reg → 12' + shown

Projections -

Width of Lot -

Height - 2nd floor

Lot Area - 11,491 #

Lot Coverage/Impervious Surface - 40% max

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan - N/A

Shoreland Zoning/Stream Protection - N/A

Flood Plains - N/A

4596.4 #

16 x 33	=	528
7 x 14		98
23 x 25		575
8 x 21		168
5 x 12 x 14		576
new deck 12 x 18		216
		<u>2161 #</u>

SV

BUILDING PERMIT REPORT

DATE: 21 APRIL 98 ADDRESS: 411 Maple wood ST. 344-B-603.

REASON FOR PERMIT: To Construct deck 12' x 18'

BUILDING OWNER: Stanwood Bridges

CONTRACTOR: Mark Manning

PERMIT APPLICANT: Mark Manning

USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B (4)

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

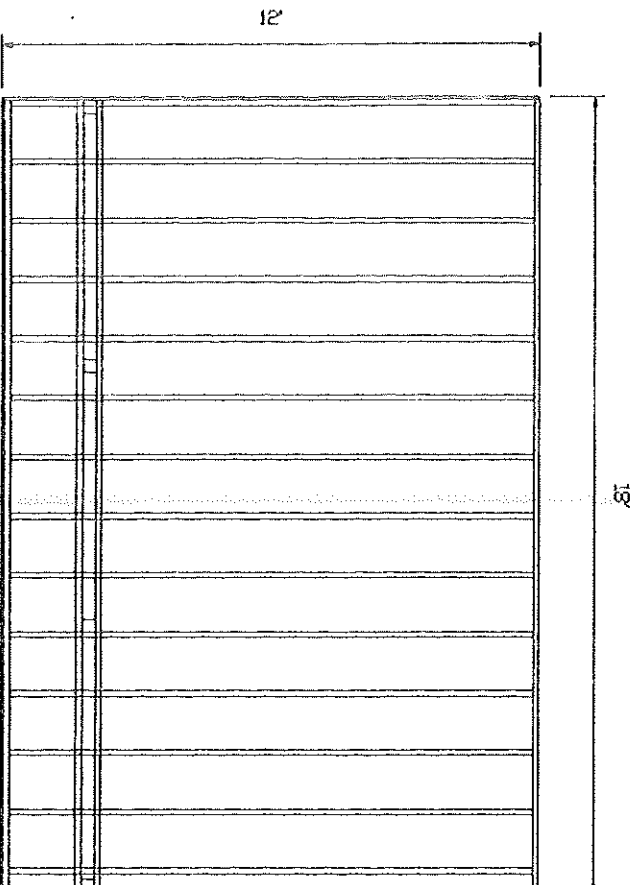
Approved with the following conditions: *1, 2, 8

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals ~~from the Development Review Coordinator and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
Precaution must be taken to protect concrete from freezing.
It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
3. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
4. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
5. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
6. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38")
Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
7. Headroom in habitable space is a minimum of 7'6".
8. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
9. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8")
10. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
11. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
12. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
13. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
14. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

STRESS ANALYSIS

CUSTOMER: MARK NONE MANNING
 DATE: 11/16/96 REF: MANNING
 SALESMAN # STEVE M

MEMBER TYPE	SIZE	STRESS FACTOR	FACTOR LOAD	COMPOSITE LOAD
JOISTS	2X8	DEFLECTION	110 PSF	110 PSF
	16IN	BENDING	122 PSF	
		SHEAR	116 PSF	
BEAMS	2-2X10	COMPRESSION	198 PSF	
		DEFLECTION	303 PSF	
		BENDING	117 PSF	
BOLTS	1/2IN	SHEAR	1770 PSF	1770 PSF
		STABILITY	379 PSF	379 PSF
		TOTAL LOAD		72 PSF
POSTS	4X4	DEAD LOAD		10 PSF
		LIVE LOAD		62 PSF



Load and support :
Your deck will support a 62 PSF live load. Posts have ---- "
below-ground post support.

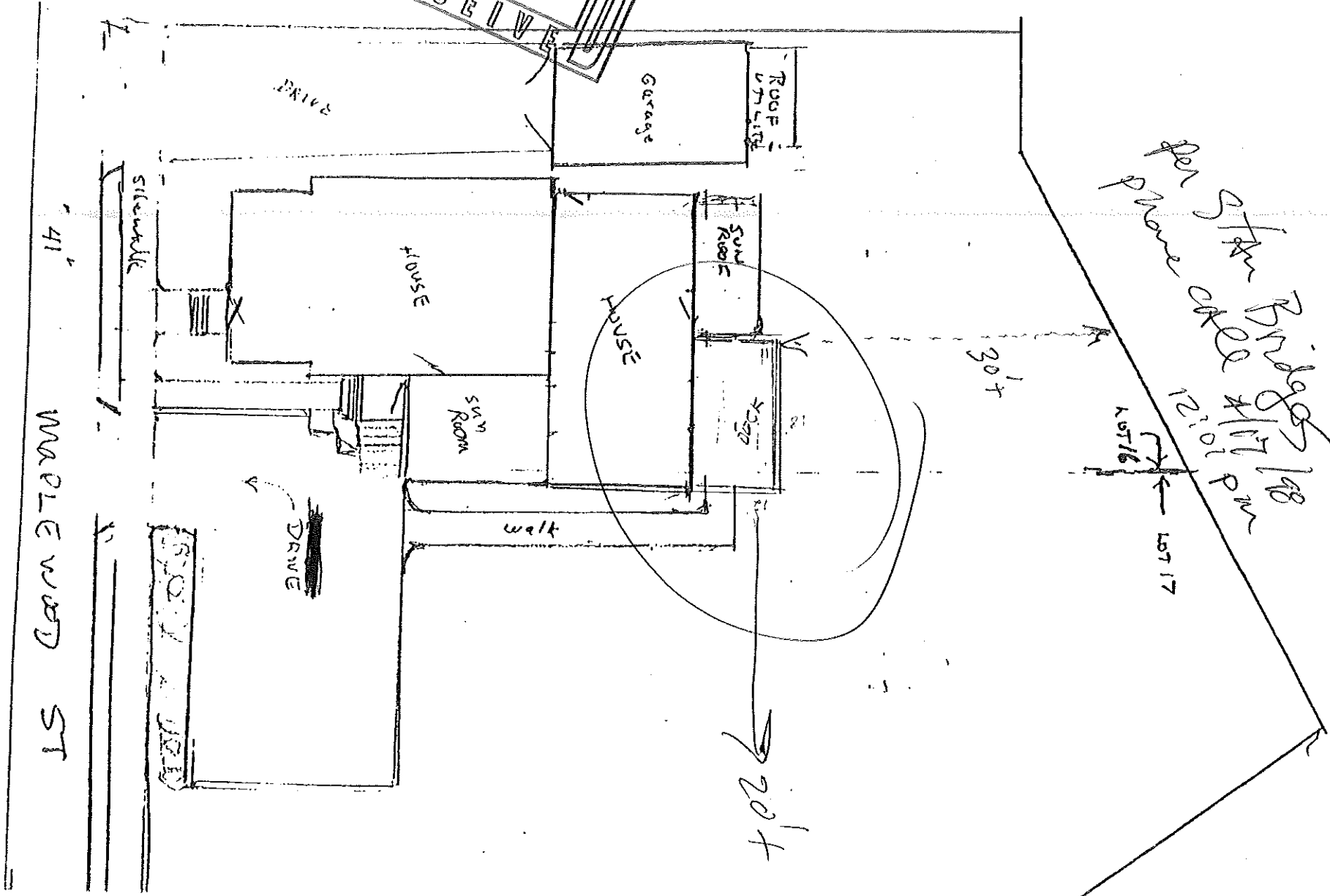
Deck and post height :
You selected a height of 60" from the top of decking to
level ground. Therefore, the top of the deck support posts
will be 51.25" above level ground. Your salesperson can
provide information for uneven or sloped ground.

Joists :
Set joists on top of beams, 16" center to center.

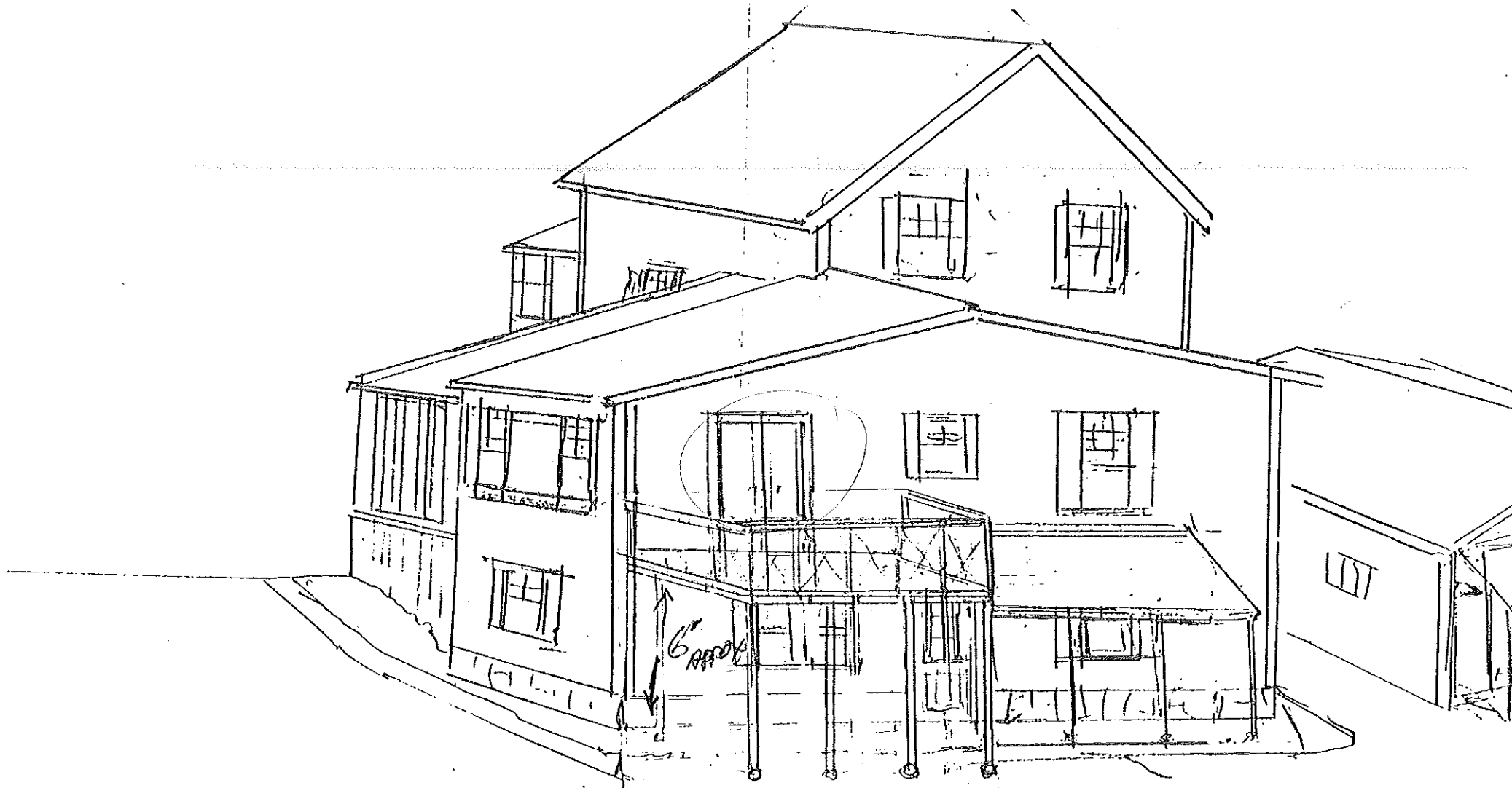
Be sure to follow the deck construction detail available from
your store salesperson.

Note : The design requires knee braces, beam splices and bridging
between joists. Your materials list includes the necessary items.
The suggested design is not a finished building plan. You are
responsible for all measurements being correct. For verifying that
the design (and any substitutions or modifications that you make)
meets all local building codes and requirements. To verify that
the suggested design, and any substitutions or modifications, is
consistent with conditions at the construction site, review the
design with your architect. Also consult your architect for proper
construction and use of materials in the structure.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR 15 1998
RECEIVED



per phone call
after Bridget's 1988
order #117 pm
12:01
LOT 16
LOT 17



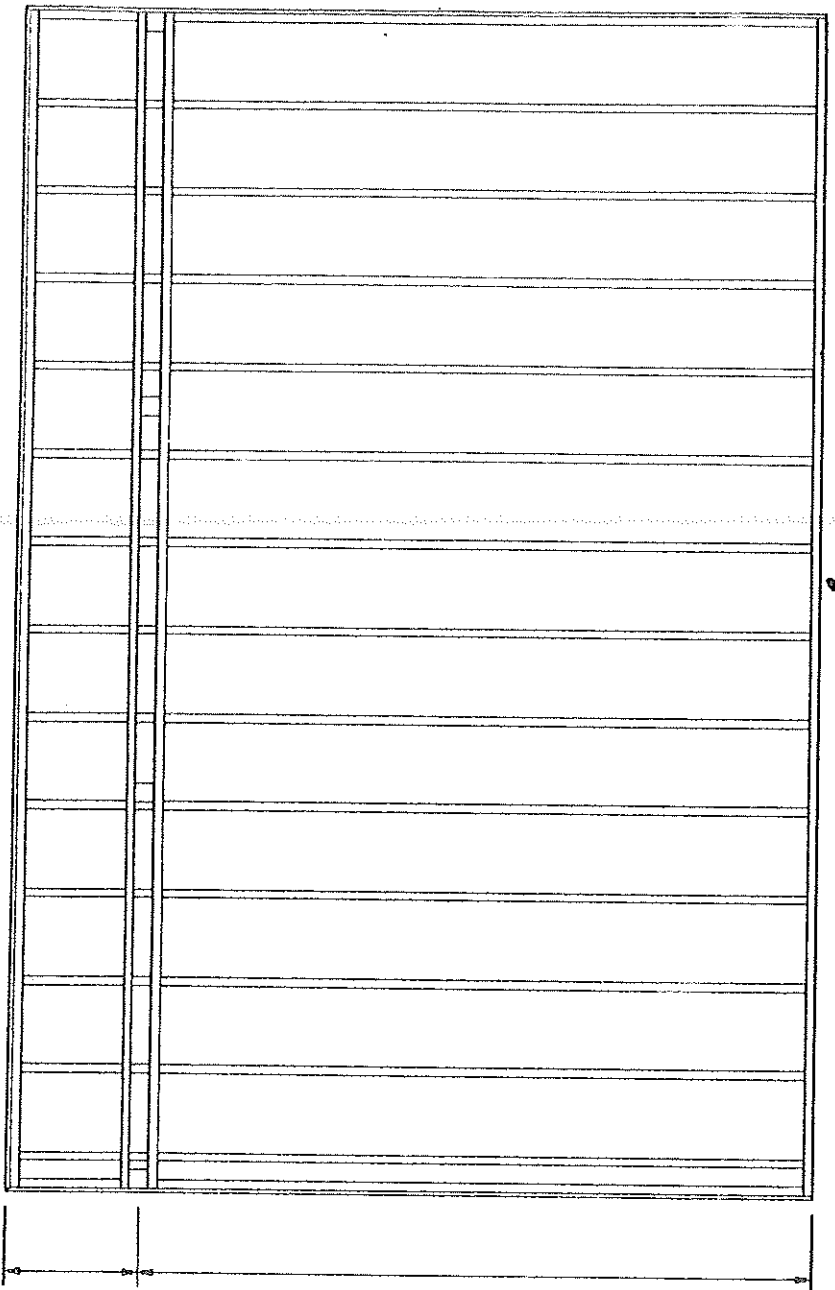
PROPOSED RAISED DECK
12/13

BEAM LAYOUT
CUSTOMER --
DATE 11/16/96

MARK NONE
REF MANNING

MANNING 2 - 2' 0 1/2"
Lag Bolts

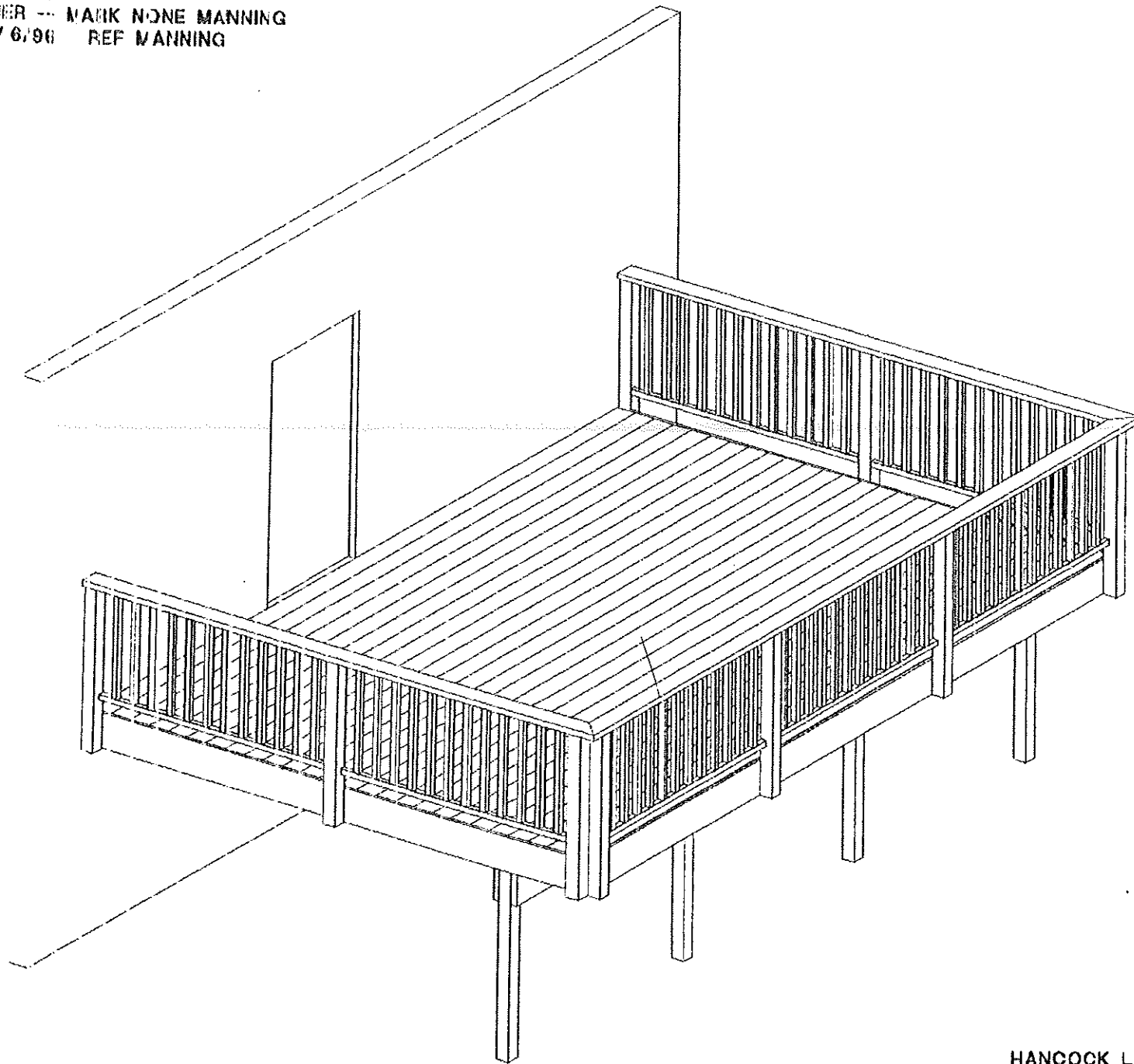
HANCOCK LUMBER CO.
409 ROOSEVELT TRAIL
WINDHAM, ME



10' 1/2"

12' 11 1/2"

CUSTOM VIEW
CUSTOMER -- MARK NONE MANNING
DATE 11/6/96 REF MANNING



HANCOCK LUMBER CO.
409 ROOSEVELT TRAIL
WINDHAM, ME

Inspection Services
Michael J. Nugent
Manager



Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND



As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE** If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction:

Tax Assessor's Chart, Block & Lot Number		Owner:	Telephone#:
Chart#	Block#	Lot#	
		MR+MIS SHAWWOOD PANELA MAJORITY	878-53721
Owner's Address:		Lessee/Buyer's Name (If Applicable)	Cost Of Work:
41 Maplewood St Portland ME			\$ 10541.06

Proposed Project Description: (Please be as specific as possible)

12'x88' Deck

Contractor's Name, Address & Telephone

Mark Manning Part owner 878-53721

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-ART II.
 - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
 - All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-ART III.
 - HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.
- You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks, porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

- A complete set of construction drawings showing all of the following elements of construction:
 - Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and dampproofing
 - Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Mark Manning</i>	Date: <i>4/15/98</i>
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Site Review Fee: \$150.00/Building Permit Fee: \$25.00 for the 1st \$1000.00 cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Submission Requirements Residential Construction

When a property owner is proposing either a new structure or an addition, this office requires:

- A plot or site plan, showing the shape and dimensions of the entire lot, all existing and proposed structures on the lot and the distance that the structures are from all lot lines. For a new dwelling the plan must be prepared by a registered design professional. For dwelling additions, the plan can be prepared by the owner or agent. (See Figure 1)

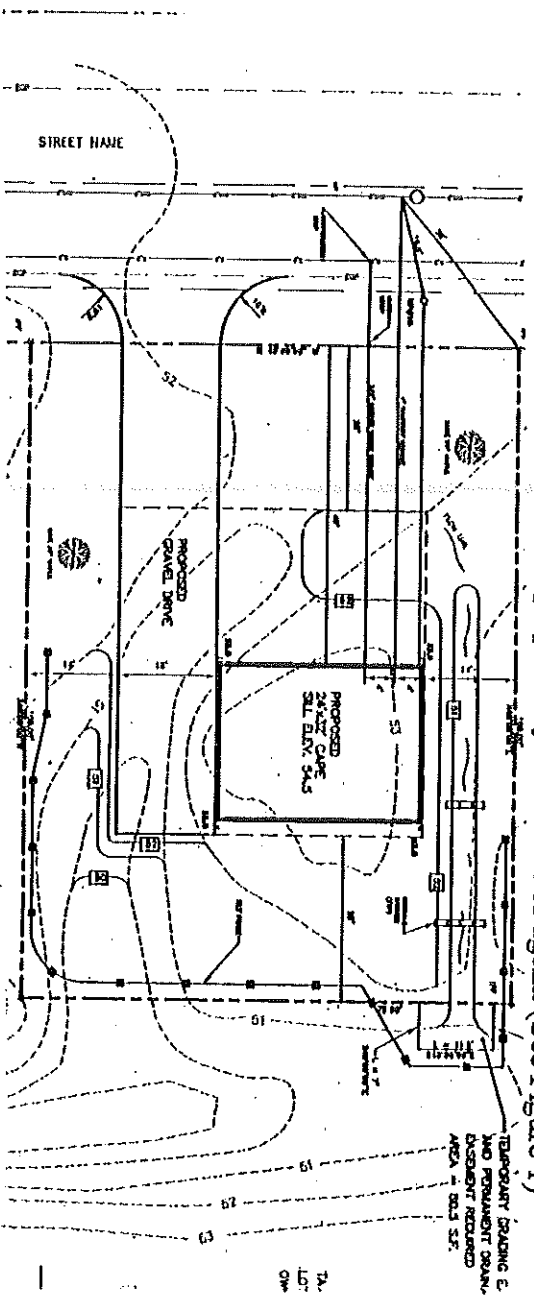


Figure 1. Typical Plot Plan

As can be seen, it is easy to establish the extent of compliance with the required setbacks and lot coverage.

- For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 2, 3 & 4)

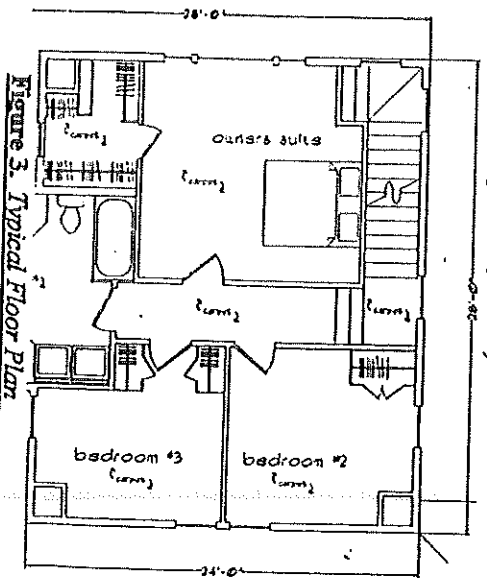


Figure 3. Typical Floor Plan

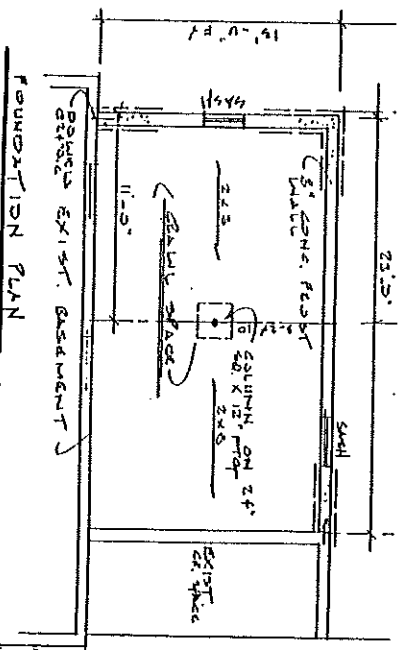


Figure 2. Typical Foundation Plan

